



CLARK • FINEFROCK & SACKETT, INC.

ENGINEERS • PLANNERS • SURVEYORS

6/15/96
cf
To: JLL
6/26/96 u.a.
to cashier

June 18, 1996

Arnold Jablon, Director
Department of Permits and Development Management
401 Bosley Avenue
Towson, Maryland 21204

Re: Crown Gas Station MD-10
York Road
96-066Z

Dear Mr. Jablon:

On behalf of our client we hereby request confirmation that the changes to the existing gas station are within the spirit and intent of the approved site plan and order in Case No. 66-63X. Attached are two (2) redline copies of the approved plan showing the changes, and two (2) copies of the Petition for Special Exception 66-63X. The station is to be reconstructed by providing an express mart, new canopy, car wash, and landscaping around the perimeter. The car wash will consist of two (2) pads under roof with hours of operation as stated in 66-63X. Should you have questions or require additional information, please contact me.

Very truly yours,

Clark, Finefrock & Sackett, Inc.

Jeffrey L. Schwab
Jeffrey L. Schwab, P.E.

JLS/caj

2 1996

7135 MINSTREL WAY • COLUMBIA, MD 21045 • (410) 381-7500 BALTIMORE • (301) 621-8100 WASHINGTON • (410) 381-7533 FAX

July 3, 1996

9th Election District

Dear Mr. Schwab:

The above referenced site reconstruction will be considered to be approved as being within the spirit and intent of zoning case 66-63-X; once a plan is approved per Section 405.6 Baltimore County Zoning Regulations (BCZR).

Very truly yours,

John L. Lewis
John L. Lewis
Planner II
Zoning Review

**Speed
Letter**

In the interest of speed and economy, we are supplying to your letter with marginal notes. If you need more information, do not hesitate to call or write. Thank you for your interest.



JLL/rye

PETITION FOR SPECIAL EXCEPTION AND ACCESSORY USE

TO THE ZONING COMMISSIONER OF BALTIMORE COUNTY

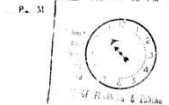
For Filling Station - E/S York Road 265' S. Fairmount Ave., 5th Dist., Crown Central Petroleum Corp., Petitioner

See attached description

For a Special Exception, under the said Zoning Law and Zoning Regulations of Baltimore County, to use the herein described property, for a filling station and (2) Accessory Uses of a coin operated car wash, sale of tires, batteries and accessories and operation of vending machines for sundry items.

Crown Central Petroleum Corporation
Contract purchaser
Address: 21 W. Pennsylvania Avenue, Towson 4, Maryland

ORDERED By The Zoning Commissioner of Baltimore County, this 27th day of July, 1965, that the subject matter of this petition be advertised, as required by the Zoning Law of Baltimore County, in two newspapers of general circulation throughout Baltimore County that property be posted, and that the public hearing be held before the Zoning Commissioner of Baltimore County in Room 108, County Office Building in Towson, Baltimore County, on the 8th day of September, 1965, at 2:00 o'clock P.M.



BALTIMORE COUNTY, MARYLAND

INTER-OFFICE CORRESPONDENCE

TO: Mr. John G. Rose, Zoning Commissioner
FROM: George E. Gavrellis

SUBJECT: 66-63-X, "Special Exception for Filling Station, and (2) Accessory Uses of a coin operated car wash, sale of tires, batteries and accessories and operation of vending machines for sundry items and accessory uses. East side of York Road, 265 feet South of Fairmount Avenue. Being the property of Crown Central Petroleum Corp."

9th District

HEARING: Wednesday, September 8, 1965 (2:00 P.M.)

The Planning Staff of the Office of Planning and Zoning has reviewed the subject petition and offers the following comments:

- The petitioner's plot does not meet zoning requirements with regard to car wash facilities.
- The plot indicates that the alley in the rear of the subject property is intended to be used in connection with the proposed service station and car wash. As the Bureau of Engineering has pointed out, however, access to this alley should be prohibited. Any order granting the petition should contain this restriction.
- The petitioner's plot shows four pump islands. In addition to this number being excessive for the amount of frontage, the pump islands are so oriented as to draw traffic from both sides of York Road.
- In view of the above considerations, we recommend that the petitioner submit a new plan meeting car-wash requirements, deleting access to the alley, reducing the number of pump islands, and re-orienting the pump islands so as to discourage access by southbound traffic on the southwest side of York Road. Without such a new plan, we cannot recommend for the petition.

MICROFILMED

RE: PETITION FOR SPECIAL EXCEPTION:

For Filling Station - E/S York Road 265' S. Fairmount Ave., 5th Dist., Crown Central Petroleum Corp., Petitioner

BEFORE
ZONING COMMISSIONER
OF
BALTIMORE COUNTY
No. 66-63-X

The petitioner has requested a special exception for a filling station; accessory uses of a coin operated car washing device, sale of tires, batteries, accessories and operation of vending machines for sundry items and accessory uses, on property on the east side of York Road 265 feet south of Fairmount Avenue, in the Ninth District of Baltimore County.

As the petitioner has not all requirements of Section 502.1 of the Baltimore County Zoning Regulations, the special exception should be granted to permit the uses above stated, subject to compliance with the following stipulations:

- No entrances or exits shall be permitted in the alley to the rear of the subject property;
- The portion of the property to be used to wash cars and vacuum cars, etc., shall close at 11:00 p.m., Monday through Saturday and 7:00 p.m. on Sunday;
- A cedar fence 8 feet high shall be erected across the rear of the property from side yard to side yard;
- Not more than three car wash pads shall be permitted anywhere on the subject property; and
- A site plan in accordance with the requirements set forth herein must be submitted to the Office of Planning and Zoning for approval at such time as building permits are requested for construction of any of the buildings to be used in connection with the subject property.

It is this 27th day of September, 1965, by the Zoning Commissioner of Baltimore County, ORDERED that the special exception for uses requested in the herein petition should be and the same is granted from and after the date of this order, subject to approval of the site plan for the development of said property by the State Roads Commission, Bureau of Public Services and the Office of Planning and Zoning and subject to the five items listed above.

CERTIFICATE OF PUBLICATION

BALTIMORE COUNTY, MD. August 19, 1965

THIS IS TO CERTIFY That the annexed advertisement was published in THE TIMES, a weekly newspaper printed and published in Baltimore County, Md., once in each of successive weeks before the 19th day of August, 1965, the first publication appearing on the 16th day of August.

THE TIMES

Cost of Advertisement \$32.00

Publication order 3273

Description for Special Exception and Accessory Use for Filling Station
Crown Central Petroleum Corp.
York Road, Towson, Maryland
March 19, 1965

Beginning for the same on the east side of York Road, at a point distant 365 feet more or less measured southerly along the east side of said York Road from the centerline of Fairmount Avenue and running thence leaving the east side of said York Road North 57° 45' 41" East 165.00 feet to intersect the west side of a 20 foot alley, with the right of user thereof in common with others, thence binding on the west side of said alley, South 31° 41' 44" East 150.00 feet, thence South 57° 45' 41" West 165.00 feet to intersect the said east side of York Road, thence binding on the east side of York Road, North 31° 41' 44" West 150.00 feet to the place of beginning.

Containing 0.568 Acres of land more or less.

Being the same lot of ground which by deed dated April 24, 1959 and recorded among the Land Records of Baltimore County in Liber W.J.R. No. 3521, folio 53, was granted and conveyed to Crown Central Petroleum Corporation.

CERTIFICATE OF PUBLICATION

BALTIMORE COUNTY, MD. August 19, 1965

THIS IS TO CERTIFY That the annexed advertisement was published in THE TIMES, a weekly newspaper printed and published in Baltimore County, Md., once in each of successive weeks before the 19th day of August, 1965, the first publication appearing on the 16th day of August.

THE TIMES

Cost of Advertisement \$32.00

Publication order 3273

CERTIFICATE OF POSTING ZONING DEPARTMENT OF BALTIMORE COUNTY Towson, Maryland

District: 9th Date of Posting: 8/19/65
Posted for: 10 days
Petitioner: Crown Central Petroleum Corp.
Location of property: E/S York Rd. 265' S. of Fairmount Ave.
Location of Sign: 265' S. of York Rd. on York Rd.
Remarks: 265' S. of York Rd. on York Rd.
Posted by: [Signature] Date of return: 8/27/65

MICROFILMED

August 2, 1965

BALTIMORE COUNTY OFFICE OF PLANNING AND ZONING
COUNTY OFFICE BUILDING
TOWSON, MARYLAND 21204

Cook, Hudd & Howard
22 W. Pennsylvania Avenue
Towson, Maryland 21204
Special Exception for a Filling Station and Accessory Uses of a Coin Operated Car Wash and Vending Machine for Crown Central Petroleum Corporation, located 265' York Road S. of Fairmount Ave. 9th District (Item 1 July 27, 1965)

Dear Sir:
The Zoning Advisory Committee has reviewed the subject petition and makes the following comments:
Water - Existing 10" and 30" water mains are located in York Road.
Sewer - Existing 8" sewer in York Road and in the alley to the rear of the site.
Storm Drain - an enclosed system of drains exists in York Road.
Adequacy of existing utilities to be determined by developer or his engineer.
Road - York Road is a State Road. The alley along the rear propertyline of this site was set up and constructed for the residential development located to the north. Therefore, access to this alley will be denied for commercial use.

As the car wash in concerned does not comply with Section 109.1 or 109.2 of the Baltimore County Zoning Regulations, Section 109.1 requires that the plan be approved by the Traffic Engineer of Baltimore County, the Department of Public Works and the Office of Planning and Zoning. These officers cannot possibly approve the site plan until such time as Section 109.1 and 109.2 have been complied with.

In view of the comment by the Bureau of Engineering with regard to the use of the alley, it appears that some changes with regard to the circulation pattern will be necessary.

ENTRANCES TO YORK ROAD should be made subject to the approval of this Commission.

The above comments are not intended to indicate the appropriateness of the zoning action requested, but to assure that all parties are made aware of plans or problems that may have a bearing on this case. The Director and/or the Deputy Director of the Office of Planning and Zoning will submit recommendations on the appropriateness of the requested zoning 10 days before the Zoning Commissioner's hearing.

The following members had no comment to offer:

Fire Bureau-Land Review
Health Department
Industrial Development Commission
Board of Estimates
Building Department

cc: Carlysle Brown-Bureau of Engineering
Richard Moore-Bureau of Traffic Engineering
Albert Quinby-Office of Planning and Zoning
John Durr-State Roads Commission

August 5, 1965

Messrs. Cook, Howard & Hudd
22 W. Pennsylvania Ave.
Towson, Md. 21204

BALTIMORE COUNTY OFFICE OF PLANNING AND ZONING

County Office Building
111 W. Chesapeake Avenue
Towson 4, Maryland

Your petition has been received and accepted for filing this

27th day of July, 1965

Owner Name: [Signature] (Crown Central)

Reviewed by: [Signature]

MICROFILMED

TELEPHONE
823-3000

INVOICE
BALTIMORE COUNTY, MARYLAND
OFFICE OF FINANCE
Division of Collection and Receipts
COURT HOUSE
TOWSON, MARYLAND 21204

No. 33500

DATE 11/3/65

To: Messrs. Cook, Mudd and Howard
Loyola Federal Building
Towson, Md. 21204

BILLED BY: Zoning Dept. of Balto. Co.

QUANTITY	DEPOSIT TO ACCOUNT NO. 01-622	TOTAL AMOUNT
	DETACH UPPER SECTION AND RETURN WITH YOUR REMITTANCE	\$62.50 COST
Advertising and posting of property for Crown Central Petroleum Corp. #66-63-X		\$2.50
		\$250
4		

IMPORTANT: MAKE CHECKS PAYABLE TO BALTIMORE COUNTY, MARYLAND
MAIL TO DIVISION OF COLLECTION & RECEIPTS, COURT HOUSE, TOWSON 4, MARYLAND
PLEASE RETURN UPPER SECTION OF THIS BILL WITH YOUR REMITTANCE.

TELEPHONE
823-3000

INVOICE
BALTIMORE COUNTY, MARYLAND
OFFICE OF FINANCE
Division of Collection and Receipts
COURT HOUSE
TOWSON, MARYLAND 21204

No. 32043

DATE 11/2/65

To: Messrs. Cook, Mudd and Howard
Loyola Federal Building
Towson, Md. 21204

BILLED BY: Zoning Dept. of Balto. Co.

QUANTITY	DEPOSIT TO ACCOUNT NO. 01-622	TOTAL AMOUNT
	DETACH UPPER SECTION AND RETURN WITH YOUR REMITTANCE	\$50.00 COST
Petition for Special Exception for Crown Petroleum Corp. #66-63-X		\$0.00
		\$0.00
4		

IMPORTANT: MAKE CHECKS PAYABLE TO BALTIMORE COUNTY, MARYLAND
MAIL TO DIVISION OF COLLECTION & RECEIPTS, COURT HOUSE, TOWSON 4, MARYLAND
PLEASE RETURN UPPER SECTION OF THIS BILL WITH YOUR REMITTANCE.

PETITION FOR SPECIAL
EXCEPTION—5TH DISTRICT

ZONING: Petition for Special Ex-
ception for Filling Station.
LOCATION: East side of York Road
165 feet South of Fairmount
Avenue.
DATE & TIME: Wednesday, Septem-
ber 8, 1965 at 2:00 P.M.
PUBLIC HEARING: Room 104,
County Office Building, 111 W.
Chesapeake Avenue, Towson,
Maryland.

The Zoning Commissioner of
Baltimore County, by authority of
the Zoning Act and Regulations of
Baltimore County, will hold a
public hearing.
Petition for Special Exception for
a Filling Station and (2) Accessory
Use of a coin operated car washing
device, sale of tires, batteries and
accessories and operation of vending
machines for sundry items and
Accessory Uses.

All that parcel of land in the
Ninth District of Baltimore County
Beginning for the same on the east
side of York Road, at a point
distant 165 feet more or less
measured southerly along the east
side of York Road from the center-
line of Fairmount Avenue and run-
ning thence leaving the east side
of said York Road North 57° 45' 41"
East 165.00 feet to intersect the
west side of a 30 foot alley, with
the right of use thereof in common
with others, thence binding on the
west side of said alley, South 11°
41' 44" East 150.00 feet, thence
South 57° 45' 41" West 165.00 feet
to intersect the mid east side of
York Road, thence binding on the
east side of York Road, North 11°
41' 44" West 150.00 feet to a
place of beginning.

Containing 0.541 Acres of land
more or less.
Being the same lot of ground
which by deed dated April 24, 1959
& recorded among the Land Records
of Baltimore County in Liber W.F.R.
No. 3125, folio 53, was granted and
conveyed to Crown Central Petro-
leum Corporation.

Being the property of Crown
Central Petroleum Corporation as
shown on plat plan filed with the
Zoning Department.

Hearing Date: Wednesday, Sep-
tember 8, 1965 at 2:00 P.M.
Public Hearing: Room 104, County
Office Building, 111 W. Chesapeake
Avenue, Towson, Md.

By order of
JOHN G. ROSE
Zoning Commissioner of
Baltimore County, Md.

Aug. 19.

DUPLICATE

CERTIFICATE OF PUBLICATION

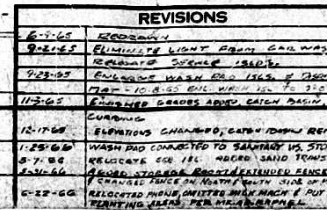
TOWSON, MD., August 19, 1965.

THIS IS TO CERTIFY, that the annexed advertisement was
published in THE JEFFERSONIAN, a weekly newspaper printed
and published in Towson, Baltimore County, Md., ~~once each~~
~~on 1 time~~ ~~successive weeks~~ before the ~~8th~~
day of ~~September~~, 1965, the ~~first~~ publication
appearing on the ~~12th~~ day of ~~August~~
1965.

THE JEFFERSONIAN,

L. Frank Strickland
Manager.

Cost of Advertisement, \$...



PLANS APPROVED
OFFICE OF PLANNING & ZONING
BY At. J. J. J.
DATE 6/21/66

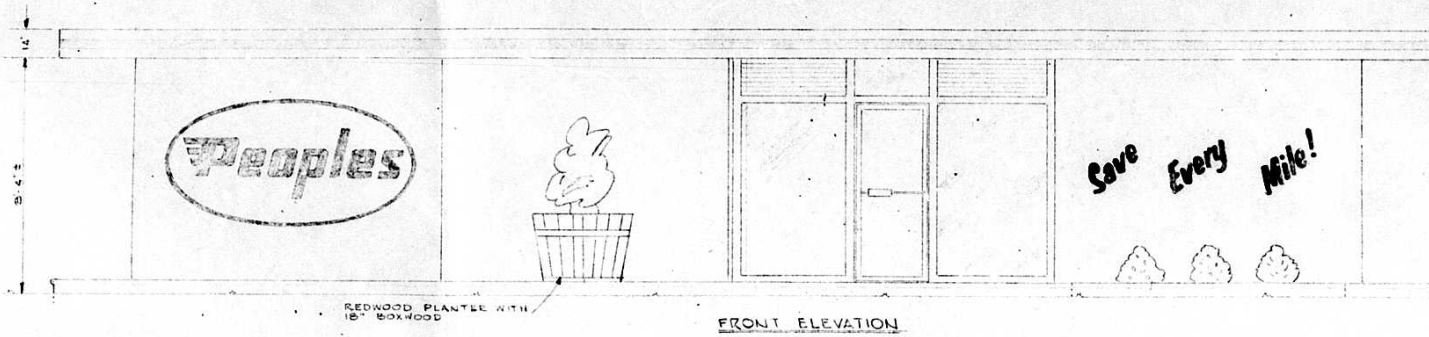
ENERGY OIL CO. INC.
P.O. BOX 1195 BALTIMORE, MD.

ENGINEERING DEPARTMENT
BALTIMORE, MD.

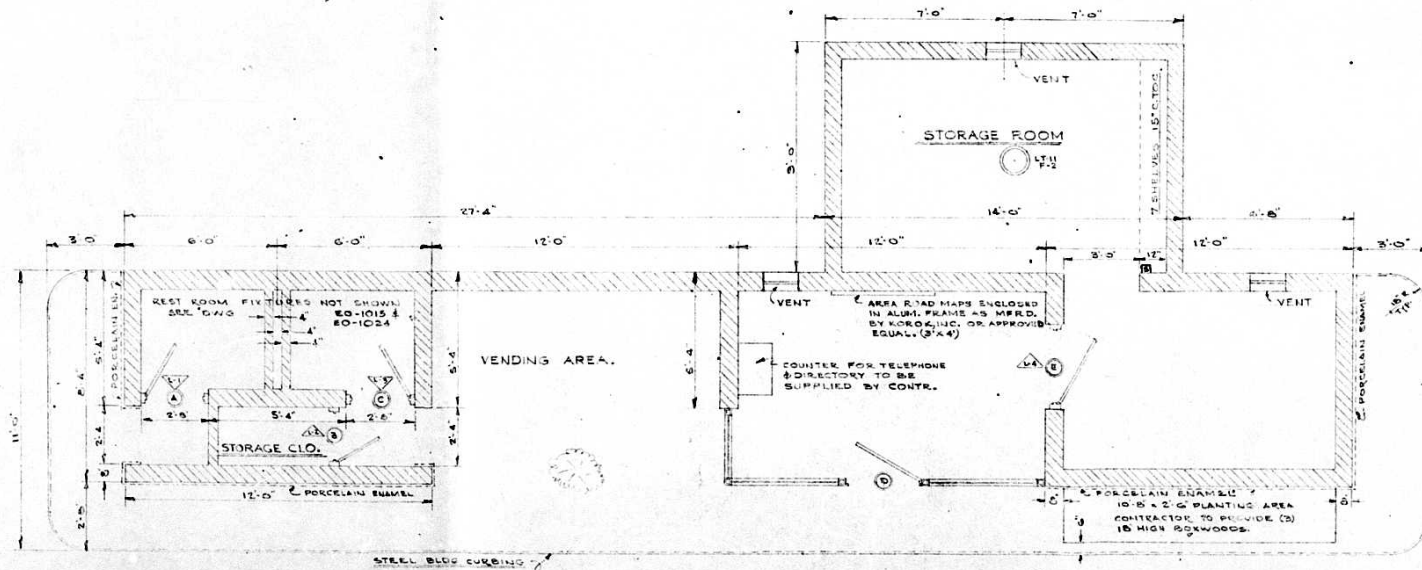
DRAWN BY <i>KCH</i>	CHECKED BY <i>agp</i>	DRAWING NUMBER <i>P46130</i>
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GENERAL NOTES

FOR DOOR & WINDOW SCHEDULE SEE DRAWING 10-1012.



FRONT ELEVATION



PLAN

ENERGY OIL CO. INC.

P.O. BOX 1195 BALTIMORE, MD.

FLOOR PLAN & FRONT ELEVATION
TYPE IV BLDG.

SCALE: 1/8\"/>

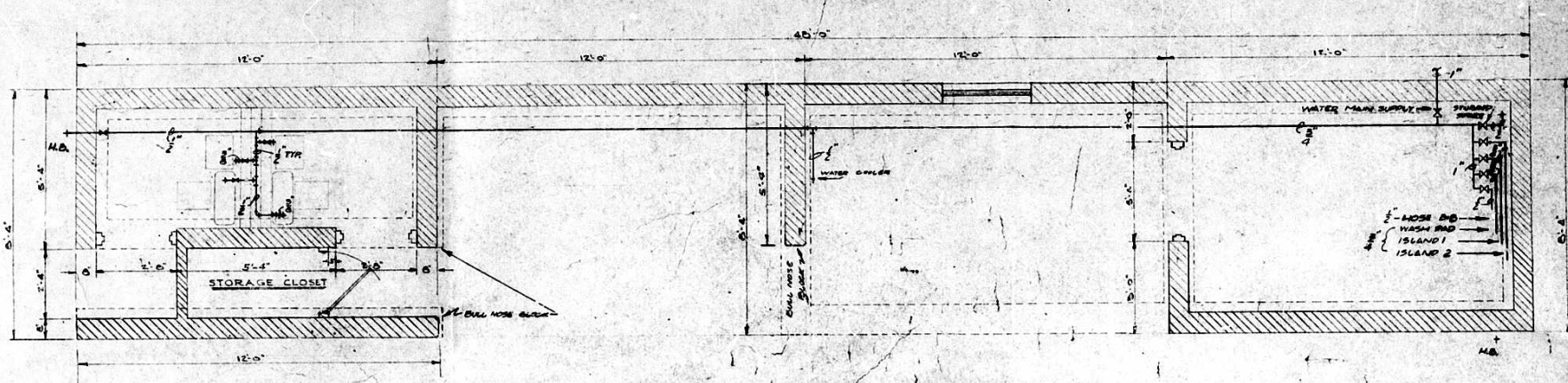
DRAWN BY W.S. LUMS CHECKED BY DATE: MAR 2, 1965

REVISIONS	
3-14-65	ADDED ALT. PLANTER, CHGD. NOTE TO 18\"/>
4-15-65	ELIMINATED WINDOW SEASONS & VENTIL.

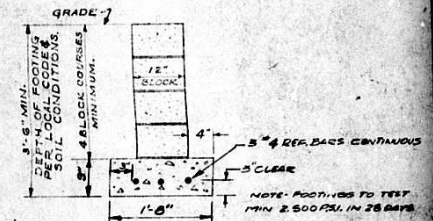


GENERAL NOTES

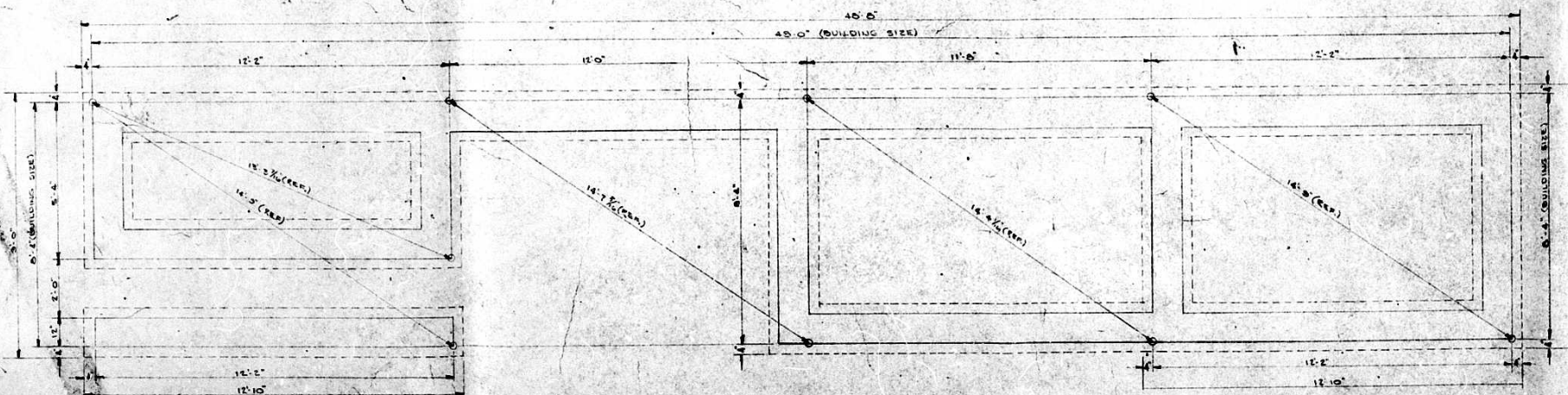
NOTE:
ALL UNDERGROUND WATER PIPING SHALL BE CHASE
TYPE K SOFT COPPER TUBE OR APPROVED EQUAL
ALL INTERIOR WATER & AIR LINES SHALL BE CHASE
TYPE L (HARD TEMPER) OR APPROVED EQUAL



PLAN OF MASONRY WALLS
SCALE: 1/2" = 1'-0"



TYPICAL FOOTING DETAIL
SCALE: 3/4" = 1'-0"



PLAN OF FOOTINGS & FOUNDATIONS
SCALE: 1/2" = 1'-0"

ENERGY OIL CO. INC.
P.O. BOX 1195 BALTIMORE, MD.

ENERGY OIL CO.
PLAN OF FOOTINGS, FOUNDATION & WALLS
TYPE II BLDG.

DATE: FEB. 5, 1969
ENGINEERING DEPARTMENT
BALTIMORE, MD.

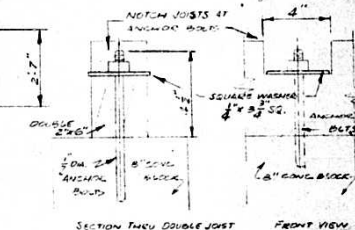
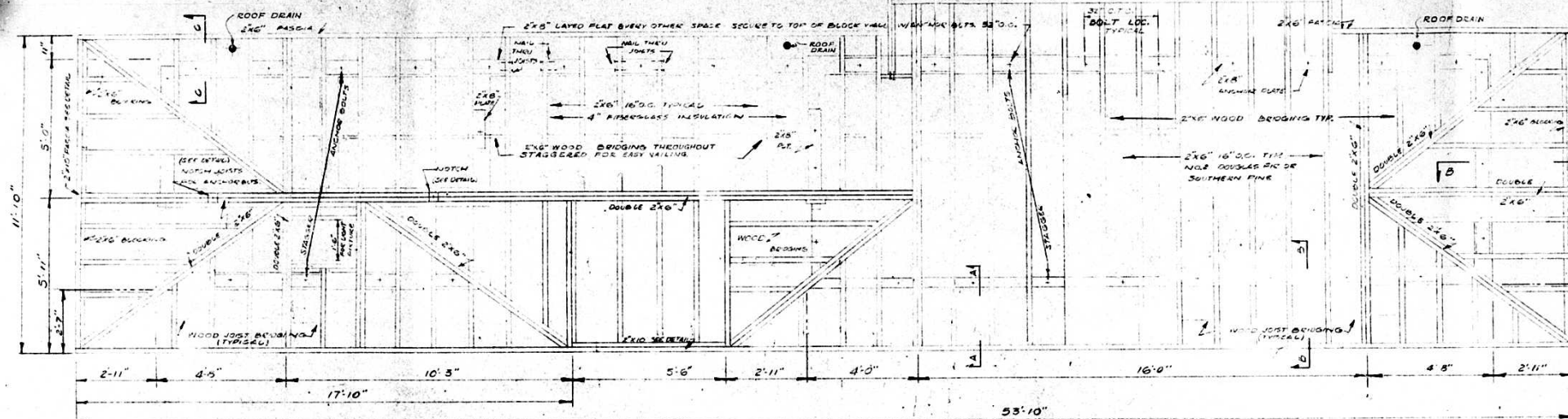
REVISIONS	
10-5-68	ADDED CHASE FOR UNDER-PIPE WATER
2-28-69	CHANGED FOOTING DETAIL
5-5-69	ADDED STORAGE CLOSET

DRAWN BY W.S. ADAMS CHECKED BY [Signature] DATE: FEB. 5, 1969

NOTE:

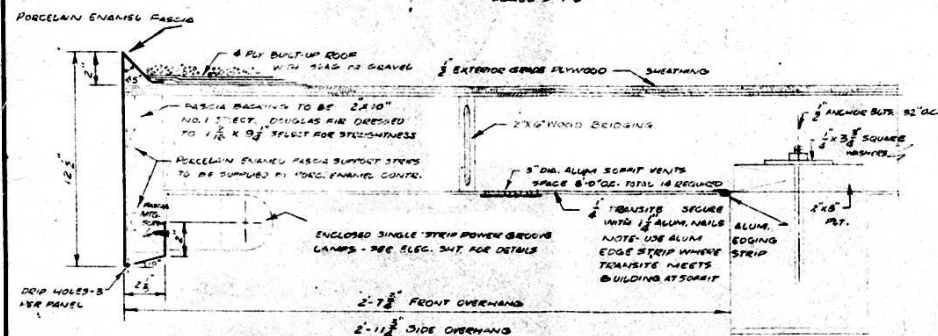
ALL ROOF JOISTS SHALL BE NO. 2 DO. 45 MR.
OF SOUTHERN PINE.
EARTHEN MOULDINGS SHALL BE CROWN FOR
WATER AND CEMENTS IS PRESERVATIVE TREATED.
ALL FLOOR BOARDS SHALL BE SELECT H1
DOUGLASS PINE 2 TO 3/4 IN. SHOWING BELLOW
PLATES SHALL BE 2 IN. THICK AND 4 IN.
WIDE WITH PENTON OR OTHER APPROVED
PRESERVATIVE. EACH PLATE IN CONTACT WITH
MASONRY SHALL BE SEPERATED BY LAYER
OF 1/4 IN. ROUGHEN FELT.
ALL SHINGLES SHALL BE TREATED WITH A FULL
THICK COAT OF CUPRESS PRESERVATIVE. 1500 PERCENT
ALL DRAINAGE WITH INTERIOR OF EARTHEN
SHALL BE CEMENT PLASTER FINISHED WITH
SMALL ROUND STAIRS AS REQUIRED.

PERMANENT DOUGLASS PINE
TREATED WITH CUPRESS PRESERVATIVE
STRAIGHTNESS, 85% ONLY

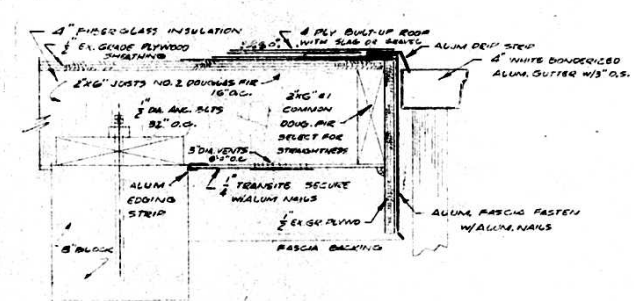


JOIST NOTCHING DETAIL
SCALE - NONE
(AT REST ROOM AREA)

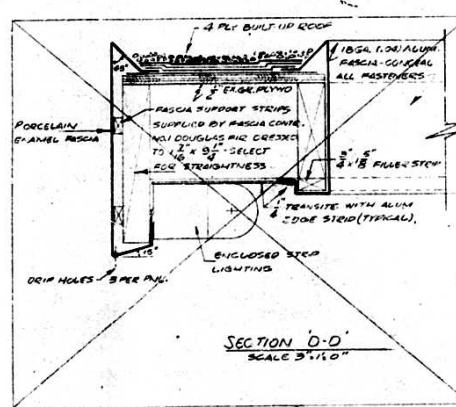
SECTION A-A



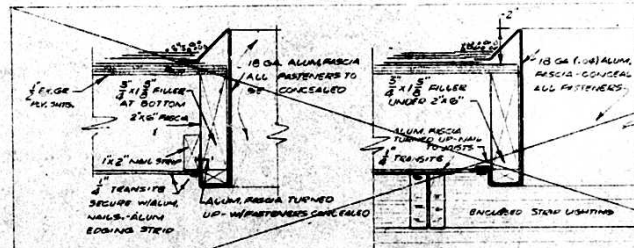
SECTION "D-B"
SCALE 3"=1'-0"



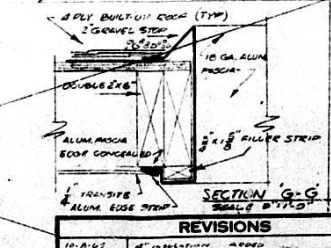
SECTION 'C-C'
SCALE 3"=1'-0"



SECTION 'D-D'



SECTION 'E-E'



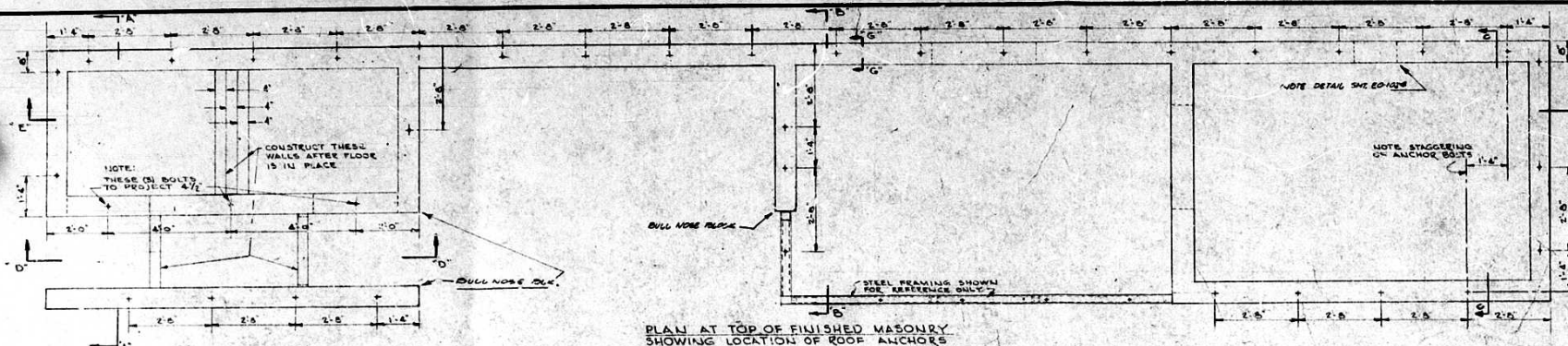
SECTION 'F-F'

REVISIONS	
10-8-63	4" INSULATION ADDED
4-18-66	ADDED ROOF FLASHING FOR SKIA ST. RM.

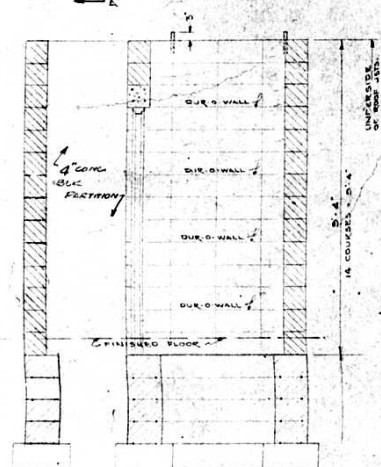
ENERGY OIL CO. INC.
P.O. BOX 1195 BALTIMORE, MD.
ENERGY OIL CO.
ROOF FRAMING PLAN & DETAILS
TYPE II STATION
SCALE: AS SHOWN DATE: MAR. CO. 68
ENGINEERING DEPARTMENT
BALTIMORE, MD.

DRAWN BY K.C.H.	CHECKED BY <i>[Signature]</i>	DRAWING NUMBER E010
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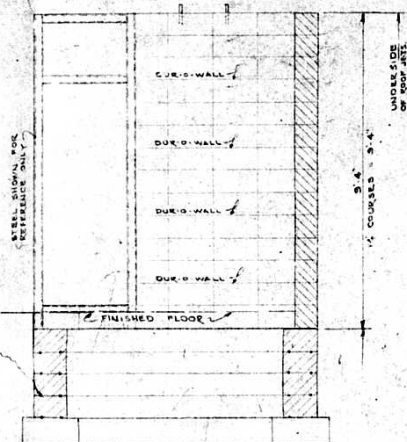
GENERAL NOTES



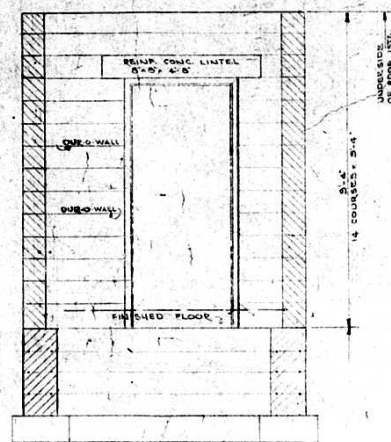
PLAN AT TOP OF FINISHED MASONRY
SHOWING LOCATION OF ROOF ANCHORS



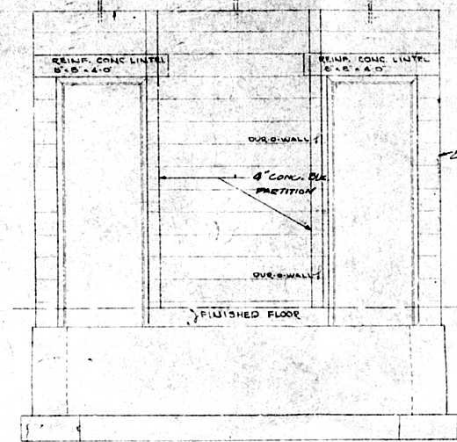
SECTION A-A



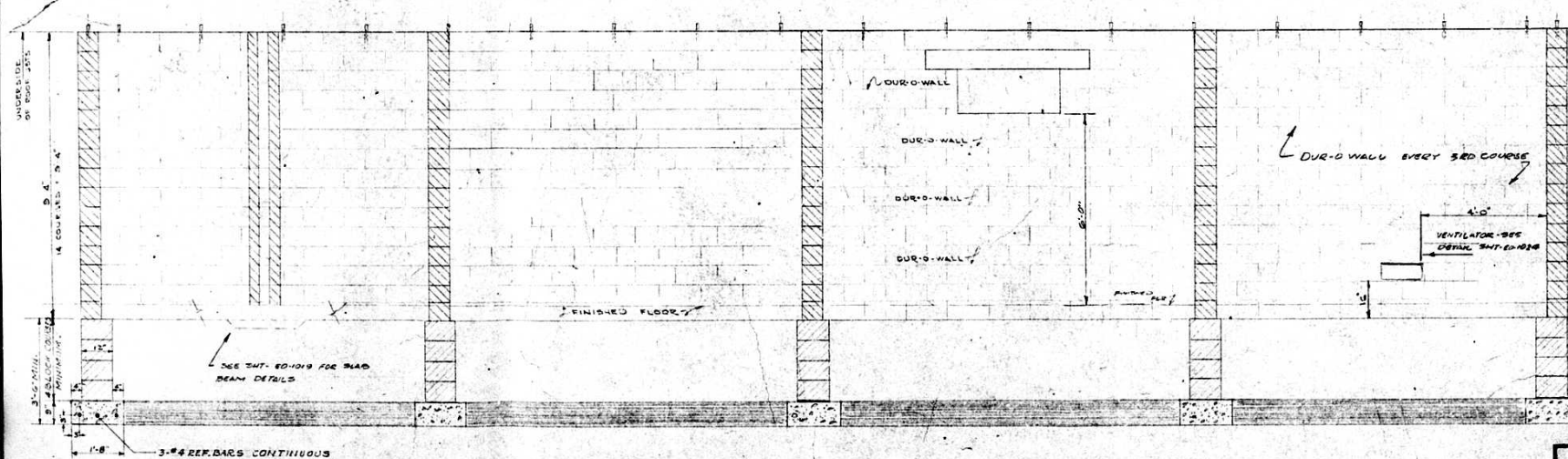
SECTION B-B



SECTION C-C



SECTION D-D

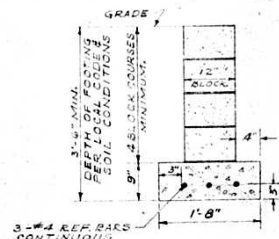


SECTION E-E



SECTION G-G

(3) 1/2\"/>



TYPICAL FOOTING DETAIL
SCALE 1/2\"/>

REVISIONS	
4-12-66	REVISED FOOTING SIZES

ENERGY OIL CO. INC.	
P.O. BOX 1195	BALTIMORE, MD.
ENERGY OIL CO. MASONRY DETAILS TYPE II BLDG.	
SCALE: 1/2\"/>	DATE: MAR. 26, 1965
ENGINEERING DEPARTMENT BALTIMORE, MD.	
DRAWN BY: W.S. ADAMS	CHECKED BY: W.D.
NUMBER	DRAWING NO. 100