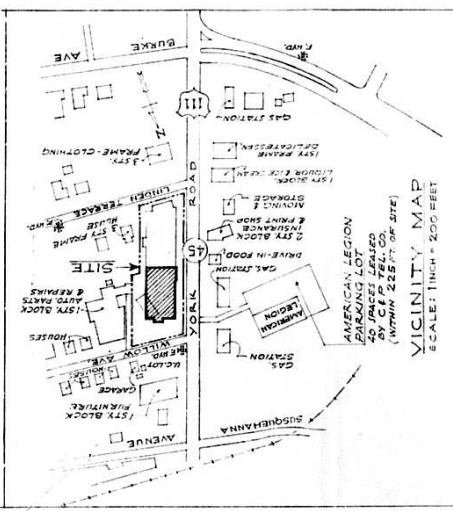
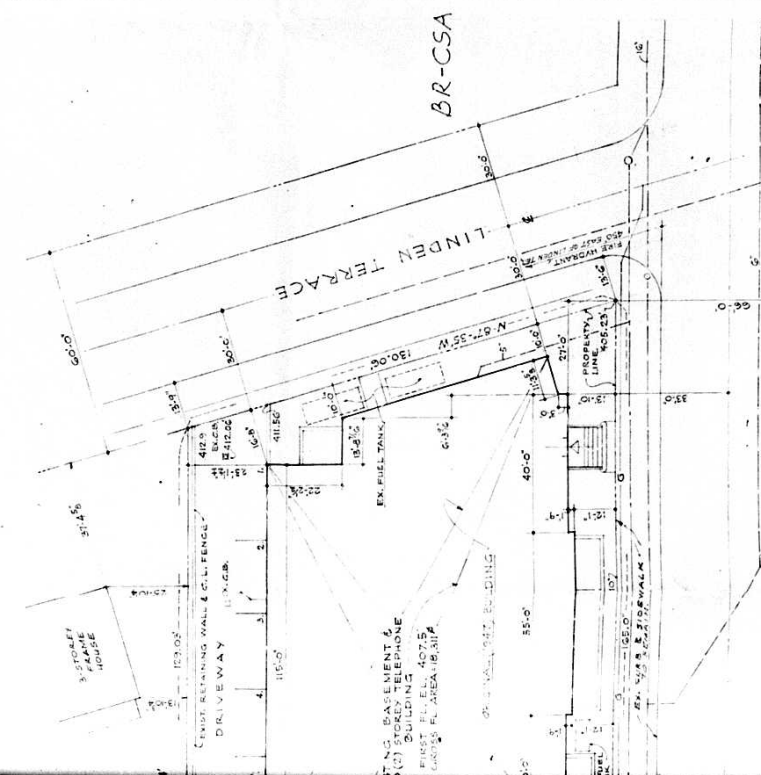
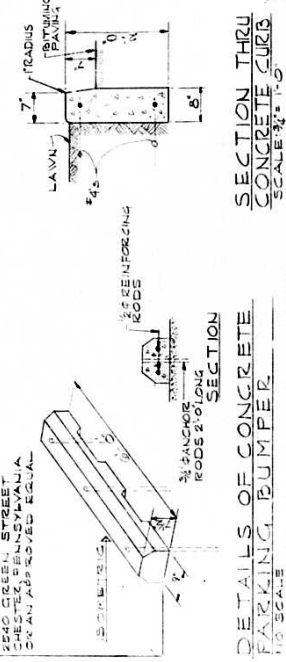
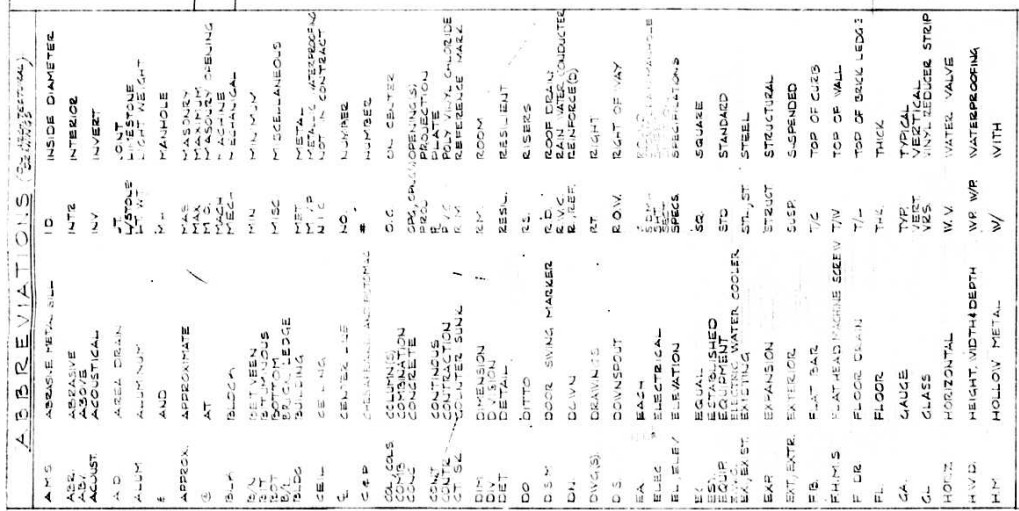




KEY TO MATERIALS

	BITUMINOUS PAVING
	EARTH
	GRAVEL OR STONE FILL
	CONCRETE
	BRICK
	SLAB, AGGREGATE MASONRY BLOCK
	STAINED, VARNISHED, PAINTED, GLAZED, GROUTED, ETC.
	METAL
	BLOCKING (WOOD)
	DRYWALL
	INSULATION (WALL, ETC.)
	ACOUSTICAL TILE
	STONE (GRANITE, ETC.)
	PLASTER OR GROUT
	WOOD

LIST OF CONTRACT DRAWINGS
ARCHITECTURAL

A-1	-	SITE PLAN
A-2	-	SCHEDULES & DETAILS
A-3	-	BASEMENT PLAN
A-4	-	FIRST FLOOR PLAN
A-5	-	SECOND FLOOR PLAN
A-6	-	ROOF & TURNING PENTHOUSE PLANS
A-7	-	ELEVATIONS-SECTIONS-DETAILS
A-8	-	TURNING PENTHOUSE DETAILS ETC.
A-9	-	SECTIONS- STAIR DETAILS
A-10	-	WALL SECTIONS & DETAILS
A-11	-	WALL SECTIONS & DETAILS
A-12	-	BASEMENT CEILING INSERTS-DETAILS
A-13	-	FIRST FLOOR CEILING INSERTS-DETAILS
A-14	-	SECOND FLOOR CEILING INSERTS-DETAILS

STRUCTURAL	
S-1	- SITE PLAN & DETAILS
S-2	- FIRST FLOOR FRAMING PLAN
S-3	- SECOND FLOOR FRAMING PLAN
S-4	- ROOF (EIGHT 3RD FL.) FRAMING PLAN
S-5	- COLUMN SCHEDULE AND TYPICAL DETAIL
S-6	- FOUNDATION SECTIONS
S-7	- TURRET PENTHOUSE & STRUCTURAL SCHEDULE
Mechanical	
M-1	- SITE PLAN & DETAILS
M-2	- FOUNDATION PLAN EXISTING BASEMENT
M-3	- BASEMENT FLOOR PLAN
M-4	- FIRST FLOOR PLAN
M-5	- SECOND FLOOR PLAN
M-6	- ROOF PLAN & DETAILS
M-7	- SECTION & DETAILS
M-8	- SECTION & DETAILS
M-9	- PILING DETAILS
M-10	- SCHEDULES
ELECTRICAL	
M-11	- AUTOMATIC TEMPERATURE CONTROLS

E-1	-	ELECTRICAL LEGEND, GENERAL NOTES & SCHEDULES & DETAILS
E-2	-	SITE PLAN & DETAILS
E-3	-	FOUNDATION PLAN & FOUNDING DETAILS
E-4	-	BASEMENT FLOOR PLAN NEW & EXISTING
E-5	-	BASEMENT FLOOR PLAN
E-6	-	FIRST FLOOR PLAN
E-7	-	SECOND FLOOR PLAN
E-8	-	TURBINE ROOM PART 200F PLAN, MOTOR
E-9	-	POWER RISES DIAGRAM & SCHEDULES
E-10	-	PANEL SCHEDULE & EARLY WARNING

PHASE III
(GENERAL BUILDING CONSTRUCTION)

SITE PLAN

TOWSON TELEPHONE BLDG.
ADDITION - No 1 E. S. S.
100 YORK ROAD, TOWSON, BALTIMORE COUNTY, MD.
FOR THE CHESAPEAKE & POTOMAC TELEPHONE CO.
OF MARYLAND.

TAYLOR, FISHER, POWERSOCK & MARTIN, INC. ARCHITECTS 130 WEST HAMILTON ST. BALTIMORE, MARYLAND.	RICHARD P. MUELLER & ASSOCIATES, INC. MECH./ELEC. ENGINEERS BALTIMORE, MARYLAND
LONG & TANN, INC. STRUCTURAL ENGINEERS PHILADELPHIA, PA.	

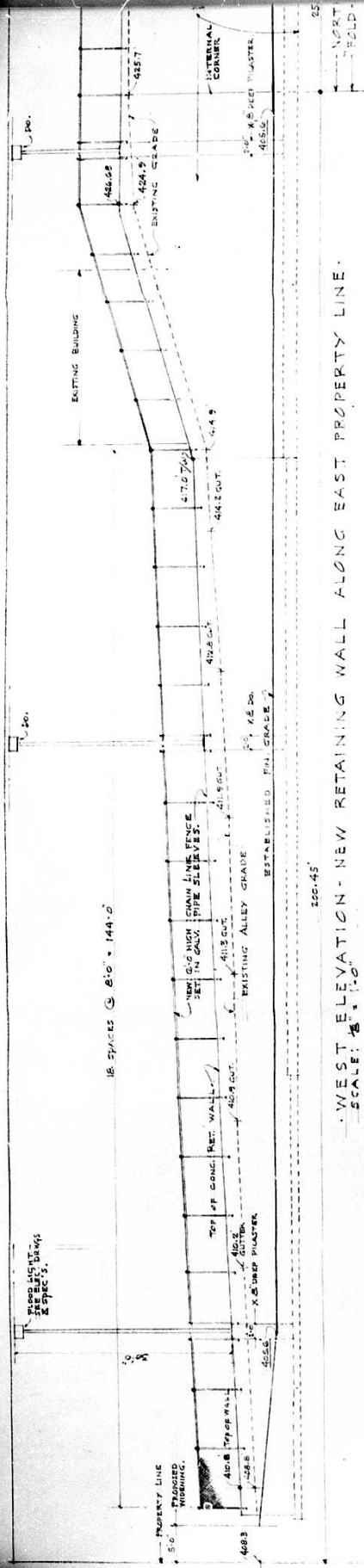
PLANS APPROVED
OFFICE OF PLANNING & ZONING
BY: [Signature]
DATE: 7/19/73 73-278-A

Walter G. Bowers

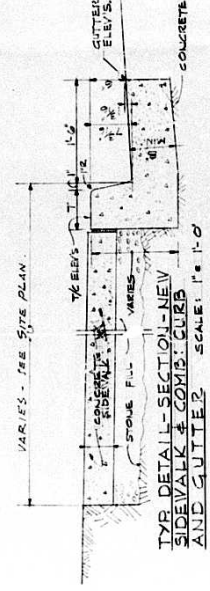
SECTION DISTRICT \ BR - CSA

SECTION DISTRICT
CLOSED ADDITION: 31,550
THUS: 402.5'
OWN THUS: 405.0'

JUL 26 1

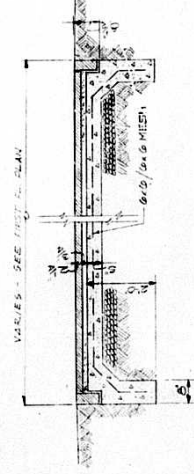


WEST ELEVATION - NEW RETAINING WALL ALONG EAST PROPERTY LINE.
SCALE: 1/8" = 1'-0"

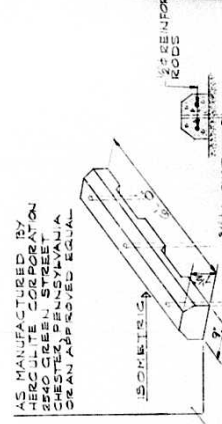


CONCRETE

TYR DETAIL-SECTION-NEW
SIDEWALK & COMB. CURB
AND GUTTER SCALE: 1"=1'-0"



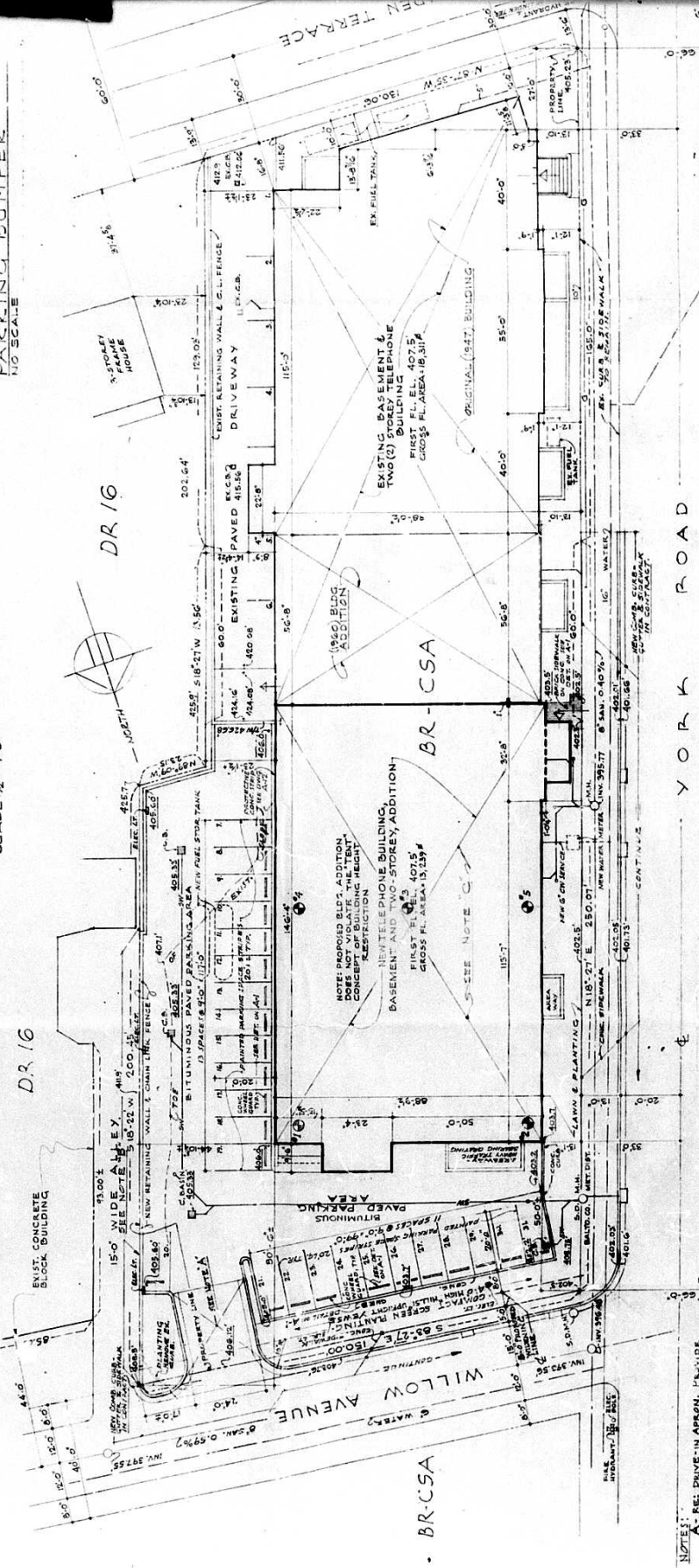
SECTION THRU BRICK SIDEWALK
AT MAIN ENTRANCE - OPN^g 101
SCALE 1/8" = 1'-0"



RODS 2" O' LONG
SECTION

DETAILS OF CONCRETE
PARKING BUMPER

NO SCALE



NOTES:

A- RE: DRIVE-IN APRON, PROVIDE 8" THICK REINFC. CONC. SLAB WITH TWO (2) LAYERS OF #2 BARS, ONE (1) TOP AND ONE (1) BOT IN SLAB.

B- REMOVE AND RELOCATE EX. COASTRN NEW RETAINING WALL.

C- RELOC. UNDER NEW CONTRACT TO CONVEY UNDER 2'-0" BEYOND PERIMETER OF 2'-0". VERIFY CONDITIONS IN FIELD.

BR-CSA

*1 ● TEST BORING LOCATION SHOWN THUS. SEE SPECIFICATIONS FOR TEST BORING DATA.

SITE PLAN
SCALE: 1 INCH = 20 FEET

(LOCATED IN THE 9TH ELECTION DISTRICT)
 SITE AREA = 1.278 ACRES.
 GROSS AREA EX. BLDG. PLUS PROPOSED ADDITION = 31,550 S'
 EXISTING SPOT GRADES SHOWN. THUS: 402.5'
 ESTABLISHED SPOT GRADES SHOWN THUS: 405.0'

BR-CSA

Pursuant to the advertisement, posting of property, and public hearing on the above petition and it appearing that by reason of the following finding of facts that strict compliance with the Baltimore County Zoning Regulations would result in practical difficulty and unreasonable hardship upon the Petitioner

the above Variance should be had; and it further appearing that by reason of the findings of the Variance requested not adversely affecting the health, safety and general welfare of the community, a Variance to permit a front yard of 12 feet 1/2 inches instead of the required 25 feet, and a rear yard of 23 feet 1 and 1/2 inches instead of the required 30 feet; and 31 parking spaces instead of the required 50 spaces should be granted.

IS ORDERED by the Deputy Zoning Commissioner of Baltimore County this 14th day of May, 1973, that the herein Petition for a Variance should be and the same is hereby granted, from and after the date of this order, subject to the approval of a site plan by the State Highway Administration, Department of Public Works, and the Office of Planning and Zoning.

Pursuant to the advertisement, posting of property and public hearing on the above petition and it appearing that by reason of

the above Variance should NOT BE GRANTED.

IT IS ORDERED by the Zoning Commissioner of Baltimore County, this day of 1973, that the above Variance be and the same is hereby DENIED.

Zoning Commissioner of Baltimore County

BALTIMORE COUNTY ZONING ADVISORY COMMITTEE

COUNTY OFFICE BLDG.
101 N. EAGERMAN AVE.
TOWSON, MARYLAND 21204

JOHN J. DILLON, JR.
Chairman

MEMBERS

BUREAU OF
ENGINEERING

DEPARTMENT OF
TRAFFIC ENGINEERING

STATE ROADS COMMISSION

BUREAU OF
FIRE PREVENTION

HEALTH DEPARTMENT

PROJECT PLANNING

BUILDING DEPARTMENT

BOARD OF EDUCATION

ZONING ADMINISTRATION

INDUSTRIAL
DEVELOPMENT

BALTIMORE COUNTY ZONING ADVISORY COMMITTEE

Richard A. Reid, Esq.,
102 Pennsylvania Avenue
Towson, Maryland 21204

Re: Variance Petition

Item 174
The Chesapeake & Potomac Telephone Co.,
Petitioners

Dear Mr. Reid:

The Zoning Advisory Committee has reviewed the plans submitted with the above referenced petition and has made an on site field inspection of the property. The following comments are a result of this review and inspection.

These comments are not intended to indicate the appropriateness of the zoning action requested, but to assure that all parties are made aware of plans or problems with regard to the development plans that may have a bearing on this case. The Director of Planning may file a written report with the Zoning Commissioner with recommendations as to the appropriateness of the requested zoning.

The subject property is located on the southeast corner of York Road and Willow Avenue, in the 9th District of Baltimore County. The subject property is currently zoned BR with CSA District. The petitioners currently own the adjoining property, which is improved with a two-story telephone building. The subject property is currently improved with an existing three-bay service station that has been abandoned and is now being proposed to be improved with a building much like the existing structure on the adjoining property and attached thereto. The petitioners are requesting a Variance to the front and rear yard setbacks and a Variance to the parking regulations to permit 31 parking spaces instead of the required 50.

The Zoning Advisory Committee is well aware of the parking problems that currently exist in the Towson area, and the petitioners' request for off street parking Variance would not normally meet with favorable comments from this Committee. However, the petitioners although they can only provide 31 spaces on site do have a short term lease for parking on the property on the American Legion parking lot directly across the street which is within 225 feet of the site. We feel as long as this additional parking can be

Richard A. Reid, Esq.,
Item 174
Page 2

provided for their employees that there should not be any serious conflicts with parking in this area, and since the American Legion does not normally hold functions during the day that there should be no conflict between the C&P Telephone Company employees parking on the lot and the American Legion members. The property to the rear, which is zoned DR 16, and is currently improved with a commercial building is at a somewhat higher grade than the subject property. A retaining wall would have to be installed to accommodate the parking that is indicated on the subject plan. The properties along Willow Avenue are generally old houses that are slowly being converted to office uses by a Special Exception procedure. The property on the north side of Willow Avenue is currently used as a used car lot. There is curb and gutter existing along York Road at this location, and water and sewer are available to this site.

This petition is accepted for filing on the date of the enclosed filing certificate. Notice of the hearing date and time, which will be held not less than 30, nor more than 90 days after the date on the filing certificate, will be forwarded to you in the near future.

Very truly yours,

JOHN J. DILLON, JR.,
Chairman, Zoning Advisory Committee

JJDjr:JU

(Enclosure)

cc: S. J. Martenet & Co.,
9 E. Lexington Street
Baltimore, Maryland 21202

Baltimore County, Maryland Department of Public Works

COUNTY OFFICE BUILDING
TOWSON, MARYLAND 21204

Division of Engineering
ELLIOTT W. H. DIVER, P.E., CHIEF

April 30, 1973

Mr. S. Eric DiVenna
Zoning Commissioner
County Office Building
Towson, Maryland 21204

Re: Item 174 (April to October 1973 - Cycle V)
Property Owner: The Chesapeake and Potomac Telephone Company
N/E corner York Road and Linden Avenue and
S/E corner of York Road and Willow Avenue
Present Zoning: B.R.
Proposed Zoning: Variance from Section 238.1
to permit a front yard of 12' instead of required
25' and Section 238.2 to permit a rear yard of
23' instead of required 30'
District: 9 No. Acres: 1.278 acres and 0.684
acres

Dear Mr. DiVenna:

The following comments are furnished in regard to the plan submitted to this office for review by the Zoning Advisory Committee in connection with the subject item.

Highway Comments:

York Road (M. 45) is a State Road; therefore, all improvements, intersections, and entrances on this road will be subject to State Roads Commission requirements.

Linden Avenue is an existing improved County street. Further highway improvements are not required at this time.

Willow Avenue, an existing County street, is proposed to be improved in the future as a 30-foot closed-type roadway cross-section on a 50-foot right-of-way. Highway improvements, including highway right-of-way widening and fillat areas for sight distance at the Willow Avenue and Linden Avenue intersections with York Road will be required in connection with any grading or building permit applications. The plan should be revised accordingly.

Any construction or reconstruction of sidewalk, curb and gutter, entrance, apron etc. in connection with the further development of this site will be the full responsibility of the Petitioner.

The entrance locations are subject to approval by the Department of Traffic Engineering and shall be constructed in accordance with Baltimore County Standards.

Item 174
Property Owner: The Chesapeake and Potomac Telephone Company
April 30, 1973
Page 2

SEDIMENT CONTROL COMMENTS:

Development of this property through stripping, grading and stabilization could result in a sediment pollution problem; damaging private and public holdings downstream of the property. A grading permit is, therefore, necessary for all grading, including stripping of top soil.

STORM DRAIN COMMENTS:

York Road (M. 45) is a State Road. Therefore, drainage requirements as they affect the road come under the jurisdiction of the Maryland State Roads Commission.

The Petitioner must provide necessary drainage facilities (temporary or permanent) to prevent creating any nuisances or damages to adjacent properties, especially by the concentration of surface waters. Correction of any problem which may result, due to improper grading or improper installation of drainage facilities, would be the full responsibility of the Applicant.

WATER AND SANITARY SEWER COMMENTS:

Public water supply and sanitary sewerage are available and serving this site.

Very truly yours,

ELLIOTT W. H. DIVER, P.E.
Chief, Bureau of Engineering

END:SAH:PM:ag

N.W. - Key Sheet
36 and 37 MS 3 - Position Sheet
N.E. 9 and N.A. - Topo
70 - Tax Map

Baltimore County Fire Department

J. Austin Deltz
Chief



Towson, Maryland 21204

812-7212

Office of Planning and Zoning
Baltimore County Office Building
Towson, Maryland 21204

Attention: Mr. Charles DiVenna, Chairman
Zoning Advisory Committee

Re: Property Owner: The Chesapeake and Potomac Telephone Company

Location: N/E corner York Road and Linden Avenue and S/E corner of

York Road and Willow Avenue

Item No. 174 Zoning Agenda Tuesday, March 20, 1973

Gentlemen:

Pursuant to your request, the referenced property has been surveyed by this Bureau and the comments below marked with an "X" are applicable and required to be corrected or incorporated into the final plans for the property.

- () 1. Fire hydrants for the referenced property are required and shall be located at intervals of 100 feet along an approved road in accordance with Baltimore County Standards as published by the Department of Public Works.
- () 2. A second means of vehicle access is required for the site.
- () 3. The vehicle dead-end condition shown at

- () 4. EXCEEDS the maximum allowed by the Fire Department.
- () 4. The site shall be made to comply with all applicable parts of the Fire Prevention Code prior to occupancy or beginning of operations.
- () 5. The buildings and structures existing or proposed on the site shall comply with all applicable requirements of the National Fire Protection Association Standard No. 101 "The Life Safety Code", 1970 Edition prior to occupancy.
- () 6. Site plans are approved as drawn.
- (X) 7. The Fire Prevention Bureau has no comments at this time.

Reviewer: H. J. Deltz Noted and Approved
Special Inspection Division Deputy Chief
Fire Prevention Bureau

mls
4/25/72



March 27, 1973

Mr. S. Eric DiVenna
Zoning Commissioner
County Office Building
Towson, Maryland 21204
Attn: Mr. John J. Dillon

Re: Item 174
A.C. Meeting 3/20/73
Property Owner: The
C & P Telephone Co.
N/E cor. York Road (Route 45)
and Willow Ave.
Present Zoning: B.R.
Proposed Zoning: Variance from
Section 238.1 to permit a front
yard of 12' instead of required
25' and Section 238.2 to permit
a rear yard of 23' instead of
required 30'
District: 9
No. Acres: 1.278 & 0.684 acres

Dear Sir:

At present there exists entrances from York Road into the subject site. The plan indicates no access proposed from York Road, therefore, the entrances must be closed with standard curb and sidewalk sections. Any subsequent plans must indicate the aforementioned.

The 1971 average daily traffic count on this section of York Road is 17,000 vehicles.

Very truly yours,

Charles Lee, Chief
Development Engineering Section
John F. Myers
Asst. Development Engineer

CL:JEM:bk

BALTIMORE COUNTY, MARYLAND

DEPARTMENT OF HEALTH

JEFFERSON BUILDING
TOWSON, MARYLAND 21204

March 28, 1973

DONALD J. ROOP, M.D., M.P.H.
SUNNY SIDE AND COUNTY HEALTH OFFICESMr. S. Eric Dinenna, Zoning Commissioner
Office of Planning and Zoning
County Office Building
Towson, Maryland 21204

Dear Mr. Dinenna:

Comments on Item 17-A, Zoning Advisory Committee Meeting
March 20, 1973, are as follows:

Property Owner: The Chesapeake and Potomac Telephone Co.
Location: N/E corner York Rd. & Linden Ave., and
S/E corner York Rd. & Willow Ave.
Present Zoning: B.R.
Proposed Zoning: Variance from Section 238.1 to permit
a front yard of 12-1/2' instead of required 25'
and Section 238.2 to permit a rear yard of 23-1/2'
instead of required 30'
District: 9
No. Acres: 1.278 acres and 0.684 acres

Metropolitan water and sewer are available.

Air Pollution Comments: The building or buildings on this
site may be subject to a permit to construct and a permit to operate
any and all fuel burning and processing equipment. Additional in-
formation may be obtained from the Division of Air Pollution and
Industrial Hygiene, Baltimore County Department of Health.

Very truly yours,

Thomas H. Devlin
Thomas H. Devlin, Director
BUREAU OF ENVIRONMENTAL SERVICES

HVB:and

cc: W.L. Phillips

BOARD OF EDUCATION
OF BALTIMORE COUNTY

TOWSON, MARYLAND - 21204

Date: March 20, 1973

Mr. S. Eric Dinenna
Zoning Commissioner
County Office Building
Towson, Maryland 21204

Z.A.C. Meeting of: 3-20-73

Re: Item 17A

Property Owner: The Chesapeake and Potomac Telephone Company
Location: N/E corner York Road and Linden Avenue and S/E corner of York Road
and Willow Avenue
Present Zoning: B.R.
Proposed Zoning: Variance from Section 238.1 to permit a front
yard of 12 1/2' instead of required 25' and Section
238.2 to permit a rear yard of 23 1/2' instead of
required 30'

District: 9
No. Acres: 1.278 acres and 0.684 acres

Dear Mr. Dinenna:

No bearing on student population.

WHP/ml

Very truly yours,
W. Nick Petrovich
W. Nick Petrovich
Pi-ld Representative

H. EMILIE PARKS, PRESIDENT
EUGENE C. HESS, VICE-PRESIDENT
MRS. ROBERT L. BERNYMARCUS M. ROTHS, D.
JOSEPH N. MAGOWAN
ALVIN LOBECK
JOSEPH A. WHEELER, SECRETARYT. BAYARD WILLIAMS, JR.
RICHARD W. TRACEY, V.M.D.
MRS. RICHARD V. WUERTHEL

BALTIMORE COUNTY, MARYLAND

INTER-OFFICE CORRESPONDENCE

TO: Mr. S. Eric Dinenna, Zoning Commissioner Date: May 11, 1973

FROM: William D. Fromm, Director

SUBJECT: Petition #73-278-A, Northeast corner of York Road and Linden Terrace.
Petition for Variance for Front and Rear Yards and Off-Street Parking.
Petitioner - The Chesapeake and Potomac Telephone Company of Maryland

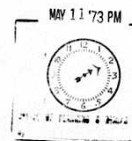
9th District

HEARING: Monday 14, 1973 (10:30 A.M.)

The staff of the Office of Planning and Zoning will offer no adverse
comments on this proposal at this time.

William D. Fromm
William D. Fromm
Director

WDF:NE:rw



ROYSTON, MUELLER, THOMAS & MCLEAN

ATTORNEYS AT LAW

SUITE 400

CARROLL W. ROYSTON
16 ANTHONY MUELLER
W. LEE THOMAS
R. TAYLOR MCLEAN
RICHARD A. REID
E. HARRISON STONE
MILTON R. SMITH, JR.
C. A. KLEINGROVER, III
MARGARET F. MARONEY100 WEST PENNSYLVANIA AVENUE
TOWSON, MARYLAND 21204AREA CODE 301
823-1000

April 17, 1973

Mr. John J. Dillon, Jr.
Office of Planning and Zoning
County Office Building
Towson, Maryland 21204Re: The Chesapeake & Potomac Telephone Company
of Maryland Petition for Variance - York
Road

Dear Jack:

Enclosed are the requisite Petitions for Zoning
Variance in re off-street parking in the above matter.
The matter should be petitioned for the Chesapeake &
Potomac Telephone Company of Maryland - York Road. As
per our telephone conversation, this Petition should be
included with that Petition previously filed requesting
set-back variances. The same plats and descriptions,
of course, are applicable.

Very truly yours,

W. Lee Thomas
W. Lee Thomas

WLT:ig

Enclosure



ROYSTON, MUELLER, THOMAS & MCLEAN

ATTORNEYS AT LAW

SUITE 400

100 WEST PENNSYLVANIA AVENUE
TOWSON, MARYLAND 21204AREA CODE 301
823-1000

February 28, 1973

Mr. Eric Dinenna
Zoning Commissioner of
Baltimore County
Office of Planning and Zoning
Jefferson Building
Towson, Maryland 21204Re: Opinion Concerning Definition of
"Public Utility Service Center"

Dear Mr. Dinenna:

My client, The C & P Telephone Company of Maryland, has
owned the land and improvement at the corner of York Road and
Linden Terrace, Towson, for some time. It recently acquired
the adjoining property formerly operated as a BP Service Station.
Accordingly, it now owns the entire frontage along York Road
between Linden Terrace and Willow Avenue. It intends to use the
newly acquired site to enlarge its existing service facility.
The enlargement is necessary for the expansion of some or all
of the services furnished from this location to the public in
the greater Towson area, Cockeysville, Parkville, Perry Hall,
Fork and Manor. These services fall generally within four broad
categories as follows:

- 1) Switching Service - The electronic equipment in the
building provides switching service and a dial tone for the
greater Towson area. All calls originating or terminating in
that area pass through this facility.
- 2) Switchboard - A customer dialing operator would get
the center where an employee of the company would provide the
information requested.
- 3) Repair Service - Requests for repair service are
received and processed through this facility. If outside
work is necessary this facility would dispatch a repairman
from one of the company's garages located elsewhere.
- 4) New Service - Requests for new service or a change
in existing service are processed through this facility. Again,
if outside work is necessary, this facility would dispatch a

Mr. Eric Dinenna

-2-

February 28, 1973

serviceman from one of the company's garages located elsewhere.

We would like an opinion as to whether or not the above uses
qualify the subject facility as a "Public utility service center"
within the meaning of the "Baltimore County Zoning Regulations", so
that it would be a permitted use within its existing BR zone. That
zone by §236.1 incorporates all uses permitted in a BR zone, which by
§233.1 incorporates "a" uses permitted in a BL zone, which includes
under §230.9 a "Public utility service center" as a permitted use.
One very good indication that it does is the fact that under §236.3
of the regulations a "Public utility storage yard" is a permitted
use in a BR zone when located 50' from residential zones. A
storage yard with materials, equipment, etc., out in the open would
seem a less desirable use than the use described above where every-
thing is enclosed within an attractive building. If the former is
a permitted use, the latter certainly should be.

Although it seems clear to me that the facility described
herein is a "Public utility service center" within the meaning
of the "Baltimore County Zoning Regulations", I feel constrained
to ask for your opinion because in 1960 my client obtained a
special exception to operate the existing use at this location.
Whether this was done through an over abundance of caution or as
the result of an informal opinion from the Zoning Department, I
cannot say. The reference to that case was "Petition For Special
Exception For Telephone Dial Center and Variance - Northeast Corner
York Road and Linden Terrace, 9th District, Petition No. 2050-XV."

The services described herein will be needed by the public
in the very near future and the telephone company is on a rather
strict and limited time schedule for construction. Accordingly,
your prompt attention to this request will be very much appreciated.

Very truly yours,

Richard A. Reid
Richard A. Reid

RAR:kgg



ORIGINAL

OFFICE OF
TOWSON TIMES

TOWSON, MD. 21204

April 30 - 1973

THIS IS TO CERTIFY, that the annexed advertisement of
S. Eric Dinenna
Zoning Commissioner of Baltimore County
was inserted in THE TOWSON TIMES, a weekly newspaper published
in Baltimore County, Maryland, once a week for one week
before the 30 day of April 1973 that is to say, the same
was inserted in the issue of April 26, 1973.

STROMBERG PUBLICATIONS, Inc.

Ruth Morgan
By: Ruth Morgan

CERTIFICATE OF PUBLICATION

TOWSON, MD., April 26, 1973

THIS IS TO CERTIFY, that the annexed advertisement was
published in THE JEFFERSONIAN, a weekly newspaper printed
and published in Towson, Baltimore County, Md., once a week
etc. one time before the 11th day of May, 1973, the first publication
appearing on the 26th day of April 1973.

THE JEFFERSONIAN

R. L. Smith
Manager

Cost of Advertisement, \$

CERTIFICATE OF POSTING
ZONING DEPARTMENT OF BALTIMORE COUNTY
Towson, Maryland

#93-275-A

District 9th Date of Posting 4-21-73
Posted for Hearing Monday June 14 1973 @ 10:30 A.M.
Petitioner The C. & P. Telephone Co.
Location of property NE corner of York Rd. & Linden Terrace
Location of Signs 2 Posted on York Road
Remarks _____
Posted by Paul H. Weiss Date of return 5-2-73
Signature

PETITION MAPPING PROGRESS SHEET

FUNCTION	Web Map		Original		Duplicate		Tracing		200 Sheet	
	date	by	date	by	date	by	date	by	date	by
Descriptions checked and outline plotted on map										
Petition number added to outline										
Denied										
Granted by ZC, BA, CC, CA										
Reviewed by: <u>[Signature]</u>	Revised Plans: Change in outline or description Yes _____ No _____									
Previous case: <u>[Signature]</u>	Map # _____									

BALTIMORE COUNTY OFFICE OF PLANNING AND ZONING

County Office Building
111 W. Chesebrough Avenue
Towson, Maryland 21204

Your Petition has been received* this 5th day of

March 1973 from [Signature]

[Signature]
S. Eric Dineen
Zoning Commissioner

Petitioner C&P Telephone Co. Submitted by _____

Petitioner's Attorney BEID Reviewed by [Signature]

* This is not to be interpreted as acceptance of the Petition for assignment of a hearing date.

Richard A. Rold, Esq.
180 Pennsylvania Avenue
Towson, Maryland 21204

Room 174

BALTIMORE COUNTY OFFICE OF PLANNING & ZONING

County Office Building
111 W. Chesebrough Avenue
Towson, Maryland 21204

Your Petition has been received and accepted for filing

this 20th day of March 1973

[Signature]
S. ERIC DINEEN
Zoning Commissioner

Petitioner The Chesapeake & Potomac Telephone Co.

Petitioner's Attorney Richard A. Rold

One S. A. Hartman & Son
9 E. Lexington St., (21206)

Reviewed by [Signature]
Zoning Advisory Committee

BALTIMORE COUNTY, MARYLAND
OFFICE OF FINANCE - REVENUE DIVISION
MISCELLANEOUS CASH RECEIPT

No. 8362

DATE May 2, 1973 ACCOUNT 01-662

AMOUNT \$70.00

WHITE - CASHIER
BIRTHDAY
PINK - AGENCY
YELLOW - CUSTOMER
HARRIS, Royston, MacIver, Thomas & Nelson
102 W. Penna. Ave.
Towson, Md. 21204
Advertising and posting of signs for
The C. & P. Telephone Co. - #13-275-A

BALTIMORE COUNTY, MARYLAND
OFFICE OF FINANCE - REVENUE DIVISION
MISCELLANEOUS CASH RECEIPT

No. 8297

DATE April 23, 1973 ACCOUNT 01-662

AMOUNT \$25.00

WHITE - CASHIER
BIRTHDAY
PINK - AGENCY
YELLOW - CUSTOMER
HARRIS, Royston, MacIver, Thomas & Nelson
102 W. Penna. Ave.
Towson, Md. 21204
Petition for Extension for the C. & P. Telephone Co.
#13-275-A

BR-CSA

BR-CSA

SURVEY DATA BY
S. J. MARTENET & Co. LAND SURVEYORS
76 LEXINGTON ST BALTO 21202
BY: *Richard P. Tustin, B.S. 3460*



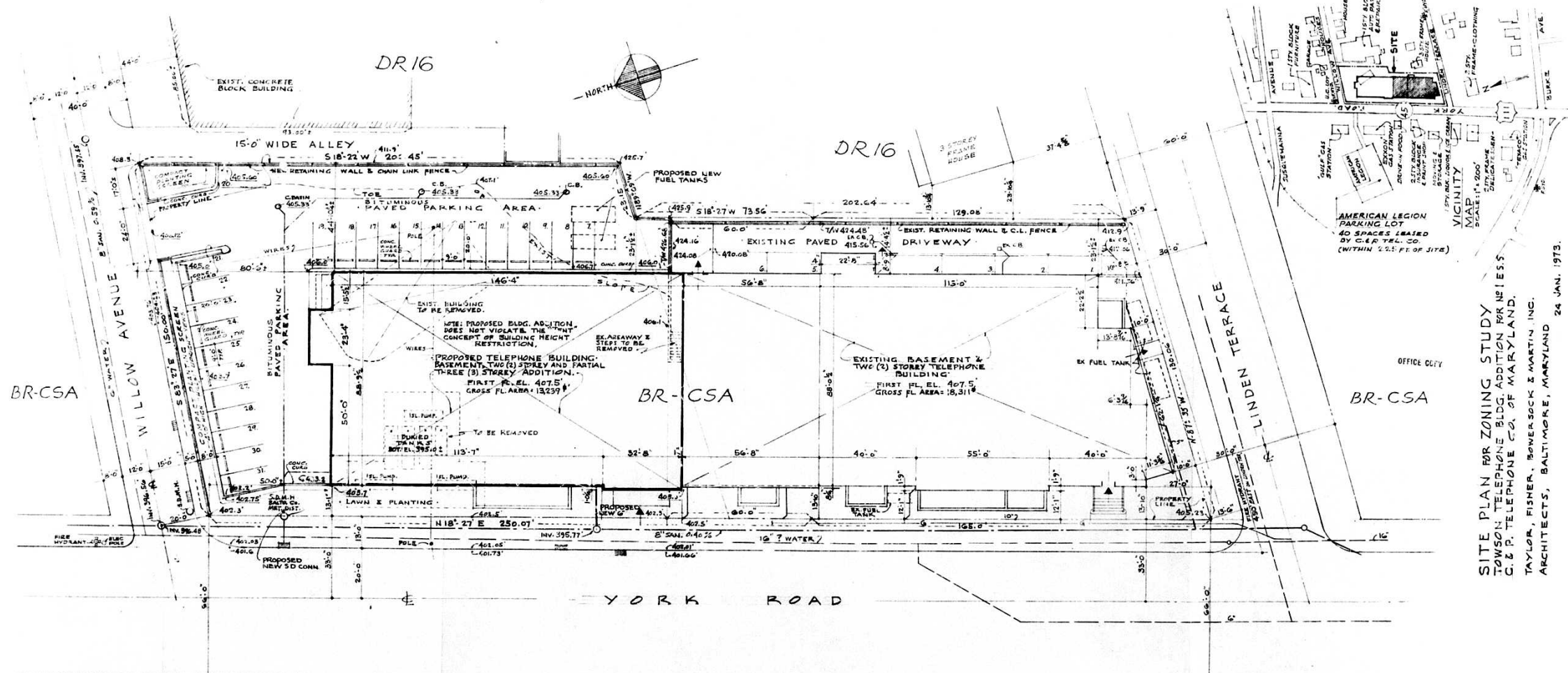
SITE PLAN (LOCATED IN THE 9TH ELECTION DISTRICT)
 SCALE: 1" = 20'-0"
 SITE AREA = 1.278 ACRES
 GROSS AREA, EX. BLDG PLUS PROPOSED ADDITION = 31,500
 EXISTING SPOT GRADES SHOWN THUS 402.5'
 ESTABLISHED SPOT GRADES " " 508.0'

REVISED: 25 JAN. 1973.
 " 31 JAN. 1973.
 " 16 FEB. 1973.
 " 20 FEB. 1973.
 " 22 FEB. 1973.
 " 26 FEB. 1973. REVISED: 1 MARCH, 1973.

BR-CSA

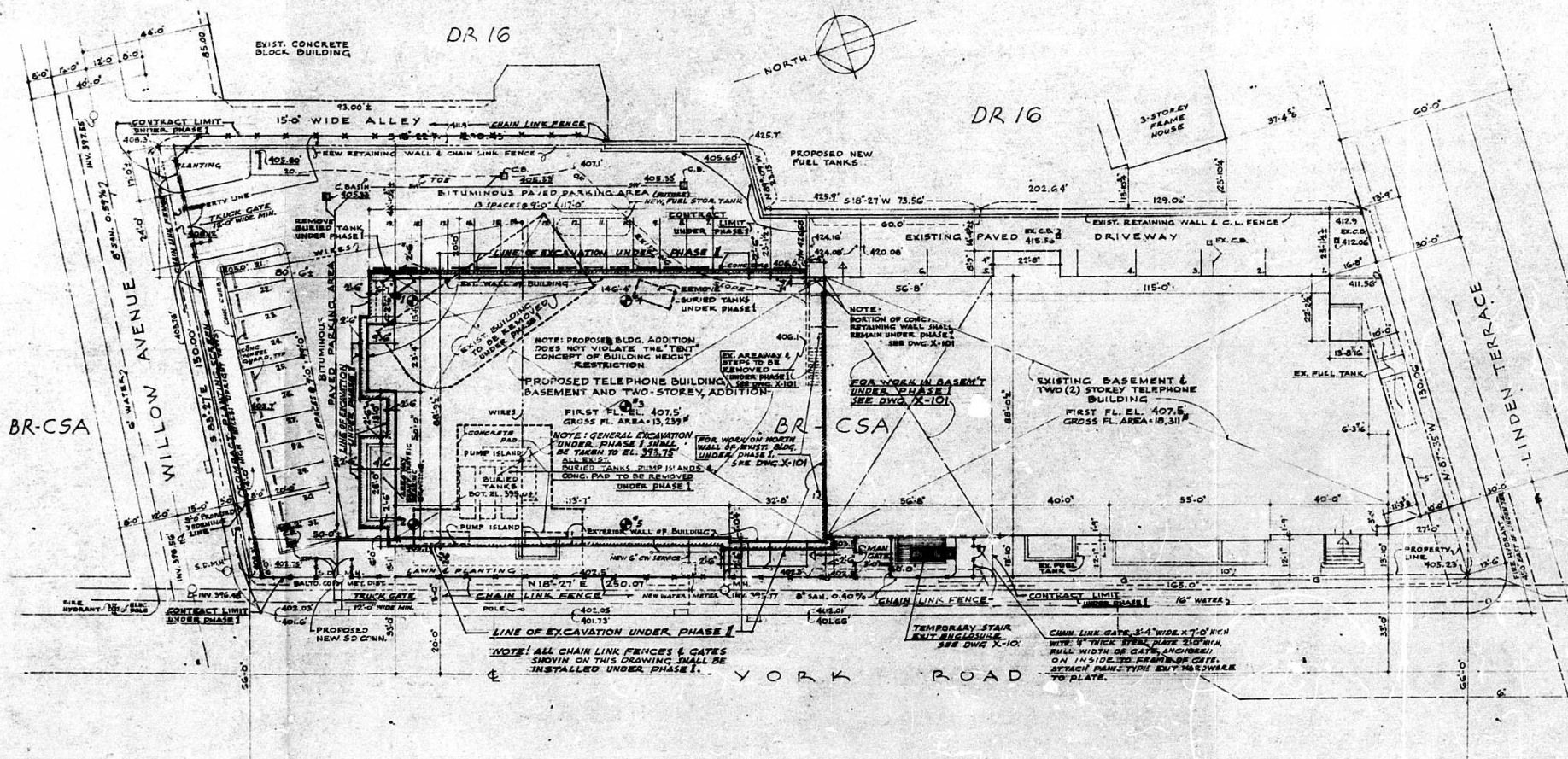
PARKING DATA - TOTAL BUILDING

Test Center Area of Building	Reqd.	Equipment Areas of Building	Reqd.
1st Flr. (7,150 sq. ft.) 1 space/300 sq. ft.	24	1st, 2nd, and Basement Flrs.	
Basement (2,375 sq. ft.) 1 space/300 sq. ft.	8	(27 employees) 1 space/3 employees	9
Dial Service Assistance Area of Building		Total Spaces Required	
2nd Flr. (4,165 sq. ft.) 1 space/500 sq. ft.	9	Total Spaces Provided	50
		(on site - 3; off site - 40)	71



SITE PLAN FOR ZONING STUDY
 TOWSON TELEPHONE BLDG. ADDITION FOR MR. JESS
 C. & P. TELEPHONE CO. OF MARYLAND.
 TAYLOR, FISHER, BOWERSOCK & MARTIN, INC.
 ARCHITECTS, BALTIMORE, MARYLAND

24 JAN. 1973.



BR-CSA

1. TEST BORING LOCATION SHOWN THUS. SEE SPECIFICATIONS FOR TEST BORING DATA.

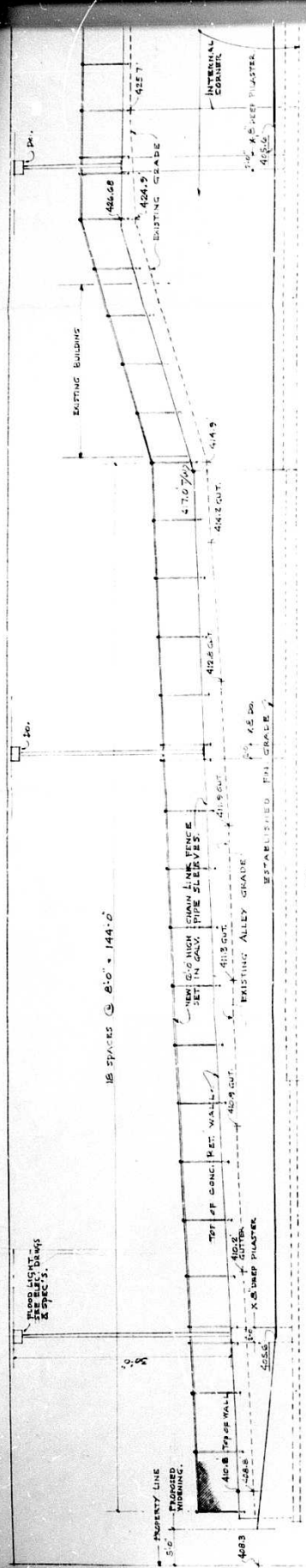
SITE PLAN SCALE: 1/4" = 20 FEET

(LOCATED IN THE 9TH ELECTION DISTRICT
SITE AREA = 1.478 ACRES.
GROSS AREA EX. BLDG. PLUS PROPOSED ADDITION = 31,350 S.F.
EXISTING SPOT GRADES SHOWN THUS: 402.5
ESTABLISHED SPOT GRADES SHOWN THUS: 405.0

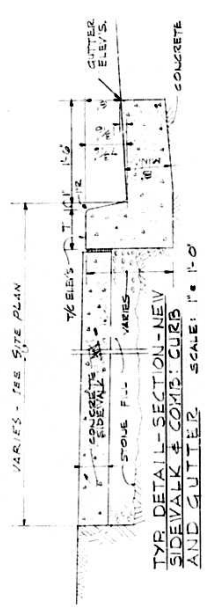
BR-CSA.

REVISED: 23 MAY 1973 TO SHOW WIDENING LINE, SOUTH WILLOW AVE, ETC.

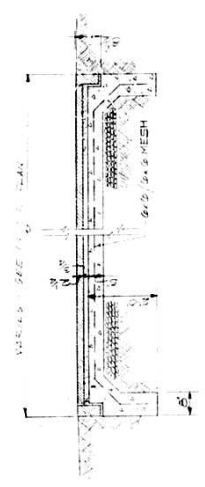




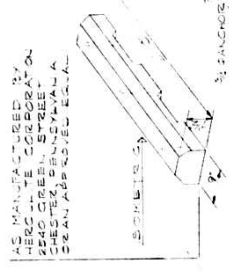
WEST ELEVATION - NEW RETAINING WALL ALONG EAST PROPERTY LINE.
SCALE: 1/8" = 1'-0"



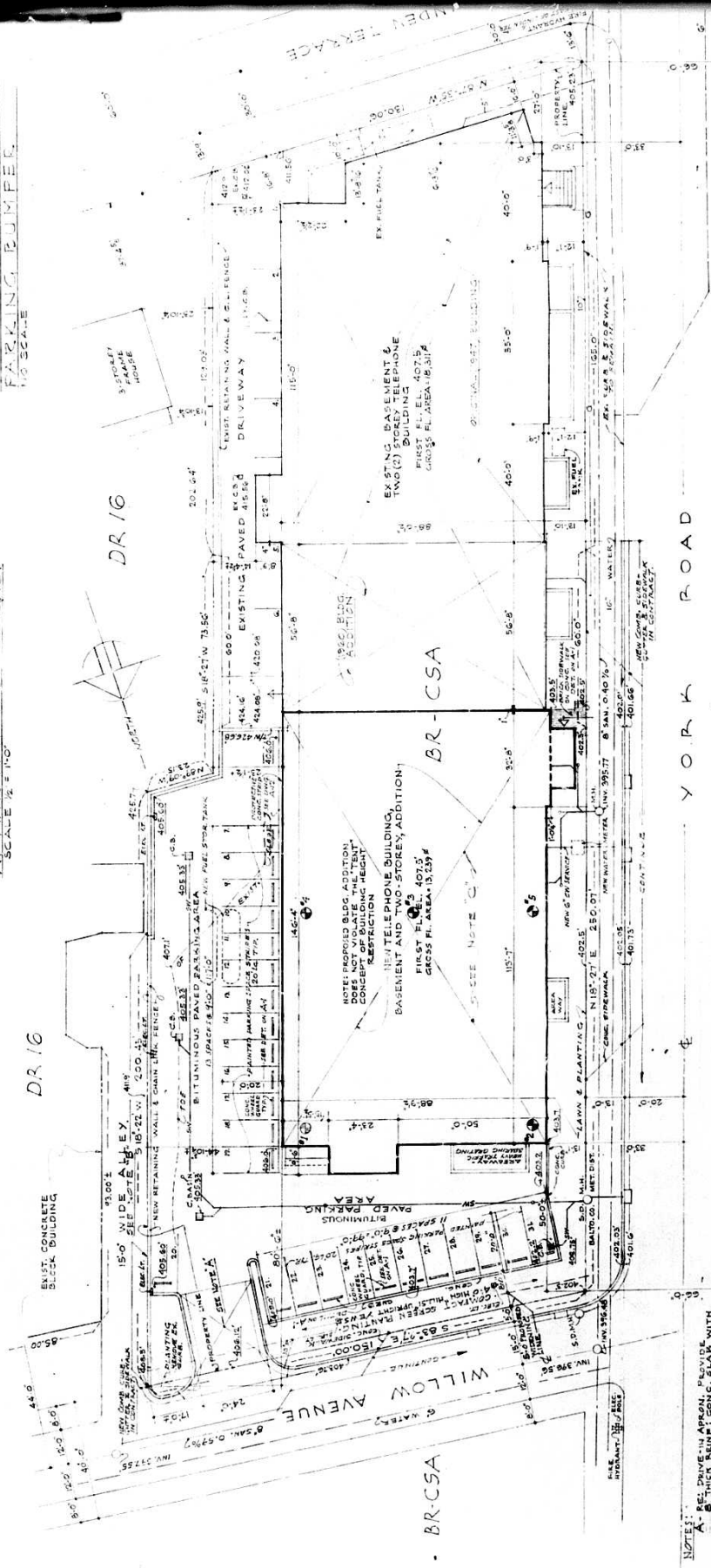
TYR DETAIL-SECTION-NEW SIDEWALK, CURB AND GUTTER. SCALE: 1" = 1'-0"



SECTION THRU BRICK SIDEWALK AT MAIN ENTRANCE. SCALE: 1/2" = 1'-0"



DETAILS OF CONCRETE PARKING BUMPER. SCALE: 1/2" = 1'-0"



SITE PLAN
SCALE: 1/8" = 20 FEET

NOTES:
A. SEE DRIVE IN APPROX. 10' FROM
B. WHICH BEING CONCRETE SLAB WITH
TOP AND ONE (1) FOOT IN SLAB.
C. REMOVED AND RELOCATED EX. CONCRETE
NEW RETAINING WALL
D. EXISTING UNDER PAVEMENT CONTRACT
E. EXISTING UNDER PAVEMENT CONTRACT
F. EXISTING UNDER PAVEMENT CONTRACT
G. EXISTING UNDER PAVEMENT CONTRACT
H. EXISTING UNDER PAVEMENT CONTRACT
I. EXISTING UNDER PAVEMENT CONTRACT
J. EXISTING UNDER PAVEMENT CONTRACT
K. EXISTING UNDER PAVEMENT CONTRACT
L. EXISTING UNDER PAVEMENT CONTRACT
M. EXISTING UNDER PAVEMENT CONTRACT
N. EXISTING UNDER PAVEMENT CONTRACT
O. EXISTING UNDER PAVEMENT CONTRACT
P. EXISTING UNDER PAVEMENT CONTRACT
Q. EXISTING UNDER PAVEMENT CONTRACT
R. EXISTING UNDER PAVEMENT CONTRACT
S. EXISTING UNDER PAVEMENT CONTRACT
T. EXISTING UNDER PAVEMENT CONTRACT
U. EXISTING UNDER PAVEMENT CONTRACT
V. EXISTING UNDER PAVEMENT CONTRACT
W. EXISTING UNDER PAVEMENT CONTRACT
X. EXISTING UNDER PAVEMENT CONTRACT
Y. EXISTING UNDER PAVEMENT CONTRACT
Z. EXISTING UNDER PAVEMENT CONTRACT

BR-CSA
10. TEST BORING LOCATION
SHOWN THUS.
SEE SPECIFICATIONS FOR
TEST BORING DATA.