

Development Processing County Office Building 111 West Chesapeake Avenue Towson, Maryland 21204

August 31, 2001

John R. Tabak, P.E. Purdum & Jeschke, LLC 8005 Harford Road Baltimore, MD 21234

Dear Mr. Tabak:

RE: Port City Press

1323 Greenwood Road 8th Election District

Your letter to Arnold Jablon, Director of Permits and Development Management, has been referred to me for reply. The zoning of this site is Manufacturing Light (M.L.) as indicated on a submitted copy of the 1"=200' scale zoning map #NW, 7-F. In zoning hearing case #66-18-A, the former Zoning Commissioner on 9/9/65 granted a variance to allow a rear yard setback of 0 ft. in lieu of the minimum required 30 ft. and to allow a structure to be located within 50 ft. of a residential zoning along Greenwood Road and 40 ft. along the rear boundary in lieu of the minimum required 125 ft.

Your clients request is for a 190 ft. in length covered walkway to be attached to the existing building (as shown on the submitted red-line plans) to be allowed as being within the spirit and intent of the above referenced zoning case. There will be no windows or other openings in the enclosed walkway. The walkway will project into the required 50 ft. setback from 1 ft. to 3 ft. Since the proposed increase of a setback deficiency is on a commercial site, another variance is required.

I trust that the information set forth in this letter is sufficiently detailed and responsive to the request. If you need further information or have any questions, please do not hesitate to contact me at 410-887-3391.

Sincerely,

John J. Sullivan Planner II

Zoning Review

JJS:ggs

c: Zoning case #66-18-A

PETITION FOR ZONING VARIANCE IND HEIGHT REGULATIONS

77

TO THE ZONING COMMISSIONER OF BA	LTIMORE COUNTY:
and which is described in the des-	legal owner_of the property situate in Baltimore riptio.i and plat ettached hereto and made a part hereof.
hereby petition for a Variance from Section of feet in tend of the required	on 255.1 and (238.2) to permit a year actions 30 feet. Prom Section 245.6 to olice a structure schiential zone along the frontage on Greenwood haundary instead of the required 125 feet.
	a to for the
of the Zoning Regulations of Baltimore Co following reasons: (indicate hardship or)	unty, to the Zoaing Law of Baltimore County, for the
2.	

The petitioner plans to erect a 2 story building on the present property to be used as a printing plant. The present set backs create a hardship and the proposed building camout be erected without the variance; also there are other reasons which will be stated at the hearing.

See attached description

Property is to be posted and advertised as prescribed by Zoning Regula L. or we, agree to pay expenses of above Variance advertising, posting, etc. settion, and further agree to and are to be bound by the zoning regulations believes Courty adopted pursuant to the Zoning Law For Baltimore County.	and restrictions of
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paining county and	
	James & Theele-
Contract purchaser	James A. Shields, Fres.Legal Owner
Address	Address 1323 Greenwoot Road
	saltimore 8, Paryland
Petitioner's Attoracy	National Landing Morney The Sale Traciants Morney The Ballimore County, this 15th day
Address 12/ W Sangaran	alm Ballande to lingual
ORDERED By The Zoning Commissioner	Baltimore County, this 15th day
	subject matter of tais petition be advertised, as y, in two newspapers of general circulation through-

required by the Zoning Law of Baltimore County, in two newspapers of general circulation through-our Baltimore County, that property be posted, and that the public hearing be had before the Zoning Commissioner of Baltimore County in Room 106, County Office Building in Towsen, Baltimore 19th day of July 196.5, at 10:30b'clock

County, on the M 15

Zoning Commissioner of Baltimere County.

mue 23, 1965

BALTIMORE COURT OFFICE OF PLANNING AND ZONING COURT OFFICE BUILDING TORSON, MARKLAND 21204

es W. Shields, Presi e, Haryland 21208

SUBJECT: Area Variances for Jayreco, Inc. Located on the HE/Cor Greenwood Hoad and Old Court Feed, 3rd Dist. (Ttem 6 June 15, 1965)

The Zoning Advisory Committee has reviewed the subject petition and makes the following comments:

INDUSTRIAL DEVELOPMENT COMMISSION: See attached comments.

BREAU OF HADISENEED.

Sever - Organ sand Interceptor exists adjacent to this property.

- Organ sand interceptor exists adjacent to this property.

- Organization morth of the subject site at the intersection of Schilling Circle States in Commission for the subject site at the intersection of Schilling Circle States and Commission of the tentatively approved plat of the seven site.

The above coments are not intended to indicate the appropriateness of the sening action requested, but to assure that all porties are made source of the plans or problem that may have a rearing or this case. The Director and/or the Dayley Brivator of the office of Planning and Sonting vill solution concentrations on the appropriateness of the requested soning 10 days before the Zoning Consistence is

The following members had no comment to offer

Bureau of Traffic Enginearing Office of Planning and Zoning Board of Education Health Department Buildings Department Fire Bursa—Plans Newlew State Roads Commission

co: H. B. Steeb-Industrial Develop

and it appearing that by reason of the following finding of facts strict compliance with the

er and the requested variances would grant relief without substantial the petitioner and the requested verification and/or year.

Injury to the public healfn, safety and general Halfare of the locality involved the variances should be had to permit:

1. To permit a rear setback of zero feet instead of the required 30 feet; 2. To allow a structure to be located within 50 feet of residential zoning along the frontage of Greenwood Soad and 40 feet along the rear boundary instead of the required 125 feet of a residential zone.

should be had and it further appearing that by reason of week

IT IS ORDERED by the Zoning Commissioner of Baltimore County this day of ____ variances

196 that the herein Petition for a Xariance should be and the

same is granted from and after the date of this order, as stated showe, subject to approval of the site plan by the Sureau of Public Services and the Office of Planning and Coning, and further subject to coupliance with that species (subject or attached hereto and made a part hereof.

Zoning Commissioner of Natimore County

Pursuant to the advertisement, posting of property and public hearing on the above petition and it appearing that by reason of ...

the above Variance should NOT BE GRANTED.

IT IS ORDERED by the Zoning Commissioner of Baltimore County, this, 196.... that the above Variance be and the same is hereby DENIED.

Zoning Commissioner of Baltimore County

MICROFILMED

BALTIMORE COUNTY, MARYLAND

INTER-OFFICE CORRESPONDENCE

Date.

Mr. John Rose то.... Mr. H. B. Staab FROM

i. B. Staab
Zoning Advisory Committee
Meeting - June 14, 1965
Item #6: 3rd District
Property Owner - Jayreco. Inc.
Location: Greenwood & Old Court Road

The present building on this subject site was erected before Sec. 255, I was enacted. The Port City Press Co. occupants of the building on the site are a rapidly expanding company. Because of the dimensions of the site, it would be an extreme laradship and uneconomical to expand within the provisions of Sec. 255, I.

The Industrial Development Commissio mmends this applicant be granted his request for a variance.

H. B. STAAB, Director Industria: Development Commission

June 17, 1965

GCH:HBS:sk

DOLLENBERG BROTHERS

Registered Professional Engineers and Land Surveyors

March 16, 1961

All those two pieces or parcels of land situate, lying and being in the Third Election District of Saltimore County, State of Maryland and described as follows to wit:

in the Third Election District of Haltimore County, State of Maryland and described as follows to wit:

Regimning for the first thereof at a point on the morthesst cide of Greenwood Road and at the beginning of a preced of lend not excited for a deed from the Thompson Trailer Corporation to the General Assertion. Trailer Corporation to the General Assertion Trailer Corporation to the General Assertion Transportation General Corporation to the Company and to intersect the sixth Inso of the Science Corporation to the General Assertion Transportation General Corporation, these company and to intersect the sixth Inso of the Science Corporation to the General Assertion Transportation General Corporation, these company and to the General Corporation, these company and to the General Assertion Transportation General Corporation, these company and to the General Assertion Transportation General Corporation, these company and to the General Assertion Transportation General Corporation, these company and the Corporation to the General Assertion Transportation General Co

"Containing 2.967 Acres of land more or less.

Jayreco, Inc. 1323 Geenwood Road Baltimore, Hd. 21208

COUNT NO. 01-622

#66_1R_A

BALTIMORE COUNTY OFFICE OF PLANNING AND ZONING

County Office Building 111 W. Chesapeake Avenue Towson 4, Matyland

Your petition has been received and accepted for filing this - xxx 1565

BALTIMORE COUNTY, MARYLAND

OFFICE OF FINANCE

Division of Collection and Receipts COURT HOUSE TOWSON, MARYLAND 21204

7-2865 11977 + 100016 110-

Advertising and posting of property for Jayreco. Inc.

IMPORTANT: MAKE CHECKS PAYABLE TO BALTIMORE COUNTY, MARYLAND MAIL TO DIVISION OF COLLECTION & RECEIPTS, COURT HOUSE, TOWSON 4. MARYLAND

PLEASE RETURN UPPER SECTION OF THIS BILL WITH YOUR REMITTANCE.

Owners Name: Jayreco, Ing. Reviewed by Muss Sty OHN G. ROSE Zoning Commissioner

No.32006

\$87.50

87.50

750

BILLEY Zoning Dept. of Balto. Co.

BALTIMORE COUNTY, MARYLAND

TO Mr. John G. Rose, Zoning Commissioner Date July 2, 1965

FROM George E. Govrelis SUBJECT Petition 66-18-A. "Variance to permit a rear setback of zero feet instead of the required 30 feet; to allow a structure to be located within 50 feet of residential zone along the frontage on Greenwood Road and 40 feet along the rear boundary instead of the required 125 feet. Northeast comer of Greenwood and Old Court Roads.

3rd DISTRICT

Being the property of Jayreco, Inc." HEARING: MONDAY, July 19, 1965

The planning staff of the Office of Planning and Zoning has reviewed the subject petition and

BALTY DRE COUNTY, MARY AND OFFICE OF FINANCE TELEPHONE Worman E. Kelly, Architect. 2100 M. Charles Street Baltimore 18, Md.

COURT HOUSE TOWSON, MARYLAND 21204

Zoning Dept. of Balto. Co.

No.31904 DATE 6/25/65

25.00

ACCOUNT NO. 01-622	\$25.00	
Petition for Variance for Jayreco, Inc.	25.00	
PNG-to-econous cal-consistent		

IMPORTANT: MAKE CHECKS PAYABLE TO RALTIMORE COUNTY, MARYLAND

6-2845 1923 * 51904 HP-

MAIL TO DIVISION OF COLLECTION & RECEIPTS, COURT HOUSE, TOWSON 4, MARYLAND PLEASE RETURN UPPER SECTION OF THIS BILL WITH YOUR REMITTANCE.

66-18-H CERTIFICATE OF POSTING

ZONING	DEPARTMENT OF BA	LTIMORE COU
	Towson, Maryl	nd

ORD	
District3	Date of Posting July 3,1965
Posted for Vanance	, , , , , , , , , , , , , , , , , , , ,
Petitioner 2000 100	
Location of property: AE Cot 1/ 5	homent & Ald langt Kees
Location of Signs Q N/2 Summyre	the uppointe Sharwork Love
@ E/a Harmand Rd 30'NE	of Treamwood Rd
Remarks:	/
Posted by Some	Date of return July \$ 1965
Signature	late of return 133.03 D. 1.1.0

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District	Date of Posting 1944 3
Posted for: Vanance	
Petitioner 200	s.C
Location of property: AE /CAL	of Shiesword & M. langt Krs
Location of Signs Q N/2 Areas	wood let gepperte Shaw work Love
Remarks	NE of howwood Rd
Posted by	

price as follows:
Section 25.1 (23.2)—Side and
Rear Yards—36 feet
Section 23.1.—No building or
other silvature shall be closer
than 125 feet at any point to
the nearest boundary line of a
residential zone. residualis seed.

The control of the

priori recome, Terrori, Strotter Per Santa, Commission of Back Per Santa (Commission of Back Per CERTIFICATE OF PUBLICATION THIS IS TO CERTIFY, that the annexed advertisement was published in THE JEFFERSONIAN, a weekly newspaper printed and published in Towsen, Baltimore County, Md., once in seach day of _____July ______ 1965_, the first publication appearing on the 2nd day of daly THE JEFFERSONIAN. D. Juan P. Wille Cost of Advertisement, \$....



CERTIFICATE OF PUBLICATION

THIS IS TO CERTIFY, that the annexed advertisement was published in THE JEFFERSONIAN, a weekly newspaper printed and published in Towson, Baltimore County, Md., once-ciaconsch of 1 line successive weeks before the 17th day of _____July _____ 1965 ... the tost publication appearing on the 2nd day of July 1965.... THE JEFFERSON, AN. D. Leanh Street

Cost of Advertisement, \$....

CERTIFICATE OF PUBLICATION

succesive weeks before the. 19th

BALTIMORE COUNTY, MD. July 1 .19 65. THIS IS TO CERTIFY. That the annexed advertisement was published in THE TIMES, a weekly newspaper printed and published in Baltimore County. Mci., once in each of one

day of July appearing on the lat day of July

> THE TIMES. John U. Marte

,1965 , the first publication

John M. Martin

Purchase Order B1685 Regulation No. 85826

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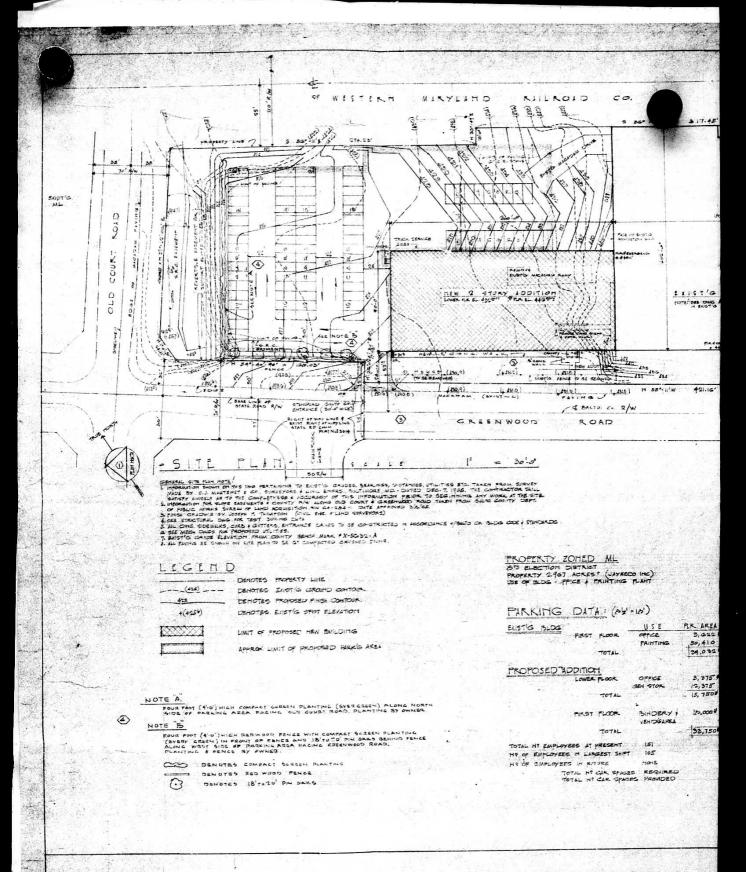
Road Relocation, North 1 de-gree 00 minutes 30 seconds Seat 24.41 feet to a point on the southeast right of way line of the Old Court Road Relo-cation as shown on said State Toads Commission of Mary-land Pat No. 23614, thence

3rd DISTRICT

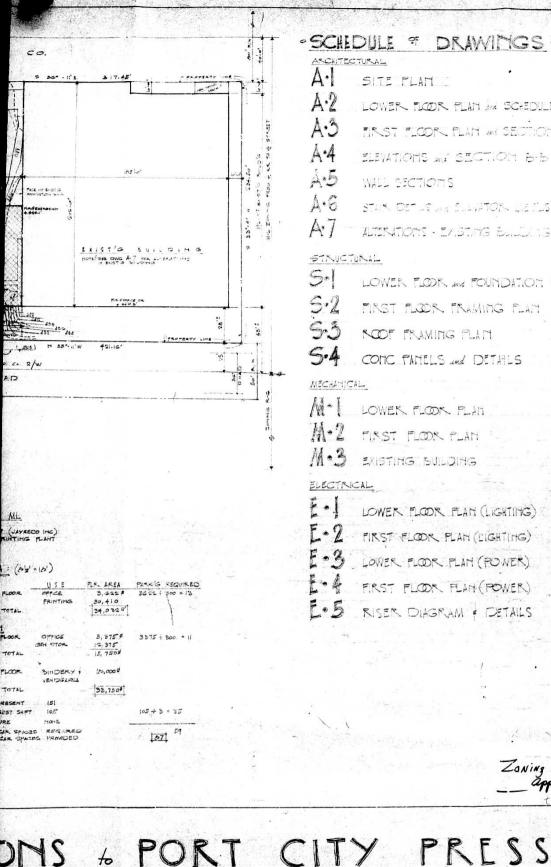
of Greenwood and Old Court gonds.
DATE & THME: MONDAY, JULY 19, 1865 at 10:30 A.M. PUBLE: 182-ARING: Room 111 S. Cheaspeake Avenue, Townon, Maryland. The Zoning Commissioner of Baltimore County, by author-tity of the Zoning Act and But County, and the County, and the County, and the County of the County, and the County of the County County, and the County of the County, and the County bearing; and the County of the County, and the County, and the County of th

programment of Schlinder S

land Fat No. 23614, thence birding on the southeast right of say line of said relocation northeasterly by a line curv-ing toward the left having a radius of 2226.83 feet for a distance of 170.51 feet (the chord of said are bearing North 37 degrees 22 minutes 08-acconds East 170.47 feet) on the eventh and eighth lines of and parcel of land and binding on and railway the state of the of the aforemaid parcel of land and thence leaving and rail-way right of way and running with and binding on said last line, South 33 degrees 49 min-ture West 124.50 feet to the place of beganning. Containing 2.987 Acres of land more or least. Beling the property of Jay-redo, Inc., as abown on plan land life with the Zoning plan filed with the Zoning



10 GREEN WOOD ROLD OUNT E T



· SCHEDULE OF DRAWINGS .

ARCHITECTURAL

A.4

4.5

A.1 SITE PLAN

A-2 LOWER FLOOR PLAN IN SCHEDULES

A.3 FIRST FLOOR PLAN AND SECTION AND

ELEVATIONS mi SECTION B.B

WALL SECTIONS

A.6 STAIR DETURING ELEMATOR DESLA A:7

ALTERATIONS . EXISTING ELILLIS

STRUCTURAL

5.1 LOWER FLOOR and FOUNDATION PLAN

5.2 FIRST FLOOR FRAMING PLAN

ROOF FRAMING PLAN

5.4 COTIC PATIELS and DETAILS

MECHANICAL

M.I LOWER FLOOR PLAN

FIRST FLOOR PLAN

M.3 EXISTING BUILDING

ELECTRICAL

LOWER FLOOR FLAM (LIGHTING)

E-2 FIRST FLOOR PLAN (CIGHTING)

.3 LOWER FLOOR PLAN (POWER)

• FIRST FLOOR FLAH (POWER) RISER DIAGRAM & DETAILS

GENERAL HOTES!

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A ALL WORK SHALL CHENDEN TO LOCAL BUILDING CODES & SEGULLER'S & SHALL SELLS SITE BEFORE STATING THE WORK.

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HEER EISTH METIL IH SECTION METAL IN ELEVATION Wato (Kovall)

WOOD (FINISH) INSULATION

(4) 9-7- ADD NOSS A 4 6 3 7-11 CORRECT STATE CONTRACT PROFES 2 6-28 CHANGED PIN CRADES BUTTE (1) 6-17 PEN HOUN COLLEGED. HO DATE REVISIONS

Zoning File#66-18 A approved Plan



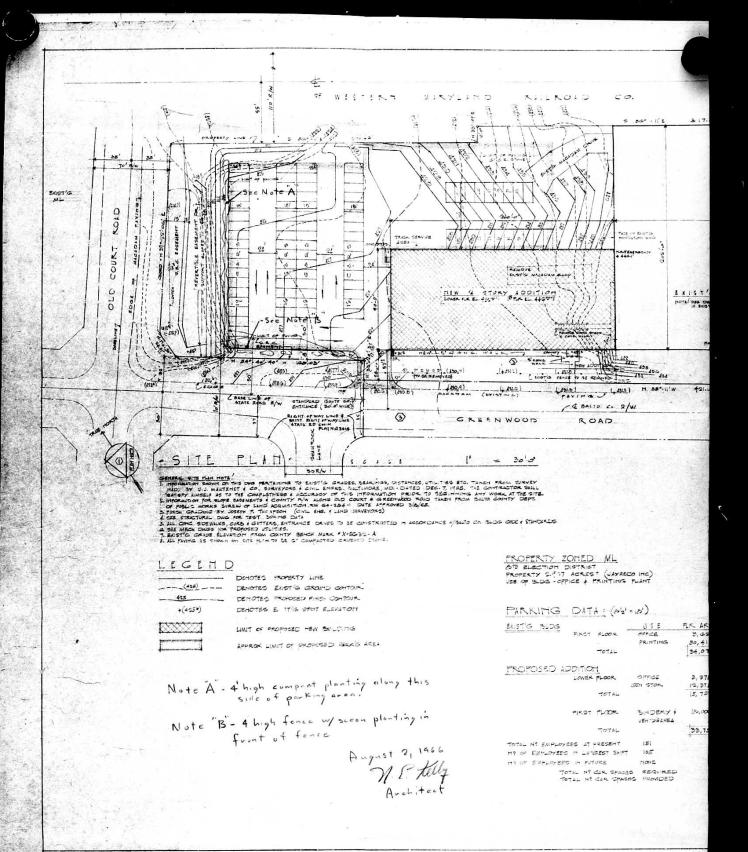
PLANS APPROVED

FLAD

DATE JUME 14, MGG aj. SCILE GRECKED BY M.E.P.

DANNEY SKAPE HE

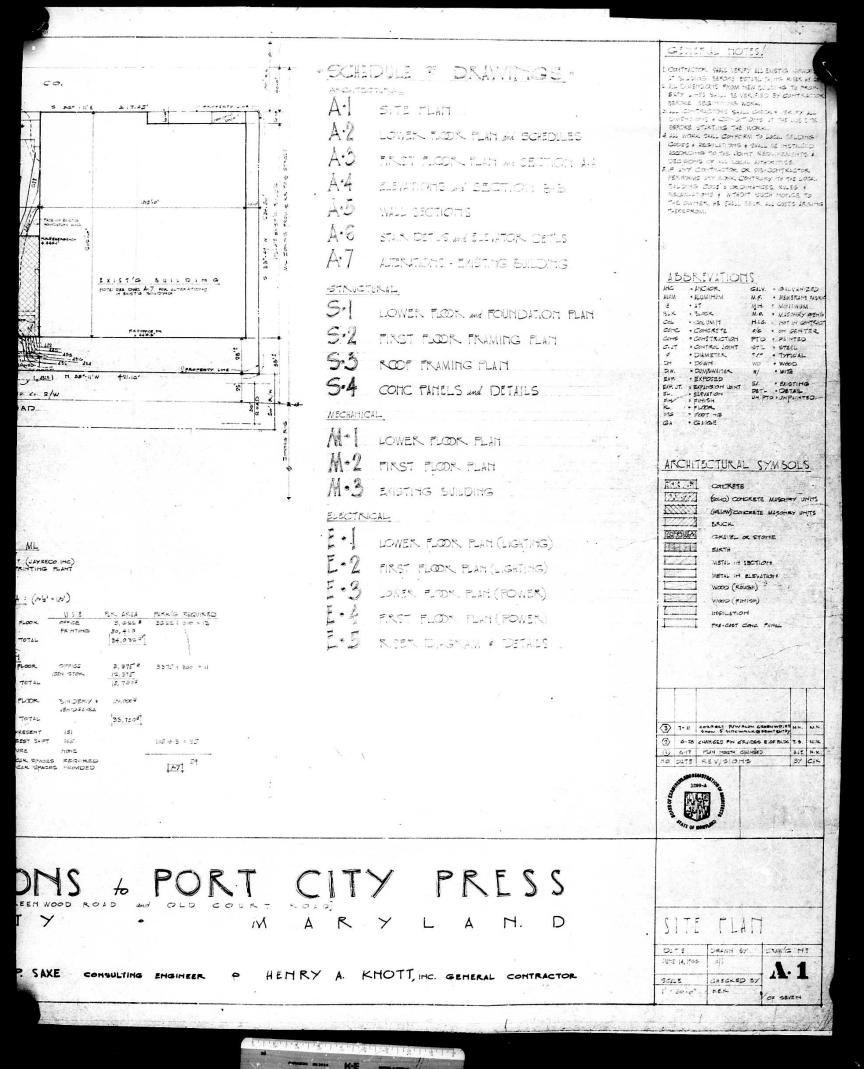
SAXE CONSULTING ENGINEER P HEMRY A. KHOTT, INC. GENERAL CONTRACTOR

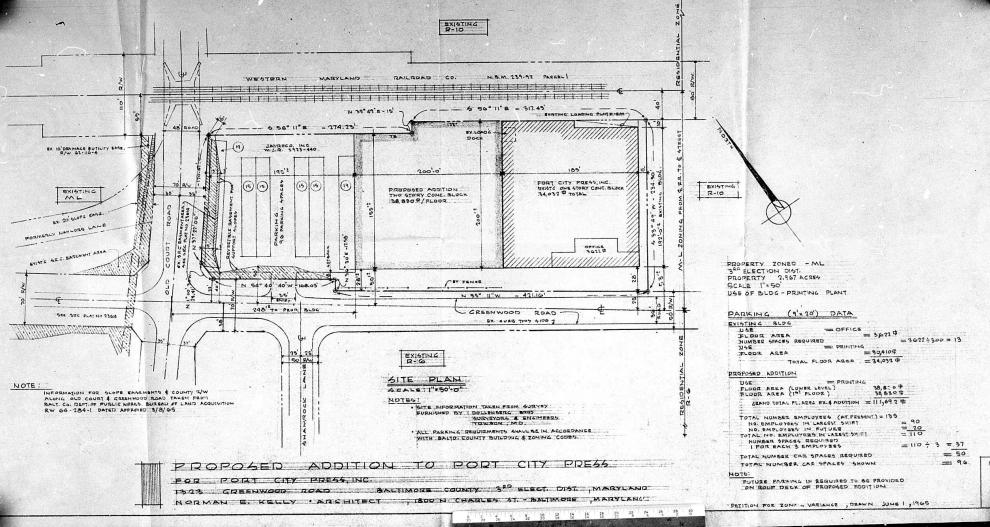


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HORMAH E. KELLY ARCHITECT 685-6336

VAH REMSSELAER P. SAXE CONSULT





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