



Baltimore County
Department of Permits and
Development Management

Development Processing
County Office Building
111 West Chesapeake Avenue
Towson, Maryland 21204

August 31, 2001

John R. Tabak, P.E.
Purdum & Jeschke, LLC
8005 Harford Road
Baltimore, MD 21234

Dear Mr. Tabak:

RE: Port City Press
1323 Greenwood Road
8th Election District

Your letter to Arnold Jablon, Director of Permits and Development Management, has been referred to me for reply. The zoning of this site is Manufacturing Light (M.L.) as indicated on a submitted copy of the 1"=200' scale zoning map #NW, 7-F. In zoning hearing case #66-18-A, the former Zoning Commissioner on 9/9/65 granted a variance to allow a rear yard setback of 0 ft. in lieu of the minimum required 30 ft. and to allow a structure to be located within 50 ft. of a residential zoning along Greenwood Road and 40 ft. along the rear boundary in lieu of the minimum required 125 ft.

Your clients request is for a 190 ft. in length covered walkway to be attached to the existing building (as shown on the submitted red-line plans) to be allowed as being within the spirit and intent of the above referenced zoning case. There will be no windows or other openings in the enclosed walkway. The walkway will project into the required 50 ft. setback from 1 ft. to 3 ft. Since the proposed increase of a setback deficiency is on a commercial site, another variance is required.

I trust that the information set forth in this letter is sufficiently detailed and responsive to the request. If you need further information or have any questions, please do not hesitate to contact me at 410-887-3391.

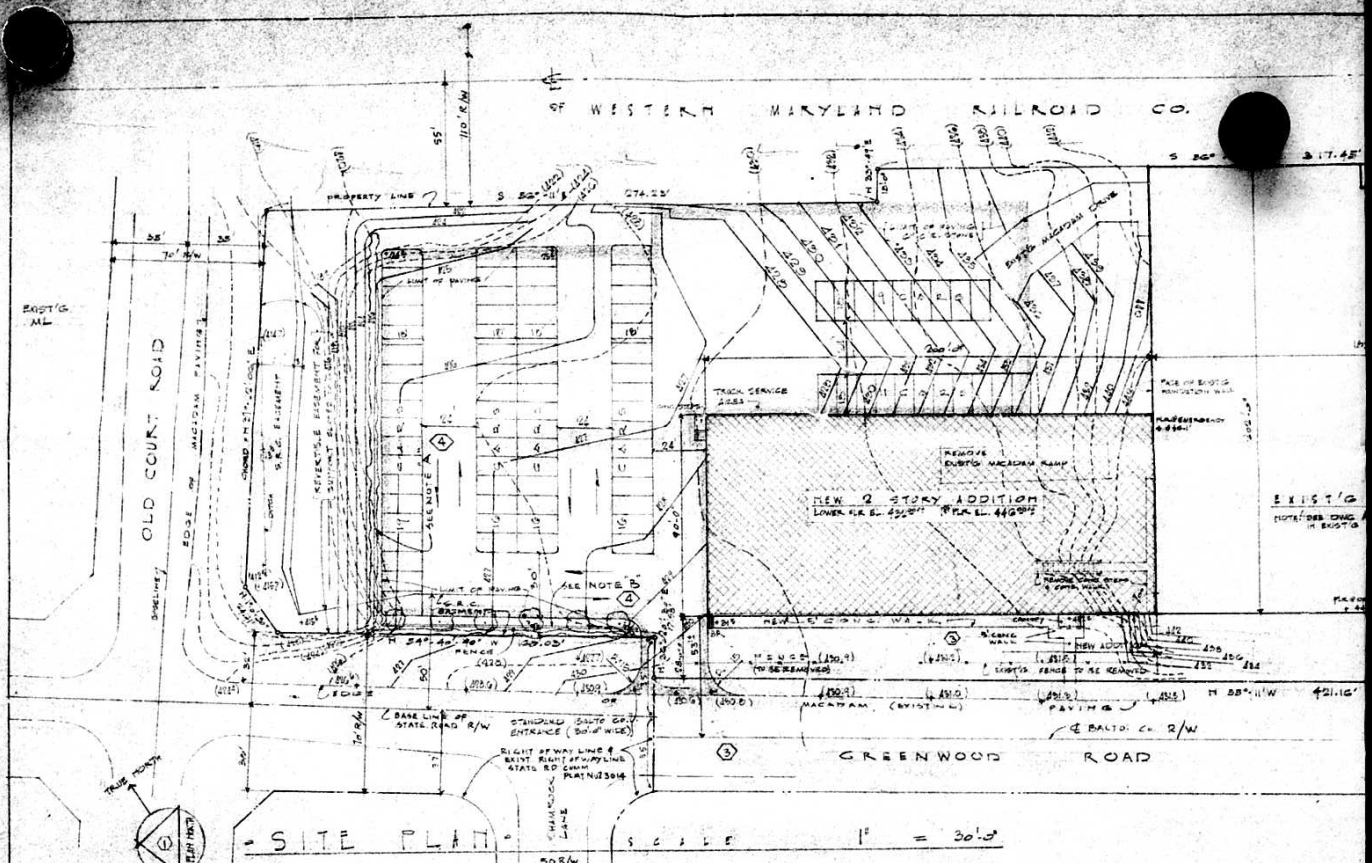
Sincerely,

A handwritten signature in black ink, appearing to read "John J. Sullivan".

John J. Sullivan
Planner II
Zoning Review

JJS:ggs

c: Zoning case #66-18-A



GENERAL SITE PLAN NOTE:
 1. INFORMATION SHOWN ON THIS PLAN PERTAINING TO EXIST'G GRADES, BEARINGS, DISTANCES, UTILITIES, ETC., TAKEN FROM SURVEY MADE BY J.J. NANTHEIM & CO. SURVEYORS & CIVIL ENGINEERS, BALTIMORE, MD., DATED DEC. 7, 1936. THE CONTRACTOR SHALL SATISFY HIMSELF AS TO THE COMPLETENESS & ACCURACY OF THIS INFORMATION PRIOR TO BEGINNING ANY WORK AT THE SITE.
 2. INFORMATION FOR PLUMB ELEVATIONS & COUNTY TOWN ALONG OLD COURT & GREENWOOD ROAD TAKEN FROM BALTIMORE COUNTY DEPT. OF PUBLIC WORKS SURVEY OF LAND ACQUISITION, NOV. 24, 1934. DATE APPROVED 2/2/35.
 3. FINISH GRADING BY JOSEPH J. THOMPSON, (CIVIL ENGINEER & LAND SURVEYOR).
 4. SEE STRUCTURAL DWG. FOR "BEST" SOILING DATA.
 5. SEE CIVIL SIDEWALKS, CURB & GUTTER, ENTRANCE CAVES TO BE CONSTRUCTED IN ACCORDANCE WITH MD. OR BLDG. CODE & STANDARDS.
 6. SEE MECH. DWGS. FOR PROPOSED UTILITIES.
 7. EXIST'G GRADE ELEVATION FROM COUNTY BENCH MARK #X-5052-A.
 8. ALL PAVING AS SHOWN ON SITE PLAN TO BE OF COMPACTED GRAVELLED SURF.

LEGEND

- (420) --- DENOTES PROPERTY LINE
- (425) --- DENOTES EXIST'G GROUND CONTOUR
- (425) --- DENOTES PROPOSED FINISH CONTOUR
- (425) --- DENOTES EXIST'G SPOT ELEVATION
- [Hatched Box] LIMIT OF PROPOSED NEW BUILDING
- [Dashed Box] APPROX. LIMIT OF PROPOSED PARK'G AREA

NOTE A

FOUR FOOT (4'-0") HIGH COMPACT SCREEN PLANTING (EVERGREEN) ALONG NORTH SIDE OF PARKING AREA FACING OLD COURT ROAD. PLANTING BY OWNER.

NOTE B

FOUR FOOT (4'-0") HIGH REDWOOD FENCE WITH COMPACT SCREEN PLANTING (EVERGREEN) IN FRONT OF FENCE AND 18"X20" PIN OAKS BEHIND FENCE ALONG WEST SIDE OF PARKING AREA FACING GREENWOOD ROAD. PLANTING & FENCE BY OWNER.

- [Wavy Line] DENOTES COMPACT SCREEN PLANTING
- [Dashed Line] DENOTES REDWOOD FENCE
- [Circle] DENOTES 18"X20" PIN OAKS

PROPERTY ZONED ML

2ND ELECTION DISTRICT
 PROPERTY 2.967 ACRES (JAYRECO INC.)
 USE OF BLDG. - OFFICE & PRINTING PLANT

PARKING DATA: (24' x 12')

EXIST'G BLDG.	FIRST FLOOR	USE	P.R. AREA
		OFFICE	3,622
		PRINTING	30,410
	TOTAL		34,032

PROPOSED ADDITION

LOWER FLOOR	OFFICE	3,375
	GEN. STOR.	12,375
	TOTAL	15,750
FIRST FLOOR	BINDERY & VENDOR AREA	12,000
	TOTAL	33,150

TOTAL NO. EMPLOYEES AT PRESENT 151
 NO. OF EMPLOYEES IN LARGEST SHIFT 105
 NO. OF EMPLOYEES IN FUTURE 100
 TOTAL NO. CAR SPACES REQUIRED
 TOTAL NO. CAR SPACES PROVIDED

ADDITION and ALTERATIONS to 1323 GREENWOOD ROAD [NORTHEAST CORNER GREENWOOD ROAD] BALTIMORE COUNTY

SCHEDULE OF DRAWINGS

ARCHITECTURAL

- A-1 SITE PLAN
- A-2 LOWER FLOOR PLAN AND SCHEDULES
- A-3 FIRST FLOOR PLAN AND SECTION A-A
- A-4 ELEVATIONS AND SECTION B-B
- A-5 WALL SECTIONS
- A-6 STAIR DETAIL AND ELEVATION DETAILS
- A-7 ALTERATIONS - EXISTING BUILDING

STRUCTURAL

- S-1 LOWER FLOOR AND FOUNDATION PLAN
- S-2 FIRST FLOOR FRAMING PLAN
- S-3 ROOF FRAMING PLAN
- S-4 CONC PANELS AND DETAILS

MECHANICAL

- M-1 LOWER FLOOR PLAN
- M-2 FIRST FLOOR PLAN
- M-3 EXISTING BUILDING

ELECTRICAL

- E-1 LOWER FLOOR PLAN (LIGHTING)
- E-2 FIRST FLOOR PLAN (LIGHTING)
- E-3 LOWER FLOOR PLAN (POWER)
- E-4 FIRST FLOOR PLAN (POWER)
- E-5 RISER DIAGRAM & DETAILS

GENERAL NOTES

1. CONTRACTOR SHALL VERIFY ALL EXIST'G GRADES AT BUILDING BEFORE ESTABLISHING RISE/REMARKS.
2. ALL DIMENSIONS FROM NEW BUILDING TO PROPERTY LINES SHALL BE VERIFIED BY CONTRACTOR BEFORE BEGINNING WORK.
3. ALL CONTRACTORS SHALL CHECK & VERIFY ALL DIMENSIONS & CONDITIONS AT THE JOB SITE BEFORE STARTING THE WORK.
4. ALL WORK SHALL CONFORM TO LOCAL BUILDING CODES & REGULATIONS & SHALL BE INSTALLED ACCORDING TO THE JOINT REQUIREMENTS & DECISIONS OF ALL LOCAL AUTHORITIES.
5. IF ANY CONTRACTOR OR SUB-CONTRACTOR PERFORMS ANY WORK CONTRARY TO THE LOCAL BUILDING CODES & ORDINANCES, RULES & REGULATIONS & WITHOUT SUCH NOTICE TO THE OWNER, HE SHALL BEAR ALL COSTS ARISING THEREFROM.

ABBREVIATIONS

ANC	ANCHOR	GLV	GALVANIZED
ALUM	ALUMINUM	M.F.	MEMBRANE FLOOR
AT	AT	MIN.	MINIMUM
BLK	BLOCK	M.O.	MASONRY OPENING
COL	COLUMN	MIG.	NOT IN CONTACT
CONC	CONCRETE	O.C.	ON CENTER
CONS	CONSTRUCTION	PTO	PAINTED
CONT	CONTROL JOINT	STL	STEEL
D	DIAMETER	TY	TYPICAL
DN	DOWN	WD	WOOD
DW.	DRAINAGE	W	WITH
EXP.	EXPOSED	EX	EXISTING
EXP. J.	EXPANSION JOINT	DET.	DETAIL
EL.	ELEVATION	UN PTD	UNPAINTED
FIN	FINISH		
FL	FLOOR		
FS	FOOTING		
GA	GIRDER		

ARCHITECTURAL SYMBOLS

	CONCRETE
	BRICK
	GRAVEL OR STONE
	EARTH
	METAL IN SECTION
	METAL IN ELEVATION
	WOOD (ROUGH)
	WOOD (FINISH)
	INSULATION
	PRE-CAST CONCR. PANEL

NO.	DATE	REVISIONS	BY	CHK.
④	7-7	ADD NOTES A & B	M.F.	M.F.
③	7-11	CHANGED FROM 2" TO 1" WALLS & PARTIAL	M.F.	M.F.
②	6-25	CHANGED FIN GRADES & BENCH MARK	M.F.	M.F.
①	6-17	FIN. BEEN CHANGED	M.F.	M.F.
HQ	DATE	REVISIONS	BY	CHK.



PLANS APPROVED
OFFICE OF PLANNING & ZONING
BY: *[Signature]*
DATE: *9/1/66*

SITE PLAN

DATE	DRAWN BY	CHK'G BY
JUNE 14, 1966	AL	
SCALE	CHECKED BY	
1" = 30'-0"	MEH	

A-1

Zoning File # 66-18 A
Approved Plan

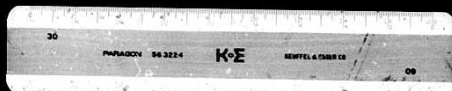
ONS to PORT CITY PRESS

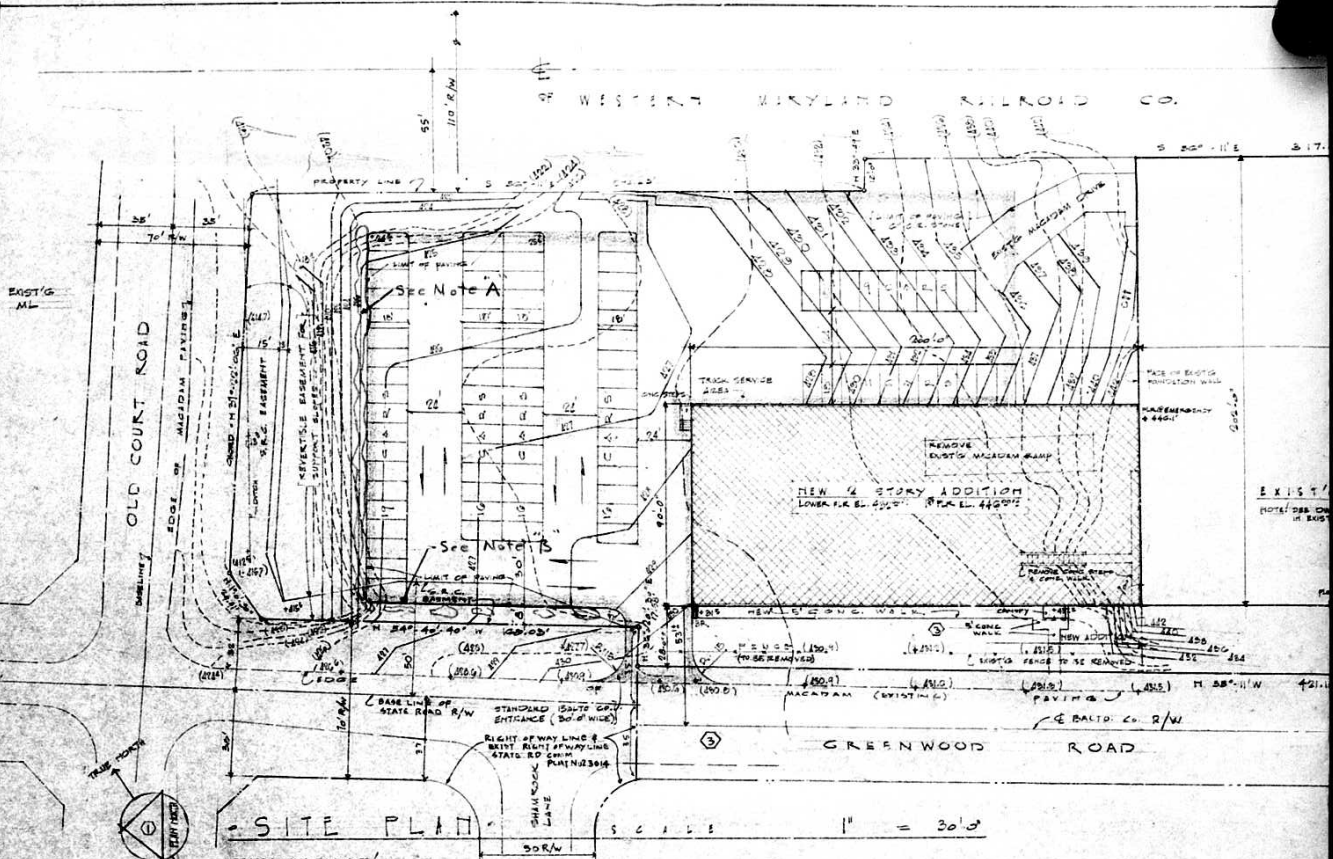
GREENWOOD ROAD and OLD COURT ROAD

T Y M A R Y L A N D

P SAXE CONSULTING ENGINEER P HENRY A. KNOTT, INC. GENERAL CONTRACTOR

App # 397-66





- SITE PLAN -

SCALE 1" = 30' 0"

GENERAL SITE PLAN NOTE

1. INFORMATION SHOWN ON THIS DRAWING PERTAINING TO EXIST'G GRADES, SEAMINGS, DISTANCES, UTILITIES ETC. TAKEN FROM SURVEY MADE BY D.J. MANTENET & CO. SURVEYORS & CIVIL ENGINEERS, BALTIMORE, MD. DATED DECEMBER 11, 1955. THE CONTRACTOR SHALL VERIFY ALL DATA AS TO THE COMPLETENESS & ACCURACY OF THIS INFORMATION PRIOR TO BEGINNING ANY WORK AT THE SITE.
2. INFORMATION FOR SLOPE EASEMENTS & COUNTY R/W ALONG OLD COURT & GREENWOOD ROAD TAKEN FROM BALTIMORE COUNTY DEPT. OF PUBLIC WORKS BUREAU OF LAND ACQUISITION, 1400 GAY STREET, DATE APPROVED 5/6/58.
3. FINISH GRADING BY JOSEPH E. THOMPSON (CIVIL ENG. & LAND SURVEYORS)
4. SEE STRUCTURAL DRAWING FOR TEST BORING DATA
5. ALL CONC. SIDEWALKS, CURBS & GUTTERS, ENTRANCE DRIVE TO BE CONSTRUCTED IN ACCORDANCE WITH BALTO. CO. BLDG. CODE & STANDARDS
6. SEE MECH. DRWG. FOR PROPOSED UTILITIES
7. EXIST'G GRADE ELEVATION FROM COUNTY BENCH MARK #X-5632-A
8. ALL PAVING AS SHOWN ON SITE PLAN TO BE 5" COMPACTED CRUSHED STONE

LEGEND

- (425) --- DENOTES PROPERTY LINE
- (425) --- DENOTES EXIST'G GROUND CONTOUR
- (425) --- DENOTES PROPOSED FINISH CONTOUR
- (425) --- DENOTES EXIST'G SPOT ELEVATION
- [Hatched Box] LIMIT OF PROPOSED NEW BUILDING
- [Dashed Box] APPROX. LIMIT OF PROPOSED PARKING AREA

Note "A" - 4' high compact planting along this side of parking area.

Note "B" - 4' high fence w/ screen planting in front of fence

August 2, 1966
N. E. Kelly
 Architect

PROPERTY ZONED ML

STD ELECTION DISTRICT
 PROPERTY 2.97 ACRES (JAYRECO INC)
 USE OF BLDG - OFFICE & PRINTING PLANT

PARKING DATA: (2 1/2' x 10')

EXIST'G BLDG	FIRST FLOOR	USE	PER. AC.
		OFFICE	3.00
		PRINTING	30.41
	TOTAL		34.00

PROPOSED ADDITION

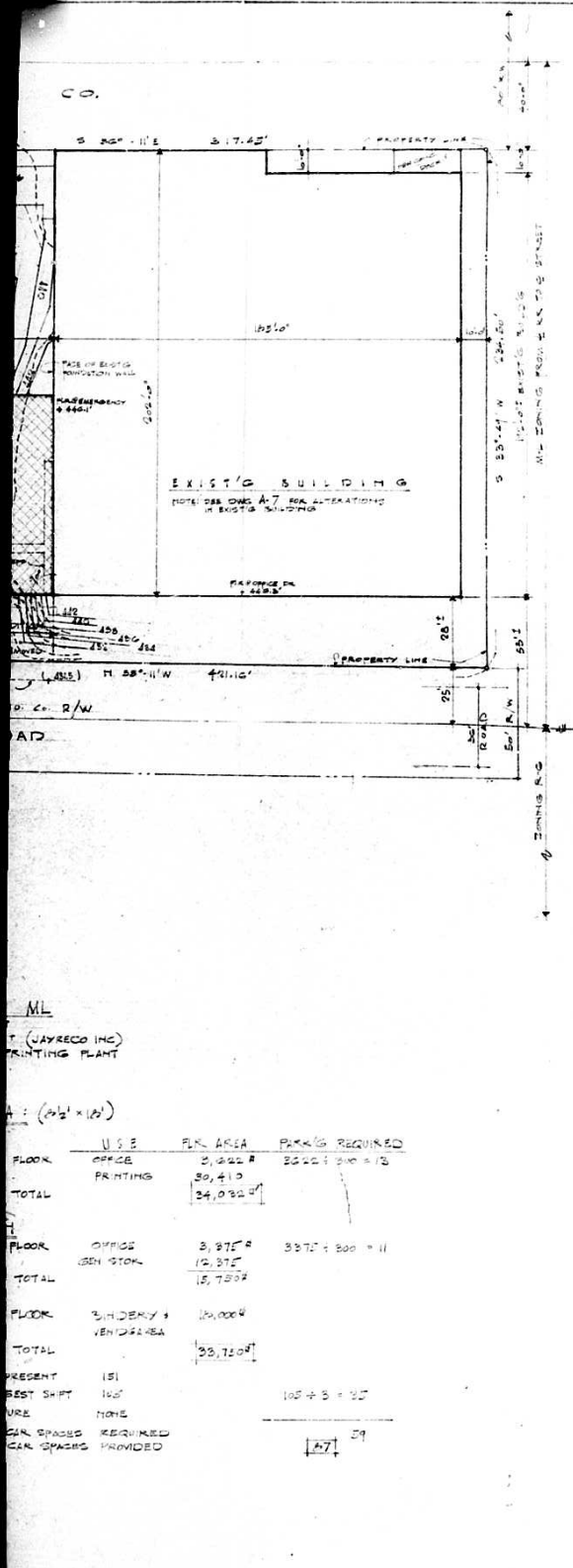
	LOWER FLOOR	OFFICE	PER. AC.
		GEN. STOK.	3.37
	TOTAL		15.75
	FIRST FLOOR	BINDERY & VENT. STOK.	PER. AC.
			15.00
	TOTAL		33.75

TOTAL NO. EMPLOYEES AT PRESENT 151
 NO. OF EMPLOYEES IN LARGEST SHIFT 105
 NO. OF EMPLOYEES IN FUTURE NONE
 TOTAL NO. CAR SPACES REQUIRED
 TOTAL NO. CAR SPACES PROVIDED

ADDITION and ALTERATIONS to

1323 GREENWOOD ROAD [NORTHEAST CORNER GREENWOOD ROAD]
 BALTIMORE COUNTY

NORMAN E. KELLY ARCHITECT • VAN. RENSSLAER P. SAXE CONSULTANT
 685-6336



SCHEDULE OF DRAWINGS

- ARCHITECTURAL
- A-1 SITE PLAN
 - A-2 LOWER FLOOR PLAN AND SCHEDULES
 - A-3 FIRST FLOOR PLAN AND SECTION A-A
 - A-4 ELEVATIONS AND SECTION B-B
 - A-5 WALL SECTIONS
 - A-6 STAIR DETAILS AND ELEVATOR DETAILS
 - A-7 ALTERATIONS - EXISTING BUILDING

- STRUCTURAL
- S-1 LOWER FLOOR AND FOUNDATION PLAN
 - S-2 FIRST FLOOR FRAMING PLAN
 - S-3 ROOF FRAMING PLAN
 - S-4 CONC PANELS AND DETAILS

- MECHANICAL
- M-1 LOWER FLOOR PLAN
 - M-2 FIRST FLOOR PLAN
 - M-3 EXISTING BUILDING

- ELECTRICAL
- E-1 LOWER FLOOR PLAN (LIGHTING)
 - E-2 FIRST FLOOR PLAN (LIGHTING)
 - E-3 LOWER FLOOR PLAN (POWER)
 - E-4 FIRST FLOOR PLAN (POWER)
 - E-5 RISER DIAGRAM & DETAILS

GENERAL NOTES

1. CONTRACTOR SHALL VERIFY ALL EXIST'G CONDITIONS BEFORE STARTING WORK.
2. ALL DIMENSIONS FROM NEW BUILDING TO EXIST'G BUILDING SHALL BE VERIFIED BY CONTRACTOR BEFORE BEGINNING WORK.
3. ALL CONTRACTORS SHALL CHECK & VERIFY ALL DIMENSIONS & CONDITIONS AT THE JOB SITE BEFORE STARTING THE WORK.
4. ALL WORK SHALL CONFORM TO LOCAL BUILDING CODES & REGULATIONS & SHALL BE INSTALLED ACCORDING TO THE JOINT REQUIREMENTS & DECISIONS OF ALL LOCAL AUTHORITIES.
5. IF ANY CONTRACTOR OR SUB-CONTRACTOR PERFORMS ANY WORK CONTRARY TO THE LOCAL BUILDING CODE'S ORDINANCES, RULES & REGULATIONS & WITHOUT SUCH NOTICE TO THE OWNER, HE SHALL BEAR ALL COSTS ARISING THEREFROM.

ABBREVIATIONS

ANC	ANCHOR	GLV	GALVANIZED
ALUM	ALUMINUM	M.F.	MEASURED FROM FACE
AT	AT	M.H.	MINIMUM
BLK	BLACK	M.O.	MASONRY OPENING
COL	COLUMN	M.H.G.	NOT IN CONTACT
CONC	CONCRETE	O/C	ON CENTER
CONS	CONSTRUCTION	PTD	PAINTED
CJT	CENTRAL JOINT	STL	STEEL
D	DIAMETER	TYP	TYPICAL
DN	DOWN	WD	WOOD
D.W.	DRAINAGE	N	WITH
EXP.	EXPOSED	EX	EXISTING
EXP. J.T.	EXPANSION JOINT	DET.	DETAIL
EL.	ELEVATION	UN PTD	UNPAINTED
FIN.	FINISH		
FL.	FLOOR		
FS	FEET		
GA	GAGE		

ARCHITECTURAL SYMBOLS

	CONCRETE
	SOLID CONCRETE MASONRY UNITS
	(HOLLOW) CONCRETE MASONRY UNITS
	BRICK
	GRAVEL OR STONE
	EARTH
	METAL IN SECTION
	METAL IN ELEVATION
	WOOD (ROUGH)
	WOOD (FINISH)
	INSULATION
	PRE-CAST CONC. PANEL

ML
T (JAYRECO INC)
PRINTING PLANT

A: (24" x 36")

FLOOR	USE	FLR AREA	PARKING REQUIRED
OFFICE		3,000 sq ft	20000 sq ft
PRINTING		30,410 sq ft	
TOTAL		33,410 sq ft	

OFFICE	3,875 sq ft	3375 x 200 x 11
GEN STOK	12,375 sq ft	
TOTAL	16,250 sq ft	

GEN STOK	16,000 sq ft	
VENOGRAB	16,000 sq ft	
TOTAL	32,000 sq ft	

PRESENT	151	
BEST SHIT	100	
URE	NONE	
GA SPACES REQUIRED	100 x 3 x 30	
GA SPACES PROVIDED	107	09

③	7-11	CORRECT R/W AND CORRECTION N.W. 1/4	N.W.
④	6-10	CHANGED R/W AND CORRECTION N.W. 1/4	N.W.
⑤	6-11	PLN NORTH CORRECTION	N.W.
NO DATE REVISIONS			BY CEN



ONS to PORT CITY PRESS
 LEEN WOOD ROAD and OLD COURT ROAD
 T Y M A R Y L A N D

P. SAXE CONSULTING ENGINEER P HENRY A. KHOTT, INC. GENERAL CONTRACTOR

SITE PLAN

DATE	DRAWN BY	CHECKED BY
JUNE 14, 1968	af	
SCALE	CHECKED BY	
1" = 20'-0"	REN	

A-1
 OF SEVEN



