

PETITION FOR ZONING VARIANCE FROM AREA AND HEIGHT REGULATIONS

TO THE ZONING COMMISSIONER OF BALTIMORE COUNTY:

I, or we, GREENSPRING REALTY, INC., legal owner of the property situate in Baltimore County and which is described in the description and plat attached hereto and made a part hereof, hereby petition for a Variance from Section 492, Off-street parking and loading, to permit 20 parking spaces rather than the 41 parking spaces required

of the Zoning Regulations of Baltimore County, to the Zoning Law of Baltimore County, for the following reasons: (indicate hardship or practical difficulty)

Undue hardship

See attached description

Property is to be posted and advertised as prescribed by Zoning Regulations. I, or we, agree to pay expenses of above Variance advertising, posting, etc., upon filing of this petition, and further agree to and are to be bound by the zoning regulations and restrictions of Baltimore County adopted pursuant to the Zoning Law for Baltimore County.

GREENSPRING REALTY, INC.
by John G. Rose
Contract purchaser President/Legal Owner
Address 336 N. York Road
Towson, Maryland 21204

J. Temple Smith
Petitioner's Attorney Protestant's Attorney
Address 104 Jefferson Building
Towson, Maryland 21204

ORDERED By The Zoning Commissioner of Baltimore County, this 22nd day

of June, 1965, that the subject matter of this petition be advertised, as required by the Zoning Law of Baltimore County, in two newspapers of general circulation throughout Baltimore County, one property be posted, and that the public hearing be held before the Zoning Commissioner of Baltimore County in Room 106, County Office Building in Towson, Baltimore County, on the 29th day of July, 1965, at 10:00 o'clock

A. M.
Zoning Commissioner of Baltimore County.
(over) MICROFILMED

J. Temple Smith, Esq.
104 Jefferson Building
Towson, Md. 21204

BALTIMORE COUNTY OFFICE OF PLANNING AND ZONING

County Office Building
111 W Chesapeake Avenue
Towson 4, Maryland

Your petition has been received and accepted for filing this
22nd day of June, 1965

Owners Name: Greenspring Realty, Inc.
Reviewed by James E. Rye

CERTIFICATE OF POSTING ZONING DEPARTMENT OF BALTIMORE COUNTY Towson, Maryland

District _____ Date of Posting July 3, 1965
Posted for: Variance
Petitioner: Greenspring Realty, Inc.
Location of property: 412 York Rd. 20' S. of Ridgely Rd.
Location of Signs: 412 York Rd. 20' S. of Ridgely Rd.
Remarks: _____
Posted by James E. Rye Signature Date of return: July 8, 1965

MICROFILMED

Pursuant to the advertisement, posting of property, and public hearing on the above petition and it appearing that by reason of the following finding of facts that strict compliance with Section 307 of the Baltimore County Zoning Regulations would result in practical difficulty and unreasonable hardship upon the petitioner and the variance requested would grant relief to the petitioner without substantial injury to the public health, safety and general welfare of the community involved,

the above Variance should be had; and it further appearing that by reason of

a Variance to permit 20 parking spaces instead of the required 41 spaces should be granted.

IT IS ORDERED by the Zoning Commissioner of Baltimore County this 21st day of July, 1965, that the herein Petition for a Variance should be and the same is granted, from and after the date of this order, subject to approval of the site plan by the State Roads Commission, Bureau of Public Services and the Office of Planning and Zoning.

Pursuant to the advertisement, posting of property and public hearing on the above petition and it appearing that by reason of

the above Variance should NOT BE GRANTED.

IT IS ORDERED by the Zoning Commissioner of Baltimore County, this _____ day of _____, 196____, that the above Variance be and the same is hereby DENIED.

Zoning Commissioner of Baltimore County

INVOICE
BALTIMORE COUNTY, MARYLAND
OFFICE OF FINANCE
Division of Collection and Receipts
COURT HOUSE
TOWSON, MARYLAND 21204
No. 32000
DATE 7/23/65

TO: <u>Greenspring Realty, Inc.</u> <u>J. Temple Smith, Esq.</u> <u>Jefferson Building</u> <u>Towson, Md. 21204</u>	BILLED BY: <u>Zoning Dept. of Balto. Co.</u>
DEPOSIT TO ACCOUNT NO. <u>01-622</u>	REMAIN UPON SECTION AND RETURN WITH YOUR REMITTANCE
QUANTITY	TOTAL AMOUNT
<u>Advertising and posting of property</u>	<u>53.00</u>
<u>66-17-A</u>	
	<u>53.00</u>

IMPORTANT: MAKE CHECKS PAYABLE TO BALTIMORE COUNTY, MARYLAND
MAIL TO DIVISION OF COLLECTION & RECEIPTS, COURT HOUSE, TOWSON 4, MARYLAND
PLEASE RETURN UPPER SECTION OF THIS BILL WITH YOUR REMITTANCE.

INVOICE
BALTIMORE COUNTY, MARYLAND
OFFICE OF FINANCE
Division of Collection and Receipts
COURT HOUSE
TOWSON, MARYLAND 21204
No. 31903
DATE 4/25/65

TO: <u>Temple Smith, Esq. & Smith</u> <u>104 Jefferson Building</u> <u>Towson, Md. 21204</u>	BILLED BY: <u>Zoning Dept. of Balto. Co.</u>
DEPOSIT TO ACCOUNT NO. <u>01-622</u>	REMAIN UPON SECTION AND RETURN WITH YOUR REMITTANCE
QUANTITY	TOTAL AMOUNT
<u>Petition for Variance for Greenspring Realty, Inc.</u>	<u>25.00</u>
<u>66-17-A</u>	
	<u>25.00</u>

MICROFILMED

BEGINNING for the same on the Southwest side of the York Road 42 feet South of the road leading through the Board of Education of Baltimore County property to the public school there situate, said point of beginning being also at the Southern boundary line of the property conveyed to the Board of Education of Baltimore County by Deed dated January 24, 1947 and recorded among the Land Records of Baltimore County in Liber J.W.B. No. 1532 folio 212 by James F. Dawson and wife, and running thence binding on the Southwest side of the York Road, South 24 degrees 36 minutes East 148 feet, thence leaving said road and running South 63 degrees 48 minutes West 189.72 feet to a point, running thence North 16 degrees 26 minutes 30 seconds West 155.06 feet to the Southern boundary line of the aforesaid property conveyed by Dawson to the Board of Education of Baltimore County, running thence binding on said property North 65 degrees 30 minutes East 166.30 feet to the place of beginning.

BEING all and the same property conveyed to Greenspring Realty, Inc. by Dawson, Incorporated by Deed dated August 21, 1959 and recorded among the Land Records of Baltimore County in Liber W.J.R. No. 3581 folio 569.

CERTIFICATE OF PUBLICATION

TOWSON, MD. July 2, 1965
THIS IS TO CERTIFY, that the annexed advertisement was published in THE JEFFERSONIAN, a weekly newspaper printed and published in Towson, Baltimore County, Md., on each of 1 consecutive weeks before the 22nd day of July, 1965, the first publication appearing on the 2nd day of July, 1965.

THE JEFFERSONIAN,
Manager.

Cost of Advertisement, \$ _____

MICROFILMED

BALTIMORE COUNTY, MARYLAND

INTER-OFFICE CORRESPONDENCE

TO: Mr. John G. Rose, Zoning Commissioner Date: July 6, 1965
FROM: George E. Goretzky, Director
SUBJECT: Petition 66-17-A, "Variance to permit 20 parking spaces instead of the required 41 spaces, West side of York Road 20 feet South of Ridgely Road. Being the property of Greenspring Realty Inc."
9th District
HEARING: Monday, July 19, 1965 (10:00 A.M.)

The planning staff of the Office of Planning and Zoning has reviewed the subject petition and offers the following comments:

- Studies by this office reveal that more parking spaces can be provided on the petitioner's plan than are shown. We suggest that the petitioner contact the Project Planning Division of the Office of Planning and Zoning to review a sketch plan which has been prepared, showing how the additional parking spaces can be provided and indicating other desirable changes.
- The use of the property — a retail carpet store — is relatively non-intensive; it could therefore be appropriate to allow a reduction in the number of required parking spaces (though, as indicated above, not a reduction to the extent requested). But since the use is easily subject to change, we recommend that the variance be made applicable only to the carpet store. A change in the use will then permit review of the variance grant.

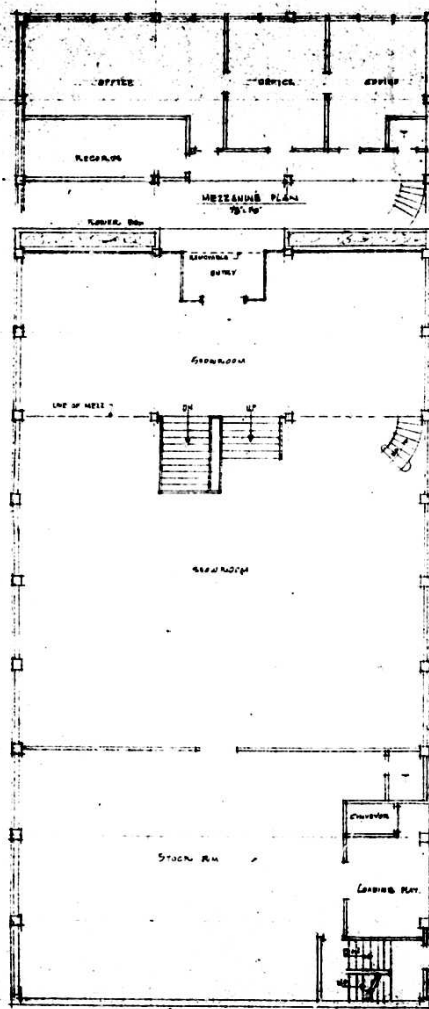
CERTIFICATE OF PUBLICATION

BALTIMORE COUNTY, MD. July 19, 1965
THIS IS TO CERTIFY, that the annexed advertisement was published in THE TIMES, a weekly newspaper printed and published in Baltimore County, Md., once in each of 1 consecutive weeks before the 1st day of July, 1965, the first publication appearing on the 1st day of July, 1965.

THE TIMES
Manager

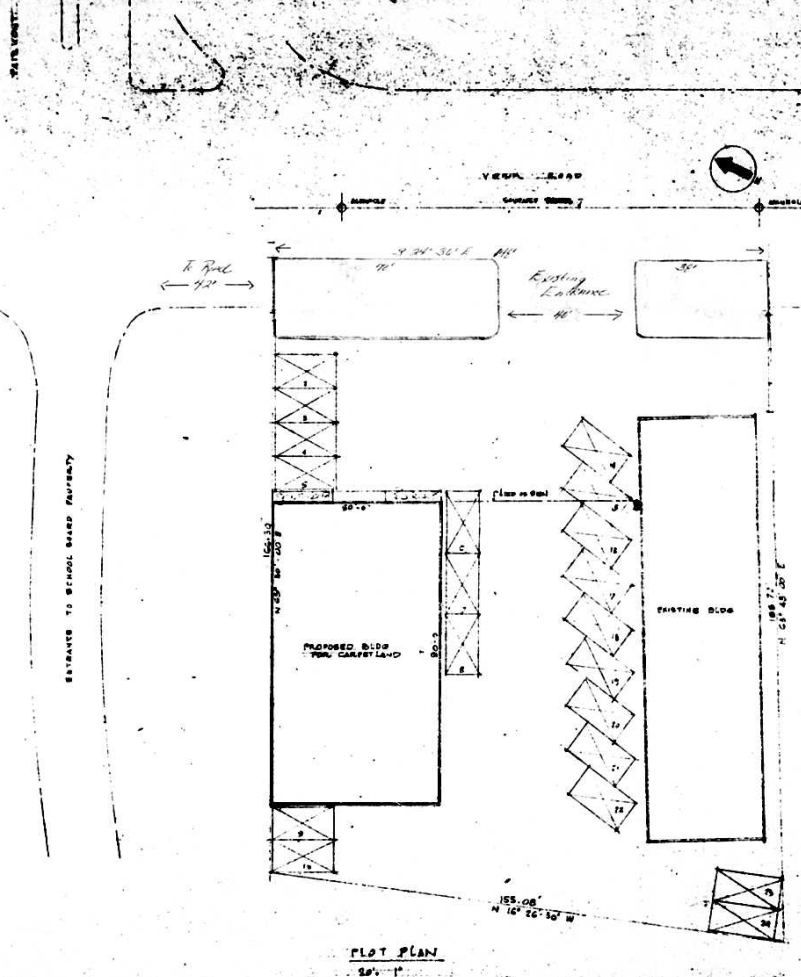
Cost of Advertisement, \$ _____

MICROFILMED



CONSTRUCTION

Upper Level Area	4500 Sq. Ft.	1.500 Sq. Ft.	3
Staircase & Mechanical	2500 Sq. Ft.	1.1250 Sq. Ft.	10
Garage	2000 Sq. Ft.	1.1250 Sq. Ft.	10
Upper Level Area	4500 Sq. Ft.	1.500 Sq. Ft.	7
Staircase	2000 Sq. Ft.	1.1250 Sq. Ft.	15
Garage	2000 Sq. Ft.	1.1250 Sq. Ft.	15
Mechanical / Offices	1000 Sq. Ft.	1.500 Sq. Ft.	15
Total Required Vehicle Spaces		41	
Spaces Provided		20	



PROPOSED BUILDING FOR GARAGE AND TRAILER

DANIEL LATTIN, Inc.
Architect
200 West 37 Street, New York 18