

Pursuant to the advertisement, posting of property, and public hearing on the above petition and it appearing that by reason of the following finding of facts that strict compliance with the Baltimore County Zoning Regulations would result in practical difficulty and unreasonable hardship upon the Petitioner,

the above Variance should be had; and it further appearing that by reason of the granting of the Variance requested not adversely affecting the health, safety, and general welfare of the community, the Variance to permit a rear yard setback of 25 feet in lieu of the required 50 feet should be granted.

IT IS ORDERED by the Zoning Commissioner of Baltimore County, this 21st day of JANUARY, 1975, that the herein Petition for a Variance to permit a rear yard setback of 25 feet in lieu of the required 50 feet should be and the same is GRANTED, from and after the date of this Order, subject to the approval of a site plan by the State Highway Administration, the Department of Public Works, and the Office of Planning and Zoning.

Pursuant to the advertisement, posting of property and public hearing on the above petition and it appearing that by reason of

the above Variance should NOT BE GRANTED.

IT IS ORDERED by the Zoning Commissioner of Baltimore County, this day of 1975, that the above Variance be and the same is hereby DENIED.

Zoning Commissioner of Baltimore County

BALTIMORE COUNTY ZONING PLANS ADVISORY COMMITTEE

January 7, 1975

COUNTY OFFICE BUILDING
111 W. Chesapeake Avenue
TOWSON, MARYLAND 21204

FRANKLIN T. HOGANS, JR.
Chairman

MEMBERS
ZONING ADMINISTRATION
HEALTH DEPARTMENT
BUREAU OF FIRE PREVENTION
DEPARTMENT OF TRAFFIC ENGINEERING
STATE HIGHWAY ADMINISTRATION
BUREAU OF ENGINEERING
PROJECT AND DEVELOPMENT PLANNING
INDUSTRIAL DEVELOPMENT COMMISSION
BOARD OF EDUCATION
OFFICE OF THE BUILDINGS ENGINEER

Charles T. Albert, Esq.
25 South Charles Street
Baltimore, Maryland 21201

RE: Variance Petition
Item 124
Parker Realty, Inc. - Petitioner

Dear Mr. Albert:

The Zoning Plans Advisory Committee has reviewed the plans submitted with the above referenced petition and has made an on site field inspection of the property. The following comments are a result of this review and inspection.

These comments are not intended to indicate the appropriateness of the zoning action requested, but to assure that all parties are made aware of plans or problems with regard to the development of the property. The Director of Planning may file a written report with the Zoning Commissioner with recommendations as to the appropriateness of the requested zoning.

The subject property is located at the southeast corner of Vero Road at its intersection with the Baltimore City-Baltimore County boundary line, and is currently improved with a one-story brick warehouse utilized by United Parcel Service as a distribution center. This property abuts to the southeast Interstate-95.

The petitioner is requesting a Variance to permit the construction of an addition to the rear of the building which encroaches on the required setback from the Interstate Highway right of way/property line.

This petition is accepted for filing on the date of the enclosed filing certificate. Notice of the hearing date and time, which will be held not less

Charles T. Albert, Esq.
Re: Item 124
January 7, 1975

Page 2

than 30, nor more than 90 days after the date on the filing certificate, will be forwarded to you in the near future.

Very truly yours,

Franklin T. Hogans, Jr.
FRANKLIN T. HOGANS, JR.
Chairman,
Zoning Plans Advisory Committee

PTH:JD

cc: Evans, Hagan & Holdefer, Inc.
8013 Belair Road
Baltimore, Maryland 21236

BALTIMORE COUNTY, MARYLAND DEPARTMENT OF HEALTH

JEFFERSON BUILDING
TOWSON, MARYLAND 21204

DONALD J. ROOP, M.D., M.P.H.
DEPUTY STATE AND COUNTY HEALTH OFFICER

December 19, 1974

Mr. S. Eric DiNenna, Zoning Commissioner
Office of Planning and Zoning
County Office Building
Towson, Maryland 21204

Dear Mr. DiNenna:

Comments on Item 124, Zoning Advisory Committee Meeting, December 24, 1974, are as follows:

Property Owner: Parker Realty Inc.
Location: SE/C of the Balto. City and Balto. County Line & Vero Rd.
Existing Zoning: ML - IM
Proposed Zoning: Variance from Sec. 255.2 (243.3) to Permit a rear yard of 25 ft. in lieu of the required 50 ft.
No. of Acres: 17.889
District: 13th

Metropolitan water and sewer are available.

Very truly yours,

Thomas B. Dwyer, Director
BUREAU OF ENVIRONMENTAL SERVICES

HVB/ncs

WILLIAM D. FROMM
DIRECTOR
S. ERIC DINENNA
ZONING COMMISSIONER



December 23, 1974

Mr. S. Eric DiNenna, Zoning Commissioner
Zoning Advisory Committee
Office of Planning and Zoning
Baltimore County Office Building
Towson, Maryland 21204

Dear Mr. DiNenna:

Comments on Item #124, Zoning Advisory Committee Meeting, December 24, 1974, are as follows:

Property Owner: Parker Realty Inc.
Location: SE/C of the Baltimore City and Baltimore County Line and Vero Road
Existing Zoning: M.L. - I.M.
Proposed Zoning: Variance from Sec. 255.2 (243.3) to permit a rear yard of 25 ft. in lieu of the required 50 ft.
No. of Acres: 17.889
District: 13th

This office has reviewed the subject petition and offers the following comments. These comments are not intended to indicate the appropriateness of the zoning in question, but are to assure that all parties are made aware of plans or problems with regard to development plans that may have a bearing on this petition.

This plan has been reviewed and there are no site-planning factors requiring comment.

Very truly yours,

John L. Wimbley
John L. Wimbley
Planning Specialist II
Project and Development Planning

BALTIMORE COUNTY OFFICE OF PLANNING AND ZONING
SUITE 301 JEFFERSON BUILDING 105 WEST CHESAPEAKE AVENUE TOWSON, MARYLAND 21204
AREA CODE 301 PLANNING 484-3211 ZONING 484-3251

BOARD OF EDUCATION OF BALTIMORE COUNTY

TOWSON, MARYLAND - 21204

Date: January 2, 1975

Mr. S. Eric DiNenna
Zoning Commissioner
Baltimore County Office Building
Towson, Maryland 21204

Z.A.C. Meeting of: December 24, 1974

Re: Item 124

Property Owner: Parker Realty Inc.

Location: SE/C of the Balto. City & Balto. County Line & Vero Road

Present Zoning: M.L. - I.M.

Proposed Zoning: Variance from Section 255.2 (243.3) to permit a rear yard of 25 ft. in lieu of the required 50 ft.

District: 13th

No. Acres: 17.889

Dear Mr. DiNenna:

No bearing on student population.

Very truly yours,
W. Nick Petrovich,
Field Representative.

M. EMILIE PARKS, President
EUGENE C. HESS, Vice President
MRS. ROBERT L. BERNY

MARCUS M. BOTSANS
JOSEPH M. MCDONNAN
ALVIN LORICK
JOSHUA M. WHEELER, Superintendent

F. EDWARD WILLIAMS, JR.
RICHARD W. TRACY, VAND.
MRS. RICHARD A. WULFEL

BALTIMORE COUNTY, MARYLAND

INTER-OFFICE CORRESPONDENCE

TO: S. Eric DiNenna, Zoning Commissioner Date: January 17, 1974
FROM: William D. Fromm, Director of Planning
SUBJECT: Petition # 75-151-A. Southeast side of Vero Road and the Southwest Side of Baltimore City Line.
Petition for Variance for a Rear Yard.
Petitioner - Parker Realty Corp.

13th District

HEARING: Monday, January 20, 1975 (9:30 A.M.)

The staff of the Office of Planning and Zoning has reviewed the subject petition and has the following comment to offer.

This request would not be inconsistent with the 1980 Guideplan, the County's official master plan.

William D. Fromm
William D. Fromm
Director of Planning

WDF:NEG:cw

Division of Engineering
ELLSWORTH N. DWYER, P.E., Chief

January 14, 1975

Mr. S. Eric DiNenna
Zoning Commissioner
County Office Building
Towson, Maryland 21204

Re: Item #124 (1974-1975)
Property Owner: Parker Realty Inc.
S/E corner of the Balto. City and Balto. County Line and Vero Road
Existing Zoning: ML - IM
Proposed Zoning: Variance from Sec. 255.2 (243.3) to permit a rear yard of 25' in lieu of the required 50'
No. of Acres: 17.889 District: 13th

Dear Mr. DiNenna:

The following comments are furnished in regard to the plat submitted to this office for review by the Zoning Advisory Committee in connection with the subject item.

General:

Baltimore County utilities and highway improvements are as secured by Public Works Agreement #136902 executed in connection with the "Denson Industrial Park".

There is evidence of a drainage problem to the east, between the existing structure and Interstate Route 95.

The Petitioner must provide necessary drainage facilities (temporary or permanent) to prevent creating any nuisance or damages to adjacent properties, especially by the concentration of surface waters. Correction of any problem which may result, due to improper grading or improper installation of drainage facilities, would be the full responsibility of the Petitioner.

This office has no further comment in regard to the plan submitted for Zoning Advisory Committee review in connection with this Item #124 (1974-1975).

Very truly yours,

Ellsworth N. Dwyer, P.E.
Ellsworth N. DWYER, P.E.
Chief, Bureau of Engineering

END:HAM:PNH:iss
cc: George Reier (BLD. #657-69)
G-W Key Sheet
13 & 14 - 2 Pos. Sheets
SM & C Topo.
S&C Top Map

MAR 0 4 1975

75-151-A

PIPER & MARBURY
3000 EAST HAVENLAND BUILDING
25 SOUTH CHARLES STREET
BALTIMORE 21201
TELEPHONE 30-539-2530

January 13, 1975

Frank T. Hogans, Jr.
Baltimore County Office of Planning
and Zoning
County Office Building
111 W. Chesapeake Avenue
Baltimore, Maryland 21204

Re: Parker Realty - Petition for a Variance (#124)

Dear Mr. Hogans:

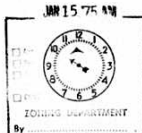
Please be advised that Mr. Charles T. Albert and the undersigned have been retained by the United Parcel Service Incorporated to represent them in the matter captioned above.

Very truly yours,

William R. Hanson

William R. Hanson

WHR/ma



PIPER & MARBURY
3000 EAST HAVENLAND BUILDING
25 SOUTH CHARLES STREET
BALTIMORE 21201
TELEPHONE 30-539-2530

CERTIFICATE OF PUBLICATION

BALTIMORE COUNTY, MD. January 9, 1975
THIS IS TO CERTIFY, That the annexed advertisement was published in THE TIMES, a weekly newspaper printed and published in Baltimore County, Md. once in each of one successive weeks before the 20th day of January, 1975, the first publication appearing on the 9th day of January 1975.

THE TIMES

ARBUS

C. Carson

Cost of Advertisement, \$

THE TIMES
BALTIMORE COUNTY, MD.
JANUARY 9, 1975
THIS IS TO CERTIFY, That the annexed advertisement was published in THE JEFFERSONIAN, a weekly newspaper printed and published in Towson, Baltimore County, Md., once in each of one successive weeks before the 20th day of January, 1975, the first publication appearing on the 9th day of January 1975.

CERTIFICATE OF PUBLICATION

TOWSON, MD. JANUARY 2, 1975
THIS IS TO CERTIFY, that the annexed advertisement was published in THE JEFFERSONIAN, a weekly newspaper printed and published in Towson, Baltimore County, Md., once in each of one successive weeks before the 20th day of January, 1975, the first publication appearing on the 2nd day of January 1975.

THE JEFFERSONIAN

L. Frank Smith

Manager

Cost of Advertisement, \$

1-SIGN

75-151-A

CERTIFICATE OF POSTING ZONING DEPARTMENT OF BALTIMORE COUNTY Towson, Maryland

District: 12th
Posted for: PETITION FOR VARIANCE
Petitioner: PARKER REALTY CORP.
Location of property: SE 1/3 of VERO RD. AND SW 1/3 of BALTO. CITY
Location of Sign: SE 1/3 of VERO RD. 625' +/- W. of JCH Ave.
Remarks:
Posted by: Thomas A. Boland Date of return: JAN. 16, 1975

BALTIMORE COUNTY OFFICE OF PLANNING AND ZONING

County Office Building
111 W. Chesapeake Avenue
Towson, Maryland 21204

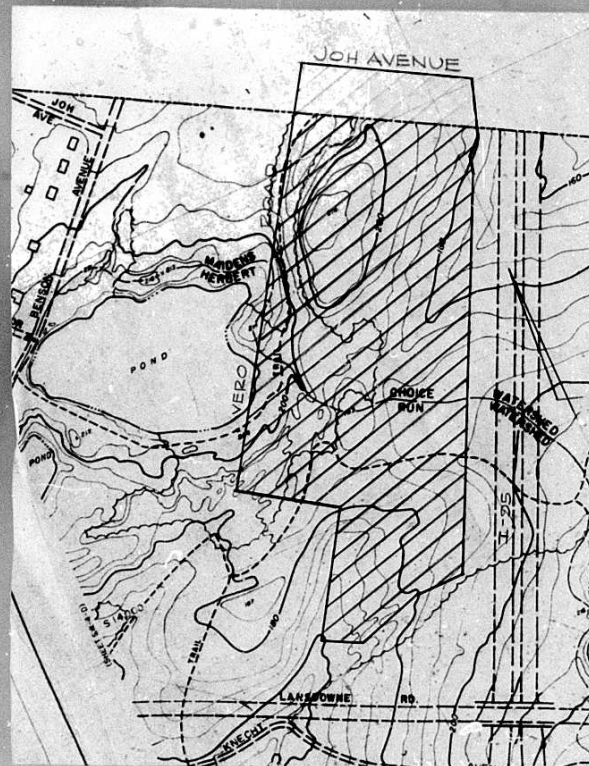
Your Petition has been received * this 11 day of

DEC 1974. Item #

AL. D. 76
S. ERIC DINENNO,
Zoning Commissioner

Petitioner PARKER REALTY Submitted by MR. KOENIG 247-5000
Petitioner's Attorney J. ALBERT Reviewed by ARL 247-5000

* This is not to be interpreted as acceptance of the Petition for assignment of a hearing date.



PETITION MAPPING PROGRESS SHEET									
FUNCTION	Wall Map		Original		Duplicate		Tracing		200 Sheet
	date	by	date	by	date	by	date	by	date
Descriptions checked and outline plotted on map									
Petition number added to outline									
Denied									
Granted by ZC, BA, CC, CA									
Reviewed by: <u>7BC</u>	Revised Plans: Change in outline or description Yes _____ No _____								
Previous case:	Map # _____								

BALTIMORE COUNTY, MARYLAND No. 17443
OFFICE OF FINANCE - REVENUE DIVISION
MISCELLANEOUS CASH RECEIPT
DATE Jan. 20, 1975 ACCOUNT 01-662
AMOUNT 77.50
DISTRIBUTION: WHITE - CASHIER, YELLOW - CUSTOMER
William T. Whiteley, Jr.
115 Alabama Road
Towson, Md. 21204
Advertising and posting of property for Parker Realty, Inc. #75-151-A

BALTIMORE COUNTY, MARYLAND No. 17402
OFFICE OF FINANCE - REVENUE DIVISION
MISCELLANEOUS CASH RECEIPT
DATE Dec. 30, 1974 ACCOUNT 01-662
AMOUNT \$25.00
DISTRIBUTION: WHITE - CASHIER, YELLOW - CUSTOMER
Col. Stanley A. Kachel
2708 Viking Drive
Harmon, Va. 22070
Petition for Variance for Parker Realty Corp. #75-151-A



ROAD

ZONED ML-1M

----- 533° 25-00" W

1260.00'

1103.62

JOH

ZONED M-1-1

- N 60° 30' - 50" W

AVENUE

500.00

EXISTING 1 STORY
BRICK
WAREHOUSE

ZONE: M-1-1
ZONE: ML-1M

ZONING NOTES

[illegible]

NOTE:

Utilities as Shown Hereon Were Taken From Plans Prepared by Local Authorities Having Jurisdiction Over Same and the Accuracy is not Guaranteed.

Contractor should call Miss Utility at (301) 559-0100, at least 48 hours notice before starting any grading or construction.

PROPOSED WAREHOUSE ADDITION

I-95
ZONED ML-1M

TONED ML-1M

TO ACCOMPANY ZONING PETITION
FOR
REYARD SETBACK VARIANCE

३०

TEL SERVICE PROPERTY

BALTIMORE CITY MARYLAND

for

UNITED PARCEL SERVICE
3901 VERO ROAD
BALTIMORE MARYLAND 21227

EVANS, HAGAN & HOLDEFER, INC.

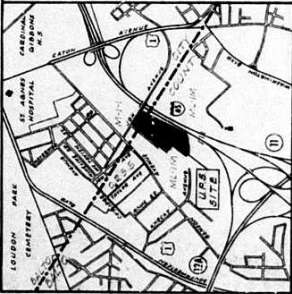
SURVEYORS AND CIVIL ENGINEERS
2011 BELAIR ROAD / BALTIMORE, MD 21224

289 POPULAR STREET / CAMBRIDGE, MA. 02133 / (617) 252-3000
112 E. MAIN STREET / WILMINGTON, MA. 01890 / (508) 648-1700
113 S. WASHINGTON STREET / BARNSTABLE, MA. 01903 / (508) 255-1000

V. Daniel D. D. D.

DATE 12-6-74 SCALE 1"=50'

DATE 12-6-74 SCALE 1"=50'



BALTIMORE CITY BENCH MARK

#9517
Concrete Monument in Iron Box Plush
with Sur-face on West Side Benson
Avenue 60± North of John Avenue.

LOCATION MAP

SCALE 1" = 2000'
See Baltimore Zoning Map 2A

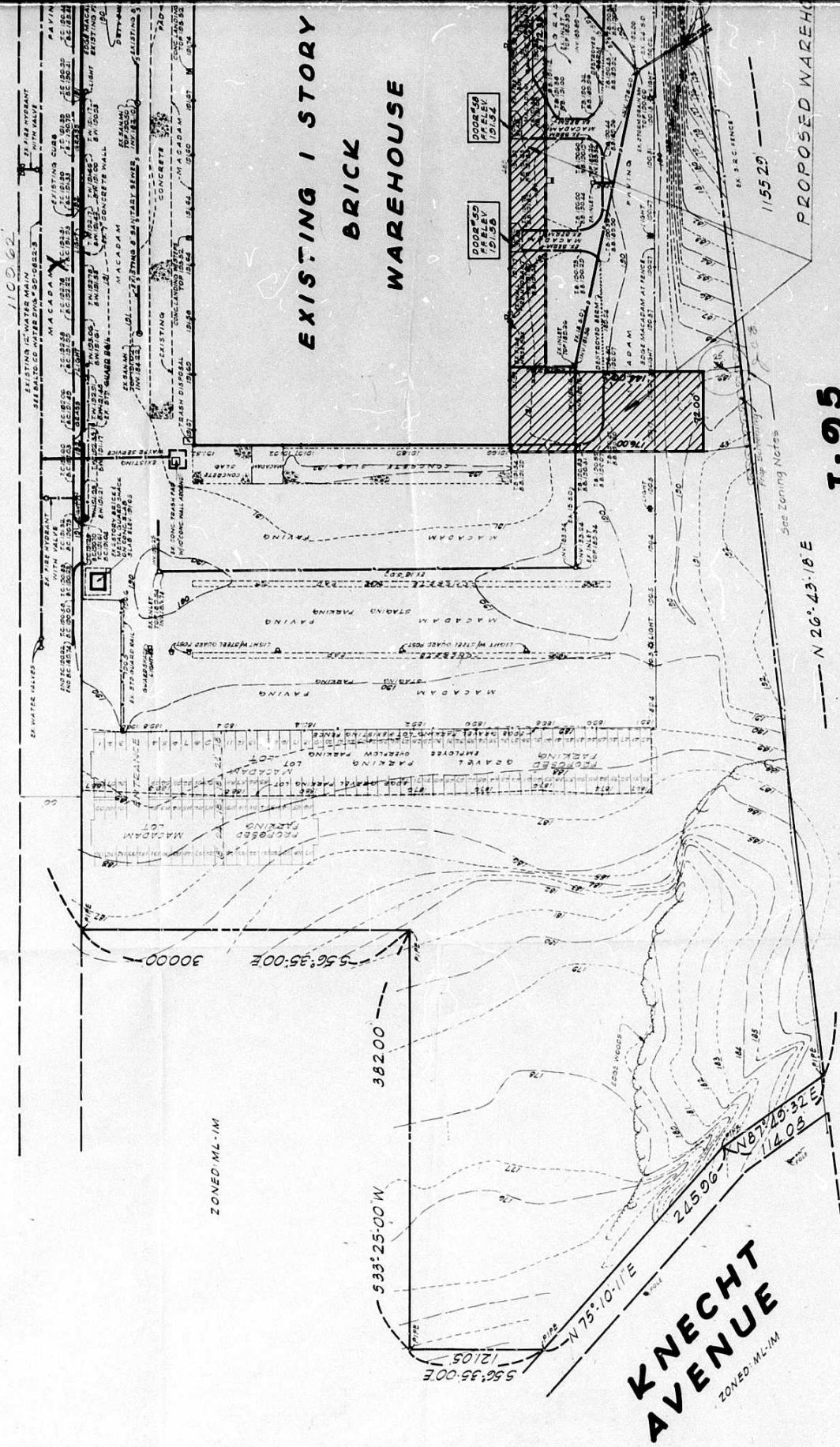
VERO

ZONED ML-1M

ROAD

--- 53° 25' 00" W

12600



**KNECHT
AVENUE**
ZONED ML-1M

--- N 20° 43' 16" E

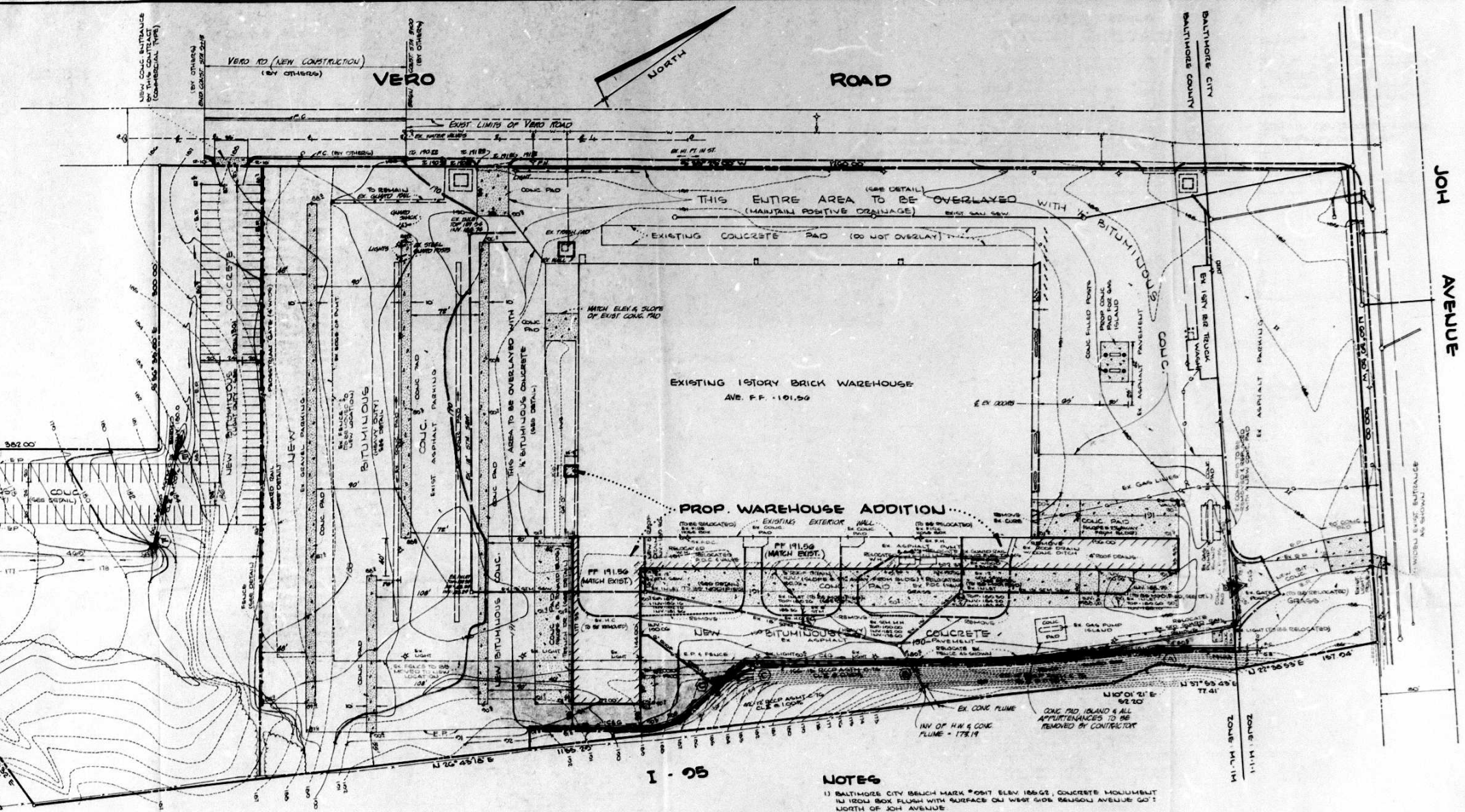
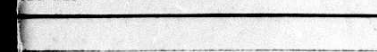
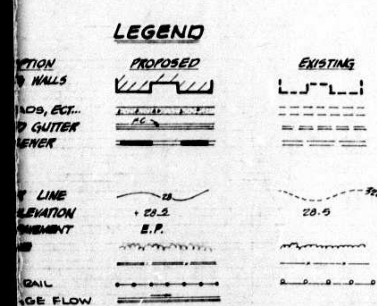
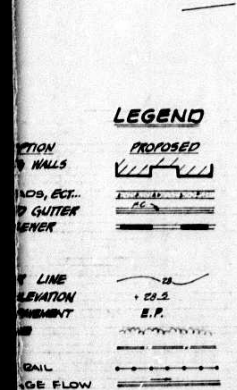
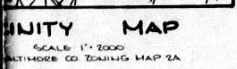
I-95
ZONED ML-1M

PLAT TO ACCOMPANY ZONING PETITION
FOR
SIDE YARD SETBACK VARIANCE
OF

UNITED PARCEL SERVICE PROPERTY
BALTIMORE CITY MARYLAND

FOR
UNITED PARCEL SERVICE
3901 VERO ROAD
BALTIMORE MARYLAND 21227





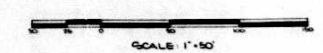
I - 95

NOTES

- # NOTES
- 1) BALTIMORE CITY BENCH MARK #0917 ELEV 1886.62, CONCRETE MONUMENT IN REDUC BOX FLAGGED WITH SURFACE ON WEST SIDE BALGON AVENUE GO 1
 - 2) NORTH OF 304 AVENUE
 - 3) AREA 1.8660 ACRES
 - 3) EXISTING ZONE: ML-1M - EXISTING DISTRICT: 15th
 - 4) EXISTING USE: OFFICE & WAREHOUSE
 - 6) PROPOSED ZONE: ML-1M 7) VARIANCE TO SECTION 255.2 OF THE BALTO. CO. ZONING ORD. FOR A MINIMUM 1:1 RATIO YARD OF 25' INSTEAD OF THE REQUIRED 50'
 - 6) PROPOSED USE: OFFICE & WAREHOUSE
 - 7) PARKING REQUIREMENTS: EXIST WAREHOUSE: NO. OF EMPLOYEES: 281, NO. OF PARKING SPACES REQUIRED: 281/3 = 96 SPACES; 1 PROP. ADDITION TO WAREHOUSE: NO. ADDITIONAL EMPLOYEES: 1200, EXISTING DRIVEWAY AREA: 17,000 SQ. FT., NO. OF PARKING SPACES REQUIRED: 17,000/30 = 40 SPACES. TOTAL NO. OF PARKING SPACES REQUIRED: 96+40=136 SPACES. NO. OF OFFICE SPACES PROVIDED: 96, NO. OF WAREHOUSE SPACES PROVIDED: 136 SPACES
 - 8) UTILITIES: A. SHOWN HEREON WERE TAKEN FROM PLANS PREPARED BY LOCAL AUTHORITIES HAVING JURISDICTION OVER SAME AND THE ACCURACY IS NOT GUARANTEED.
 - 9) CONTRACTOR SHALL CALL "HIGH UTILITY" AT (301) 969-0100 AT LEAST 48 HOURS' NOTICE BEFORE STARTING ANY GRADING OR CONSTRUCTION

PLANS APPROVED
OFFICE OF PLANNING & ZONING
BY John L. [Signature]
DATE 3-21-75
75-151-A

**PATTON, HARRIS, RUST & GUY
ENGINEERS ... SURVEYORS ... PLANNERS
FAIRFAX ... VIRGINIA**



42 30 2 13318
1-2
RESEARCH SERVICES

DATE FEB. 1976
 DRAWN 64
 CHECKED T.O.R.
 CORN. IN. _____
 REVISED _____

 **Additions and Alterations to**
United Parcel Service
Distribution Center
3901 Vero Road Baltimore, Maryland



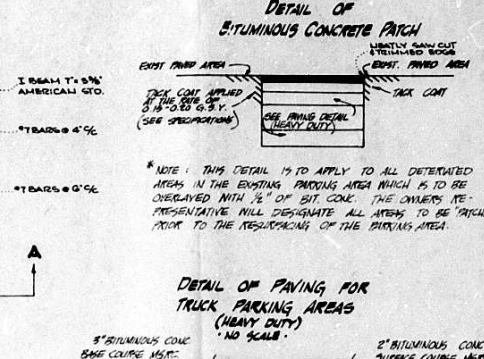
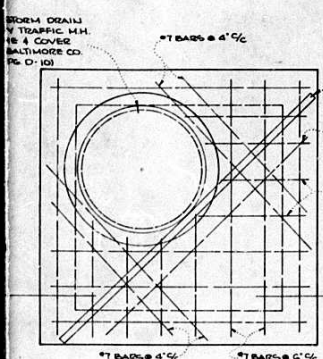
MINTZ + EASTER
AIA
ARCHITECTS

[illegible]**DRAWING NUMBER**

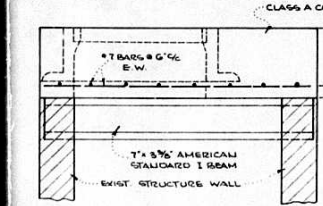
C-1

SHEET 2 OF 25

APR 08 1975



TOP GLAB



SECTION A-A

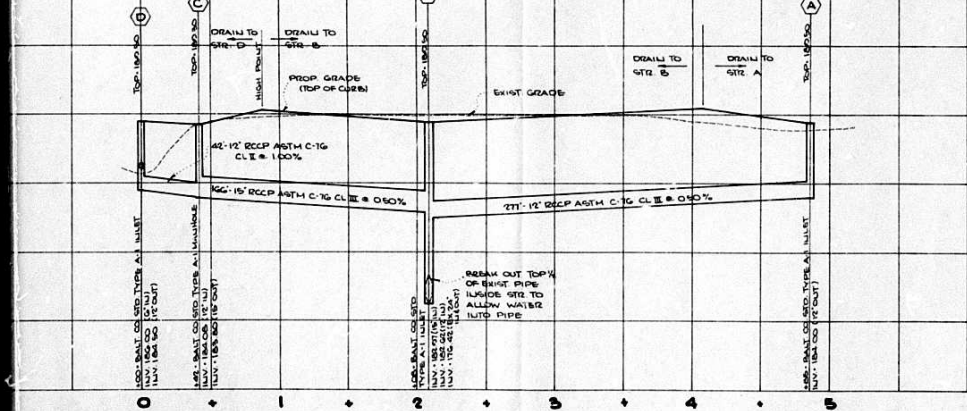
W TOP FOR EXISTING STRUCTURES 1, 2, 3 & 4

- NOTES:
- EXISTING TOP 4 INLET FOR STRUCTURES 1, 2, 3 & 4 TO BE REMOVED
 - GLAB TO FIT EXISTING STRUCTURES AS SHOWN. OUTSIDE DIMENSIONS ARE APPROXIMATELY 4' x 4'
 - TOP ELEVATIONS TO BE AS FOLLOWS: 1- 101.00 2- 101.00 3- 100.07 4- 101.00
 - PLACE ACCESS MAHOLE OVER EXISTING STEPS



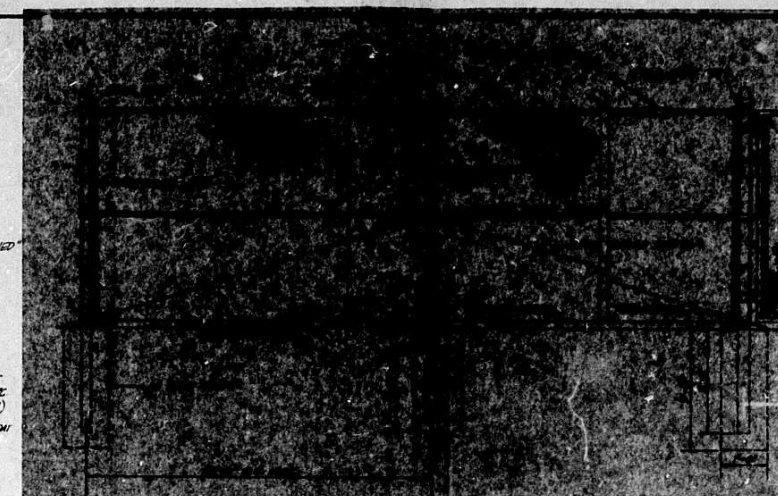
TYPICAL SECTION PAINTED STRIPES

(LINES SHOWN ON PLAN ARE 4" STORM TYPICAL PARKING SPACE = 7' x 20')

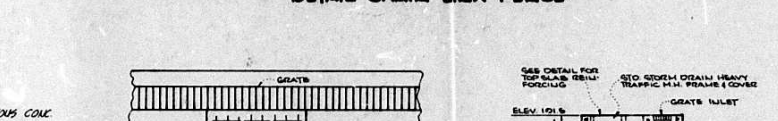


STORM SEWER PROFILE

SCALE: HORIZ 1" = 50' VERT 1" = 5'



DETAIL CHAIN LINK FENCE



TOP GLAB (TOP VIEW)

SECTION A-A

SECTION C-C

SECTION B-B

SPECIAL GRATE INLET AND TOPS FOR RAMP ENTRANCE

TOP VIEW - GRATE REMOVED

TEMPLE FOULDRY FLAT GRATE TOP - TYPE 'C' (OR APPROVED EQUAL)

DETAIL OF BITUMINOUS CONCRETE OVERLAY (NO SCALE)

DETAIL OF PAVING FOR CAR PARKING AREAS (LIGHT DUTY) (NO SCALE)

DETAIL OF PAVING FOR TRUCK PARKING AREAS (HEAVY DUTY) (NO SCALE)

DETAIL OF BITUMINOUS CONCRETE PATCH (NO SCALE)

DETAIL OF PAVING FOR TRUCK PARKING AREAS (HEAVY DUTY) (NO SCALE)

DETAIL OF PAVING FOR CAR PARKING AREAS (LIGHT DUTY) (NO SCALE)

DETAIL OF BITUMINOUS CONCRETE OVERLAY (NO SCALE)

DETAIL OF PAVING FOR TRUCK PARKING AREAS (HEAVY DUTY) (NO SCALE)

DETAIL OF PAVING FOR CAR PARKING AREAS (LIGHT DUTY) (NO SCALE)

DETAIL OF BITUMINOUS CONCRETE OVERLAY (NO SCALE)

DETAIL OF PAVING FOR TRUCK PARKING AREAS (HEAVY DUTY) (NO SCALE)

DETAIL OF PAVING FOR CAR PARKING AREAS (LIGHT DUTY) (NO SCALE)

DETAIL OF BITUMINOUS CONCRETE OVERLAY (NO SCALE)

DETAIL OF PAVING FOR TRUCK PARKING AREAS (HEAVY DUTY) (NO SCALE)

DETAIL OF PAVING FOR CAR PARKING AREAS (LIGHT DUTY) (NO SCALE)

DETAIL OF BITUMINOUS CONCRETE OVERLAY (NO SCALE)

DETAIL OF PAVING FOR TRUCK PARKING AREAS (HEAVY DUTY) (NO SCALE)

DETAIL OF PAVING FOR CAR PARKING AREAS (LIGHT DUTY) (NO SCALE)

DETAIL OF BITUMINOUS CONCRETE OVERLAY (NO SCALE)

DETAIL OF PAVING FOR TRUCK PARKING AREAS (HEAVY DUTY) (NO SCALE)

DETAIL OF PAVING FOR CAR PARKING AREAS (LIGHT DUTY) (NO SCALE)

DETAIL OF BITUMINOUS CONCRETE OVERLAY (NO SCALE)

CONCRETE DETAILS (NO SCALE)

FOR FINISHING LOT PADS, APPROX ADJACENT TO THE BUILDING & OTHER HIGH AREAS AS SHOWN



DETAIL OF TRANSVERSE EXPANSION JOINT

NOTES:

- EXPANSION JOINTS TO BE PLACED EVERY 30 FEET ON THE 'LANDING' PADS.
- AN EXPANSION JOINT IS TO BE PLACED 20 FEET PARALLEL FROM THE BUILDING & EVERY 30 FEET PERPENDICULAR TO THE BUILDING ON THE CONC APPROX ADJACENT TO THE PROPOSED BUILDING
- STEEL TO BE CONTINUOUS THROUGH THE EXPANSION JOINT WITH A SLIP JOINT (SEE DETAIL)

STANDARD T COMBINATION CURB & GUTTER

CLASS 'A' CONC

STORM SEWER PROFILE

SCALE: HORIZ 1" = 50' VERT 1" = 5'

DETAIL OF TRANSVERSE EXPANSION JOINT

DETAIL OF TRANSVERSE EXPANSION JOINT

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DRAWING NUMBER

C-2

SHEET 3 OF 25

DATE

10/10/13

CHECKED

TOR

COM. NO.

REVISED

Additions and Alterations to

United Parcel Service

Distribution Center

3901 Vero Road

Baltimore, Maryland

MINTZ & EASTER

AIA

ARCHITECTS

THE EXECUTIVE BUILDING

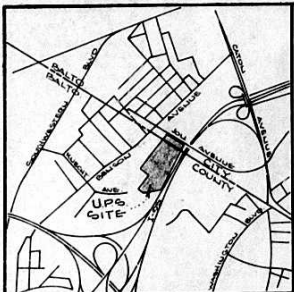
SPRINGFIELD, VIRGINIA

DRAWING NUMBER

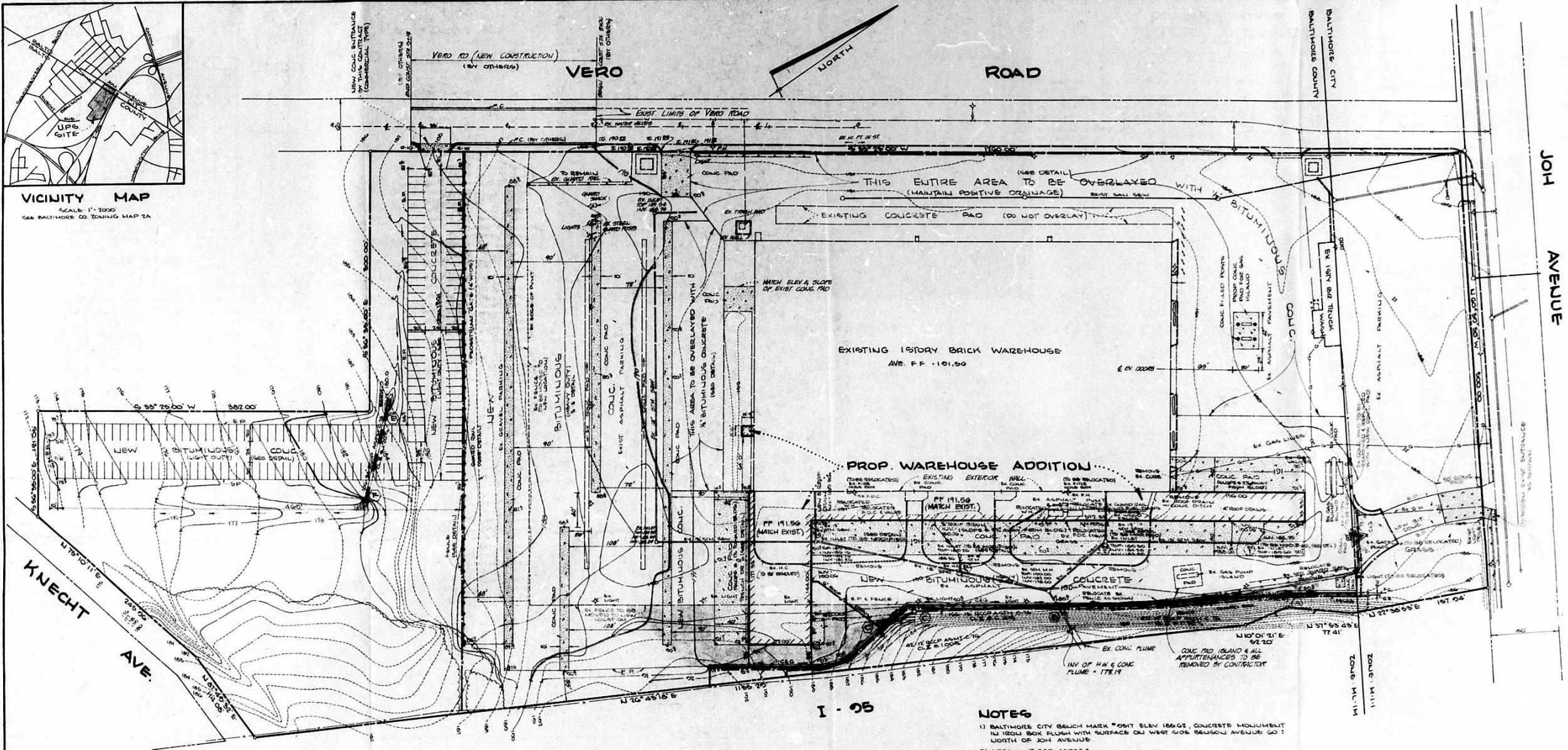
C-2

SHEET 3 OF 25

APR 08 1975



VICINITY MAP
SCALE: 1" = 1000'
SEE BALTIMORE CO. ZONING MAP 2A



I - 95

LEGEND

DESCRIPTION	PROPOSED	EXISTING
BUILDING WALLS		
CONC. PADS, ECT., CURBS AND GUTTER STORM SEWER		
CONTOUR LINE		
SPOT ELEVATION		
EDGES OF PAVEMENT		
WOODS LINE		
FENCE		
GUARD RAIL		
DRAINAGE FLOW		

NOTES

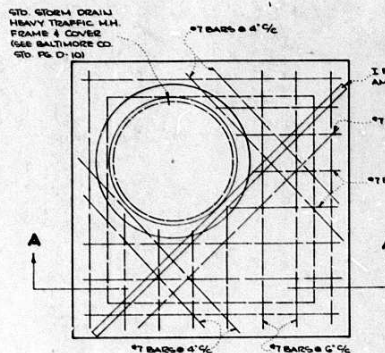
- BALTIMORE CITY BEACH MARK "0517" ELEV 186.62, CONCRETE MONUMENT IN 1800 BOX FLUSH WITH SURFACE ON WEST SIDE BALDWIN AVENUE 50' NORTH OF JOH AVENUE.
- AREA: 17.880 ACRES.
- EXISTING ZONE: ML-1M - EXISTING DISTRICT: 15"
- EXISTING USE: OFFICE & WAREHOUSE
- PROPOSED ZONE: ML-1M - VARIANCE TO SECTION 259.2 OF THE BALTO CO ZONING ORD. FOR A MINIMUM REAR YARD OF 25' INSTEAD OF THE REQUIRED 50'.
- PROPOSED USE: OFFICE & WAREHOUSE
- PARKING REQUIREMENTS: EXIST. WAREHOUSE: NO. OF EMPLOYEES: 281, NO. OF PARKING SPACES REQUIRED: 281/3 = 94 SPACES. PROP. ADDITION TO WAREHOUSE: NO. ADDITIONAL EMPLOYEES: 12,000/50 FT. NO. OF PARKING SPACES REQUIRED: 12,000/50 = 240 SPACES. TOTAL NO. OF 1" MINUS SPACES REQUIRED: 94 + 240 = 334 SPACES. TOTAL NO. OF 1" MINUS SPACES PROVIDED: 165 SPACES.
- UTILITIES AS SHOWN HEREON WERE TAKEN FROM PLANS PREPARED BY LOCAL AUTHORITIES HAVING JURISDICTION OVER SAME AND THE ACCURACY IS NOT GUARANTEED.
- CONTRACTOR SHALL CALL "MISS UTILITY" AT (301) 560-0100 AT LEAST 48 HOURS NOTICE BEFORE STARTING ANY GRADING OR CONSTRUCTION.

PLANS APPROVED
OFFICE OF PLANNING & ZONING
BY: *John A. Harris*
DATE: 3-21-75
75-151-A

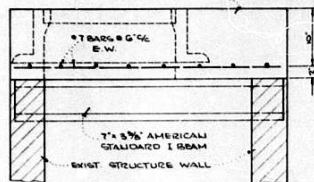
PATTON, HARRIS, RUST & GUY
ENGINEERS - SURVEYORS - PLANNERS
FAIRFAX, VIRGINIA

SCALE: 1" = 50'

APR 08 1975



TOP SLAB



SECTION A-A

NEW TOP FOR EXISTING STRUCTURES 1, 2, 3 & 4

NOTES:

- 1) EXISTING TOP & INLET FOR STRUCTURES 1, 2, 3 & 4 TO BE REMOVED.
- 2) SLAB TO FIT EXISTING STRUCTURES AS SHOWN. OUTSIDE DIMENSIONS ARE APPROXIMATELY 4' x 4'.
- 3) TOP ELEVATIONS TO BE AS FOLLOWS: 1'-101.00 2'-101.00 3'-100.00 4'-101.00
- 4) PLACE ACCESS MANHOLE OVER EXISTING STEPS.



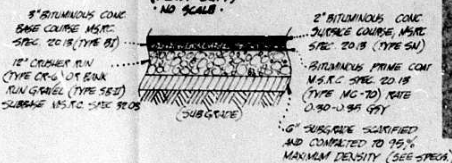
TYPICAL SECTION
PAINTED STRIPES
(LINES SHOWN ON PLAN ARE
6\"/>

DETAIL OF BITUMINOUS CONCRETE PATCH

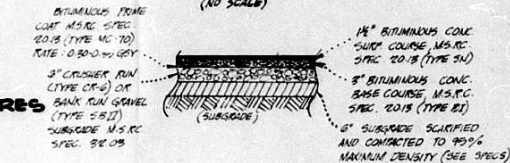


* NOTE: THIS DETAIL IS TO APPLY TO ALL DETERIORATED AREAS IN THE EXISTING PAVING AREA WHICH IS TO BE OVERLAIN WITH 1\"/>

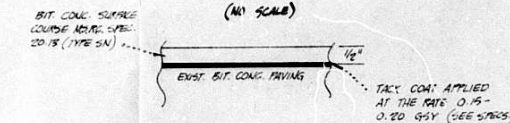
DETAIL OF PAVING FOR TRUCK PARKING AREAS (HEAVY DUTY)



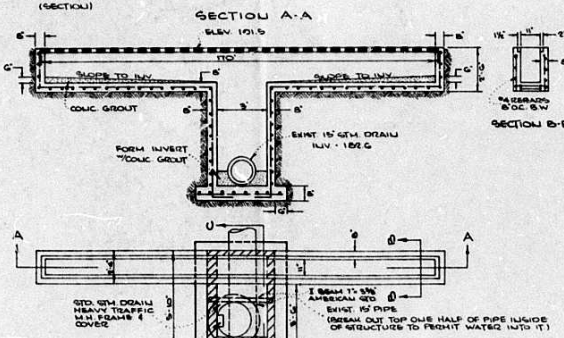
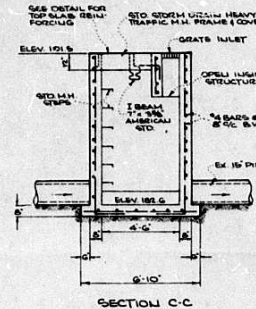
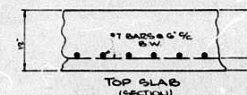
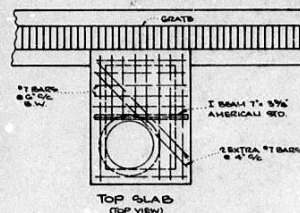
DETAIL OF PAVING FOR CAR PARKING AREAS (LIGHT DUTY)



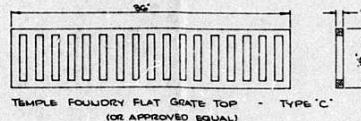
DETAIL OF BITUMINOUS CONCRETE OVERLAY (NO SCALE)



DETAIL CHAIN LINK FENCE

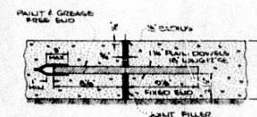
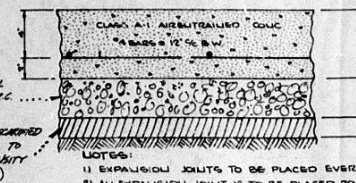


SPECIAL GRATE INLET AND TOPS FOR RAMP ENTRANCE



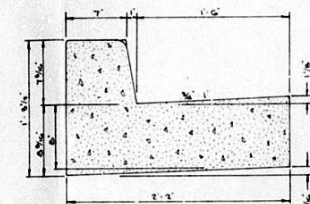
CONCRETE DETAILS

FOR PARKING LOT PAVES, APPROX. ADJACENT TO THE BUILDING & OTHER MISCE. AREAS AS SHOWN.



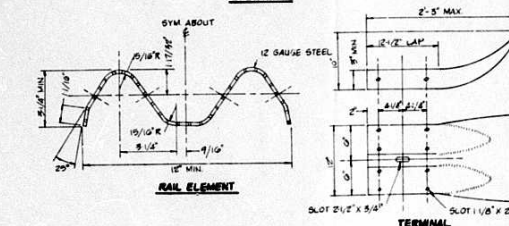
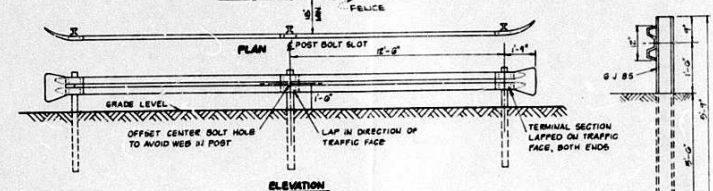
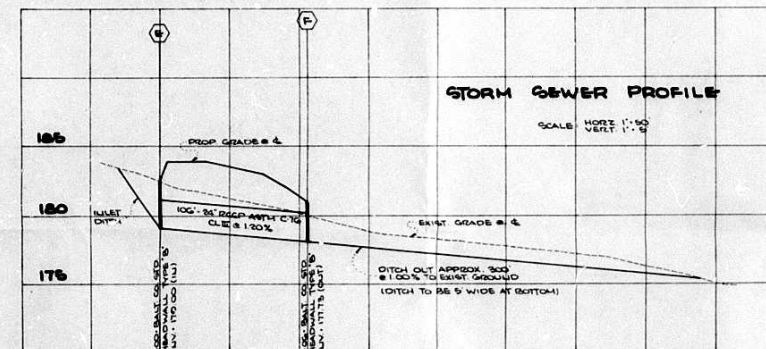
DETAIL OF TRANSVERSE EXPANSION JOINT

- 1) EXPANSION JOINTS TO BE PLACED EVERY 30 FEET ON THE 'LANDING' PAVES.
- 2) AN EXPANSION JOINT IS TO BE PLACED 20 FEET PARALLEL FROM THE BUILDING & EVERY 30 FEET PERPENDICULAR TO THE BUILDING ON THE CONC. APPROX. ADJACENT TO THE PROPOSED BUILDING.
- 3) STEEL TO BE CONTINUOUS THROUGH THE EXPANSION JOINT WITH A SLIP JOINT (SEE DETAIL).



STANDARD T-COMBINATION CURB & GUTTER

CLASS "A" CONC



NOTE: RAIL ELEMENTS ARE FURNISHED SHOP CURVED TO RADIUS BETWEEN 20 FT. & 50 FT. 2 STEEL FOR RAIL ELEMENTS AND BOLTS IS OF A QUALITY TO DEVELOP SPECIFICATION WEIGHTS FOR BEAM AND TENSILE STRENGTH 50% HIGHER TO 50% STANDARD DETAIL.

DETAIL - BEAM TYPE GUARD FENCE

FATTON, HARRIS, RUST & GUY
ENGINEERS - SURVEYORS - PLANNERS
FAIRFAX - VIRGINIA