PETITION FOR ZONING VARIANCE

FROM AREA AND HI	
TO THE ZONING COMMISSIONER OF BALTIMO	
t, or we Greenspring Realty, Inc. County and which is described in the description	legal ownerof the property situale in Baltimore and plat attached hereto and made a part hereof.
hereby petit.on for a Variance from Section 49	9. Off-street parking and loading
to permit 20 parking spaces rather chan	the 41 parking spaces required
of the Zoning Regulations of Baltimore County, to following reasons: (indicate hardship or practical	the Zoning Law of Baltimore County; for the difficulty)
Undue hardship	
See attached description	
1.50	
Property is to be posted and advertised as I, or we, agree to pay expenses of above Vari petition, and further agree to and are to be bound Balimore County accepted pursuant to the Zoning	prescribed by Zoning Regulations. sance advertising, posting, etc., upon filing of this by the zoning regulations and restrictions of Law For Baltimore County.
	GREENSPRING REALTY, INC.
Contract purchaser	by PresidenLegal Owner
Address	Address 936 N. York Road
in a might dissith	Towson, Maryland 21204
J. Temple Smith Petitioner's Attorney	Protestant's Attorney
Address 104 Jefferson Building Towson, Maryland 21204	
ORDERED By The Zoning Commissioner of I	Baltimore County, this2279day
out Baltimore Cogaty, 4th property to posted, and Commissioner and Baltimore County in Roon, 106, County, on the 1925 day of A.M. (over	Zonin Commissioner of Caltimore County.
•	June 24, 1965
i. Tomple Smith, Esq. 10h Jefferson Building Touson, Hd. 2120h	
	FFICE OF PLANNING AND ZONING
Count 111 \ Towse	y Offics Building W Chesopeake Avenue _{on} 4, Maryland
Your petition has been rec	ceived and accepted for filling this
day of	
	Ja Ha
	JOHN G. ROSE
Owners Name: @reens	oring manty, Inc. Zoning Commissioner MICROFILME
Reviewed by:	2 pyer
0	€ 66-17-A
CER	TIFICATE OF POSTING
CANADA CONTRACTOR OF THE CONTR	Jr rosime

Toursen, Maryland

Location of property: W/S Gale Rd 50' 5 1 Red gely Pec

1 sign

Posted for .. Lancance.

Petitioner granspung really Inc.

Location of Signs: W/3 Jak Rd 20' 5 1

Signature

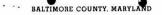
Date of Posting July 3 1965

Redgely Rec

Date of return July 8 1965

MICROFILMED

			and public hear	ring on the above	
		, posting of property,			
and it appearin	g that by reason of	the following finding	of facts that	strict complian	ce with
Section 307	of the Baltimore	e County Zonling R	egulations wou	ild result in pr	octical
difficulty	and unreasonable	herdship! upon t	he petition an	d the variance	requested
would grant	relief to the pe	etitioner without	substantial (njury to the pu	blic health,
		of the community		10.00043	
the above Vari	ance should be had;	and it further appear	aring that by rea	son of	
	0.000				
a Variance se	parmit 20 parkin	g spaces instead	of the requir	ed 41 spaces	
		Commissioner of B		2011	J. a.iii.cii.
				A STATE OF THE PARTY OF THE PAR	
		55, that the herei			
same is granted by the State	d, from and after the Roads Commission	he date of this order n, Bureau of Publ	ic Services an	pproval of the	site plan Planning
and Loning.			(h)	A15	
			Zoning Commiss	ioner of Baltimore	County
Dogwood to	- the advertisement				
		posting of property	and public near	ing on the above	petition
and it appearing	g that by reason of			***************************************	*****
49,6					
he above Vari	ance should NOT B	RE GRANTED			
IT IS ORDE	ERED by the Zoning	Commissioner of Ba	illimore County,	this	day
of		that the above Vari	ance be and the	same is hereby D	ENIED.
			Zoning Commissi	ioner of Baltimore	County
					47
			. M)	CROFILME	U
	s		MI	CROFILME	U
	BALTI	MORE COU	VOICE	RYLAND	
	BALTI	MORE COU	VOICE UNTY, MA	RYLAND	No.3200
	BALTI	FFICE OI	VOICE UNITY, MA F FINAI cellon and Receipts	RYLAND	No.3200
	BALTI	FFICE OF COURT TOWSON, MA	VOICE	RYLAND	No.3200
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INTER OFFICE CORRESPONDENCE

TO Mr. John G. Rose, Zoning Commissioner Date July 6, 1965

FROM George E. Gavrelis, Director

SUBJECT. Retition 66-17-A. "Variance to permit 20 parking spaces instead of the required
41 spaces. West side of York Road 20 feet South of Ridgely Road. Being the property of Green Realty Inc.

9th District

Monday, July 19, 1965 (10:00 A.M.)

The planning staff of the Office of Planning and Zoning has reviewed the subject petition and offers the following comments:

- 1 Studies by this office reveal that more packing spaces can be provided on the petitioner's plan than are shown. We suggest that the petitioner contact the Project Planning Division of the Office of Planning and Zoning to review a sketch plan which has been prepared, showing how the dodined parking spaces can be provided and indicating other desirable changes.
- 2 The use of the property a retail carget store is relatively non-intensive; it could therefore be appropriate to allow a reduction in the number of required parking spaces (though, as indicated above, not a reduction to the extent requested). But since the use is easily subject to change, we recommend that the variance be made applicable only to the carget store. A change in the use will then permit review of the variance; grant.

MICROFIL MED PETITION FOR A VARIANCE OFFI DISTRICT

CONNEC: Publica for Variance for Officient Publica. Control Publica. Control Co

Being the property of Greenspring raily, Inc., as shown on plat plan led with the Zoning Department. Bleating Dair: Monday, July 13, 53 of 10-50 A. M. Public Bearing Dair Room 105, County Office Buttle, 111 W. Chempeake Avenue.

CENTIFICATE OF PUBLICATION

BEGINNING for the same on the Southwest side of the York Road 42 feet South of the South side of the road leading through the Board of Education of Baltimore County property to the public school three situate, said point of beginning being also at the Southern boundary line of the property conveyed to the Board of Education of Baltimore County by Deed dated January 24, 1947 and recorded among the Land Records of Baltimore County in Liber J.W.B. No. 1532 folio 212 by James F. Dawson and wife, and running thence binding on the Southwest side of the York Road, South 24 degrees 36 minutes East 148 feet, thence leaving said road and running South 63 degrees 48 minutes West 185.08 feet to the Scutharn boundary line of the aforesaid property conveyed by Dawson to the Board of Education of Paltimore County, running thence binding on said property North 65 degrees 30 minutes East 166.30 feet to the place of beginning.

REING all and the same property convayed to Greenspring Realty, Inc. by Dawson, Incorporated by Daed dated August 21, 1959 and recorded among the Land Records of Baltimore County in Liber W.J.R. No. 3581 follo 559.

TOWSON, MD. July 3,, 19.55

THIS IS TO CERTIFY, that the annexed advertisement was published in THE JEFFERSONIAN, a weekly newspaper printed and published in Towson, Baltimore County, Md., onco in each of____l.jinq _______nuccessive weeks before the ____Jgth___ appearing on the 2ndday ofduly

THE JEFFERSONIAN,

Cost of Advertisement, \$___

MICROFILMED

PETITION FOR A 9th DISTRICT

On InSTREET

ZONNO, Position for Variance for Ordineet Publish,
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Ninth District of Baltimore

Noch Dataries of Baltimore Courty

Beginning for the assess on the Southeast side of the York Roads Southeast Southeast side of the York Roads Southeast Sou

CERTIFICATE OF PUBLICATION

BALTIMORE COUNTY, MD.

THIS IS TO CERTIFY. That the annexed advertisement was published in THE TIMES, a weekly newspaper printed and published in Baltimore County, Md. once in each of

more the marks before the day of

day of

THE TIMES. John M. Martin Manager

Cost of Advertisement, \$

MICROFILMED

