

PETITION FOR ZONING VARIANCE FROM AREA AND HEIGHT REGULATIONS

TO THE ZONING COMMISSIONER OF BALTIMORE COUNTY:

I, or we, **SAFEMAY STORES, INC.**, legal owner of the property situate in Baltimore County and which is described in the description and plat attached hereto and made a part hereof. To permit side yard of 2.0 ft. hereby petition for a Variance from Section 238.2 of the Zoning Regulations of Baltimore County, to permit a front yard of 0.76 feet instead of the required 25 feet.

This variance is applied for to provide adequate building setback from Highfalcon Road to provide for delivery truck maneuvering space, and the aesthetic engineering development of this corner lot and intersection of Reisterstown and Highfalcon Roads.

See attached description

Property is to be posted and advertised as prescribed by Zoning Regulations. I, or we, agree to pay expenses of above Variance advertising, posting, etc. upon filing of this petition, and further agree to and are to be bound by the zoning regulations and restrictions of Baltimore County adopted pursuant to the Zoning Law for Baltimore County.

SAFEMAY STORES, INC.
 Contract purchaser: *Richard S. Fromm*
 Address: 6700 Columbia Park Road, Landover, Maryland 20785
 Petitioner's Attorney: _____
 Protestor's Attorney: _____

ORDERED By The Zoning Commissioner of Baltimore County, this _____ day of _____ 1973, that the subject matter of this petition be advertised, as required by the Zoning Law of Baltimore County, in two newspapers of general circulation throughout Baltimore County, that property be posted, and that the public hearing be had before the Zoning Commissioner of Baltimore County in Room 106, County Office Building in Towson, Baltimore County, on the _____ day of _____ 1973, at _____ o'clock _____ A. M.

Richard S. Fromm
 Zoning Commissioner of Baltimore County.
 (over)

74-136-A
 Petition #1
 ORDER RECEIVED FOR FILING
 DATE: January 16, 1973
 TIME: 10:30 AM
 BY: [Signature]
 COUNTY CLERK

LICENSE AGREEMENT

THIS AGREEMENT, made this 12th day of March, 1973, between SAFEMAY STORES, INCORPORATED, a Maryland corporation, hereinafter referred to as "Safemay" and LUTHER S. MEHRING and EILEEN V. MEHRING, his wife, hereinafter referred to as "Mehring";

WITNESSETH:

THAT, WHEREAS, Safemay is the owner of Parcel I as shown on the plan attached hereto as Exhibit "A" hereof and which is more particularly described as Parcel I on Exhibit "B" hereof; and

WHEREAS, Mehring is the owner of Parcel II as shown on the plan attached hereto as Exhibit "A" hereof, and which is more particularly described as Parcel II on Exhibit "B" hereof; and

WHEREAS, the parties hereto desire that there be mutual rights of ingress, egress and parking over their respective parcels.

NOW, THEREFORE, in consideration of the mutual covenants and agreements herein contained, the parties hereto agree as follows:

FIRST: Each party hereby grants to the other party for the benefit of said party, its employee, customers and invitees a non-exclusive license for ingress and egress and parking of motor vehicles on the common areas, as they may exist from time to time, of the other party's parcel. Each party hereby indemnifies and saves the other party harmless from any and all liability, damage, expense, causes of action, suits, claims or judgments arising from injury to persons or property and occurring on its own parcel except if caused by the act or neglect of the other party. Each party shall carry public liability insurance with limits of not less than \$100,000.00/\$300,000.00 as to one person and one accident respectively and to the limit of \$100,000.00 as to property damage, to cover its obligations under this paragraph, and shall furnish the other party with suitable evidence of such coverage.

SECOND: Safemay agrees to pave the areas outlined in red on Parcel II; and to relocate and pave the present dirt road connecting the existing two parking lots on Parcel II. Mehring agrees to reimburse Safemay for the cost of paving the parking lot in the southerly corner of Parcel II; and to maintain and keep clean and in good repair the common areas on Parcel II.

THIRD: Nothing herein shall be construed to give either party any interest in any award or payment made to the other party in connection with the

exercise of eminent domain or transfer in lieu thereof affecting said other party's parcel or give the public or any government any rights in Parcels I or II.

FOURTH: Each party hereby agrees that it will not exercise its rights hereunder in such a manner or to such an extent that it unduly hinders the other party's use of its own parcel.

FIFTH: In the event of a breach of this license by either party, the other party shall have the right to declare this license ended and to be of no further force or effect by written notice to the other party. Notices shall be sent, if to Safemay, to it at 6700 Columbia Park Road, Landover, Maryland 20785, and if to Mehring, to it at c/o The Colonial Inn, 11311 Reisterstown Road, Odings Mills, Maryland 21117, or as otherwise designated in writing by either party.

SIXTH: Unless previously revoked because of breach or by mutual agreement between the parties hereto, this license agreement shall remain in effect so long as Safemay has any interest as owner or tenant in Parcel I.

IN WITNESS WHEREOF, the parties have executed this license agreement as of the day and year first above written.

SAFEMAY STORES, INCORPORATED
 (a Maryland corporation)
 By: *Richard S. Fromm*
 Its Assistant Vice President
 By: *Eileen V. Mehring*
 Its Assistant Secretary

(Corporate Seal)

Luther S. Mehring
 Luther S. Mehring
Eileen V. Mehring
 Eileen V. Mehring, his wife

PARCEL I

Being part of the land conveyed by John E. Huster and wife to Luther S. Mehring and wife by deed dated December 3, 1945 and recorded among the land records of Baltimore County, Maryland in Liber R15 1420 folio 45.

Beginning at a point on the southeasterly side of Highfalcon Road, 70 ft. wide, as shown on the subdivision plat of the Reisterstown Townhouse Apartments, Plat 2, as recorded among the land records of Baltimore County in Liber O T O 32 folio 132, said point being at the dividing line of parcel herein described and said Plat 2 Reisterstown Townhouse Apartments; thence with the said dividing line

- (1) S 70° 00' 20" E a distance of 95.05 ft. to a point being the westerly corner of Section 5 of the Reisterstown Townhouse Apartments as recorded among the aforesaid land records in Liber O T O 35 folio 90; thence along line of said Section 5 Reisterstown Townhouse Apartments
 - (2) S 66° 48' 25" E a distance of 217.94 feet to a point; thence by lines crossing the property of the grantors the following three courses and distances;
 - (3) S 46° 00' 20" W a distance of 236.15 ft to a point; thence
 - (4) N 43° 59' 40" W a distance of 45.00 ft to a point; thence
 - (5) S 46° 00' 20" W a distance of 200.00 ft to a point on the northeasterly side of Reisterstown Road, U. S. Route 140, 66 ft wide; thence along the said line of Reisterstown Road
 - (6) N 43° 59' 40" W a distance of 183.95 ft. to a point of curve; thence
 - (7) by the arc of a circle curving to the right in a northerly direction having a radius of 50.00 ft. an arc distance of 77.13 ft. and having a chord bearing and distance at N 00° 11' 45" E, 69.70 ft. to a point of tangent on the aforesaid southeasterly side of Highfalcon Road; thence along the said side of Highfalcon Road.
 - (8) N 44° 23' 10" E a distance of 261.48 ft. to the point of beginning
- Containing 96,530 sq ft or 2.2160 acres of land more or less

PARCEL II

Being the same 5.260 acre lot described in a Deed made December 3, 1945, from John E. Huster, et ux, to Luther S. Mehring, et ux, and recorded in Liber 1420 folio 445 among the Land Records of Baltimore County, save and except the 2.2160 acre parcel described in Parcel I above.

STATE OF CALIFORNIA)
 COUNTY OF ALAMEDA) ss.
 I, PHILLIS G. LANE, a Notary Public in and for the County of Alameda, State of California, do certify that PATRICK S. TOZIAN and RICHARD H. COSTELLO, whose names as Assistant Vice President and Assistant Secretary, respectively, of SAFEMAY STORES, INCORPORATED, a Maryland corporation, are signed to the foregoing writing, bearing date the 12th day of March, 1973, have acknowledged the same before me in said County and State.

GIVEN under my hand and Notarial Seal this 12th day of March, 1973.

(Notarial Seal)
 PHILLIS G. LANE
 NOTARY PUBLIC
 My commission expires: October 5, 1975.

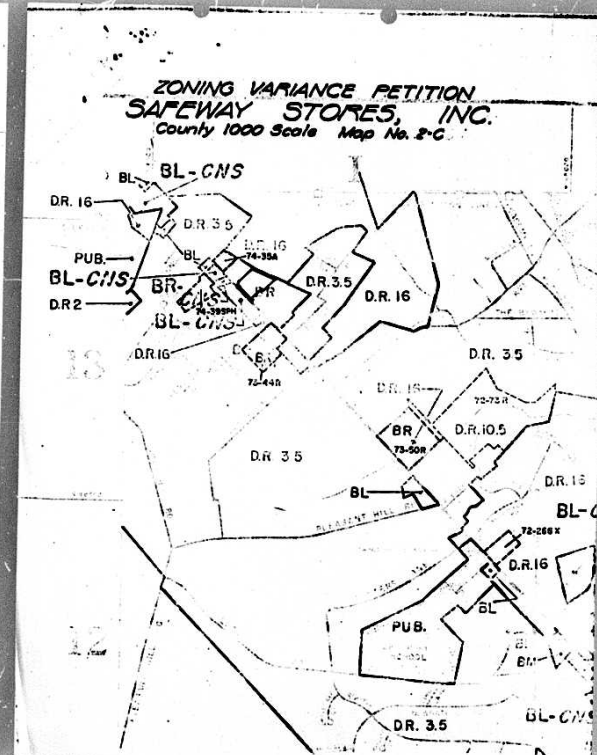
STATE OF MARYLAND)
 COUNTY OF BALTIMORE) ss.
 I hereby certify that on this 16th day of August, 1973, before me the subscriber, a Notary Public in and for the said County, personally appeared LUTHER S. MEHRING and EILEEN V. MEHRING, his wife, whose names are signed to the foregoing writing, bearing date the 12th day of March, 1973, have acknowledged the same before me in said County.

GIVEN under my hand and Notarial Seal the 16th day of August, 1973.
James A. Giall
 NOTARY PUBLIC
 My commission expires: 7-1-74.

DESCRIPTION
 Zoning Variance Petition
 SAFEMAY STORES, INC.

Beginning at a point on the southeast side of Highfalcon Road, said point being 343.08 northeast of the centerline of Reisterstown Road, and running thence:

- S 70° 00' 20"E, 95.05 feet, thence;
- S 66° 48' 25"E, 217.94 feet, thence;
- S 46° 00' 20"W, 236.15 feet, thence;
- N 43° 59' 40"W, 45.00 feet, thence;
- S 46° 00' 20"W, 200.00 feet, to a point on the northeast side of Reisterstown Road, thence;
- N 43° 59' 40"W, 183.95 feet to a point, thence;
- along the arc of a curve to the right having a radius of 50.00 feet, an arc distance of 77.13 feet and having a chord bearing and distance of N 00° 11' 45"E, 69.70 feet to a point on the southeast side of Highfalcon Road, thence;
- N 44° 23' 10"E, 261.48 feet to the point of beginning.



BALTIMORE COUNTY, MARYLAND

INTER-OFFICE CORRESPONDENCE

TO: S. Eric DiNenno, Zoning Commissioner Date: December 6, 1973
 FROM: William D. Fromm, Director of Planning
 SUBJECT: Petition #74-136-A, Southeast side of Highfalcon Road 343.08 feet Northeast of Reisterstown Road.
 Petitioner - Safemay Stores, Inc.

4th District

HEARING: Monday, December 10, 1973

The staff of the Office of Planning and Zoning has reviewed the subject petition and has no comment to offer at this time.

William D. Fromm
 William D. Fromm, Director of Planning

WDF:NGC:W

Pursuant to the advertisement, posting of property, and public hearing on the above petition and it appearing that by reason of the following finding of facts that strict compliance with the Baltimore County Zoning Regulations would result in practical difficulty and unreasonable hardship upon the Petitioner, the Variance should be had; and it further appearing that by reason of the granting of the Variance requested not adversely affecting the health, safety, and general welfare of the community... Variance to permit a side yard of 2.0 feet in lieu of the required 30 feet; and to permit a front yard of 0.76 feet in lieu of the required 25 feet should be granted.

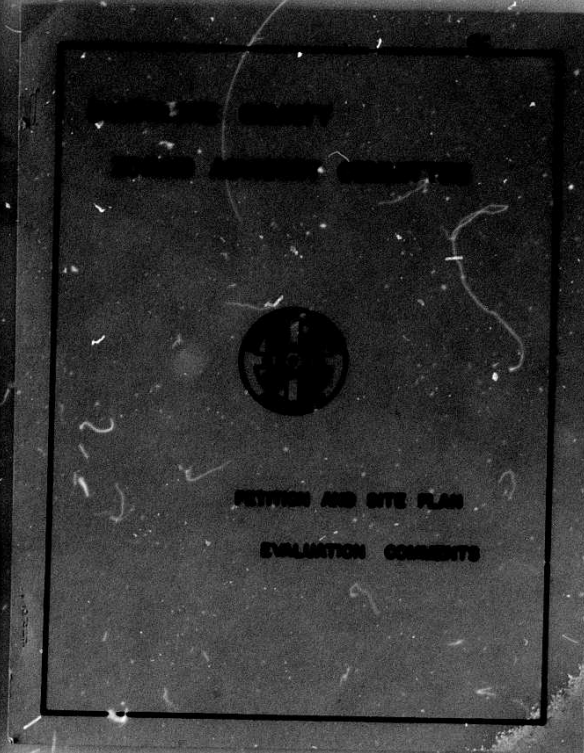
IT IS ORDERED by the Zoning Commissioner of Baltimore County, this 28th day of JANUARY, 1974, that the herein Petition for a Variance to permit a side yard of 2.0 feet in lieu of the required 30 feet; and to permit a front yard of 0.76 feet in lieu of the required 25 feet should be, and the same is GRANTED, from and after the date of this Order, subject to the approval of a site plan by the State Highway Administration, the Department of Public Works, and the Office of Planning and Zoning.

Pursuant to the advertisement, posting of property and public hearing on the above petition and it appearing that by reason of...

the above Variance should NOT BE GRANTED.

IT IS ORDERED by the Zoning Commissioner of Baltimore County, this day of 1974, that the above Variance be and the same is hereby DENIED.

Zoning Commissioner of Baltimore County



PETITION AND SITE PLAN
EVALUATION COMMENTS

BALTIMORE COUNTY OFFICE OF PLANNING AND ZONING
County Office Building
111 W. Chesapeake Avenue
Towson, Maryland 21286

Your Petition has been received and accepted for filing this 29th day of November 1973.

[Signature]
L. ERIC DIENNA,
Zoning Commissioner

Petitioner: Safeway Stores, Inc.
Petitioner's Attorney: [Signature]
and County Agent, the County, Md.: [Signature]

BALTIMORE COUNTY ZONING ADVISORY COMMITTEE

December 3, 1973

Raymond H. Nelson
Safeway Stores, Incorporated
6700 Columbia Park Road
Landover, Maryland 20785

Re: Zoning Variance
Item 83
Safeway Stores, Inc.

Dear Mr. Nelson:

The Zoning Advisory Committee has reviewed the plans submitted with the above referenced petition and has made an on site field inspection of the property. The following comments are a result of this review and inspection.

These comments are not intended to indicate the appropriateness of the zoning action requested, but to assure that all parties are made aware of plans or problems with regard to the development plans that may have a bearing on this case. The Director of Planning may file a written report with the Zoning Commissioner with recommendations as to the appropriateness of the requested zoning.

The subject property is located on the southeast corner of Highfalcon Road and Reisterstown Road, in the 4th District of Baltimore County. This property is zoned B.R., and contains 2.19 acres of land.

This petition was originally reviewed under Item 172 earlier this year and was held for revised site plans. When they were not submitted, the petition was returned and now has been refiled. The comments attached are self explanatory.

This petition is accepted for filing on the date of the enclosed filing certificate. Notice of the hearing date and time, which will be held not less than 30, nor more than 90 days after the date on the filing certificate, will be forwarded to you in the near future.

Very truly yours,
[Signature]
John J. Dillon, Jr.
Chairman, Zoning Advisory Committee

JDD:jrb

Enclosure

cc: Wayne, Guseoff, Van Besten, Inc.
1901 North Fort Myer Drive
Arlington, Virginia 22209

Baltimore County, Maryland
Department of Public Works
COUNTY OFFICE BUILDING
TOWSON, MARYLAND 21284

Bureau of Engineering
ELLWORTH N. DIVER, P. E. CHIEF

November 23, 1973

Mr. S. Eric DiNenna
Zoning Commissioner
County Office Building
Towson, Maryland 21204

Re: Item #83 (1973-1974)
Property Owner: Safeway Stores, Inc.
5/25 of Highfalcon Rd., 343' N/E of the centerline of Reisterstown Rd.
Existing Zoning: B.R.
Proposed Zoning: Variance to permit a sideyard setback of 0.76' and 2' instead of required 30'
No. of Acres: 2.19 District: 4th

Dear Mr. DiNenna:

The following comments are furnished in regard to the plan submitted to this office for review by the Zoning Advisory Committee in connection with the subject item.

General:

As stated in connection with Item #172 (1972-1973), formal comments, dated March 27, 1973 regarding the Commercial Preliminary Plan for this site, were furnished Safeway Stores, Inc. by the Bureau of Public Services. Those comments are referred to for your consideration.

Very truly yours,
[Signature]
ELLWORTH N. DIVER, P.E.
Chief, Bureau of Engineering

END:BNW:FB:ess
cc: G. Reiser
G. Harfield

T-204 Key Sheet
51 & 52 NW 35 & 36 Per. Sheets
NW 13 I. Topo
SP Tax Map

Maryland Department of Transportation
State Highway Administration

Harry R. Hughes
Secretary
Bernard M. Evans
Assistant Secretary

Nov. 8, 1973

Mr. S. Eric Di Nenna
Zoning Commissioner
County Office Building
Towson, Maryland

ATTN: Mr. John J. Dillon

Dear Mr. Di Nenna:

The entrances indicated on the subject plan are acceptable to the State Highway Administration, however, the plan should be revised to clearly indicate curb and gutter for the entire Reisterstown Road frontage of the site. The existing face of curb is to be 24" from and parallel to the centerline of the highway. The proposed Right of Way line or parking setback line must be subject to approval and permit from this Administration.

The 1972 average daily traffic on this section of Reisterstown Road is 22,000 vehicles.

Very truly yours,
Charles Lee, Chief
Bureau of Engineering Access Permits
[Signature]
By: J. Meyers

CLM:RAD

BALTIMORE COUNTY, MARYLAND
DEPARTMENT OF HEALTH

JEFFERSON BUILDING
TOWSON, MARYLAND 21204

November 9, 1973

DONALD A. BOOP, M.D., M.P.H.
DEPUTY STATE AND COUNTY HEALTH OFFICER

Mr. S. Eric DiNenna, Zoning Commissioner
Office of Planning and Zoning
County Office Building
Towson, Maryland 21204

Dear Mr. DiNenna:

Comments on Item 83, Zoning Advisory Committee Meeting November 6, 1973, are as follows:

Property Owner: Safeway Stores, Inc.
Location: SE/S Highfalcon Dr., 343' NE C/L Reisterstown Rd.
Present Zoning: B.R.
Proposed Zoning: Variance to permit a sideyard setback of 0.76' and 2' instead of required 30'
No. of Acres: 2.19
District: 4

Metropolitan water and sewer are available.

Food Service Comments: If a food service facility is proposed, complete plans and specifications must be submitted to the Division of Food Protection, Baltimore County Department of Health for review and approval.

Air Pollution Comments: The building or buildings on this site may be subject to a permit to construct and a permit to operate any and all fuel burning and processing equipment. Additional information may be obtained from the Division of Air Pollution and Industrial Hygiene, Baltimore County Department of Health.

Shopping Center Comments: Approval for a shopping center is based upon owner responsibility for collection, storage and disposal of refuse in accordance with Health Department requirements.

A moratorium was placed on new sewer connections in the Gwynns Falls Drainage Basin by Dr. Neil Solomon, Secretary of Health and Mental Hygiene on Sept. 13, 1973; therefore approval may be withheld for these connections.

Very truly yours,
[Signature]
Thomas H. Devlin, Director
BUREAU OF ENVIRONMENTAL SERVICES

HVB:mng
cc: L.A. Schuppert
W.L. Phillips
J.A. Hessina

WILLIAM D. FROHM
DIRECTOR

S. ERIC DIENNA
ZONING COMMISSIONER

November 15, 1973

Mr. S. Eric DiNenna, Zoning Commissioner
Zoning Advisory Committee
Office of Planning and Zoning
Baltimore County Office Building
Towson, Maryland 21204

Dear Mr. DiNenna:

Comments on Item #83, Zoning Advisory Committee Meeting, November 6, 1973, are as follows:

Property Owner: Safeway Stores, Inc.
Location: S/E/S of Highfalcon Road, three hundred and forty-three (343) feet N/E of the centerline of Reisterstown Road
Existing Zoning: B.R.
Proposed Zoning: Variance to permit a sideyard setback of 0.76' and 2' instead of required 30'
District: 4
No. of Acres: 2.19

The site plan submitted indicates approximately 115 parking spaces on the Safeway property, therefore, assurances must be made that the required parking will be provided for.

Very truly yours,
[Signature]
John L. Wimbley
Planning Specialist II
Project & Development Planning Division

BOARD OF EDUCATION
OF BALTIMORE COUNTY

TOWSON, MARYLAND - 21204

Date: November 8, 1973

Mr. S. Eric DiNenna
Zoning Commissioner
County Office Building
Towson, Maryland 21204

Z.A.C. Meeting of: November 6, 1973

Re: Item 83
Property Owner: Safeway Stores, Inc.
Location: S.E. 1/4 of Highfalcon Rd, three hundred and forty-three (343) ft. S.E. of the centerline of Reisterstown Rd.
Present Zoning: D.R.
Proposed Zoning: Variance to permit a sideyard setback of 0.76' and 2' instead of required 30'

Districts: 1th
No. Acres: 2.19

Dear Mr. DiNenna:
No bearing on student population.

Very truly yours,
W. Richard
W. Richard
Field Representative

WHP:nl

BALTIMORE COUNTY, MARYLAND
JEFFERSON BUILDING TOWSON, MARYLAND 21204



DEPARTMENT OF TRAFFIC ENGINEERING

EUGENE J. CLIFFORD, P.E. Director
Wm. T. MELSER Deputy Traffic Engineer

December 12, 1973

Mr. S. Eric DiNenna
Zoning Commissioner
County Office Building
Towson, Maryland 21204

Re: Item 83 - ZAC - November 6, 1973
Property Owner: Safeway Stores, Inc.
Highfalcon Road & Reisterstown Rd.
Variance to permit side yard setback
District 4

Dear Mr. DiNenna:

This department has reviewed the submitted site plan and has the following comments.

1. This site should be restricted to two entrances on Reisterstown Road.
2. The proposed island between the entrance on Highfalcon Road and the proposed store is an obstruction to traffic and should not be installed.

Very truly yours,
Michael S. Flanigan
Michael S. Flanigan
Traffic Engineer Associate

MSF:nlc

CERTIFICATE OF PUBLICATION

TOWSON, MD. November 22, 1973

THIS IS TO CERTIFY that the annexed advertisement was published in THE JEFFERSONIAN, a weekly newspaper printed and published in Towson, Baltimore County, Md., on the 22nd day of December, 1973, the said publication appearing on the 22nd day of November 1973.

THE JEFFERSONIAN
S. Paul
Manager

Cost of Advertisement, \$.....

PETITION FOR A VARIANCE ON DISTRICT

SOCKET: Petition for Variance for Front and Side Yards.
LOCATION: Southwest side of Highfalcon Road 343 ft. North of Reisterstown Road.
DATE & TIME: Monday, December 10, 1973 at 10:00 A.M.
PUBLIC HEARING: Room 100, County Office Building, 111 W. Chesapeake Avenue, Towson, Maryland.

The Zoning Commissioner of Baltimore County, by authority of the Zoning Act and Regulations of Baltimore County, will hold a public hearing.
Petition for Variance from the Zoning Regulations of Baltimore County to permit a side yard of 0.76 feet instead of the required 30 feet and to permit a front yard of 2 feet instead of the required 30 feet.
The Zoning Regulations to be changed are: Front Yard - 30 feet; Side Yard - 30 feet and Rear Yard - 30 feet.
All the parcels of land in the Fourth District of Baltimore County.

Beginning at a point on the southeast side of Highfalcon Road, said point being 0.76 feet from the centerline of Reisterstown Road, and running thence S 89° 00' 00" W, 111.11 feet, thence S 89° 00' 00" W, 217.34 feet, thence S 89° 00' 00" W, 343.00 feet, thence S 89° 00' 00" W, 343.00 feet, to a point on the southeast side of Highfalcon Road, and running thence S 89° 00' 00" W, 111.11 feet, thence S 89° 00' 00" W, 217.34 feet, thence S 89° 00' 00" W, 343.00 feet to a point on the southeast side of Highfalcon Road, and having a total length and width of 111.11 ft. x 343.00 ft. to a point on the southeast side of Highfalcon Road, thence S 89° 00' 00" W, 343.00 feet to the point of beginning.

Being the property of Safeway Stores, Inc. shown on plat filed with the Zoning Department, Hearing Room, Towson, November 20, 1973 at 10:00 A.M.
Public Hearing: Room 100, County Office Building, 111 W. Chesapeake Avenue, Towson, Md.
BY ORDER OF
S. ERIC DINENNA
ZONING COMMISSIONER OF BALTIMORE COUNTY
Nov. 22

OFFICE OF THE COMMUNITY TIMES

RANDALLSTOWN, MD. 21133 Nov. 26, 1973

THIS IS TO CERTIFY that the annexed advertisement of S. Eric DiNenna, Zoning Commissioner of Baltimore County was inserted in THE COMMUNITY TIMES, a weekly newspaper published in Baltimore County, Maryland, once a week for One (1) week before the 26th day of Nov. 1973 that is to say, the same was inserted on the 22nd day of November 22, 1973.

STROMBERG PUBLICATIONS, Inc.

Booth Morgan

M. EMILY PARKS, WARDEN
LUCIFER C. REED, CHIEF CLERK
W. ROBERT L. DENNEY
MARKUS M. BUTTSANG
JOSEPH W. WILSON
ALVIN DRECK
JOSHUA W. WHEELER, CLERK

1-SIGN 24-136-A

CERTIFICATE OF POSTING
ZONING DEPARTMENT OF BALTIMORE COUNTY
Towson, Maryland

District: 4th Date of Posting: Nov. 24, 1973

Posted for: Petition for Variance
Petitioner: Safeway Stores, Inc.
Location of property: S.E. 1/4 of Highfalcon Rd. 343 ft. S.E. of Reisterstown Rd.
Location of Signs: S.E. 1/4 of Highfalcon Rd. 25 ft. N.E. of Reisterstown Rd.

Remarks: None
Posted by: *William F. Palamed*
Signature Date of return: Nov. 2, 1973

PETITION MAPPING PROGRESS SHEET

FUNCTION	Wall Map		Original		Duplicate		Tracing		200 Sheet	
	date	by	date	by	date	by	date	by	date	by
Descriptions checked and outline plotted on map										
Petition number added to outline										
Denied										
Granted by ZC, BA, CC, CA										
Reviewed by: <i>JFB</i>										
Revised Plans: Change in outline or description									Yes	No
Previous cases:										

BALTIMORE COUNTY OFFICE OF PLANNING AND ZONING

County Office Building
111 W. Chesapeake Avenue
Towson, Maryland 21204

Your Petition has been received * this 24th day of Nov. 1973 1973. Item #

S. Eric DiNenna
S. Eric DiNenna
Zoning Commissioner

Petitioner: Safeway Submitted by: Davis
Petitioner's Attorney: Reviewed by: JFB

* This is not to be interpreted as acceptance of the Petition for assignment of a hearing date.

BALTIMORE COUNTY, MARYLAND No. 12734
OFFICE OF FINANCE - REVENUE DIVISION
MISCELLANEOUS CASH RECEIPT

DATE: Nov. 16, 1973 ACCOUNT: 01-662

AMOUNT: \$25.00

DISTRIBUTION
WHITE - CASHIER
PINK - AGENCY
YELLOW - CUSTOMER

Wayne, Osgoff, Yan Scales, Inc.
1901 S. Park View Drive
Arlington, Va. 22209
Petition for Variance for Safeway Stores, Inc.

7/4-136-A 25.00

BALTIMORE COUNTY, MARYLAND No. 17011
OFFICE OF FINANCE - REVENUE DIVISION
MISCELLANEOUS CASH RECEIPT

DATE: December 10, 1973 ACCOUNT: 01-662

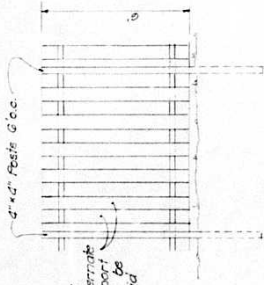
AMOUNT: \$53.50

DISTRIBUTION
WHITE - CASHIER
PINK - AGENCY
YELLOW - CUSTOMER

Safeway Stores, Inc.
Petition for Variance
Posting and Advertising for Case 7/4-136-A

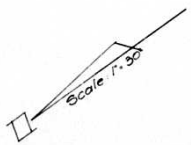
53.50

1"-6" vertical
 1/8" vertical
 screen support
 screening to be
 stained a solid
 color



WOOD FENCE SCREEN
 No. 50046

PROPOSED PARKING AREA
 PAVING DETAIL
 No. 50046



Legal Description of Property
situated in the 4th Election District
Baltimore County, Md.

Being part of the land conveyed by John S. Mueser and wife
to Luther S. Mahring and wife by deed dated December 29, 1943
and recorded among the land records of Baltimore County, Md.
in Liber BLS 1420 folio 144.

Beginning at a point on the southeasterly side of Highcatton
Road, 70 ft. wide, as shown on the subdivision plat of the
Reisterstown Townhouse Apartments, Plat 2, as recorded among the
land records of Baltimore County in Liber O.T.O. 34 folio 139,
said point being at the dividing line of parcel herkin described
and said Plat 2 Reisterstown Townhouse Apartments thence ebb
said dividing line

(1) S 70° 00' 20" W a distance of 95.05 ft. to a point being
the westerly corner of Section 5 of the Reisterstown Townhouse
Apartments as recorded among the aforesaid land records in Liber
O.T.O. 35 folio 50; thence along line of said Section 5 Reisterstown
Townhouse Apartments

(2) S 66° 48' 25" E a distance of 217.94 ft. to a point
thence by lines crossing the property of the grantors the following
three courses and distances:

(3) S 46° 00' 20" W a distance of 236.15 ft. to a point
thence

(4) S 43° 59' 40" W a distance of 43.00 ft. to a point
thence

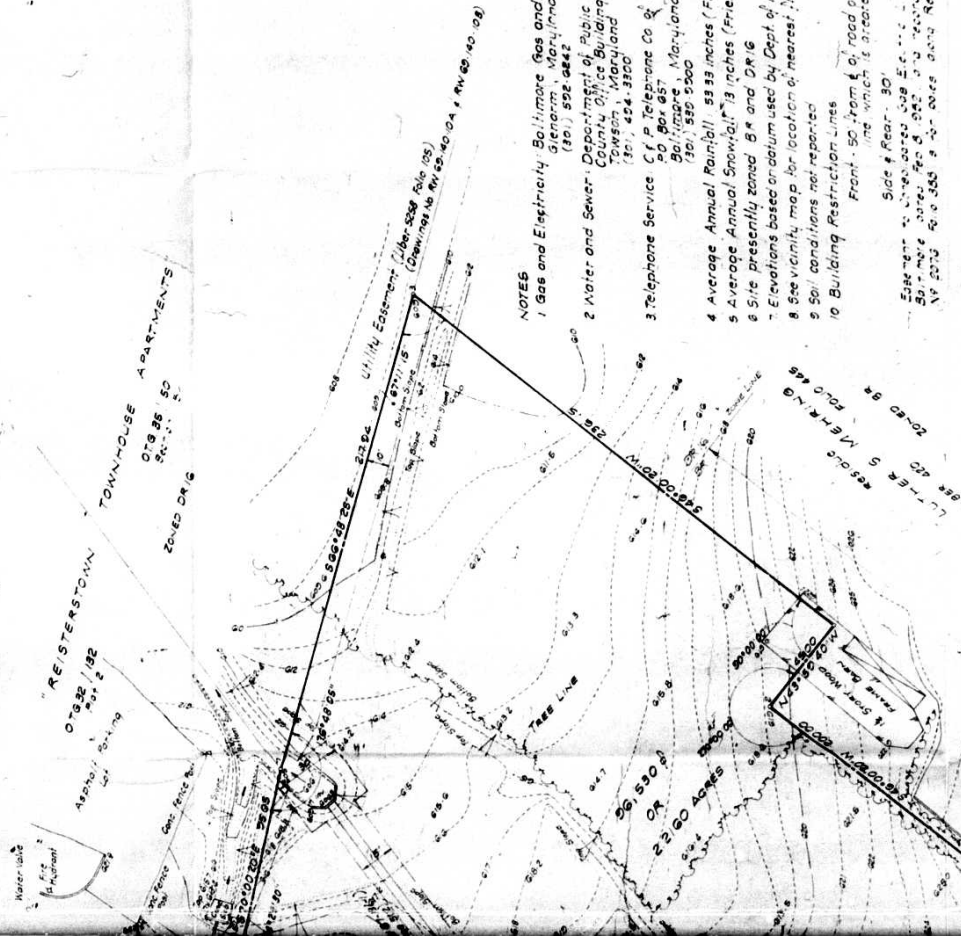
(5) S 46° 00' W a distance of 200.00 ft. to a point being
the northeasterly side of Reisterstown Road, U. S. Route 10,
66 ft. wide; thence along the said side of Reisterstown Road

(6) S 43° 59' 40" W a distance of 180.99 ft. to a point of
curvature continuing along the said side of Reisterstown Road

(7) by the arc of a circle curving to the right in a northerly
direction having a radius of 90.00 ft. an arc distance of 77.13
ft. and having a chord bearing and distance of S 60° 11' 40" E
69.70 ft. to a point of tangency on the aforesaid northeasterly
side of Highcatton Road; thence along the said side of Highcatton
Road

(8) N 46° 21' 10" E a distance of 261.44 ft. to the point
of beginning.

Containing 96,530.24 sq. ft. or 2.2160 acres of land more or
less.



NOTES
1 Gas and Electricity Baltimore Gas and Electric
Company, Maryland 21087
(301) 552-0842

2 Water and Sewer Department of Public Works, Baltimore Co
County Office Building
1801 E. Pratt Street
Baltimore, Maryland 21202

3 Telephone Service City Telephone Co. of Md.
Baltimore, Maryland 21203
(301) 535-5500

4 Average Annual Rainfall 59.93 inches (Friendship Airport)

5 Average Annual Snowfall 19 inches (Friendship Airport)

6 Site presently zoned B4 and D4.6

7 Elevations based on datum used by Dept. of Public Works, Baltimore

8 See vicinity map for location of nearest fire station

9 Soil conditions not reported

10 Building Restriction Lines
Front - 50' from E. of road or 25' from property
line which is greater
Side & Rear - 30'
Easement to be observed 50' from E. of road or 25' from property
line which is greater
N 20° 30' E 50.00 ft. to 200' corner of said Reisterstown Road

SURVEYORS CERTIFICATION

I hereby certify that this First Survey made under my supervision
on August 2, 1972 correctly shows the relation of the buildings and other
structures to the property lines of land hereinafter herein, and that there are no
encroachments or overlaps upon adjoining property of property covered by this
survey or of buildings or structures located on said land, nor encroachments
of adjoining buildings or structures onto said land, except as shown, noted and
described on this survey.

Date 9-1-72

Edward R. Carlin
EDWARD R. CARLIN
Reg. Land Surveyor #1427
5332 Defense Highway
Lanham, Maryland 2080
(301) 577-9200

Each objection on this survey
has been reviewed and approved by

FIRST SURVEY
PROPOSED
SAFeway STORE
REISTERSTOWN ROAD (U.S. RT. 10) & HIGHFALCON ROAD
4TH ELECTION DISTRICT
BALTIMORE COUNTY, MD
DATE AUGUST 2, 1972
SCALE 1"=30'

GAZIS, CARLIN & ASSOCIATES, INC.
Land Surveying and Planning
5332 Defense Highway
Lanham, Maryland 2080
(301) 577-9200



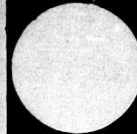
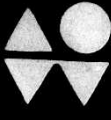
OCT 19 1973

DATE: 2
OF 2

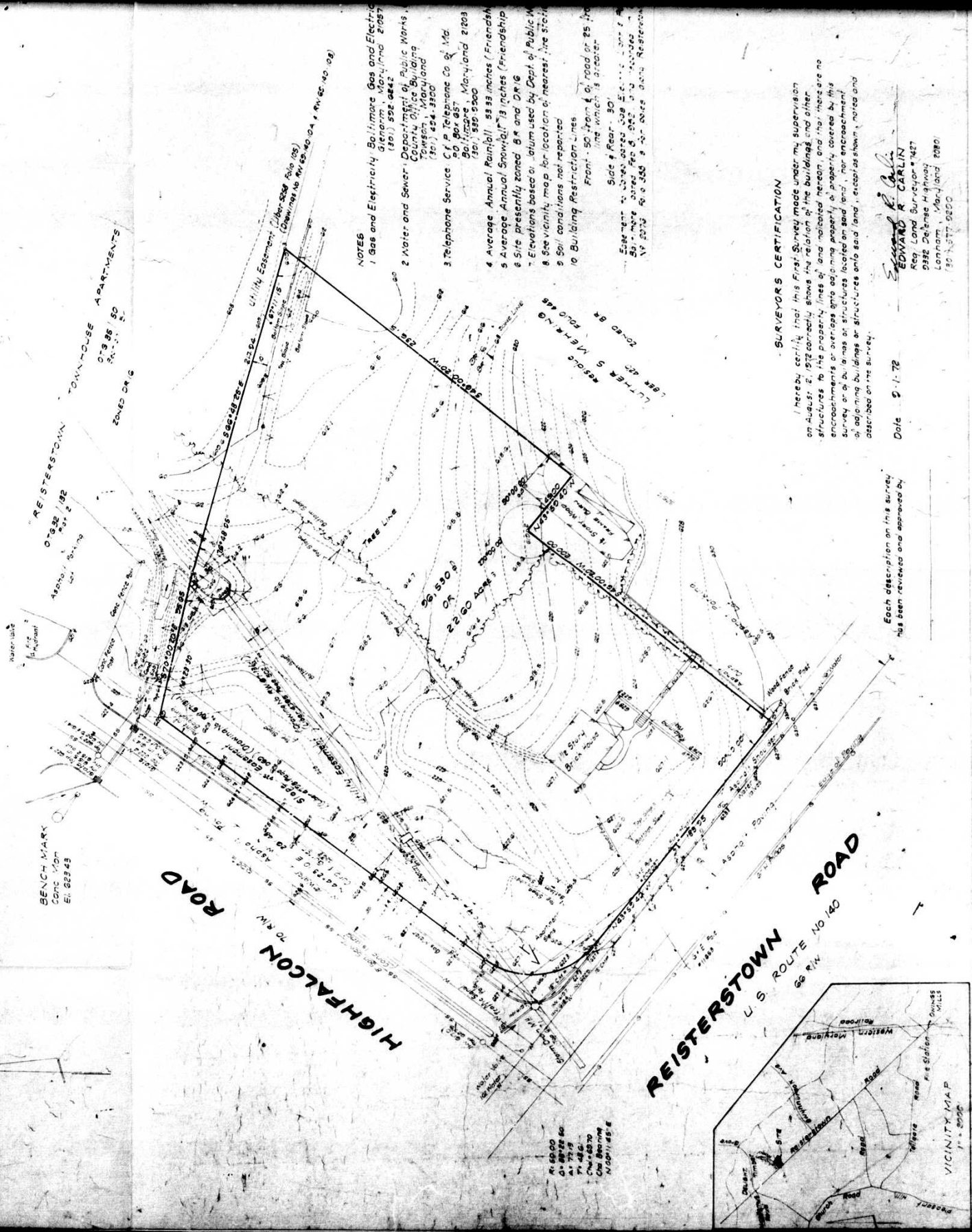
FIRST SURVEY SITE
PLAN
CONTAINS INTERVAL

A NEW STORE BUILDING BEING
ERECTED AT
REISTERSTOWN ROAD U.S. RTE. 10 & HIGHFALCON ROAD
BALTIMORE COUNTY, MARYLAND
SAFeway STORE BUILDING

Haynes, O'Connell, Van Bosten, Inc.
Architectural Engineering Planning Interior Design
1900 N. The Key Bldg.
400 N. Broadway St.
Baltimore, Md. 21201
TELEPHONE: 781-0000



CODE NO. C-72



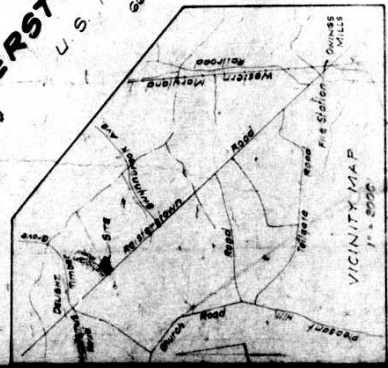
BENCH MARK
Cont. from
E. 62345

REISTERSTOWN
0-9-35-182
182

TOWNHOUSE APARTMENTS
0-9-35-182
182

HIGHFALCON ROAD
70 R/W

REISTERSTOWN ROAD
U.S. ROUTE No 140
66 R/W



E. 62000
D. 62725 60
A. 77-9
P. 48-6
C. 62-70
D. 62-80
N. 62-85 E

NOTES

- 1 Gas and Electricity Baltimore Gas and Electric Company, Maryland, 2-057 (301) 592-6842
- 2 Water and Sewer Department of Public Works, County Office Building, Towson, Maryland (301) 624-3500
- 3 Telephone Service Cf. P. Telephone Co. of Md. 50 Box 857, Maryland, 2203 (301) 525-5300
- 4 Average Annual Rainfall 59.99 inches (Friendship)
- 5 Average Annual Snowfall 13 inches (Friendship)
- 6 Site presently zoned B-1 and D-1-G
- 7 Elevations based on datum used by Dept. of Public Works
- 8 See vicinity map for location of nearest fire station
- 9 Soil conditions not reported
- 10 Building Restriction Lines
Front: 50' from E. of road or 25' if the minimum is greater.
Side & Rear: 30'
Easement to adjacent lots: 5' or 10' or 15' or 20' or 25' or 30' or 35' or 40' or 45' or 50' or 55' or 60' or 65' or 70' or 75' or 80' or 85' or 90' or 95' or 100' or 105' or 110' or 115' or 120' or 125' or 130' or 135' or 140' or 145' or 150' or 155' or 160' or 165' or 170' or 175' or 180' or 185' or 190' or 195' or 200'

SURVEYORS CERTIFICATION

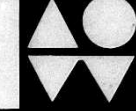
I hereby certify that this First Survey made under my supervision on August 2, 1972 correctly shows the location of the buildings and other structures to the property lines of and indicated hereon, and that there are no encroachments or overhangs onto adjoining property or property covered by this survey or buildings or structures located on said land, nor encroachment of adjoining buildings or structures onto said land, except as shown, noted and described on this survey.

Edward R. Carlin
EDWARD R. CARLIN
Reg. Land Surveyor # 4427
3326 Delmar Highway
Lanham, Maryland 20801
(301) 377-9200

Date: 9-1-78

Each description on this survey has been reviewed and approved by





NOTES

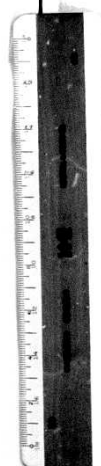
1. Boundary lines shown are those shown on plat filed from Urban Atlas. First Survey, proposed Saferway Store, Reisterstown Road (U.S. Rt. 100) & Highfalcon Road, Baltimore County, Md. by the Surveyor General, Md. State Survey, Baltimore, Md., dated July 11, 1972, revised Nov. 6, 1972.
2. The proposed building is located on the Reisterstown Road by the Surveyor General, Baltimore, Md. dated July 11, 1972, revised Nov. 6, 1972.
3. The site area shown is a preliminary description prepared with the site study as contained in the site plan.
4. Site Area: 2.00 Acres (210,000 sq. ft.)
5. Area Saferway: 1.50 Acres (1,650,000 sq. ft.)
6. Lot Area: 2.10 Acres (2,277,000 sq. ft.)
7. Area Colonial Inn Site: 2.50 Acres (2,700,000 sq. ft.)
8. Use: Retail, Restaurant, Office, etc.
9. Nearest Area: 2.50 Acres (2,700,000 sq. ft.)
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97. Nearest Area: 2.50 Acres (2,700,000 sq. ft.)
98. Nearest Area: 2.50 Acres (2,700,000 sq. ft.)
99. Nearest Area: 2.50 Acres (2,700,000 sq. ft.)
100. Nearest Area: 2.50 Acres (2,700,000 sq. ft.)



REVISED PLANS



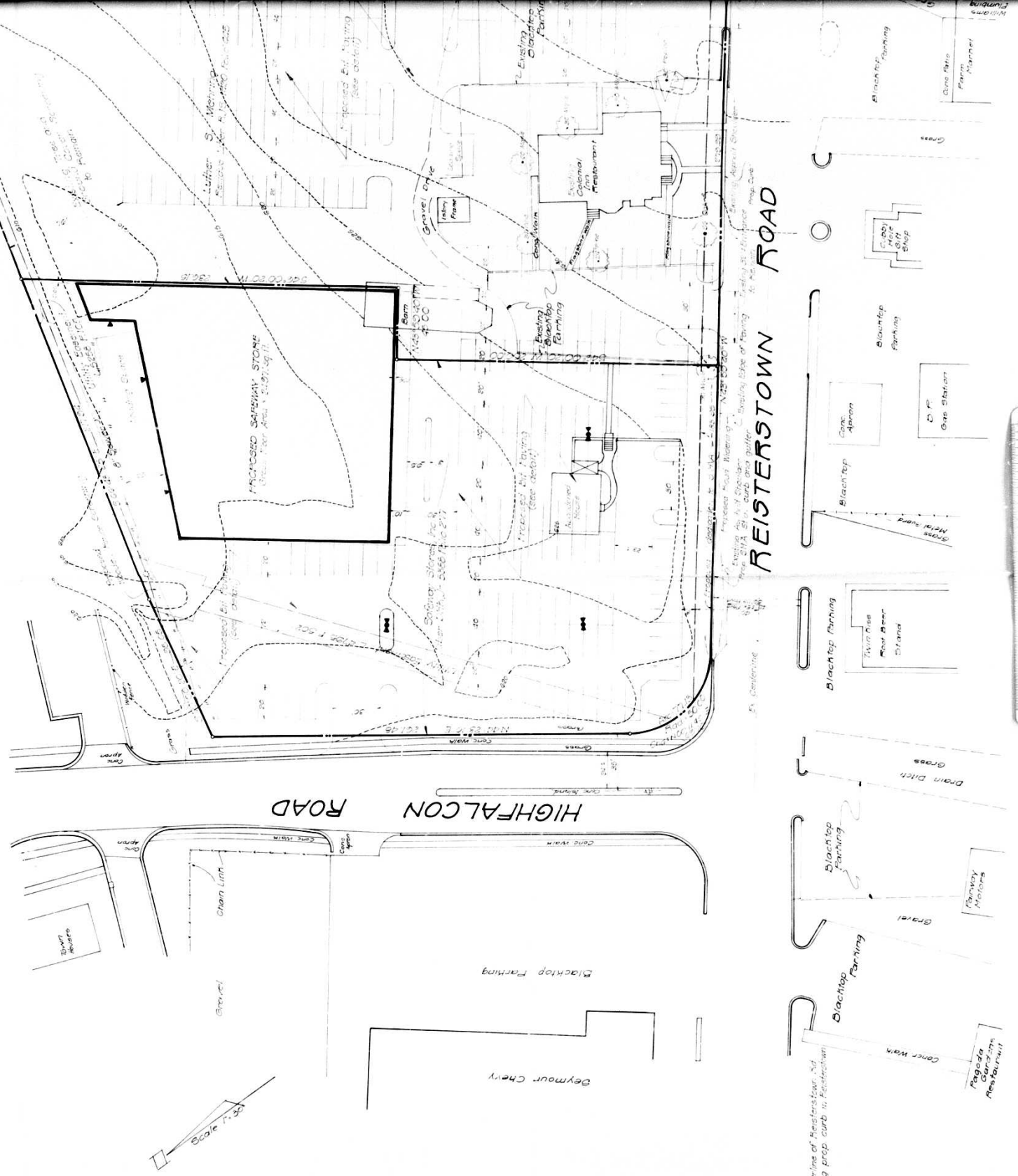
John W. Spaine
 John W. Spaine
 John W. Spaine



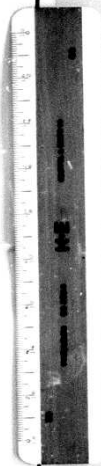


WOOD FENCE SCREEN
1/8" Scale

PROPOSED PARKING AREA
PAVING DETAIL
1/8" Scale

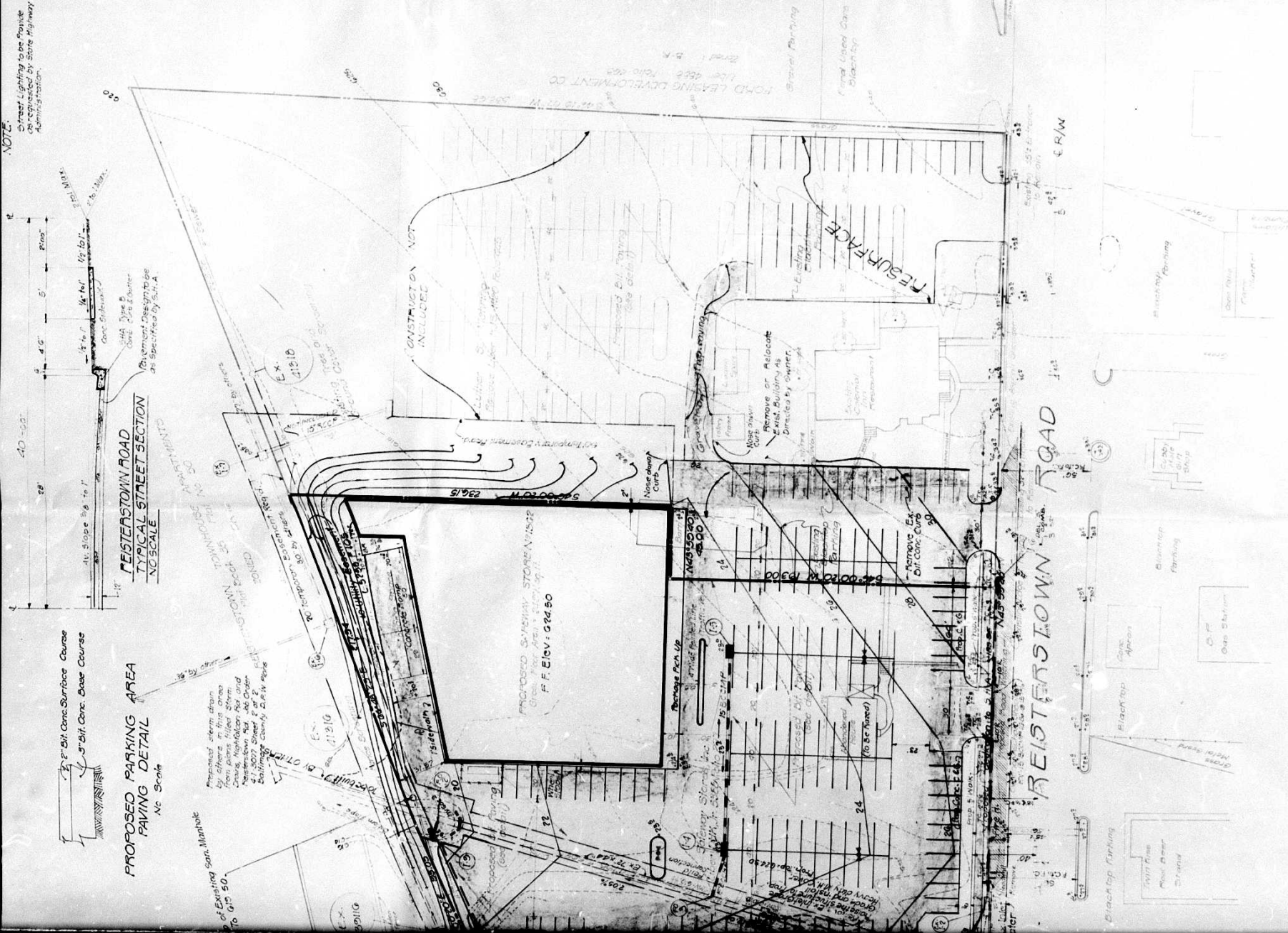


REVISIONS:
1-21-74 Revised centerlines of Reisterstown Rd.
Note indicating prop curb in Reisterstown Rd added.



NOTE:
Street Lighting to be provided as required by State Highway Administration.

NOTE:



PROPOSED PARKING AREA PAVING DETAIL
No. Scale

REISTERSTOWN ROAD TYPICAL STREET SECTION
NO SCALE

SHA Type B
Curb, Conc. Easement
Government Design to be
as Specified by S.H.A.

4. Slope 1% to 1"

4.0'-0.00'

4.0'-0.00'

4.0'-0.00'

4.0'-0.00'

4.0'-0.00'

4.0'-0.00'

4.0'-0.00'

4.0'-0.00'

NOTES

1. Boundary and Topography as shown compiled from 1/14" Plan filed First Survey Proposed Safeway Store, Reisterstown Road (U.S. Rt 40) & Highfalcon Road" by Bazis, Carlin & Assoc., Inc., Lanham, Md. dated Aug. 1972 revised Nov. 8, 1972.
2. High Flood Coring, Mar. 1971, Reisterstown Road, by E. J. Morgan & Holdeiter, Baltimore, Md. dated 7/13/69.
3. Boundary as shown for preliminary description purposes until further survey is completed.
4. Site Area Total Safeway & Colonial Inn Site: 2.22 ac.; Area Safeway Site: 2.22 ac.; Less roadway ded.: 0.03 ac.; Net Area Safeway: 2.19 ac.; Area Colonial Inn Site: 2.85 ac.; Less roadway ded.: 0.06 ac.; Net Area Colonial Inn: 2.81 ac.;

5. Existing Zoning: Safeway Stores, Inc.: BR; Luther S. Meiring: DR.

6. Parking: Safeway Gross Floor Area: 24,577 sq. ft.; Parking Required (1/200 ft.): 125 spaces; Meiring Gross Floor Area: 2800 sq. ft.; Parking Required (1/50 ft.): 76 spaces; Total Parking Required: 203 spaces; Total Parking Provided: 203 spaces; Loading Spaces: Safeway: 2 required; 2 provided; Meiring: 1 required; 1 provided.

A License Agreement between Safeway Stores, Inc. and Luther S. Meiring has been recorded in the county Land Records in Liber 5868 of Page 280. This agreement establishes mutual ingress and egress and parking rights over their respective parcels.

7. 100 indicates parking lot light standard 100 watt Silver Halide Mercury Vapor
8. 175 wait deluxe while Mercury Vapor

9. Limits of Proposed Paving.

10. Proposed curb and gutter in Reisterstown Rd. to be 14" S.H.A. Standard Type A Combination Curb and Gutter.
11. Proposed new paving for Reisterstown Rd. to be 3" compacted bituminous concrete (6 base/3 surf) or (terminal) bituminous concrete surface.
12. Bituminous concrete base on one of the following:
 - a. 2" C.R.G.
 - b. 2" Concrete Graded Aggregate Base
 - c. 2" Concrete
13. Street borrow or Equivalent Material

14. Entrance Entrances on Reisterstown Rd. to be in accordance with S.H.A. Std. 3-MD.5000Y
15. Driveway entrances on Highfalcon Rd. to be in accordance with S.H.A. Std. 3-MD.5000Y

The on-site curb and gutter to be in accordance with C.C.D.F.W. Std. A-25 where lowered curb use Std. A-22 for reverse slope gutter where drainage is away from curb.

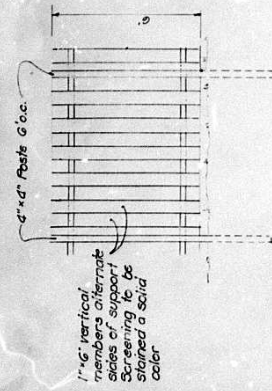
PLANS APPROVED
OFFICE OF PLANNING & ZONING
BY: _____
DATE: _____
BY: _____
DATE: _____
BY: _____
DATE: _____

John W. Jamieson

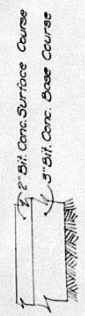
PLANS APPROVED
OFFICE OF PLANNING & ZONING
BY: _____
DATE: 7-27-74

74-136

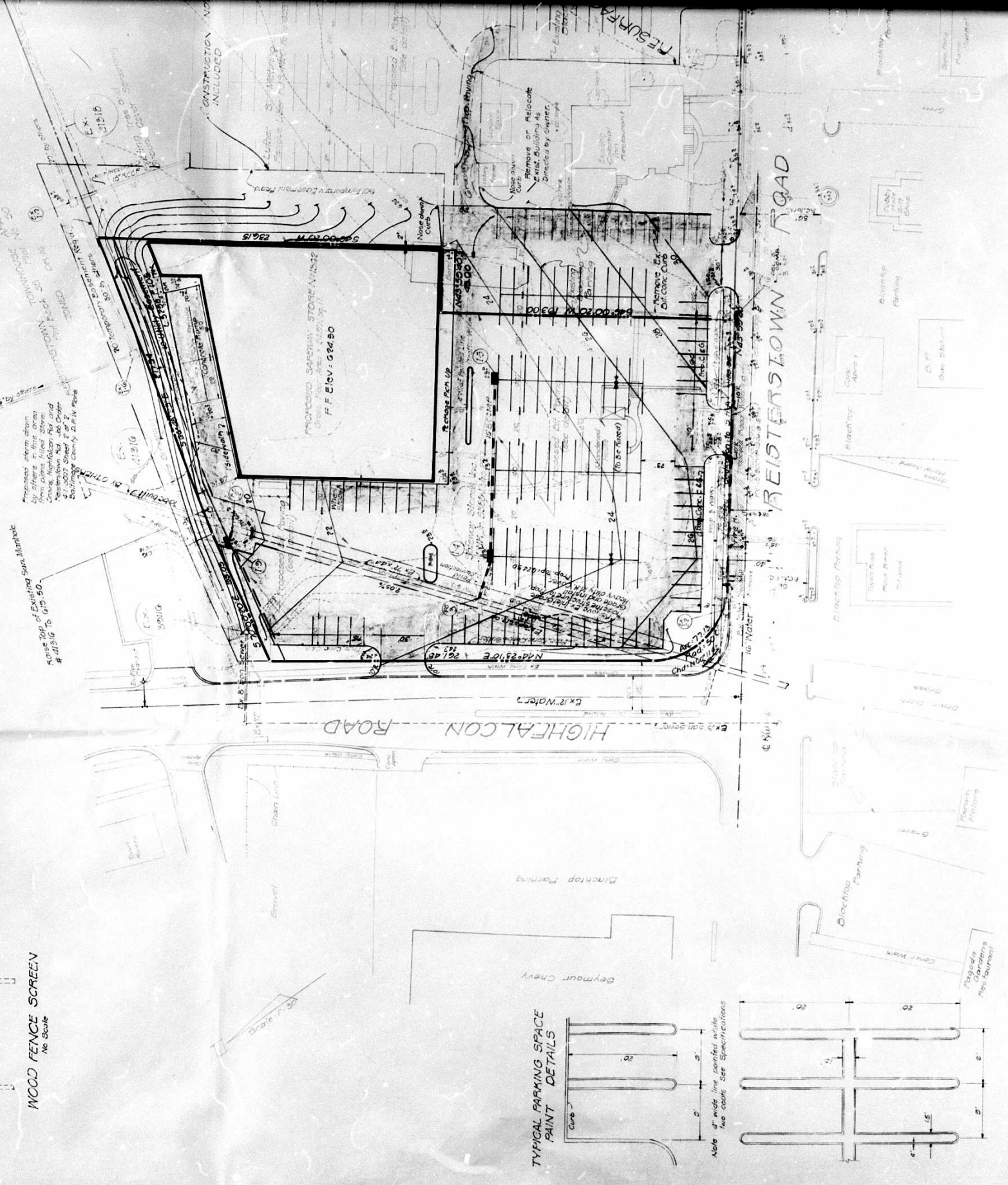
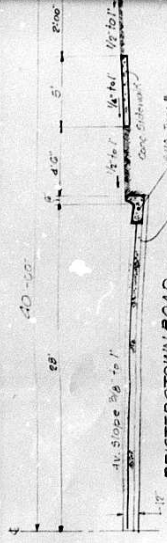




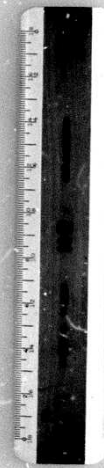
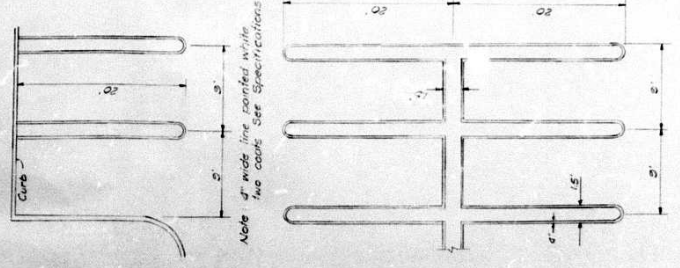
**PROPOSED PARKING AREA
PAVING DETAIL**
No Scale



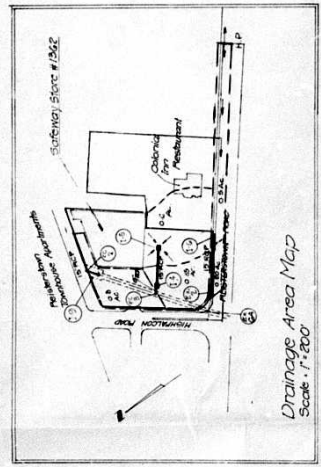
**REISTERSTOWN ROAD
TYPICAL STREET SECTION**
NO SCALE



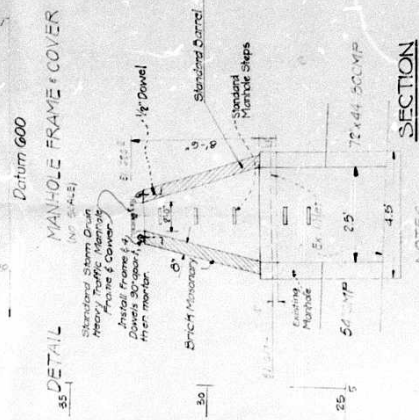
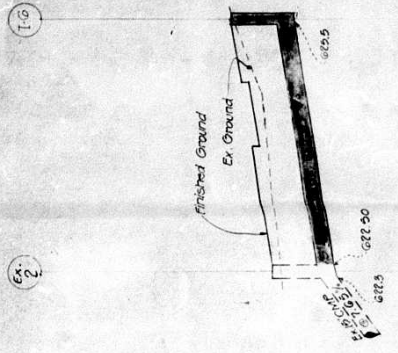
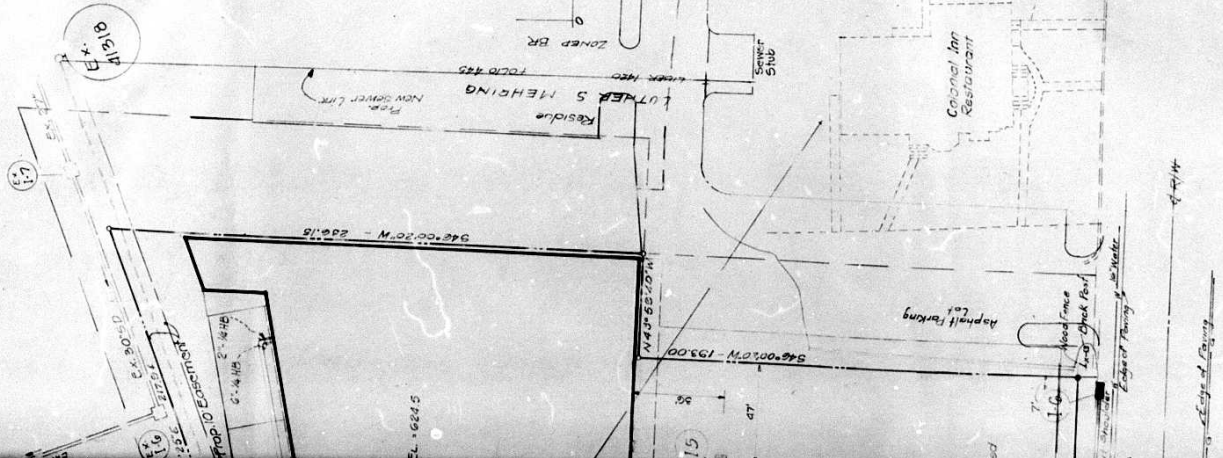
**TYPICAL PARKING SPACE
PAINT DETAILS**



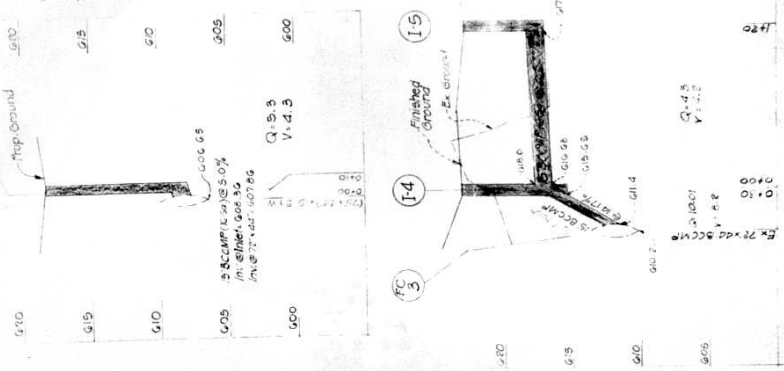
A PARTMENTS



SPLINE GRADE MATCH EXISTING PAVING
Reisterstown Road
Scale: Hor: 1"=50'
Ver: 1"=25'



NOTES
1 Replace 4" concrete slab with 12" slab.
2 Construct stack and install standard heavy traffic manhole frame and cover to proposed elevation.
3 All new construction to be in accordance with Standard Detail D-5.



PLANS APPROVED
OFFICE OF PLANNING & ZONING
BY: *[Signature]*
DATE: 6-11-74
W. Spitzer

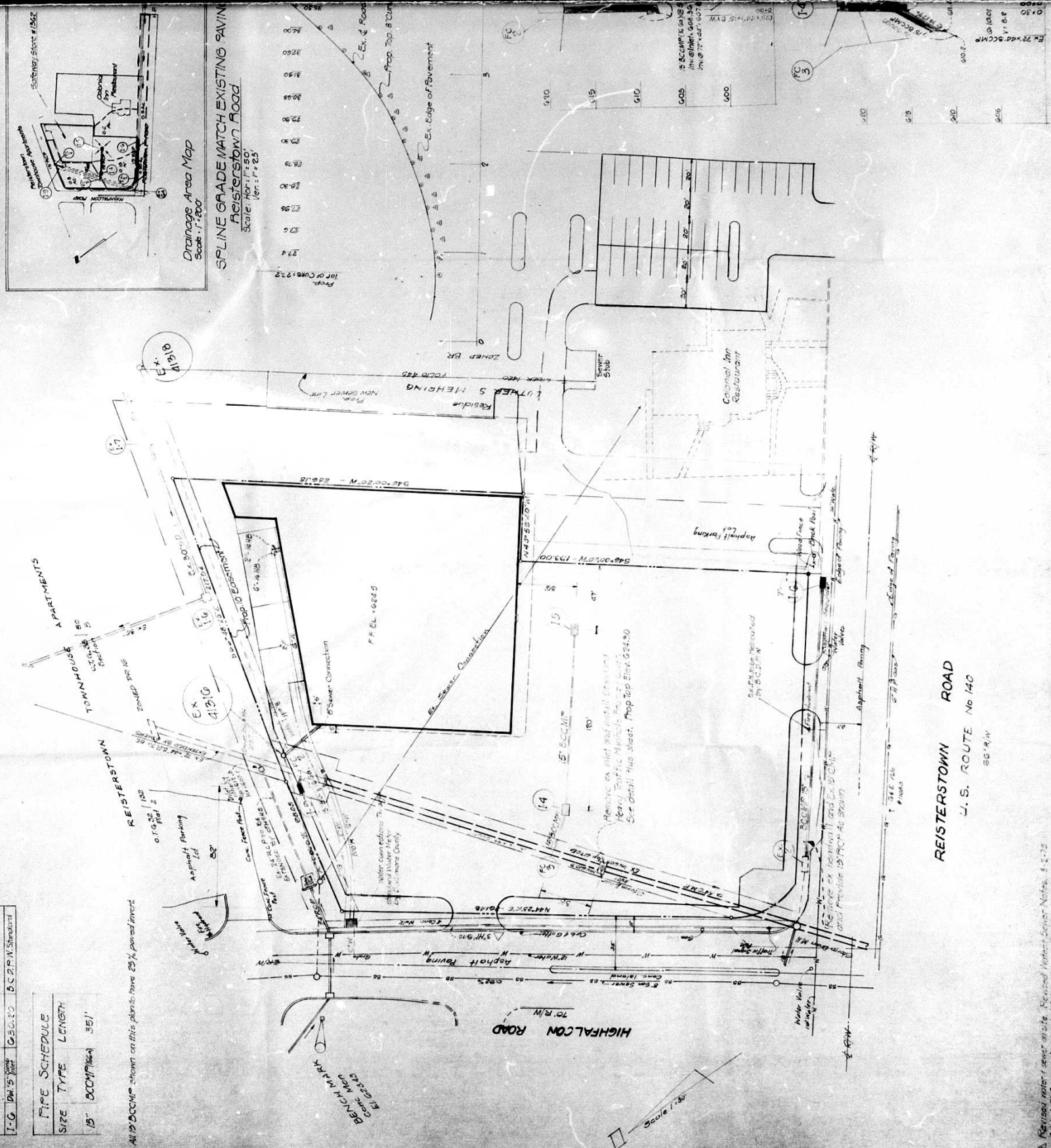


All construction to be done in accordance with
Dulles County, Department of Public Works
Standards, Details and Specifications.

STRUCTURE SCHEDULE		
No.	Type	Top Elev. Remarks
PC-2	Field Conn.	See detail sheet
I-3	Dn. 5' Pipe	D.C.D.P.M. Standard
FC-3	Field Conn.	See detail sheet
I-4	Dn. 5'	B.C.D.P.M. Standard
I-5	Dn. 5'	B.C.D.P.M. Standard
I-6	Dn. 5' Pipe	B.C.D.P.M. Standard

PIPE SCHEDULE		
SIZE	TYPE	LENGTH
15"	DCCM (See)	351'

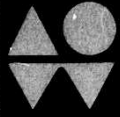
All DCCM shown on this plan to have 25% porous invert.



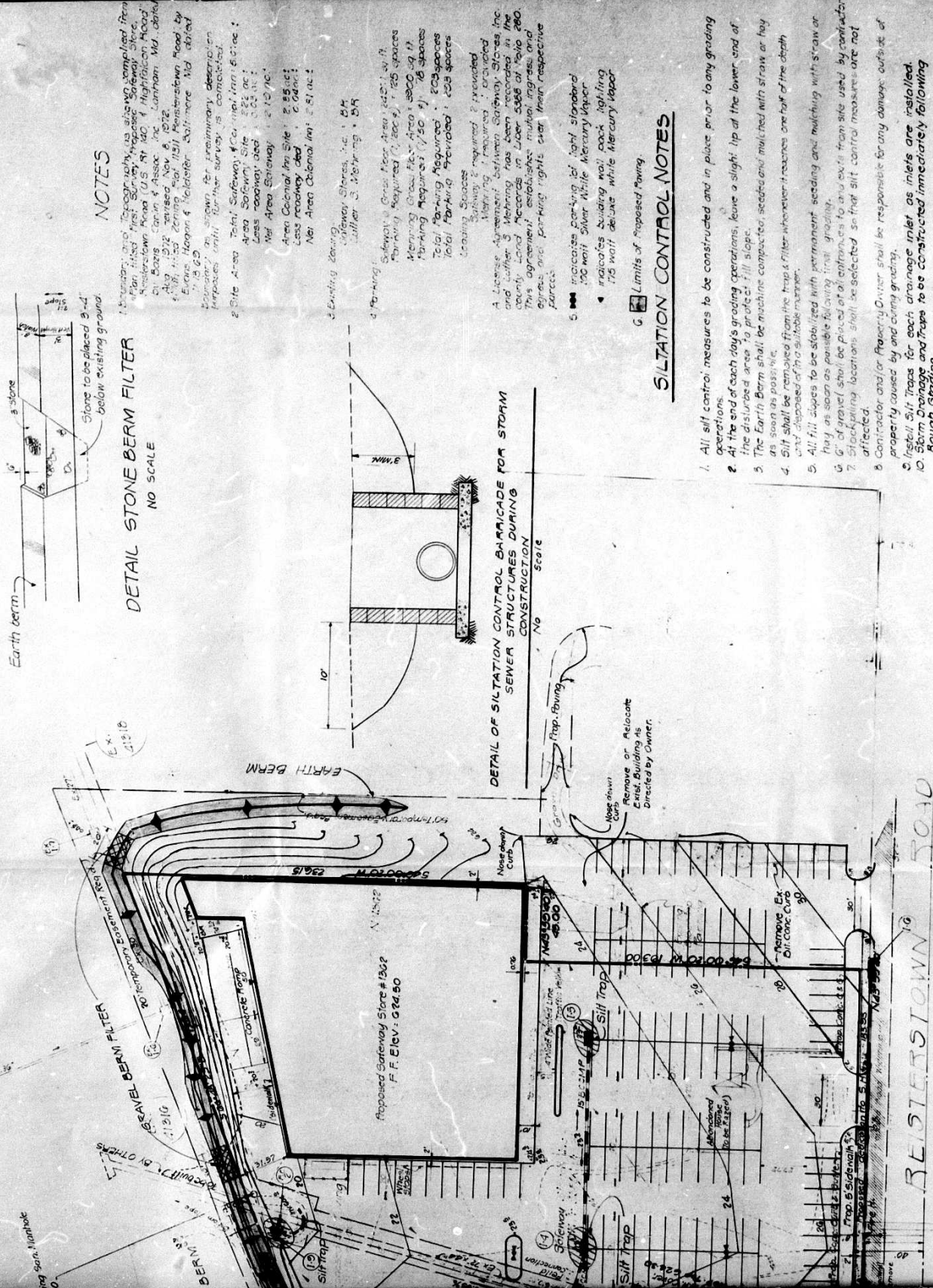
REISTERSTOWN ROAD
U.S. ROUTE No 140

66' R/W

Δ Revised water sewer utility Revised Water Sewer Notes 3-2-75
Added 3' Bus on Highfalcon Rd



PROPOSED PAVING AREA
 PAVING DETAIL
 No. Scale



NOTES

1. Sediment control structures to be installed prior to any earthwork activities along the site. See Stationing Plan (US 51 140 & Highfill Road) by: Bozys, Conin & Assoc. Inc., Lantana, Md. dated Aug. 1972 revised Nov. 6, 1972.
2. All siltation control structures shall be installed by the contractor and shall be maintained until the site is stabilized and the contractor is responsible for any damage outside of the site.
3. Site Area: Total Site Area: 2.55 ac.; Area Safeway Site: 1.55 ac.; Less roadway bed: 0.04 ac.; Net Area: 2.51 ac.
4. Existing Zoning: Safeway Stores, Inc., SA; Safeway Stores, Inc., SA; Jaffier S. 10/10/73, SA.
5. Parking: Safeway's Gross Floor Area: 242,000 sq. ft.; Parking Required: 2,200 spaces; Minimum Gross Floor Area: 200,000 sq. ft.; Minimum Parking Required: 1,750 spaces; Total Parking Required: 2,000 spaces; Total Parking Provided: 1,000 spaces; Existing Spaces: 1,000; Existing Spaces: 1,000; Existing Spaces: 1,000.
6. The contractor shall be responsible for any damage outside of the site caused by and during grading.
7. All fill slopes to be stabilized with permanent seeding and mulching with straw or hay as soon as possible following final grading.
8. Gravel shall be placed at all entrances to and exits from site used by contractor.
9. Stockpiling locations shall be selected so that silt control measures are not affected.
10. Contractor and/or Property Owner shall be responsible for any damage outside of property caused by and during grading.
11. Install Silt Traps for each drainage inlet as inlets are installed.
12. Silt Traps and Traps to be constructed immediately following Rough Grading.

SILTATION CONTROL NOTES

1. All silt control measures to be constructed and in place prior to any grading operations.
2. At the end of each day's grading operations, leave a slight lip at the lower end of the disturbed area to protect fill slope.
3. The Earth Berm shall be machine compacted, seeded and mulched with straw or hay as soon as possible.
4. Silt shall be removed from the trap & filter whenever it reaches one half of the depth and disposed of in a suitable manner.
5. All fill slopes to be stabilized with permanent seeding and mulching with straw or hay as soon as possible following final grading.
6. Gravel shall be placed at all entrances to and exits from site used by contractor.
7. Stockpiling locations shall be selected so that silt control measures are not affected.
8. Contractor and/or Property Owner shall be responsible for any damage outside of property caused by and during grading.
9. Install Silt Traps for each drainage inlet as inlets are installed.
10. Silt Traps and Traps to be constructed immediately following Rough Grading.



PLANS APPROVED
 OFFICE OF PLANNING & ZONING
 BY: _____
 DATE: _____

John W. Osaroff

6"-6" Asst. G.C.C.

1'-6" vertical members attached
to area of support.
Screening to be
stained a solid
color.

WOOD FENCE SCREEN

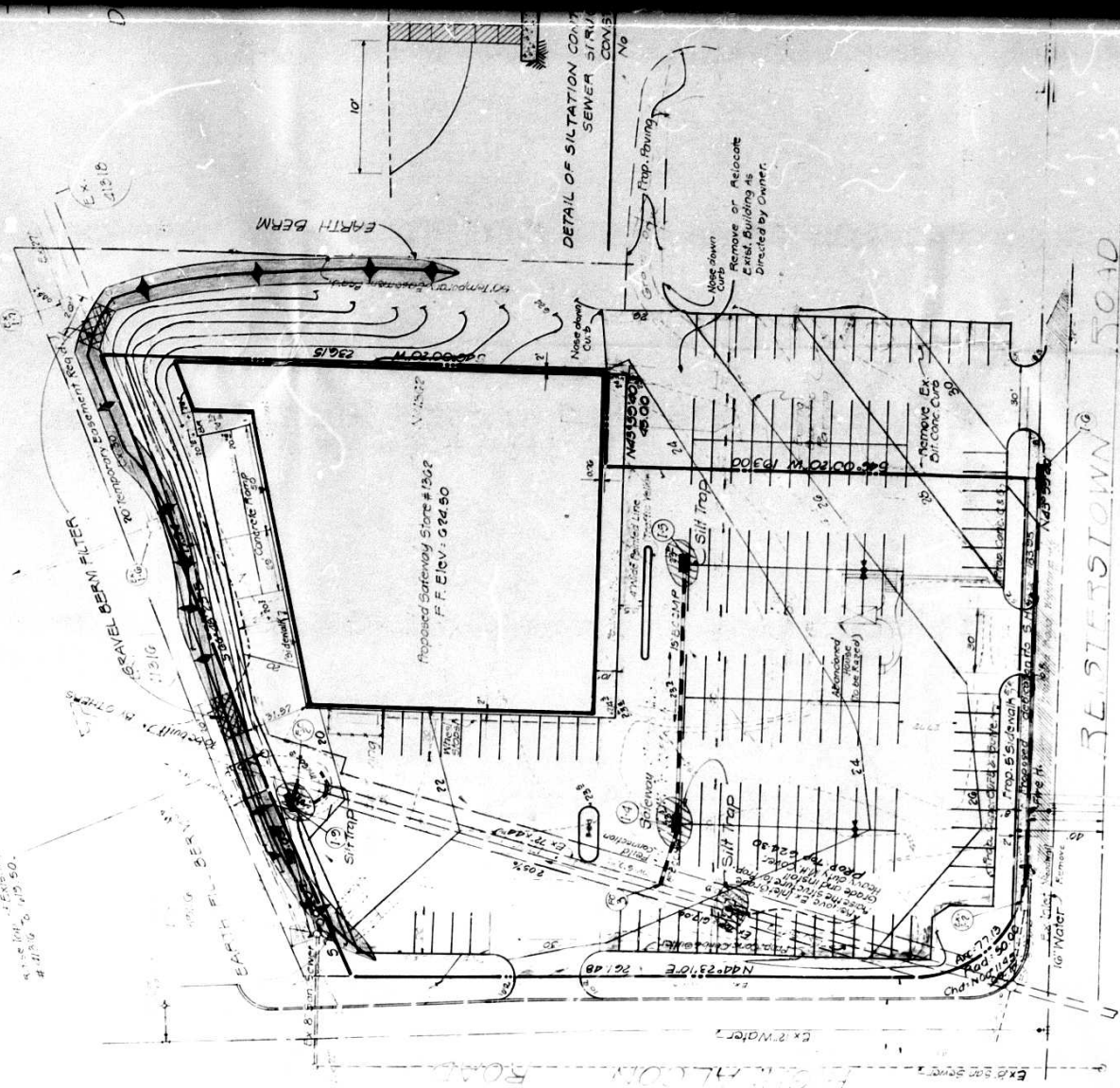
As Detail

PROPOSED SINKING AREA PAVING DETAIL

As Detail

EXISTING VAN ILUWAKE
11216 5' 11.5" 50"

Earth berm



36 STEERSTOWN ROAD

