

**PETITION FOR ZONING VARIANCE FROM AREA AND HEIGHT REGULATIONS**

76-56-ASP# (Item No. 1)

TO THE ZONING COMMISSIONER OF BALTIMORE COUNTY:  
Greater Baltimore  
I, Greater Baltimore Medical Center, legal owner, of the property situate in Baltimore County and which is described in the description and plat attached hereto and made a part hereof, hereby petition for a Variance from Section 400.1 to permit an accessory structure in the front yard instead of the required rear yard.

of the Zoning Regulations of Baltimore County, to the Zoning Law of Baltimore County; for the following reasons: (Indicate hardship or practical difficulty)

See Memorandum

See attached description

Property is to be posted and advertised as prescribed by Zoning Regulations. I, or we, agree to pay expenses of above Variance advertising, posting, etc., upon filing of this petition and further agree to and are to be bound by the zoning regulations and restrictions of Baltimore County adopted pursuant to the Zoning Law For Baltimore County.

Greater Baltimore Medical Center  
Contract purchaser  
Address: 6701 North Charles Street  
Baltimore, Maryland 21204  
Petitioner's Attorney  
Address: 1800 Mercantile Bank & Trust Bldg.  
Baltimore, Maryland 21201

ORDERED By The Zoning Commissioner of Baltimore County, this 6th day

of August, 1975, that the subject matter of this petition be advertised, as required by the Zoning Law of Baltimore County, in two newspapers of general circulation throughout Baltimore County, that property be posted, and that the public hearing be had before the Zoning Commissioner of Baltimore County in Room 106, County Office Building in Towson, Baltimore County, on the 24th day of September, 1975, at 11:00 o'clock

(over)

**PETITION FOR SPECIAL HEARING**

76-56-ASP# (Item No. 1)

TO THE ZONING COMMISSIONER OF BALTIMORE COUNTY:  
Greater Baltimore  
I, Greater Baltimore Medical Center, legal owner, of the property situate in Baltimore County and which is described in the description and plat attached hereto and made a part hereof, hereby petition for a Special Hearing Under Section 500.7 of the Zoning Regulations of Baltimore County, to determine whether or not the Zoning Commissioner and/or Deputy Zoning Commissioner should approve whether a parking facility for a hospital complex should be considered a principal or accessory structure and/or accessory use and whether the height requirement of Section 300.2 or Section 400.3 apply.

See Memorandum

Property is to be posted and advertised as prescribed by Zoning Regulations. I, or we, agree to pay expenses of above Special Hearing advertising, posting, etc., upon filing of this petition, and further agree to and are to be bound by the zoning regulations and restrictions of Baltimore County adopted pursuant to the Zoning Law for Baltimore County.

Greater Baltimore Medical Center  
Contract Purchaser  
Address: 6701 North Charles Street  
Baltimore, Maryland 21204  
Petitioner's Attorney  
Address: 1800 Mercantile Bank & Trust Bldg.  
Baltimore, Maryland 21201

ORDERED By the Zoning Commissioner of Baltimore County, this 6th day of August, 1975, that the subject matter of this petition be advertised, as required by the Zoning Law of Baltimore County, in two newspapers of general circulation throughout Baltimore County, that property be posted, and that the public hearing be had before the Zoning Commissioner of Baltimore County in Room 106, County Office Building in Towson, Baltimore County, on the 24th day of September, 1975, at 11:00 o'clock A.M.

Zoning Commissioner of Baltimore County

(over)

RE: PETITION FOR VARIANCE and PETITION FOR SPECIAL HEARING Beginning 1110.41 feet East of Charles Street opp. Malvern Avenue, 9th District

GREATERT BALTIMORE MEDICAL CENTER, Petitioners

**ORDER TO ENTER APPEARANCE**

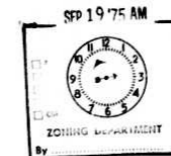
Mr. Commissioner:

Pursuant to the authority contained in Section 524.1 of the Baltimore County Charter, I hereby enter my appearance in this proceeding. You are requested to notify me of any hearing date or dates which may be now or hereafter designated therefore, and of the passage of any preliminary or final Order in connection therewith.

Charles E. Kowitz, Jr., Deputy People's Counsel

John W. Hession, III, People's Counsel, County Office Building, Towson, Maryland 21204, 494-2188

I hereby certify that on this 19th day of September, 1975, a copy of the foregoing Order was mailed to James D. Wright, Esquire, 1800 Mercantile Bank & Trust Building, Baltimore, Maryland 21201, Attorney for Petitioners.



**BALTIMORE COUNTY, MARYLAND**

**INTER-OFFICE CORRESPONDENCE**

TO: S. Eric DiNenna, Zoning Commissioner Date: September 15, 1975  
FROM: William D. Fromm, Director of Planning  
SUBJECT: Petition #76-56-ASP# Petition for Variance for an Accessory Structure

9th District

HEARING: Wednesday, September 24, 1975 (11:00 A.M.)

The granting of these requests would not be inconsistent with the existing uses on the property nor would it adversely affect nearby properties.

William D. Fromm, Director, Office of Planning and Zoning

WDF:NEG:rw

**Baltimore County, Maryland Department of Public Works**

COUNTY OFFICE BUILDING TOWSON, MARYLAND 21204

Branch of Engineering ELLSWORTH N. DIVER, P. E. CHIEF

August 4, 1975

Mr. S. Eric DiNenna, Zoning Commissioner, County Office Building, Towson, Maryland 21201

Re: Item #12 (1975-1976) Property Owner: Greater Baltimore Medical Center, Beg. 1110' E. of Charles St., Opposite Malvern Ave. Existing Zoning: D.R. 2 Proposed Zoning: Special Hearing to approve whether a parking facility for a hospital complex should be considered a principal or accessory structure and/or accessory use and whether the heights requirements of Sec. 300.2 or Sec. 400.3 apply and a Variance from Sec. 400.1 to permit an accessory structure in the front yard instead of the required rear yard. No. of Acres: 0.99 District: 9th

Dear Mr. DiNenna:

The following comments are furnished in regard to the plat submitted to this office for review by the Zoning Advisory Committee in connection with the subject item.

**General:**

Baltimore County utilities and highway improvements are not directly involved. However, the comments supplied in connection with the Zoning Advisory Committee review of this property for Item #11 Cycle VII and Item #12 Cycle VIII are referred to for your consideration.

This office has no further comment in regard to the plan submitted for Zoning Advisory Committee review in connection with this Item #12 (1975-1976).

Very truly yours, Ellsworth N. Diver, P.E., Chief, Bureau of Engineering

END:EAM:PW:tes

0-NE Key Sheet 34 NW 2 & 3 Pos. Sheets NW 9 A Topc 49 Tax Map

October 20, 1975

James D. Wright, Esquire, 1800 Mercantile Bank & Trust Building, Baltimore, Maryland 21201

RE: Petitions for Variance and Special Hearing Beginning 1110 41' E of Charles Street opposite Malvern Avenue - 9th Election District Greater Baltimore Medical Center - Petitioner NO. 76-56-ASP# (Item No. 1)

Dear Mr. Wright:

I have this date passed my Order in the above referenced matter. Copy of said Order is attached.

Very truly yours,

S. ERIC DINENNA, Zoning Commissioner

SED/scw

Attachments

cc: Richard Baldwin Moore, Esquire, Suite 608, Loyola Federal Building, 22 West Pennsylvania Avenue, Towson, Maryland 21204; John W. Hession, III, Esquire, People's Counsel

**BALTIMORE COUNTY ZONING PLANS ADVISORY COMMITTEE**



**PETITION AND SITE PLAN**

**EVALUATION COMMENTS**

**BALTIMORE COUNTY OFFICE OF PLANNING & ZONING**

James D. Wright, Esq., 1800 Mercantile Bank & Trust Building, Baltimore, Md. 21201; County Office Building, 111 W. Chesapeake Avenue, Towson, Maryland 21204

Your Petition has been received and accepted for filing this 6th day of August, 1975

S. ERIC DINENNA, Zoning Commissioner

Petitioner: Greater Baltimore Medical Center; Petitioner's Attorney: James D. Wright, Esquire, 413 Delaware Avenue, Towson, Md. 21204

Reviewed by: Franklin T. Hofmans, Jr., Chairman, Zoning Plans Advisory Committee

Pursuant to the advertisement, posting of property, and public hearing on the above petition and it appearing that by reason of the following finding of facts that as it was determined by the Zoning Commissioner of Baltimore County that a parking facility for a hospital complex should be considered a principal use incidental to the use of the hospital, the Variance to permit an accessory structure in the front yard in lieu of the required rear yard should be DISMISSED without prejudice.

ORDER RECEIVED FOR FILING  
DATE: 20/10/75  
By: [Signature]

IT IS ORDERED by the Zoning Commissioner of Baltimore County, this 20th day of October, 1975, that the herein Petition for the aforementioned Variance should be and the same is hereby DISMISSED without prejudice.

[Signature]  
Zoning Commissioner of Baltimore County

Pursuant to the advertisement, posting of property and public hearing on the above petition and it appearing that by reason of...

the above Variance should NOT BE GRANTED.

IT IS ORDERED by the Zoning Commissioner of Baltimore County, this ... day of ... 1975, that the above Variance be and the same is hereby DENIED.

Zoning Commissioner of Baltimore County

Pursuant to the advertisement, posting of property, and public hearing on the above Petition and it appearing that by reason of the following finding of facts that in accordance with the power granted unto the Zoning Commissioner by Section 500.7 of the Baltimore County Zoning Regulations, it is hereby determined that the parking facility for this hospital complex should be considered a principal use incidental to the use of the hospital and that the height requirements of Section 399.2 are applicable.

ORDER RECEIVED FOR FILING  
DATE: 20/10/75  
By: [Signature]

IT IS ORDERED by the Zoning Commissioner of Baltimore County, this 20th day of October, 1975, that the Special Hearing determined that the parking facility for this hospital complex should be considered a principal use incidental to the use of the hospital and that the height requirements of Section 300.2 are applicable.

[Signature]  
Zoning Commissioner of Baltimore County

Pursuant to the advertisement, posting of property and public hearing on the above petition and it appearing that by reason of...

the above Special Hearing should NOT BE GRANTED.

IT IS ORDERED by the Zoning Commissioner of Baltimore County, this ... day of ... 196..., that the above Special Hearing be and the same is hereby DENIED.

Zoning Commissioner of Baltimore County

BALTIMORE COUNTY ZONING PLANS ADVISORY COMMITTEE

August 11, 1975

COUNTY OFFICE BUILDING  
111 N. CHARLES ST.  
TOWSON, MARYLAND 21284

Franklin T. HOGANS, Jr.  
Chairman

James D. Wright, Esq.  
1800 Mercantile Bank & Trust Building  
Baltimore, Maryland 21201

RE: Special Hearing Petition  
Item 12  
Greater Baltimore Medical Center -  
Petitioner

Dear Mr. Wright:

The Zoning Plans Advisory Committee has reviewed the plans submitted with the above referenced petition and has made an on site field inspection of the property. The following comments are a result of this review and inspection.

These comments are not intended to indicate the appropriateness of the zoning action requested, but to assure that all parties are made aware of plans or problems with regard to the development of plans that may have a bearing on this case. The Director of Planning may file a written report with the Zoning Commissioner with recommendations as to the appropriateness of the requested zoning.

The subject property is located within the overall holdings of the Greater Baltimore Medical Center, specifically beginning 1110 feet east of Charles Street opposite Malvern Avenue.

The petitioner is requesting a Special Hearing to determine whether a parking facility for a hospital complex should be considered a principal or accessory structure and/or an accessory use, and whether the height requirements of Section 300.2 or Section 400.3 apply, and a Variance from Section 400.1 to permit an accessory structure in the front yard instead of the required rear yard.

- HEALTH DEPARTMENT
- BUREAU OF FIRE PREVENTION
- DEPARTMENT OF TRAFFIC ENGINEERING
- STATE HIGHWAY ADMINISTRATION
- BUREAU OF ENGINEERING
- PROJECT AND DEVELOPMENT PLANNING
- INDUSTRIAL DEVELOPMENT COMMISSION
- BOARD OF EDUCATION
- OFFICE OF THE BUILDINGS ENGINEER

James D. Wright, Esq.  
Item 12  
August 11, 1975  
Page 2

The parcel on which this facility is proposed to be constructed lies to the west and south of the main hospital complex, and is currently wooded and subject to considerable grade and elevation differential.

Although the site plan does indicate that the proposed structure will be used as a parking facility, there is no indication thereon as to the height or construction of this structure. The site plan must be revised, therefore, to indicate an elevation view of the proposed facility showing the aforementioned height and its relationship to the slope on which it will be located. Further, some indication of the total required parking spaces as they relate to the total number of parking spaces provided, must be indicated on the plan. The plan must be revised prior to the hearing.

This petition is accepted for filing on the date of the enclosed filing certificate. Notice of the hearing date and time, which will be held not less than 30, nor more than 90 days after the date on the filing certificate, will be forwarded to you in the near future.

Very truly yours,  
[Signature]  
FRANKLIN T. HOGANS, JR.  
Chairman,  
Zoning Plans Advisory Committee

FTH:JD  
Enclosure

cc: Dollenberg, Gerhold, Cross & Etsel  
412 Delaware Avenue  
Towson, Maryland 21204

Baltimore County Fire Department

J. Austin Deitz  
Chief



Towson, Maryland 21204  
823-7318

Office of Planning and Zoning  
Baltimore County Office Building  
Towson, Maryland 21204

Attention: Mr. Jack Dillon, Chairman  
Zoning Advisory Committee

Re: Property Owner: Greater Baltimore Medical Center

Location: Beg. 1110' E of Charles St. opposite Malvern Avenue

Item No. 12 Zoning Agenda July 15, 1975

Gentlemen:

Pursuant to your request, the referenced property has been surveyed by this Bureau and the comments below marked with an "x" are applicable and required to be corrected or incorporated into the final plans for the property.

- ( ) 1. Fire hydrants for the referenced property are required and shall be located at intervals of ... feet along an approved road in accordance with Baltimore County Standards as published by the Department of Public Works. Additional fire hydrant shall be required to serve ... site. Fire department connection shall be located within 50' of an ...
- ( ) 2. A second means of vehicle access is required for the site.
- ( ) 3. The vehicle dead-end condition shown at ...
- ( ) 4. EXCEEDS the maximum allowed by the Fire Department. The site shall be made to comply with all applicable parts of the Fire Prevention Code prior to occupancy or beginning of operations.
- ( ) 5. The buildings and structures existing or proposed on the site shall comply with all applicable requirements of the National Fire Protection Association Standard No. 101 "The Life Safety Code", 1970 Edition prior to occupancy.
- ( ) 6. Site plans are approved as drawn.
- ( ) 7. The Fire Prevention Bureau has no comments at this time.

Reviewed by: [Signature] Noted and Approved: [Signature]  
Planning Group Deputy Chief  
Special Inspection Division Fire Prevention Bureau

Maryland Department of Transportation  
State Highway Administration

Harry R. Hughes  
Secretary  
Edward M. Evans  
Administrator

July 21, 1975

Mr. S. Eric DiNenna  
Zoning Commissioner  
County Office Bldg.  
Towson, Md. 21204  
Attn: Mr. Franklin HOGANS

Re: Z.A.C. Meeting, July 15, 1975 Item 12  
Property Owner: Greater Baltimore Medical Center  
Location: Beg. 1110' E of Charles St. (Rte 139) opp. Malvern Ave. Existing Zoning: D.R. 2  
Proposed Zoning: Spec. Hearing to approve whether a parking fac. for a hospital complex should be cons. a princ. or accessory structure &/or accessory use and whether the heights req. if Sec. 300.2 or Sec. 400.3 apply & a Var. from Sec. 400.1 to permit an accessory structure in the front yard instead of the required rear yard.  
No. of Acres: 0.99  
District: 9th

Dear Mr. DiNenna,

The existing entrance into the subject property is acceptable to the State Highway Administration. No adverse effects to Charles Street are anticipated as a result of the proposed additions.

The 1974 average daily traffic count on this section of Charles Street is 20,500 vehicles.

Very truly yours,  
Charles Lee, Chief  
Bur. of Engineering Access Permits

CL-JEM/es

By: John E. Meyers  
[Signature]

BALTIMORE COUNTY, MARYLAND  
JEFFERSON BUILDING TOWSON, MARYLAND 21204



DEPARTMENT OF TRAFFIC ENGINEERING

EUGENE J. CLAPPARD, P.E. Director  
Wm. T. MILLER Deputy Traffic Engineer

July 21, 1975

Mr. S. Eric DiNenna  
Zoning Commissioner  
County Office Building  
Towson, Maryland - 21204

Re: Item 12 - ZAC - July 15, 1975  
Property Owner: Greater Baltimore Medical Center  
Location: Beg. 1110' E of Charles St. opposite Malvern Ave.  
Existing Zoning: D. R. 2  
Proposed Zoning: Special Hearing to approve whether a parking facility for a hospital complex should be considered a principal or accessory structure and/or accessory use and whether the heights requirement of Sec. 300.2 or Sec. 400.3 apply & a Variance from Sec. 400.1 to permit an accessory structure in the front yard instead of the required rear yard.  
No. of Acres: 0.99  
District: 9th

Dear Mr. DiNenna:

No traffic problems are anticipated by the requested parking and requested variance.

Very truly yours,  
[Signature]  
Michael S. Flanigan  
Traffic Engineering Associate

MSF/bza

BALTIMORE COUNTY, MARYLAND  
DEPARTMENT OF HEALTH



DONALD J. ROOP, M.D., M.P.H.  
DEPUTY STATE AND COUNTY HEALTH OFFICER

July 17, 1975

Mr. S. Eric DiNenna, Zoning Commissioner  
Office of Planning and Zoning  
County Office Building  
Towson, Maryland 21204

Dear Mr. DiNenna:

Comments on Item #12, Zoning Advisory Committee Meeting, July 15, 1975, are as follows:

Property Owner: Greater Baltimore Medical Center  
Location: Beg. E of Charles Street, opposite Malvern Ave.  
Existing Zoning: D.R. 2  
Proposed Zoning: Special Hearing to approve whether a parking facility for a hospital complex should be considered a principal or accessory structure and/or accessory use and whether the heights requirement of Sec. 300.2 or Sec. 400.3 apply & a Variance from Sec. 400.1 to permit an accessory structure in the front yard instead of the required rear yard.  
No. of Acres: 0.99  
District: 9th

Public water and sewer are available to this site.

A moratorium was placed on new sewer connections in the Jones Falls Drainage Basin by Dr. Neil Solomon, Secretary of Health and Mental Hygiene, on November 13, 1973; therefore approval may be withheld for this connection(s).

The parking facilities to be constructed on this site are subject to review and approval under the Federal Environmental Protection Agency's Management of Parking Supply Regulations. Specified information regarding the proposed facilities must be submitted to the appropriate regional reviewing authority. Contact the Baltimore County Division of Air Pollution for additional information concerning the submittal of an application for approval.

Very truly yours,  
[Signature]  
Thomas H. Devlin, R.S., Director  
BUREAU OF ENVIRONMENTAL SERVICES

EVB/sk:

MEMORANDUM IN SUPPORT OF PETITION  
FOR SPECIAL HEARING

Petitioner, Greater Baltimore Medical Center ("GBMC") owns a tract of land containing approximately fifty eight (58) acres known as 6701 North Charles Street and located in Baltimore County, immediately north of the property owned by the Sheppard Pratt Hospital all but 3.9 acres of which is zoned DR-2. Due to increased parking demands of the employees of GBMC, Petitioner desires to construct a two story parking facility with the capacity of 250 cars on the site as indicated on the attached plat. The parking facility will be an open structure and utilized for employee parking only, and no fee will be charged.

The parking facility will be located on property which was not the subject property of the Petition for Re-classification and Special Exception (No. 75-196-RX (Item No. 12)).

It is the Petitioner's position that this facility, being an accessory use to the hospital, can be constructed without requiring a zoning variance. Set forth hereinbelow are the reasons for this position.

1. The facility is an "Accessory Use", (as defined in Section 101 of the Baltimore County Zoning Regulations) and hence is a permitted use in a DR-2 Zone. I believe that there can be no dispute that this small parking facility, for employees only, conforms with the requirements set forth in the definition of "Accessory Use" in the Zoning Regulations.

2. The facility is merely an "Accessory Use" and not an "Accessory Building", and hence is not subject

to the "rear yard" requirements set forth in Section 400 of the Zoning Regulations:

Section 400.1 - Accessory buildings in residence zones, other than farm buildings . . . shall be located only in the rear yard . . . or to the 15 feet height restriction set forth in Section 400.3.

The Regulations define "Building" as a "structure enclosed within exterior walls . . . for the shelter, support or enclosure of persons, animals or property of any kind". An "Accessory Building" is defined in terms of a "building"; consequently, if the parking facility is not a "building", it is merely an "Accessory Use or structure".

As set forth above, the parking facility is not "enclosed within exterior walls"; there will be large open spaces on each exterior side and consequently, the facility is not "enclosed".

3. The parking facility is for a hospital purpose, and hence, even if it is an Accessory Building, it may have a height of 50 feet. It seems clear that a parking facility for employees of a hospital is a facility for hospital purposes, and hence, should fall within the coverage of Section 300.2.

Respectfully submitted,

*James D. Wright*  
James D. Wright  
Attorney for Petitioner  
1800 Mercantile Bank & Trust Building  
Baltimore, Maryland 21201  
752-6780

- 2 -

MEMORANDUM IN SUPPORT OF PETITION  
FOR ZONING VARIANCE

Petitioner, Greater Baltimore Medical Center ("GBMC") owns a tract of land containing approximately fifty eight (58) acres known as 6701 North Charles Street and located in Baltimore County, immediately north of the property owned by the Sheppard Pratt Hospital all but 3.9 acres of which is zoned DR-2. Due to increased parking demands of the employees of GBMC, Petitioner desires to construct a two story parking facility with the capacity of 250 cars on the site as indicated on the attached plat. The parking facility will be an open structure and utilized for employee parking only, and no fee will be charged.

Pursuant to Section 307 of the Zoning Regulations of Baltimore County, Petitioner requests a Variance from the terms and provisions of Sections 400.1 and 400.3 of the Zoning Regulations of Baltimore County.

Section 400.1 requires that "accessory buildings . . . shall be located only in the rear yard . . ." Petitioner submits that, on a site of the size and dimensions of the subject property, to require a parking facility such as the one proposed herein to be located in the rear yard would result in practical difficulty and unreasonable hardship. Furthermore, Petitioner submits that the Variance requested herein would be in strict harmony with the spirit and intent of Section 400.1 and would not cause injury to the public health, safety and general welfare.

Similarly, to require that a parking facility such as the one proposed herein to have a height not to exceed 15 feet, as required by Section 400.3 of the Zoning Regulations of Baltimore County, would result in practical difficulty and unreasonable hardship and would not be in harmony with the spirit and intent of the provisions of Section 400.3.

For the above mentioned reasons, Petitioner requests that the Zoning Commission of Baltimore County grant the Petitioner a zoning variance.

Respectfully Submitted,

*James D. Wright*  
James D. Wright  
Attorney for Petitioner  
1800 Mercantile Bank & Trust Building  
Baltimore, Maryland 21201  
752-6780

- 2 -

FRED W. DOLLENBERG  
CARL L. SPENGLER  
PHILIP C. CROSS  
JOHN F. ETZEL  
WILLIAM E. ULRICH  
BORDON T. LANGRISH

DOLLENBERG, GERHOLD, CROSS & ETZEL  
Registered Professional Engineers & Land Surveyors  
412 DELAWARE AVENUE  
TOWSON, MARYLAND 21204

823-4470

July 10, 1975

## Zoning Description

All that piece or parcel of land situate, lying and being in the Ninth Election District of Baltimore County, State of Maryland and described as follows to wit:

Beginning for the same at a point distant South 16 degrees 48 minutes 10 seconds East 1110.41 feet from the intersection of the center line of Charles Street with the center line of Melvern Avenue and running thence from said place of beginning, the four following courses and distances viz: South 68 degrees 26 minutes 20 seconds East 355.67 feet, South 21 degrees 33 minutes 40 seconds West 121.50 feet, North 68 degrees 26 minutes 20 seconds West 355.67 feet and North 21 degrees 33 minutes 40 seconds East 121.50 feet to the place of beginning.

Containing 0.99 of an Acre of land more or less.

Being a part of the land of the petitioners herein as shown on a plat filed in the office of the Zoning Commissioners.



WILLIAM D. FROMM  
DIRECTOR

S. ERIC DINENNA  
ZONING COMMISSIONER



July 31, 1975

Mr. S. Eric DiNenna, Zoning Commissioner  
Zoning Advisory Committee  
Office of Planning and Zoning  
Baltimore County Office Building  
Towson, Maryland 21204

Dear Mr. DiNenna:

Comments on Item #12, Zoning Advisory Committee Meeting, July 15, 1975, are as follows:

Property Owner: Greater Baltimore Medical Center  
Location: Beg. 1110' E. of Charles St. opposite Melvern Avenue  
Existing Zoning: D.R.2  
Proposed Zoning: Special Hearing to approve whether a parking facility for a hospital complex should be considered a principal or accessory structure and/or accessory use and whether the heights requirement of Sec. 300.2 or Sec. 400.3 apply and a Variance from Sec. 400.1 to permit an accessory structure in the front yard instead of the required rear yard.  
No. of Acres: 0.99  
District: 9th

This office has reviewed the subject petition and offers the following comments. These comments are not intended to indicate the appropriateness of the zoning in question, but are to assure that all parties are made aware of plans or problems with regard to development plans that may have a bearing on this petition.

This plan has been reviewed and there are no site-planning factors requiring comment.

Very truly yours,

*John L. Wimbley*  
John L. Wimbley  
Planning Specialist II  
Project and Development Planning

BALTIMORE COUNTY OFFICE OF PLANNING AND ZONING  
SUITE 301 JEFFERSON BUILDING 105 WEST CHESAPEAKE AVENUE TOWSON, MARYLAND 21204  
TELEPHONE 301 PLANNING 6643211 ZONING 6643211

BOARD OF EDUCATION  
OF BALTIMORE COUNTY

TOWSON, MARYLAND - 21204

Date: July 18, 1975

Mr. S. Eric DiNenna  
Zoning Commissioner  
Baltimore County Office Building  
Towson, Maryland 21204

Z.A.C. Meeting of: July 15, 1975

Re: Item 12  
Property Owner: Greater Baltimore Medical Center  
Location: Beg. 1110' E. of Charles St. Opposite Melvern Ave.  
Present Zoning: D.R. 2  
Proposed Zoning: Special Hearing to approve whether a parking facility for a hospital complex should be considered a principal or accessory structure and/or accessory use and whether the heights requirement of Section 300.2 or Section 400.3 apply and a variance from Section 400.1 to permit an accessory structure in the front yard instead of the required rear yard.

District: 9th  
No. Acres: 0.99

Dear Mr. DiNenna: No adverse effect on student population.

Very truly yours,

*W. Nick Petrovich*  
W. Nick Petrovich,  
Field Representative.

WNP/ml

H. CHELSEY PARKS, SECRETARY  
EUGENE C. HESS, CLERK  
MRS. ROBERT L. BERNY

MARGUS M. BOSTANS  
JOSEPH A. MCGOWAN  
ALVIN LOCKER  
JOSEPH R. WHILLER

T. BAYARD WILLIAMS, JR.  
RICHARD W. TRADY, M.C.  
MRS. MICHIGNE R. WILSON

**PETITION FOR VARIANCE AND SPECIAL USE ZONING OR DISTRICT**

**ZONING:** Petition for Variance for an Accessory Building for Special Hearing to approve whether a parking facility for a hospital complex should be considered a principal or accessory structure and/or accessory use and whether the height requirement of Section 202.1 or Section 202.2 apply.

**LOCATION:** Beginning 119.41 feet East of Charles Street, between Malvera Avenue and

**DATE & TIME:** Wednesday, September 24, 1975, at 11:00 A.M.

**PUBLIC HEARING:** Room 105, County Office Building, 111 W. Chesapeake Avenue, Towson, Maryland. The Zoning Commissioner of Baltimore County, by authority of the Zoning Act and Regulations of Baltimore County, will hold a public hearing.

Petition for Variance from the Zoning Regulations of Baltimore County to permit an accessory structure on the front yard instead of the rear yard. Petition for Special Hearing Under Section 202.1 of the Zoning Regulations of Baltimore County, to determine whether or not the Zoning Commissioner and/or Zoning Hearing Commissioner should approve whether a parking facility for a hospital complex should be considered a principal or accessory structure and/or accessory use and whether the height requirement of Section 202.1 or Section 202.2 apply. The Zoning Regulations to be accepted as follows:

**Section 202.1 - Accessory Buildings -** Accessory buildings in residence yards, other than farm buildings shall be located only in the rear yard and shall occupy not more than 40% thereof.

All that parcel of land in the North District of Baltimore County point distant South 10 degrees 40 minutes 20 seconds East 110.01 feet from the corner line of the center line of Charles Street with the center line of Malvera Avenue and thence from said parcel of land beginning the four following courses and distances: V1: South 80 degrees 20 minutes 20 seconds East 22.07 feet, South 21 degrees 20 minutes 20 seconds West 132.20 feet, North 60 degrees 20 minutes 20 seconds West 232.67 feet, and North 71 degrees 20 minutes 20 seconds East 121.20 feet to the place of beginning.

Containing 0.29 of an Acre of land more or less.

Being the property of Greater Baltimore Medical Center, as shown on plat plan filed with the Zoning Department.

Hearing Date: Wednesday, September 24, 1975, at 11:00 A.M.

Public Hearing: Room 105, County Office Building, 111 W. Chesapeake Avenue, Towson, Maryland.

By order of:

**S. ERIC DINENNA**  
Zoning Commissioner of Baltimore County  
Sept. 4

**CERTIFICATE OF PUBLICATION**

TOWSON, MD., September 4, 1975.

THIS IS TO CERTIFY, that the annexed advertisement was published in THE JEFFERSONIAN, a weekly newspaper printed and published in Towson, Baltimore County, Md., once a week for one (1) successive weeks before the 24th day of September, 1975, the 10th publication appearing on the 14th day of September, 1975.

THE JEFFERSONIAN  
*S. Frank Strick*  
Manager

Cost of Advertisement, \$ \_\_\_\_\_

**PETITION FOR VARIANCE AND SPECIAL USE ZONING OR DISTRICT**

**ZONING:** Petition for Variance for an Accessory Building for Special Hearing to approve whether a parking facility for a hospital complex should be considered a principal or accessory structure and/or accessory use and whether the height requirement of Section 202.1 or Section 202.2 apply.

**LOCATION:** Beginning 119.41 feet East of Charles Street, between Malvera Avenue and

**DATE & TIME:** Wednesday, September 24, 1975, at 11:00 A.M.

**PUBLIC HEARING:** Room 105, County Office Building, 111 W. Chesapeake Avenue, Towson, Maryland. The Zoning Commissioner of Baltimore County, by authority of the Zoning Act and Regulations of Baltimore County, will hold a public hearing.

Petition for Variance from the Zoning Regulations of Baltimore County to permit an accessory structure on the front yard instead of the rear yard. Petition for Special Hearing Under Section 202.1 of the Zoning Regulations of Baltimore County, to determine whether or not the Zoning Commissioner and/or Zoning Hearing Commissioner should approve whether a parking facility for a hospital complex should be considered a principal or accessory structure and/or accessory use and whether the height requirement of Section 202.1 or Section 202.2 apply. The Zoning Regulations to be accepted as follows:

**Section 202.1 - Accessory Buildings -** Accessory buildings in residence yards, other than farm buildings shall be located only in the rear yard and shall occupy not more than 40% thereof.

All that parcel of land in the North District of Baltimore County point distant South 10 degrees 40 minutes 20 seconds East 110.01 feet from the corner line of the center line of Charles Street with the center line of Malvera Avenue and thence from said parcel of land beginning the four following courses and distances: V1: South 80 degrees 20 minutes 20 seconds East 22.07 feet, South 21 degrees 20 minutes 20 seconds West 132.20 feet, North 60 degrees 20 minutes 20 seconds West 232.67 feet, and North 71 degrees 20 minutes 20 seconds East 121.20 feet to the place of beginning.

Containing 0.29 of an Acre of land more or less.

Being the property of Greater Baltimore Medical Center, as shown on plat plan filed with the Zoning Department.

Hearing Date: Wednesday, September 24, 1975, at 11:00 A.M.

Public Hearing: Room 105, County Office Building, 111 W. Chesapeake Avenue, Towson, Maryland.

By order of:

**S. ERIC DINENNA**  
Zoning Commissioner of Baltimore County  
Sept. 4



OFFICE OF TOWSON, MD. 21204 Sept. 5, 1975

THIS IS TO CERTIFY, that the annexed advertisement of Petition for Variance - Greater Baltimore Medical Center was inserted in THE TOWSON TIMES, a weekly newspaper published in Baltimore County, Maryland, once a week for one (1) successive weeks before the 24th day of Sept. 1975 that is to say, the same was inserted in the issues of Sept. 5, 1975.

STROMBERG PUBLICATIONS, INC.

By *S. Frank Strick*

**PETITION MAPPING PROGRESS SHEET**

FUNCTION	Wall Map		Original		Duplicate		Tracing		200 Sheet	
	date	by	date	by	date	by	date	by	date	by
Descriptions checked and outline plotted on map										
Petition number added to outline										
Denied										
Granted by ZC, BA, CC, CA										
Reviewed by: <i>NBC</i>										
Previous case:										
Change in outline or description										
Map #										

**BALTIMORE COUNTY OFFICE OF PLANNING AND ZONING**

County Office Building  
111 W. Chesapeake Avenue  
Towson, Maryland 21204

Your Petition has been received \* this 9 day of July 1975. Item # \_\_\_\_\_.

*S. Eric Dinenna*  
S. Eric Dinenna,  
Zoning Commissioner

Petitioner GBMC Submitted by EDWARD ZOVER  
Petitioner's Attorney JAMES MCKENT Reviewed by NBC

\* This is not to be interpreted as acceptance of the Petition for assignment of a hearing date.

BALTIMORE COUNTY, MARYLAND  
OFFICE OF FINANCE - REVENUE DIVISION  
MISCELLANEOUS CASH RECEIPT

No. 23316

DATE Aug. 7, 1975 ACCOUNT 01-662

AMOUNT \$25.00

RECEIVED FROM Greater Baltimore Medical Center, G.B.M.C., Towson, Md. 21204

FOR Petition for Variance and Special Hearing #76-56-ASPH

RECEIVED 250.00

VALIDATION OR SIGNATURE OF CASHIER

BALTIMORE COUNTY, MARYLAND  
OFFICE OF FINANCE - REVENUE DIVISION  
MISCELLANEOUS CASH RECEIPT

No. 23376

DATE Sept. 24, 1975 ACCOUNT 01-662

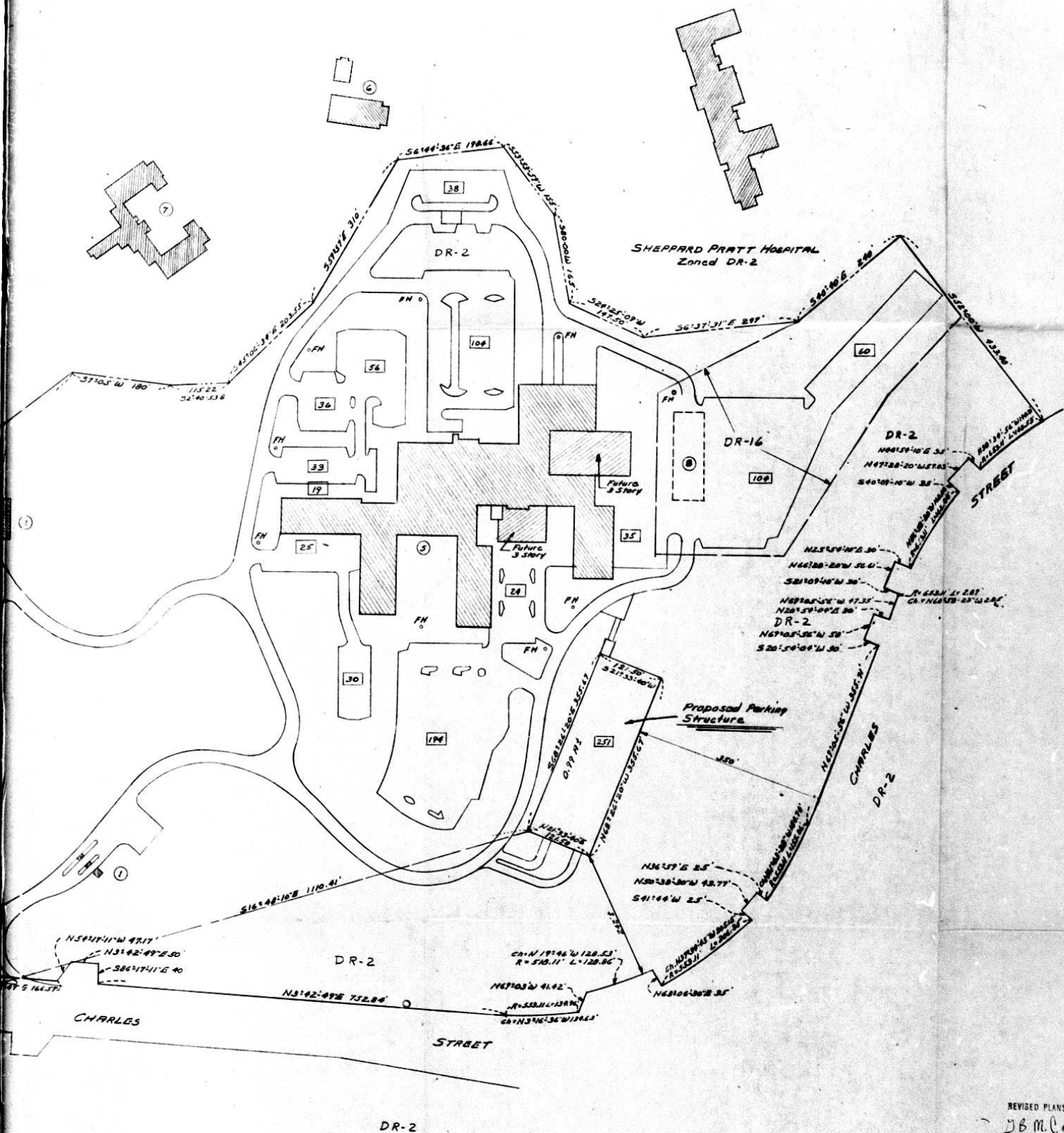
AMOUNT \$77.00

RECEIVED FROM Messrs. Venable, Baetjer and Howard, 1800 Massachusetts Bank & Trust Bldg., Balto., Md. 21201

FOR Advertising and posting of property for G.B.M.C. #76-56-ASPH

RECEIVED 77.00

VALIDATION OR SIGNATURE OF CASHIER



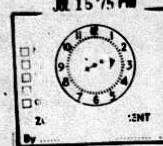
- 10 No of existing Parking Spaces  
1 No of Building

MAP No.	17
SECTION	2
DATE	7-10-75
TITLE	
SCALE	1"=100'
BY	J.B.M.C.
DATE	

REVISED PLANS

J.B.M.C. 17

1575 PM



TOTAL AREA = 57,233 ACRES ±

### ZONING PLAT

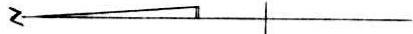
GREATER BALTIMORE MEDICAL CENTER  
 6701 NORTH CHARLES STREET  
 9th DISTRICT BALTIMORE Co.  
 TOWSON, MARYLAND 21286



Scale 1"=100' June 11, 1975  
 DOLLENBERG, GANNOLD, CROSS & STEEL  
 Surveyors & Civil Engineers  
 412 Delaware Ave.  
 Towson, Maryland 21286

Revised 7-10-75

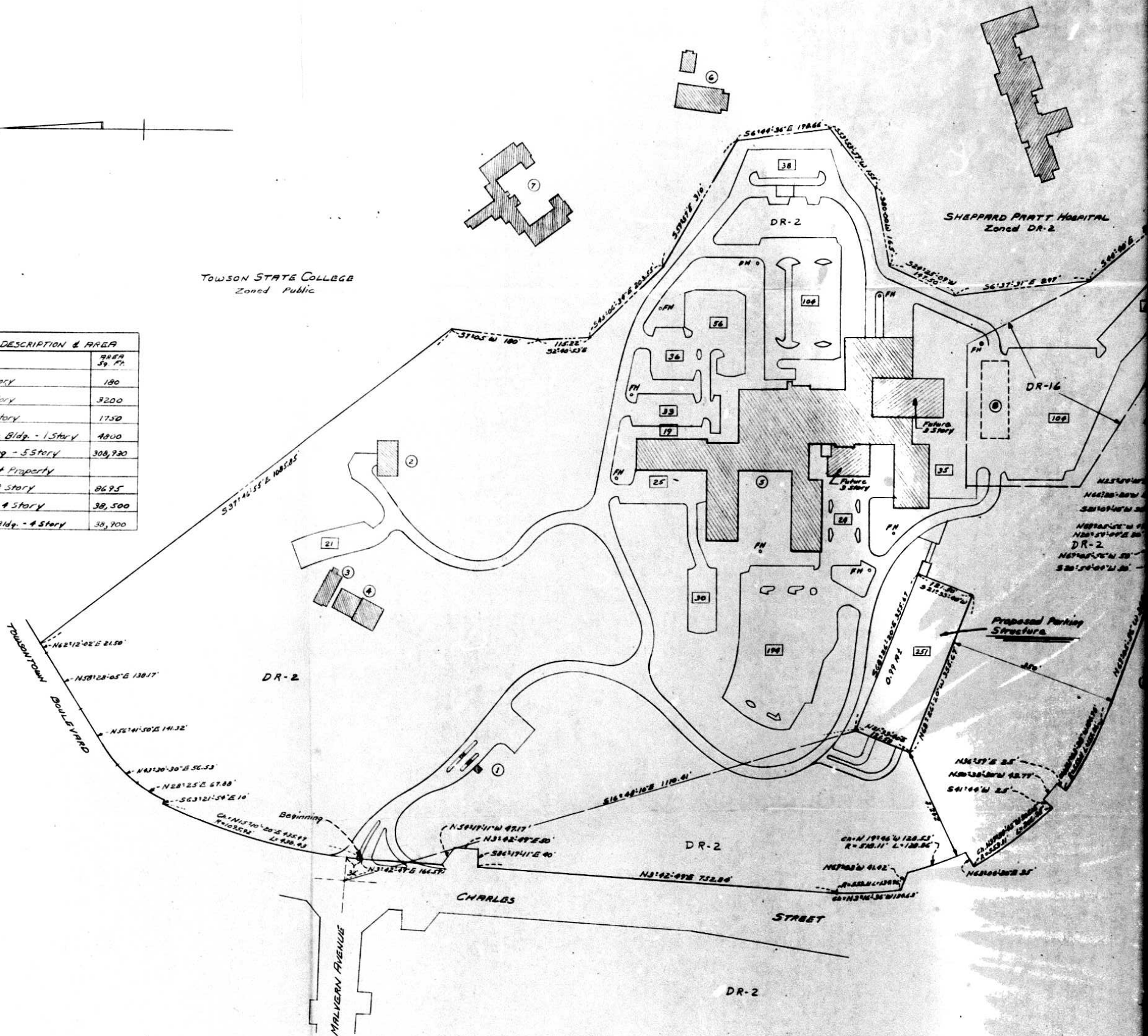


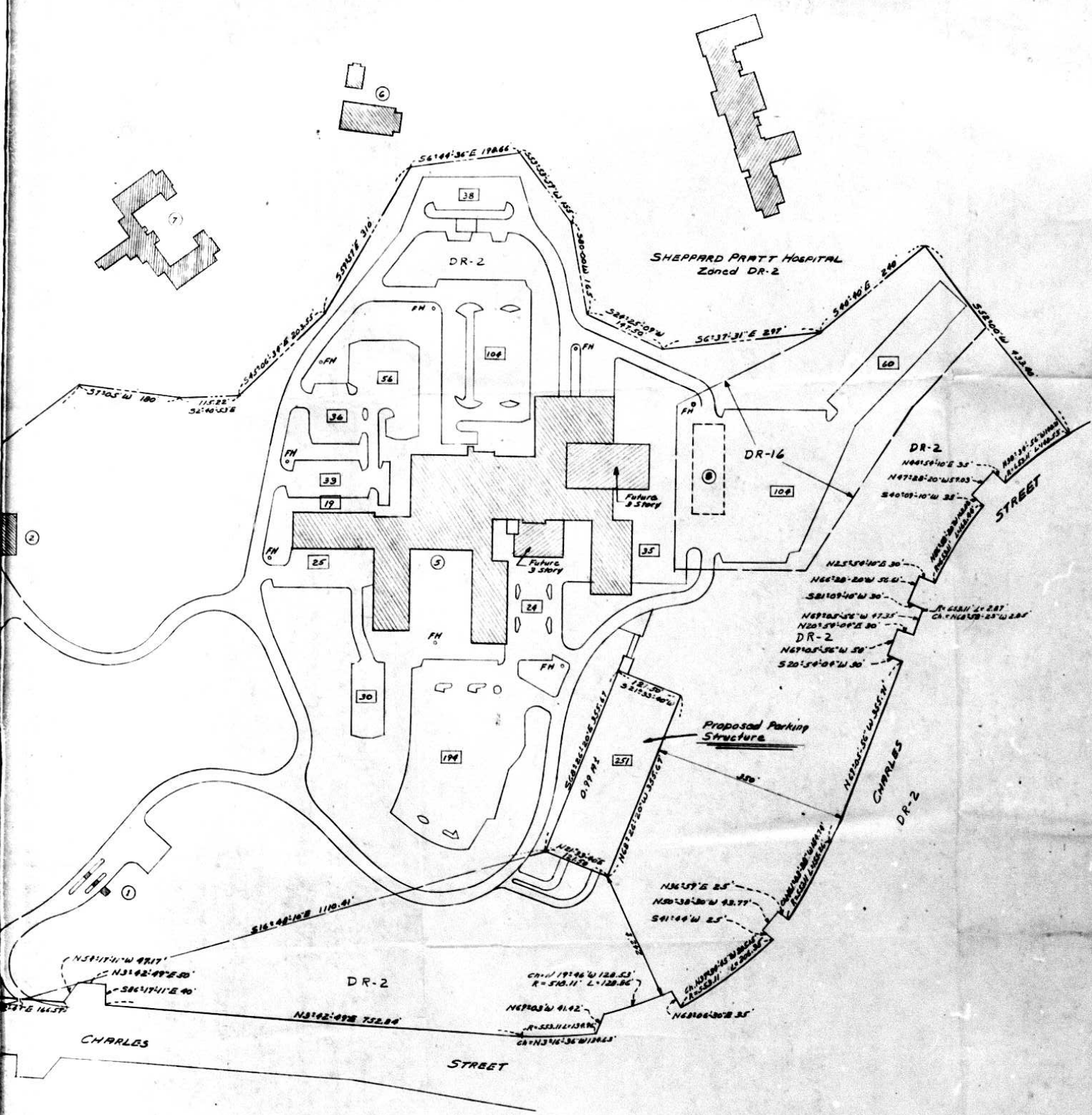


TOWSON STATE COLLEGE  
Zoned Public

SHEPPARD PRATT HOSPITAL  
Zoned DR-2

EXISTING BUILDING DESCRIPTION & AREA		
No	DESCRIPTION	AREA Sq. Ft.
1	Tell Booths - 1 Story	180
2	Warehouse - 1 Story	3200
3	Farmhouse - 2 Story	1750
4	Auxiliary Service Bldg. - 1 Story	4800
5	Hospital Building - 5 Story	308,730
Sheppard & Pratt Property		
6	Ford Building - 3 Story	86,95
7	Nurses Home - 4 Story	38,500
8	Proposed Office Bldg. - 4 Story	38,700





Legend:  
 [Square with 'P'] No of existing Parking Spaces  
 [Circle with 'B'] No of Building

REVISED PLANS  
 Greater Baltimore  
 Medical Center  
 #17

PARKING DATA

No. of Bldgs	401
Required spaces - 1 for every 4 beds	101
Existing spaces	779
Proposed Employee Parking Structure	251
Parking spaces provided	1030



TOTAL AREA = 57.233 Acres ±

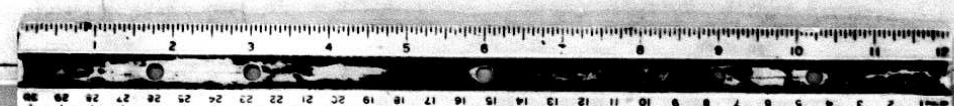
**ZONING PLAT**

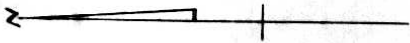
**GREATER BALTIMORE MEDICAL CENTER**  
 6701 NORTH CHARLES STREET  
 9th DISTRICT BALTIMORE Co.  
 TOWSON, MARYLAND 21286

Scale 1"=100' June 11, 1975

DALLENBERG, GEMMEL, CHASE & BYZARD  
 Surveyors & Civil Engineers  
 412 Delaware Ave.  
 Towson, Maryland 21286

Revised 7-5-75  
 Revised 7-10-75



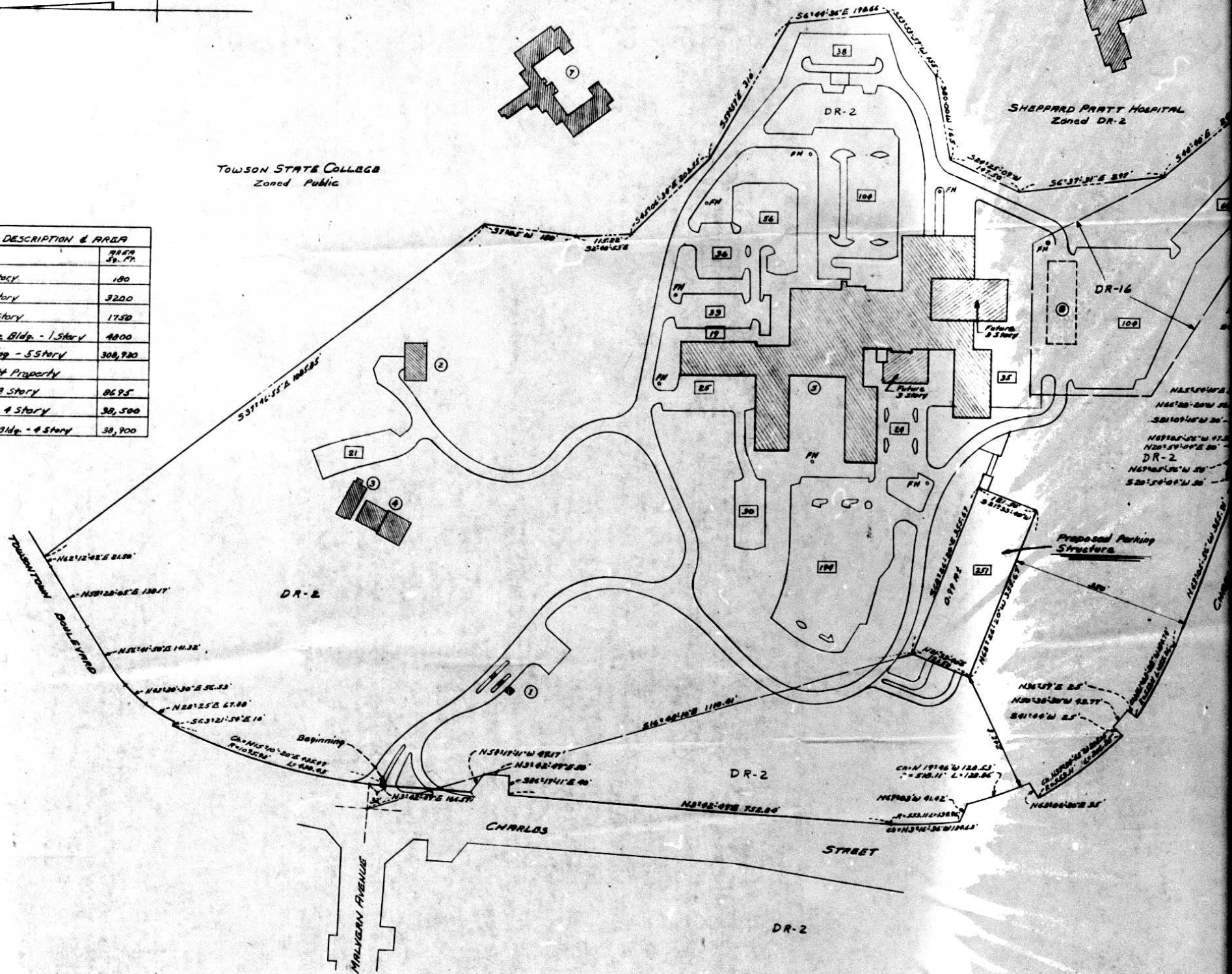


TOWSON STATE COLLEGE  
Zoned Public

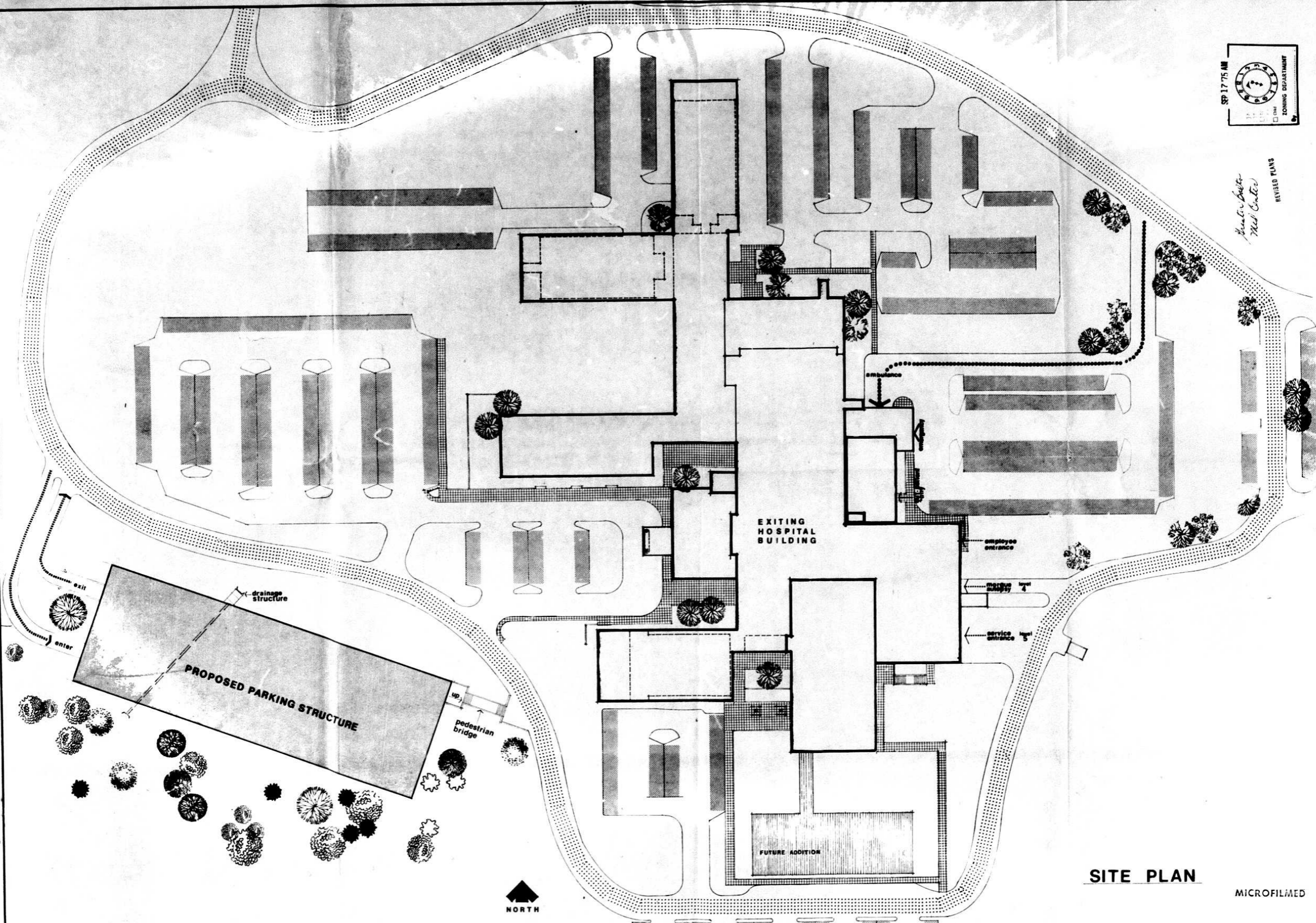
SHEPPARD PRATT HOSPITAL  
Zoned DR-2

EXISTING BUILDING DESCRIPTION & AREA

No	DESCRIPTION	AREA Sq. Ft.
1	Tell Booths - 1 Story	180
2	Warehouse - 1 Story	3200
3	Farmhouse - 2 Story	1750
4	Auxiliary Service Bldg. - 1 Story	4000
5	Hospital Building - 5 Story	308,920
Sheppard & Pratt Property		
6	Ford Building - 3 Story	8695
7	Nurses Home - 4 Story	38,500
8	Proposed Office Bldg. - 4 Story	38,900







SP 17 75 AM  
 TYPED  
 DATE  
 ZONING DEPARTMENT

*Greater Baltimore  
 Medical Center*  
 REVISED PLANS

**PARKING STRUCTURE FOR  
 GREATER BALTIMORE  
 MEDICAL CENTER  
 BALTIMORE, MD.**

REVISIONS

By	Date	Description

**SITE PLAN**  
 scale 1"=40'

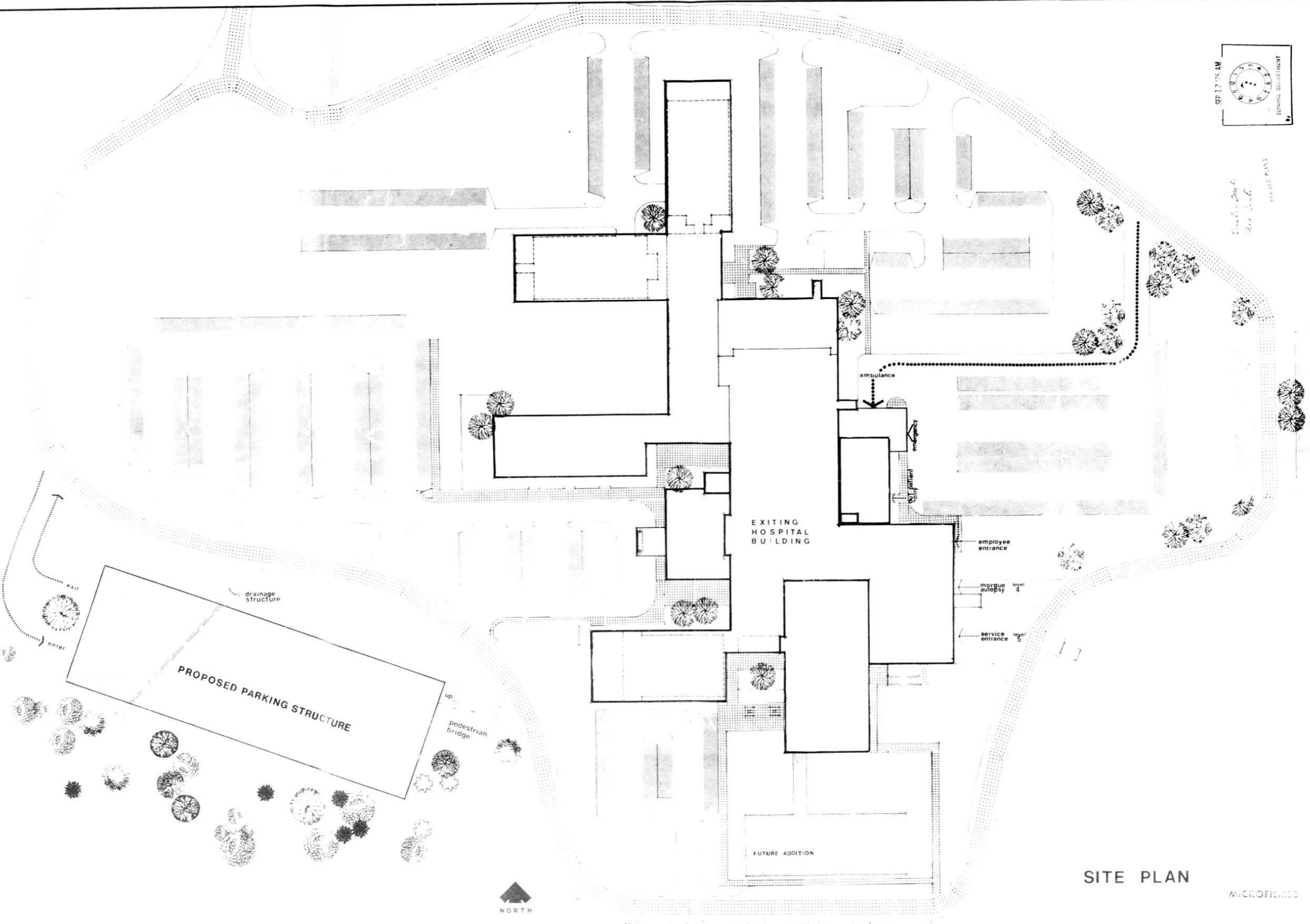
Issue Date: 12-1-75  
 Drawn: [ ]  
 Checked: [ ]  
 Approved: [ ]

SHEET: [ ]

OF [ ]

**SITE PLAN**  
 MICROFILMED



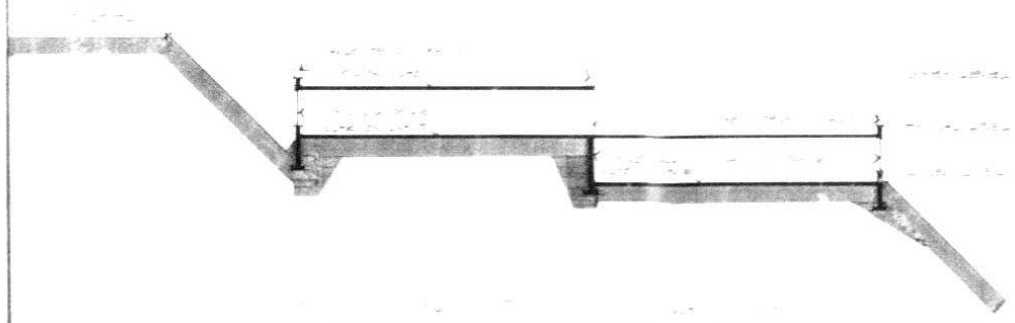
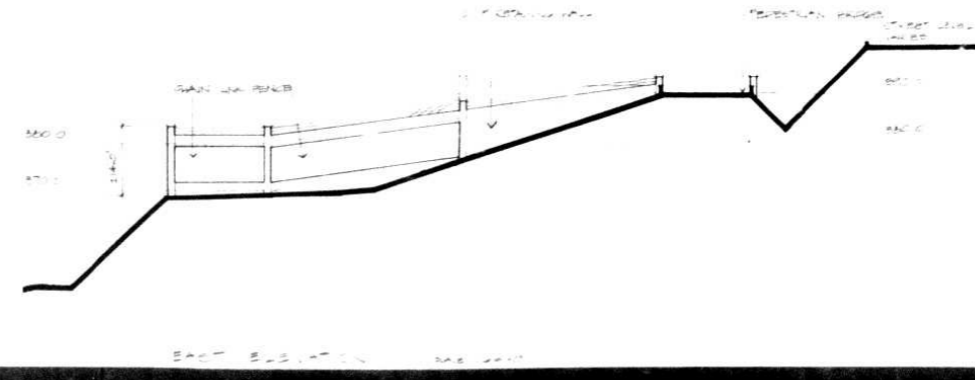
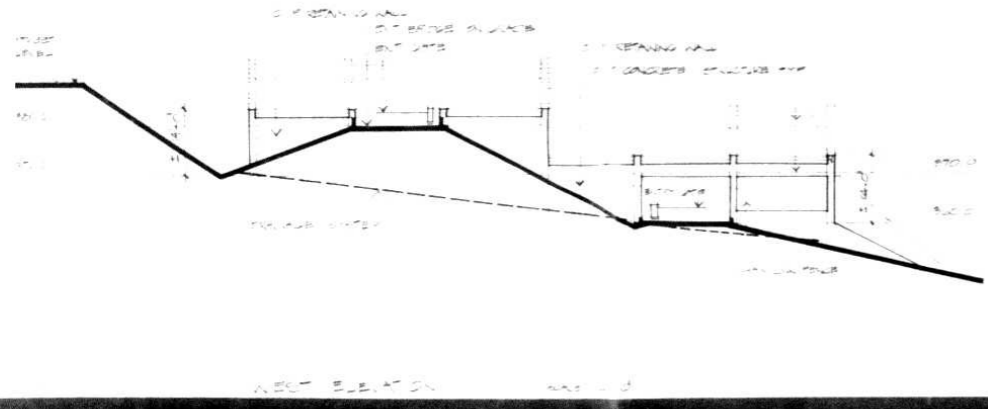
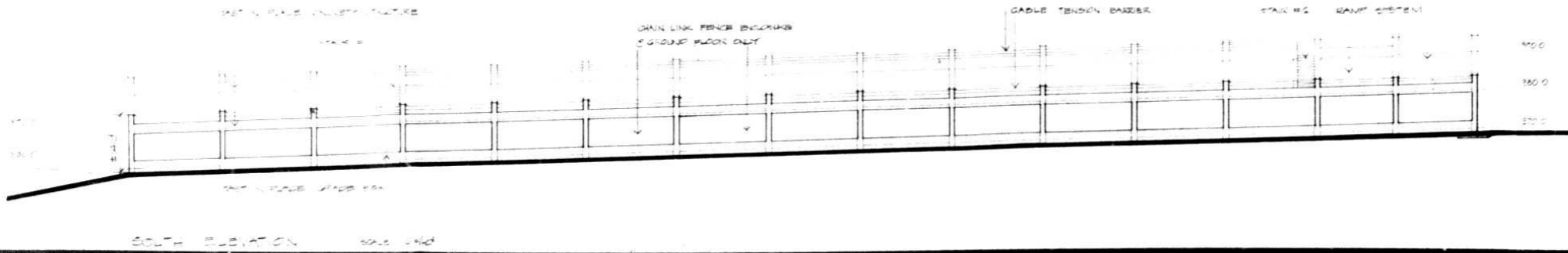


SEP 17 7:45 AM  
 ZONING DEPARTMENT

REVISIONS  
 DATE  
 BY

SITE PLAN  
 scale 1/30  
 MICROFILMED

LUTHER HILL AND ASSOCIATES INC GENERAL CONTRACTORS	YOUNG HADAWI INC ENGINEERS AND ARCHITECTS PARKING CONSULTANTS	ARCHITECTURAL CONCEPTS INC	PARKING STRUCTURE FOR GREATER MEDICAL CENTER BALTIMORE, MD.
SITE PLAN scale 1/30			MICROFILMED



LUTHER HILL AND ASSOCIATES INC  
GENERAL CONTRACTORS

YOUNG HADAWI INC  
ENGINEERS AND ARCHITECTS

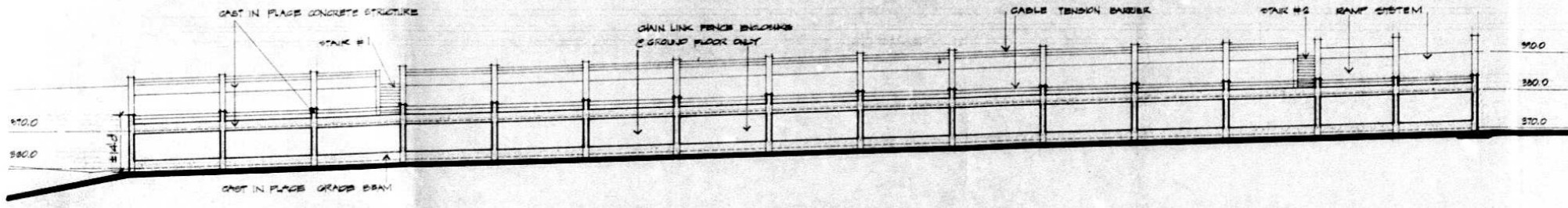
ARCHITECTURAL CONCEPTS INC

PARKING STRUCTURE FOR  
GREATER MEDICAL CENTER  
BALTIMORE, MD.

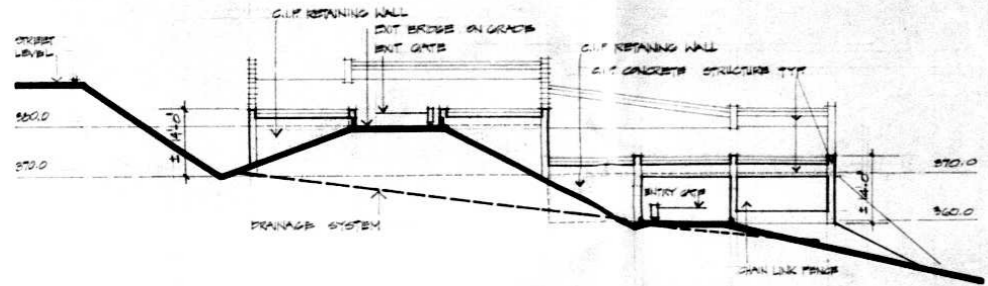
IN CHARGE  
MANAGER

DATE

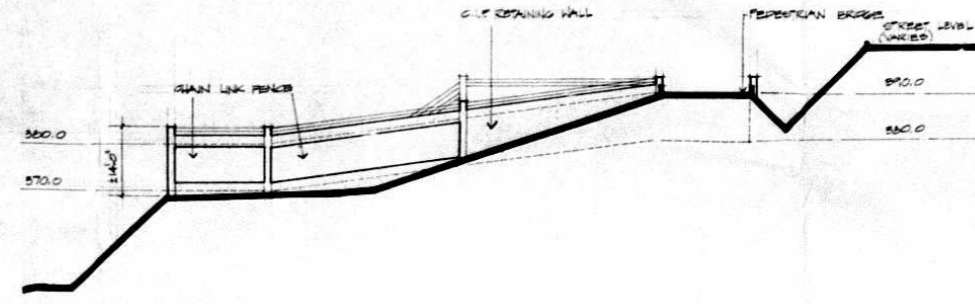
2-A



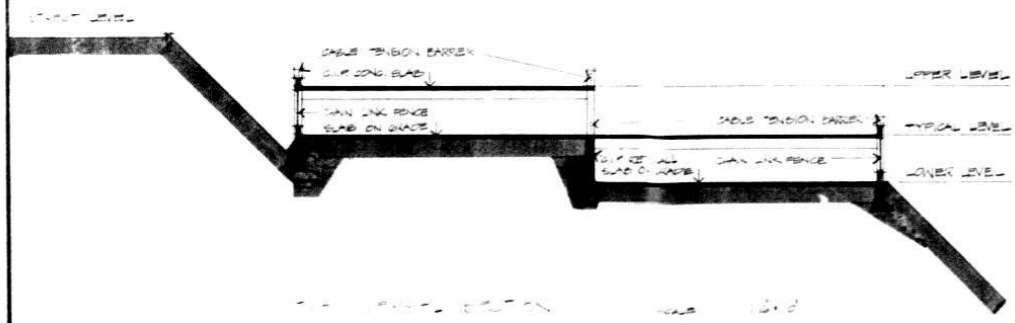
SOUTH ELEVATION SCALE 1/8"=1'-0"



WEST ELEVATION SCALE 1/8"=1'-0"



EAST ELEVATION SCALE 1/8"=1'-0"



CROSS SECTION SCALE 1/8"=1'-0"

LUTHER M. AN  
 ASSOCIATES, INC.  
 ARCHITECTS  
 1000 N. WASHINGTON BLVD.  
 SUITE 100  
 WASHINGTON, D.C. 20004  
 PHONE (202) 462-1100  
 FAX (202) 462-1101

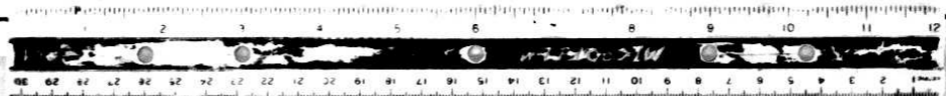
**PARKING STRUCTURE FOR  
 GREATER BALTIMORE  
 MEDICAL CENTER  
 BALTIMORE, MD.**

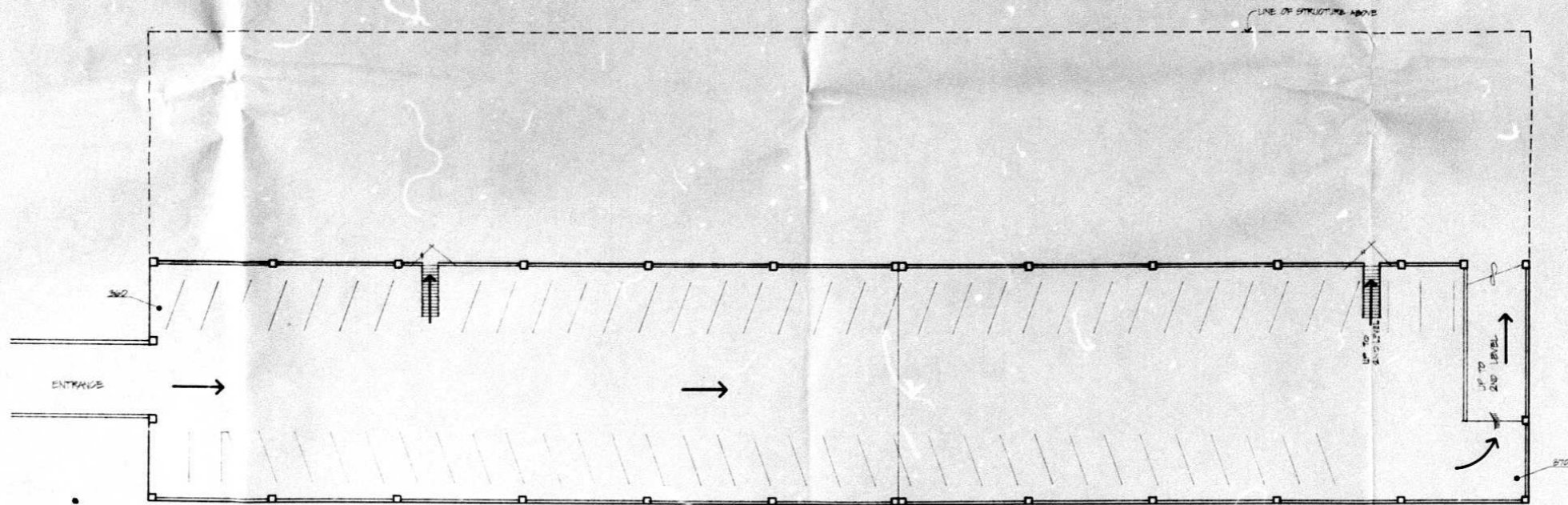
REVISIONS	Mark	Date	Description

Issue Date: 12/1/75  
 Drawn: J. J. [unclear]  
 Checked: [unclear]  
 Approved: [unclear]

SHEET  
**2-A**

OF





**GENERAL NOTES**

1. ALL ONE WAY TRAFFIC
2. PARKING ANGLE = 70°
3. PARKING STALL WIDTH = 8'6"
4. PARKING CAPACITY = APPROX. 201 CARS AS SHOWN

FUTURE CAPACITY:

ADD 1 1/2 LEVELS	+ 184
	225 CARS
BA ADD LEVEL	+ 125

IF LEVELS ARE ADDED RAMPES WILL ALSO BE ADDED IN THE SPACES PROVIDED TO ACCOMMODATE DOWN TRAFFIC

**LOWER LEVEL**  
SCALE: 1/8" = 1'-0"

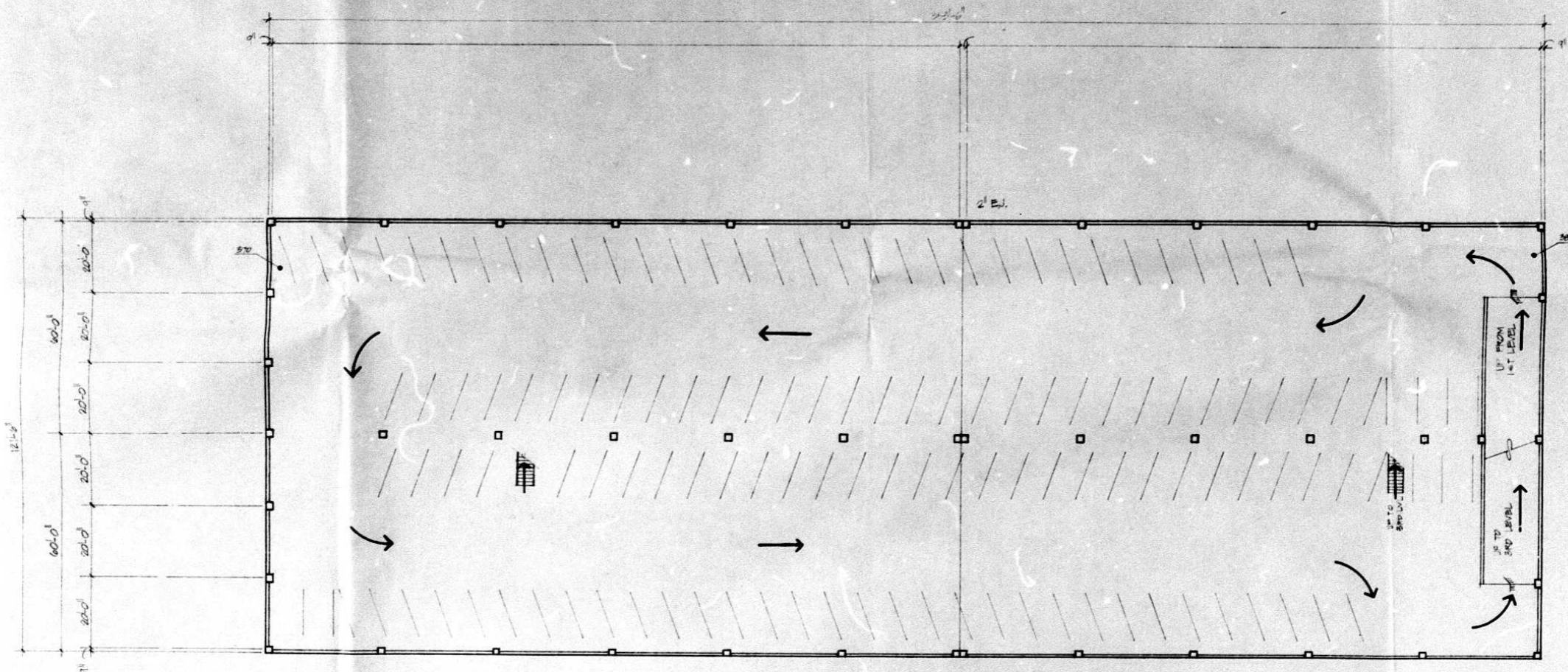


**PARKING STRUCTURE FOR  
GREATER MEDICAL CENTER  
BALTIMORE, MD.**

REVISIONS

Mark	Date	Description	BY

Issue Date: 5/1/75  
 Drawn:  
 Checked:  
 Approved:

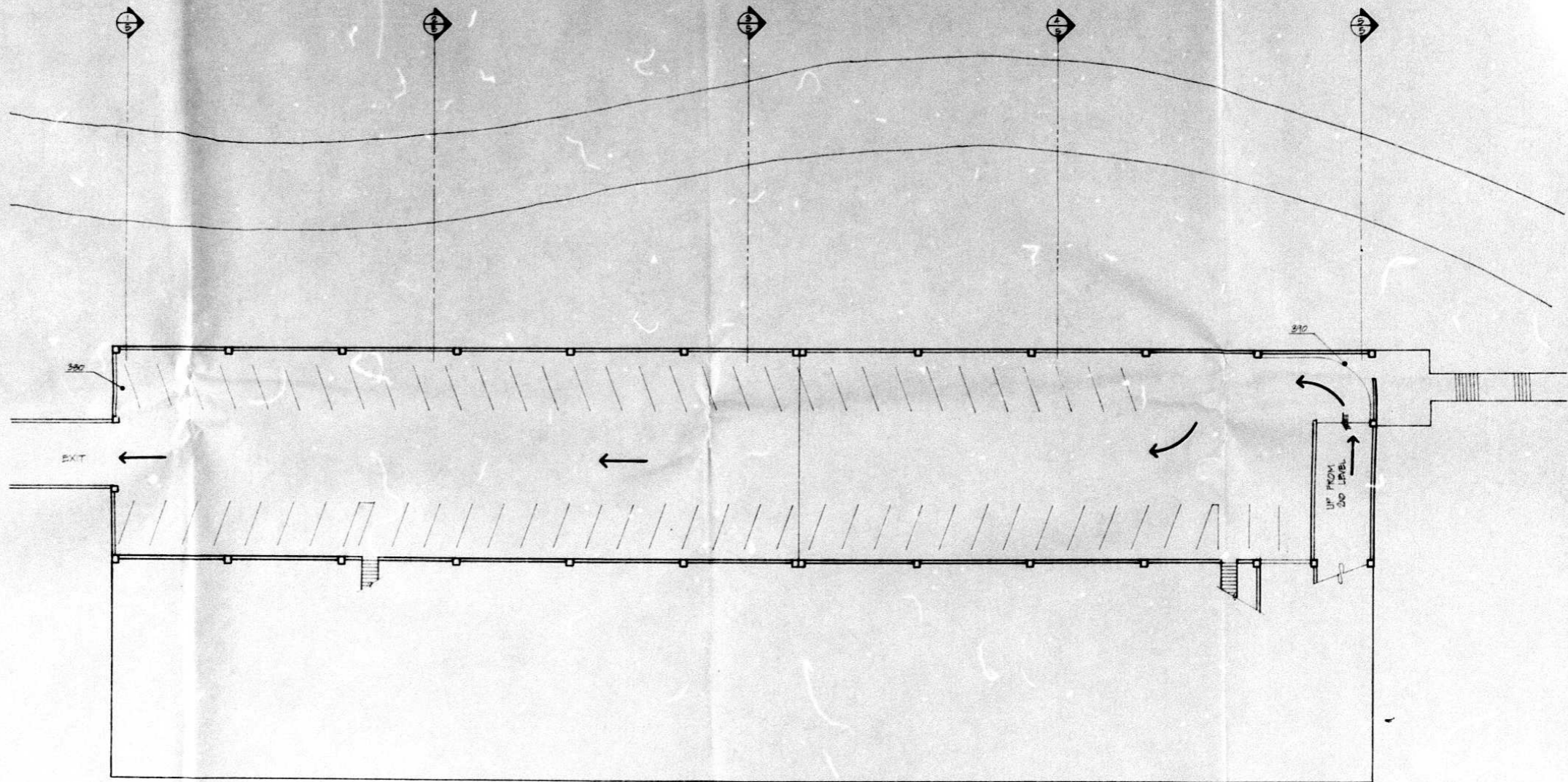


**PARKING STRUCTURE FOR  
GREATER BALTIMORE  
MEDICAL CENTER  
BALTIMORE, MD.**

REVISIONS	Mark	Date	Description	By
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Issue Date: 5-1-75  
 Drawn:  
 Checked:  
 Approved:

SHEET



3RD LEVEL  
 SCALE 1/2" = 1'-0"

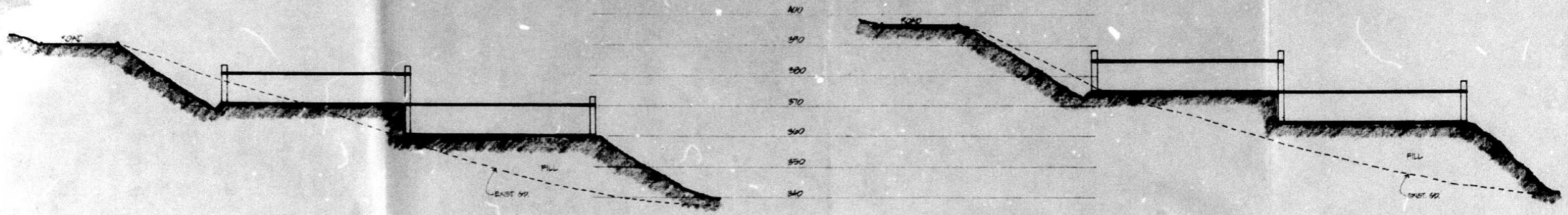


**PARKING STRUCTURE FOR  
 GREATER BALTIMORE  
 MEDICAL CENTER  
 BALTIMORE, MD.**

REVISIONS

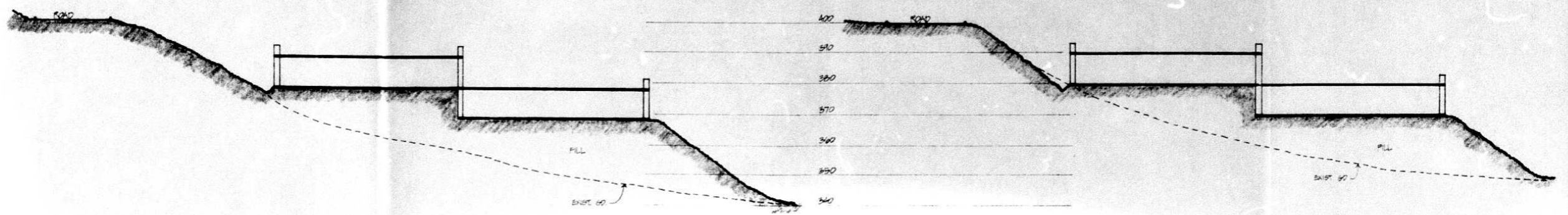
Rev.	Date	Description	By
1	11/12/64	ISSUE	...

Issue Date: 5/1/65  
 Drawn: ...  
 Checked: ...  
 Approved: ...



SECTION 1/5 2/5  
SCALE: 1/4" = 1'-0"

SECTION 3/5 5/5  
SCALE: 1/4" = 1'-0"



SECTION 4/5 5/5  
SCALE: 1/4" = 1'-0"

SECTION 6/5 5/5  
SCALE: 1/4" = 1'-0"



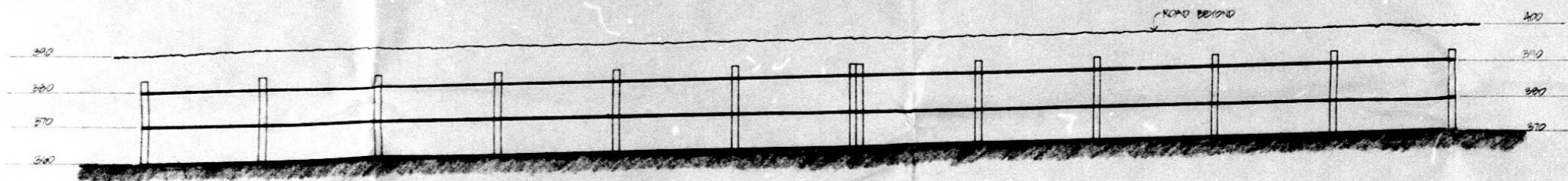
**PARKING STRUCTURE FOR  
 GREATER BALTIMORE  
 MEDICAL CENTER  
 BALTIMORE, MD.**

REVISIONS	By	Date	Description

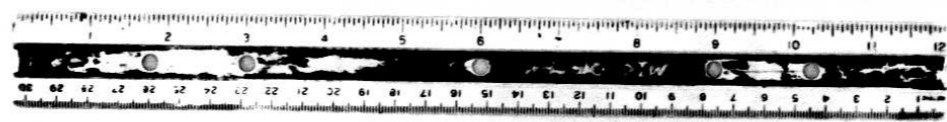
Issue Date: 5.1.78  
 Drawn:  
 Checked:  
 Approved:

SHEET:





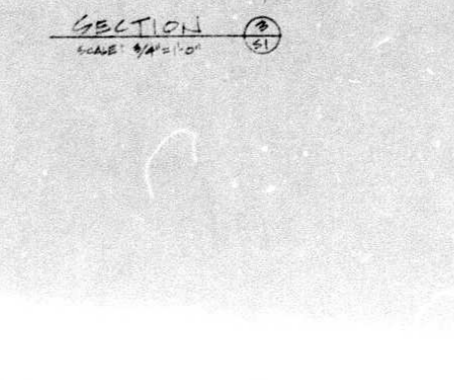
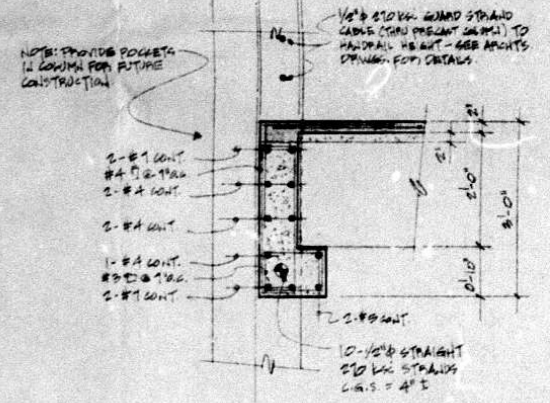
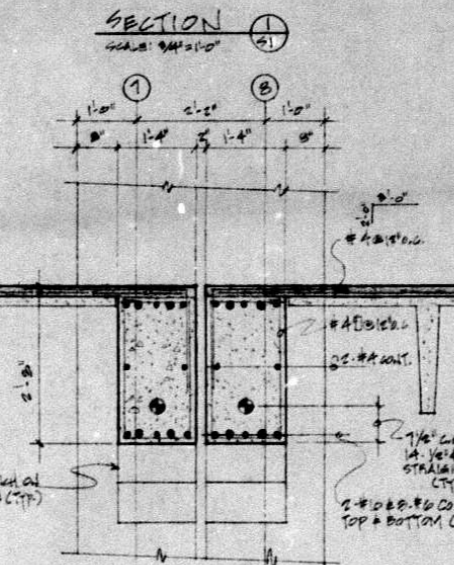
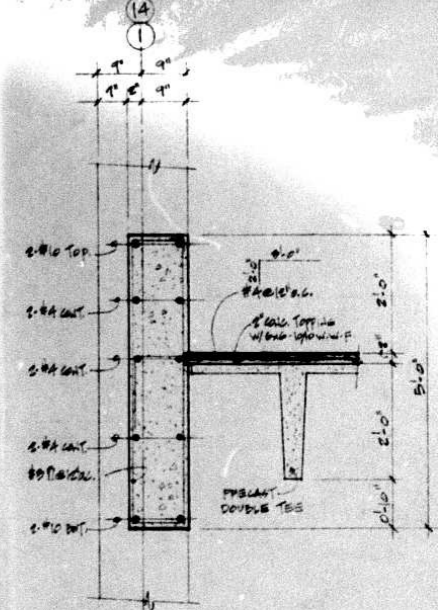
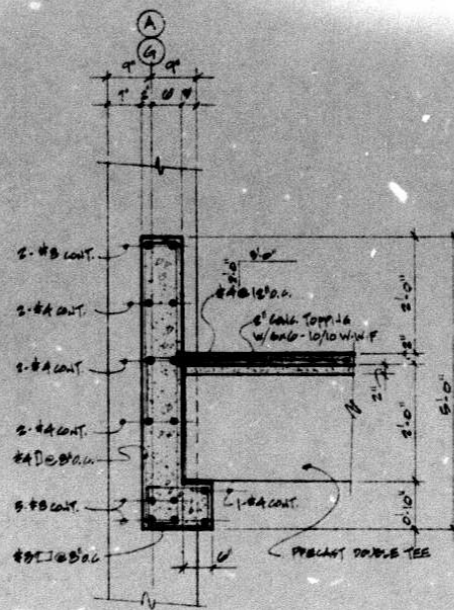
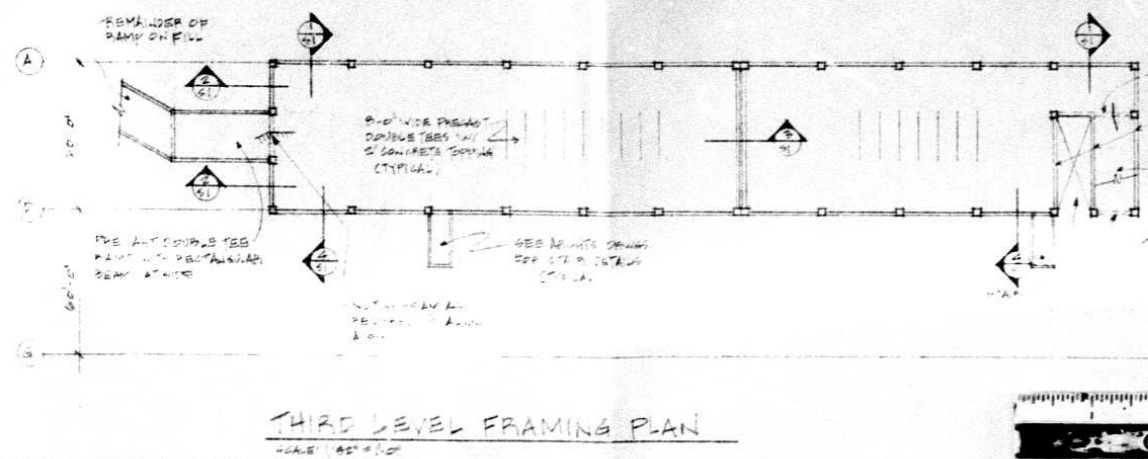
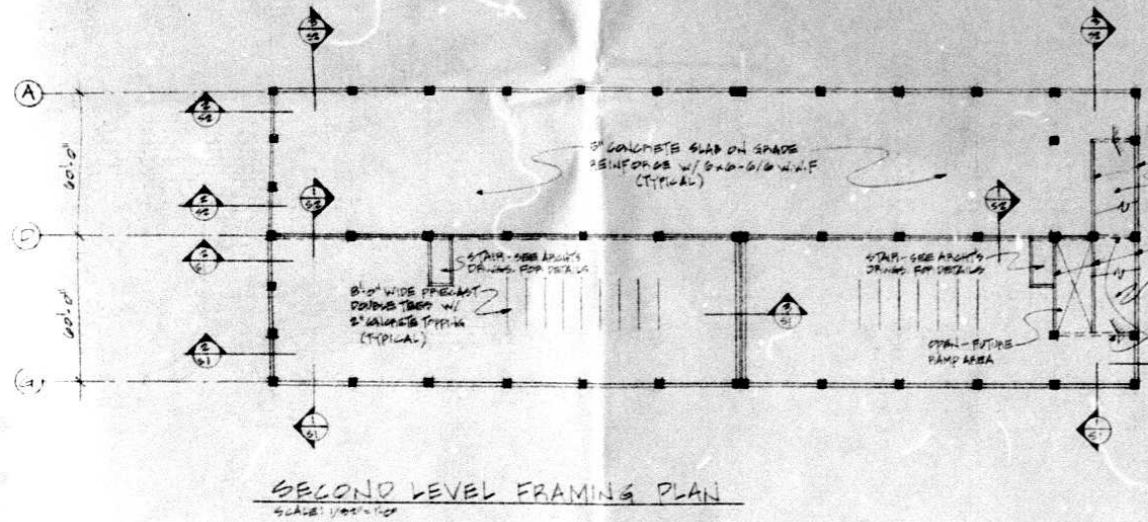
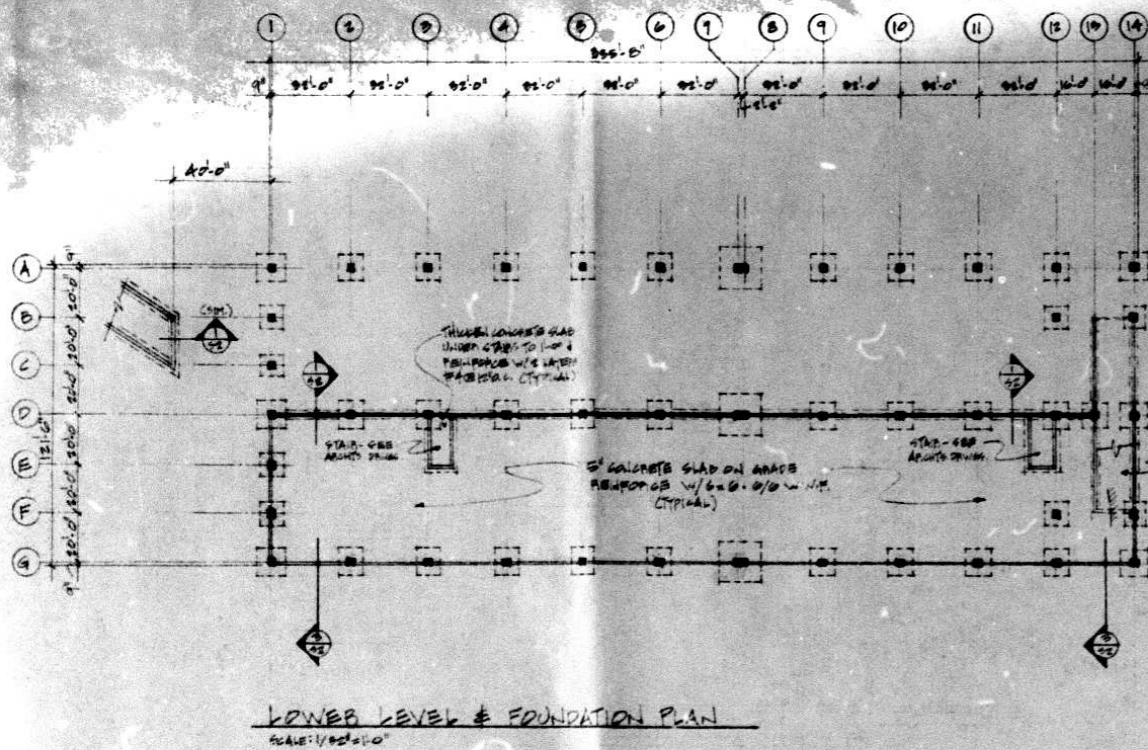
SCHMATIC LONGITUDINAL SECTION - (SEE PLAN NORTHWEST CORNER TOWARD ROAD)  
 SCALE: 1/4" = 1'-0"



**PARKING STRUCTURE FOR  
 GREATER BALTIMORE  
 MEDICAL CENTER  
 BALTIMORE, MD.**

REVISIONS	Mark	Date	Description	By

Issue Date: 5/1/75  
 Drawn:  
 Checked:  
 Approved:



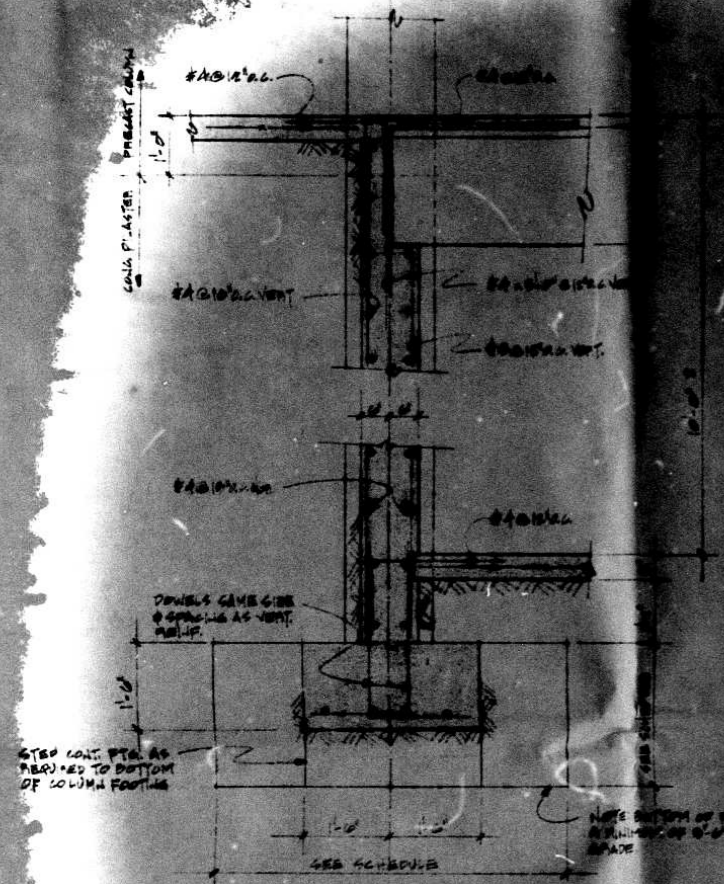
PARKING STRUCTURE FOR  
 GREATER BALTIMORE  
 MEDICAL CENTER  
 BALTIMORE, MD.

REVISIONS	Mark/Date	Description

Issue Date  
Drawn  
Checked  
Approved

SHEET





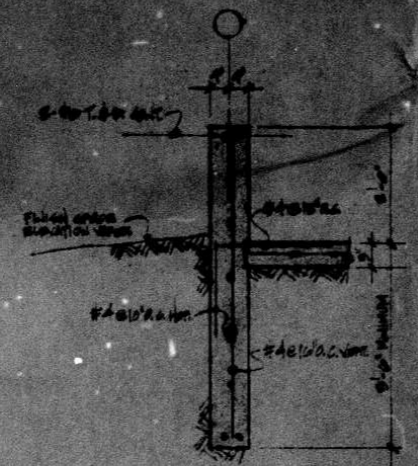
STEP CONT. FTG. AS REQUIRED TO BOTTOM OF COLUMN FOOTING

NOTE BOTTOM OF FOOTING TO BE FINISHED TO 0'-0\"/>

SECTION  
SCALE: 3/4\"/>



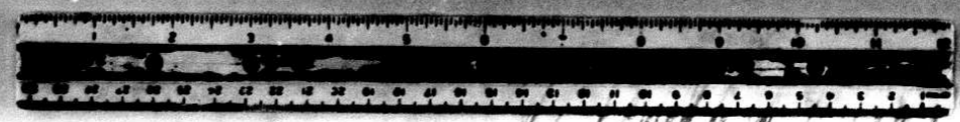
SECTION  
SCALE: 3/4\"/>



SECTION  
SCALE: 3/4\"/>

PRELIMINARY FOUNDATION SCHEDULE

COLUMN	PROPOSED	FUTURE
A-1, A-4	8'-0\"/>	
A-2 THRU A-3	1'-0\"/>	
A-7 THRU A-12	1'-0\"/>	
A-13A, B	8'-0\"/>	
B-1, C	4'-0\"/>	
B-1, E	5'-0\"/>	
D-2 THRU D-4	10'-0\"/>	
D-5	1'-0\"/>	
D-6	10'-0\"/>	
D-7	10'-0\"/>	
D-8	1'-0\"/>	
D-10, D-11	1'-0\"/>	
D-12	3'-0\"/>	
D-14	8'-0\"/>	
F-1, E-14	1'-0\"/>	
G-2 THRU G-3	1'-0\"/>	
G-4 THRU G-12	1'-0\"/>	



PARKING STRUCTURE FOR  
GREATER BALTIMORE  
MEDICAL CENTER  
BALTIMORE, MD.

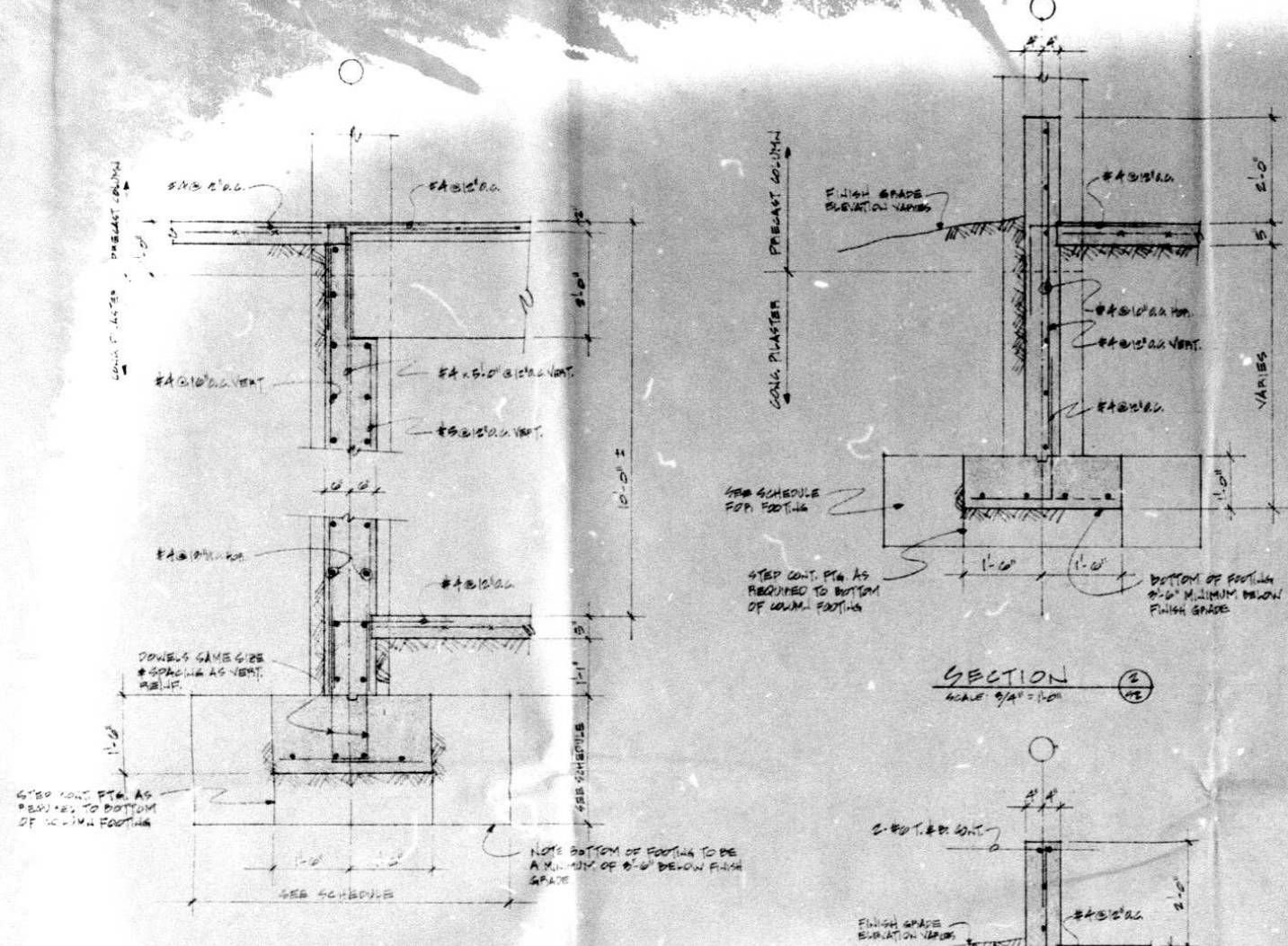
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Issue Date  
Drawn  
Checked  
Approved

SHEET

52  
OF 4

PRECAST



SECTION 2  
SCALE 3/4" = 1'-0"

SECTION 3  
SCALE 3/4" = 1'-0"

SECTION 1  
SCALE 3/4" = 1'-0"

PRELIMINARY FOUNDATION SCHEDULE

COLUMN	PROPOSED	FUTURE
A-1 A-2	5'-0" x 5'-0" x 2'-0" 2-#5 EA WAY	4'-0" x 4'-0" x 2'-0" 1-#5 EA WAY
A-3 thru A-5	1'-0" x 1'-0" x 2'-0" 1-#5 EA WAY	1'-0" x 1'-0" x 2'-0" 1-#5 EA WAY
A-6 thru A-8	8'-0" x 8'-0" x 2'-0" 2-#5 EA WAY	4'-0" x 4'-0" x 2'-0" 1-#5 EA WAY
B-1	4'-0" x 4'-0" x 2'-0" 2-#5 EA WAY	4'-0" x 4'-0" x 2'-0" 2-#5 EA WAY
B-2 thru B-4	10'-0" x 10'-0" x 2'-0" 2-#5 EA WAY	10'-0" x 10'-0" x 2'-0" 2-#5 EA WAY
B-5	10'-0" x 10'-0" x 2'-0" 2-#5 EA WAY	10'-0" x 10'-0" x 2'-0" 2-#5 EA WAY
B-6	10'-0" x 10'-0" x 2'-0" 2-#5 EA WAY	10'-0" x 10'-0" x 2'-0" 2-#5 EA WAY
B-7	10'-0" x 10'-0" x 2'-0" 2-#5 EA WAY	10'-0" x 10'-0" x 2'-0" 2-#5 EA WAY
B-8	10'-0" x 10'-0" x 2'-0" 2-#5 EA WAY	10'-0" x 10'-0" x 2'-0" 2-#5 EA WAY
B-9	10'-0" x 10'-0" x 2'-0" 2-#5 EA WAY	10'-0" x 10'-0" x 2'-0" 2-#5 EA WAY
B-10	10'-0" x 10'-0" x 2'-0" 2-#5 EA WAY	10'-0" x 10'-0" x 2'-0" 2-#5 EA WAY
B-11	10'-0" x 10'-0" x 2'-0" 2-#5 EA WAY	10'-0" x 10'-0" x 2'-0" 2-#5 EA WAY
B-12	10'-0" x 10'-0" x 2'-0" 2-#5 EA WAY	10'-0" x 10'-0" x 2'-0" 2-#5 EA WAY
B-13	10'-0" x 10'-0" x 2'-0" 2-#5 EA WAY	10'-0" x 10'-0" x 2'-0" 2-#5 EA WAY
B-14	10'-0" x 10'-0" x 2'-0" 2-#5 EA WAY	10'-0" x 10'-0" x 2'-0" 2-#5 EA WAY
B-15	10'-0" x 10'-0" x 2'-0" 2-#5 EA WAY	10'-0" x 10'-0" x 2'-0" 2-#5 EA WAY
B-16	10'-0" x 10'-0" x 2'-0" 2-#5 EA WAY	10'-0" x 10'-0" x 2'-0" 2-#5 EA WAY
B-17	10'-0" x 10'-0" x 2'-0" 2-#5 EA WAY	10'-0" x 10'-0" x 2'-0" 2-#5 EA WAY
B-18	10'-0" x 10'-0" x 2'-0" 2-#5 EA WAY	10'-0" x 10'-0" x 2'-0" 2-#5 EA WAY
B-19	10'-0" x 10'-0" x 2'-0" 2-#5 EA WAY	10'-0" x 10'-0" x 2'-0" 2-#5 EA WAY
B-20	10'-0" x 10'-0" x 2'-0" 2-#5 EA WAY	10'-0" x 10'-0" x 2'-0" 2-#5 EA WAY



- GENERAL NOTES:**
- ALL PRECAST DOUBLE TEES SHALL BE 3" WIDE X 24" DEEP AND SHALL BE LIGHTWEIGHT CONCRETE. DOUBLE TEES SHALL BE DESIGNED FOR A SUPERIMPOSED LIVE LOAD OF 50 PSF.
  - ALL PRECAST DOUBLE TEES SHALL HAVE 12 - 1/2" DIAMETER 2/0 #4 STIRRUPS (UNWED). PLACES REINFORCEMENT SHALL BE 10" ON CENTER. STIR REINFORCEMENT SHALL CONSIST OF 10W 6/8 - 6/8 WITH A DOUBLE LAYER AT EACH END FOR THE FIRST FIVE FEET. DOUBLE TEE PLACES UNDER CONSTRUCTION SHALL BE LOCATED AT A MINIMUM OF 10 FEET CENTER TO CENTER.
  - CAST-IN-PLACE TOPPING OVER DOUBLE TEES SHALL BE 2" THICK (CONTAINED) AND SHALL BE LIGHTWEIGHT CONCRETE.
  - ALL PRECAST BEAMS AND COLUMNS SHALL BE NORMAL WEIGHT F'C = 5,000 PSI.
  - ALL DEEP LEDGER BEAMS AND DEEP RECTANGULAR BEAMS SHALL BE REINFORCED AS INDICATED ON THESE DRAWINGS. ALL STIRRUPS SHALL BE TIED AND WEDGED IN CONNECTION. PRECASTER MUST SUBMIT REINFORCING TYPICALS FOR DESIGN CALCULATIONS AND SUBMITTED FOR ENGINEER'S APPROVAL.
  - ALL SHORT LEDGER BEAMS AND SHORT RECTANGULAR BEAMS SHALL BE PRE-TENSIONED AND REINFORCED AS INDICATED ON THESE DRAWINGS. ALL STIRRUPS SHALL BE TIED AND WEDGED AS INDICATED. PRECASTER MAY BETTER STYMP PROVIDED THAT DESIGN CALCULATIONS ARE SUBMITTED FOR ENGINEER'S APPROVAL.
  - PRECAST PRE-TENSIONED THIN BEAMS SHALL BE PROVIDED IN THE STAIR AREA AS INDICATED. PRECASTER SHALL PROVIDE BEAMS TO SUPPORT THE LAIRS AS INDICATED. DESIGN CALCULATIONS SHALL BE SUBMITTED FOR THE ENGINEER'S APPROVAL.
  - WELDED CONNECTIONS SHALL BE WELD TOP AND BOTTOM OF ALL BEAMS. WELDED JOINT CONNECTIONS SHALL BE WELD FOR ALL BEAMS ON COLUMN LINES 1' AND 1' AND SHALL BE WELDED SOLID.
  - ALL COLUMNS SHALL HAVE OVERALL DIMENSIONS OF 15" X 32" EXCEPT COLUMNS ON COLUMN LINES 1' AND 1' WHICH SHALL HAVE AN OVERALL DIMENSION OF 15" X 24". ALL COLUMNS SHALL HAVE 6 INCH DEEP PROFFETS TO RECEIVE PRECAST BEAMS. COLUMNS ON COLUMN LINES 1' AND 1' SHALL HAVE HUBS (CORBELS) TO RECEIVE PRECAST BEAMS ON EXISTING JOINTS. ALL COLUMNS SHALL HAVE 4 #4'S AT 12" O.C. CENTER COLUMN VERTICAL REINFORCING SHALL BE AS FOLLOWS:
    - PROPOSED
    - FUTURE
  - ALL MAIN REINFORCING SHALL CONFORM TO ASTM A615 GRADE 60. ALL STIRRUPS AND TIES SHALL CONFORM TO ASTM A615 GRADE 40.
  - CONCRETE PILLARS SHALL BE PROVIDED BELOW PRIMARY COLUMNS WHERE INDICATED AND REQUIRED. CONCRETE PILLAR DIMENSIONS SHALL BE 24" X LENGTH OF COLUMN (L) OR 24" PLUS 6 INCHES. PILLAR REINFORCING SHALL BE THE SAME AS THE COLUMN ABOVE.
  - FUTURE CONSTRUCTION BASED UPON TWO ADDITIONAL LEVELS BETWEEN COLUMN LINES 1' AND 1' AND THREE ADDITIONAL LEVELS BETWEEN COLUMN LINES 1' AND 1'.
    - PROPOSED CONSTRUCTION BASED UPON SPREAD FOOTINGS WITH AN ALLOWABLE SOIL BEARING PRESSURE OF 4,000 PSF. BOTTOM OF FOOTINGS TO REST ON CONTROLLED STRUCTURAL COMPACTED FILL. BOTTOM OF FOOTINGS TO BE A MINIMUM OF 3'-6" BELOW FINISH GRADE.
    - FUTURE CONSTRUCTION BASED UPON SPREAD FOOTINGS WITH AN ALLOWABLE SOIL BEARING PRESSURE OF 4,000 PSF. BOTTOM OF FOOTINGS TO REST ON CONTROLLED STRUCTURAL COMPACTED FILL. BOTTOM OF FOOTINGS TO BE A MINIMUM OF 3'-6" BELOW FINISH GRADE.
    - ASSUMED EQUIVALENT FLUID PRESSURE BEHIND WALLS TO BE 55 PCF.
    - SEE PRELIMINARY FOOTING SCHEDULE THIS SHEET.
  - ALL FOOTINGS AND CONCRETE SHALL BE NORMAL WEIGHT CONCRETE F'C = 3,000 PSI.

PARKING STRUCTURE FOR  
 GREATER BALTIMORE  
 MEDICAL CENTER  
 BALTIMORE, MD.

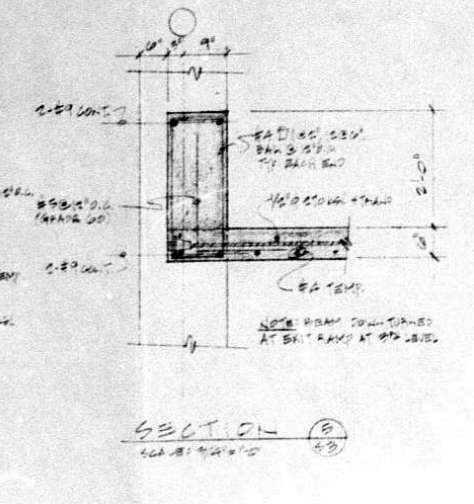
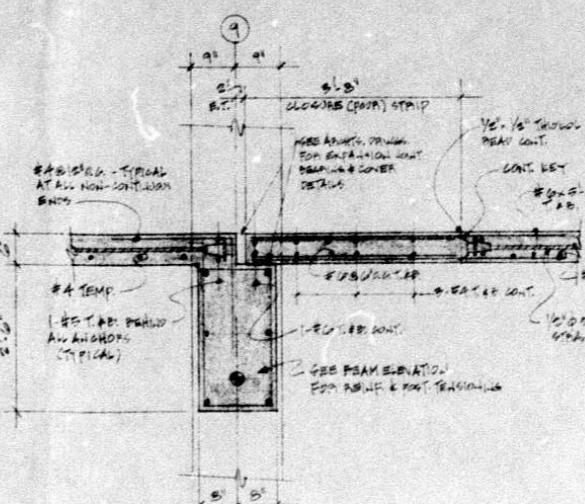
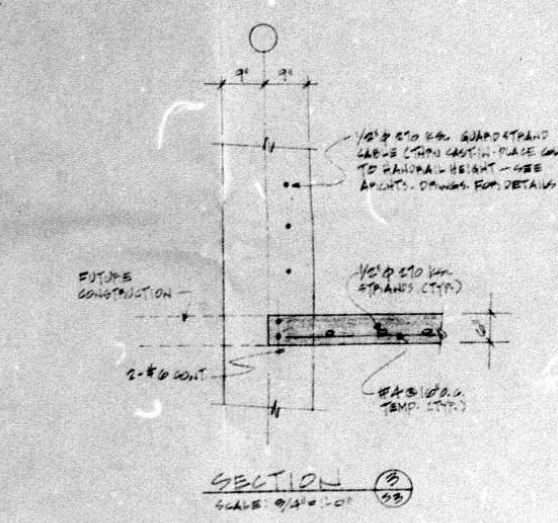
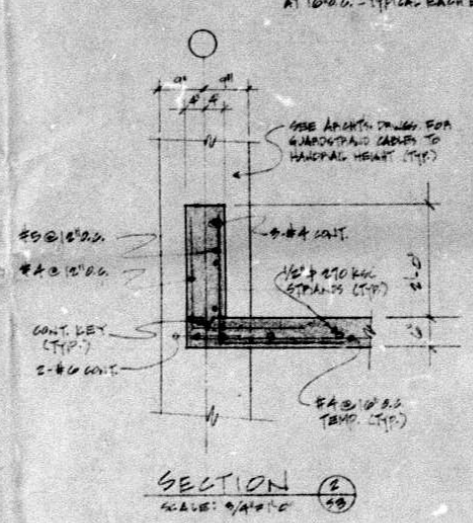
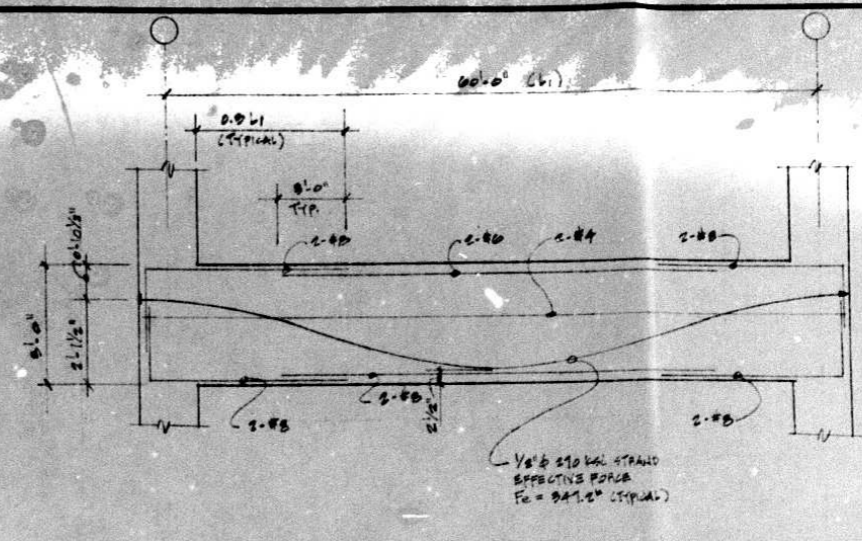
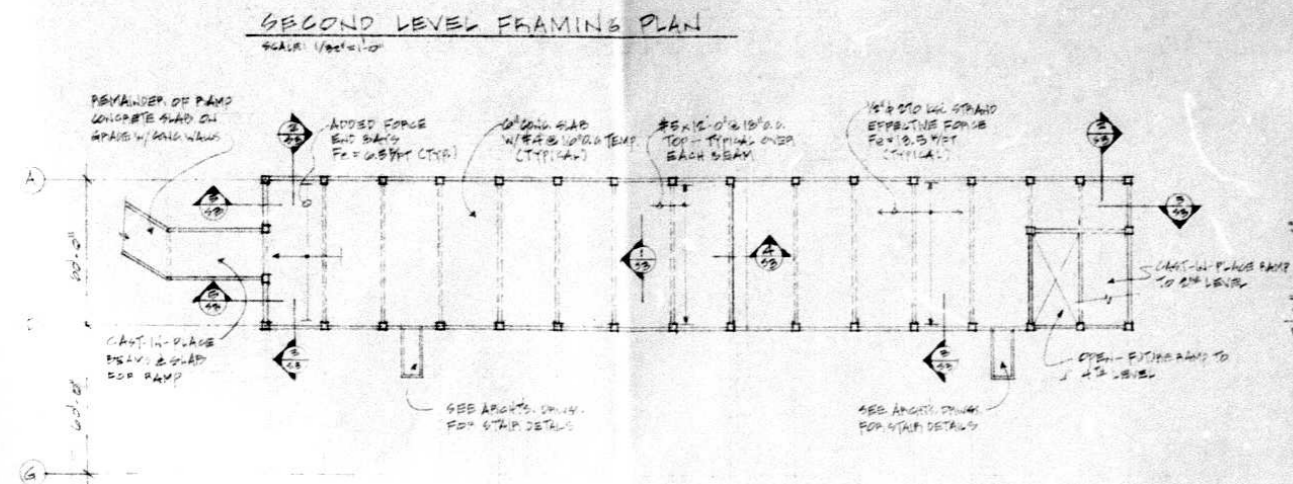
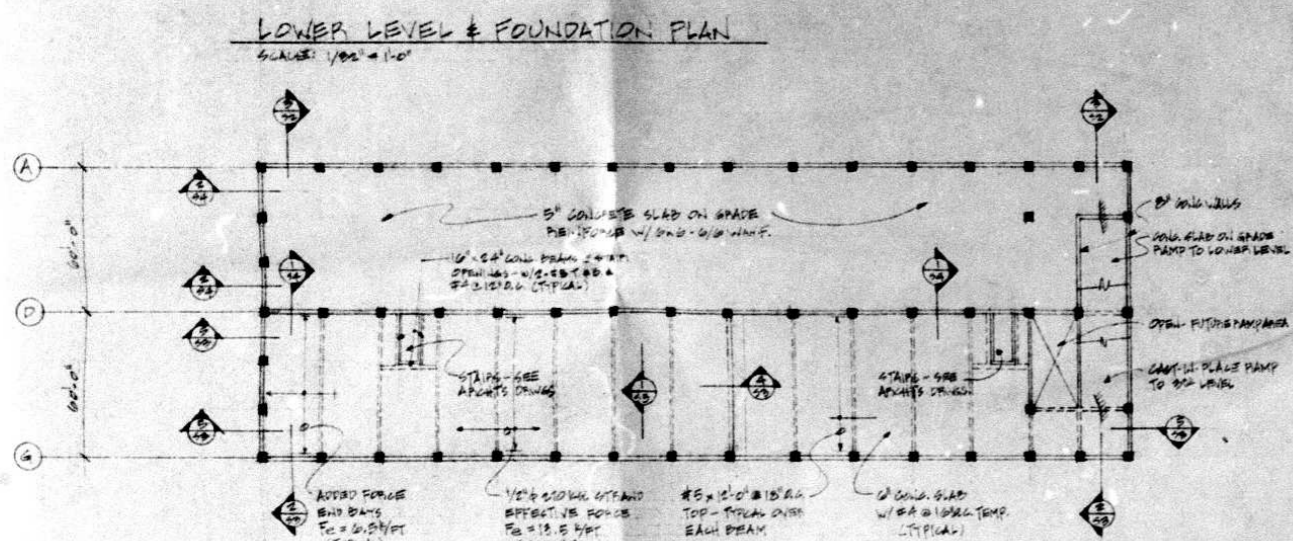
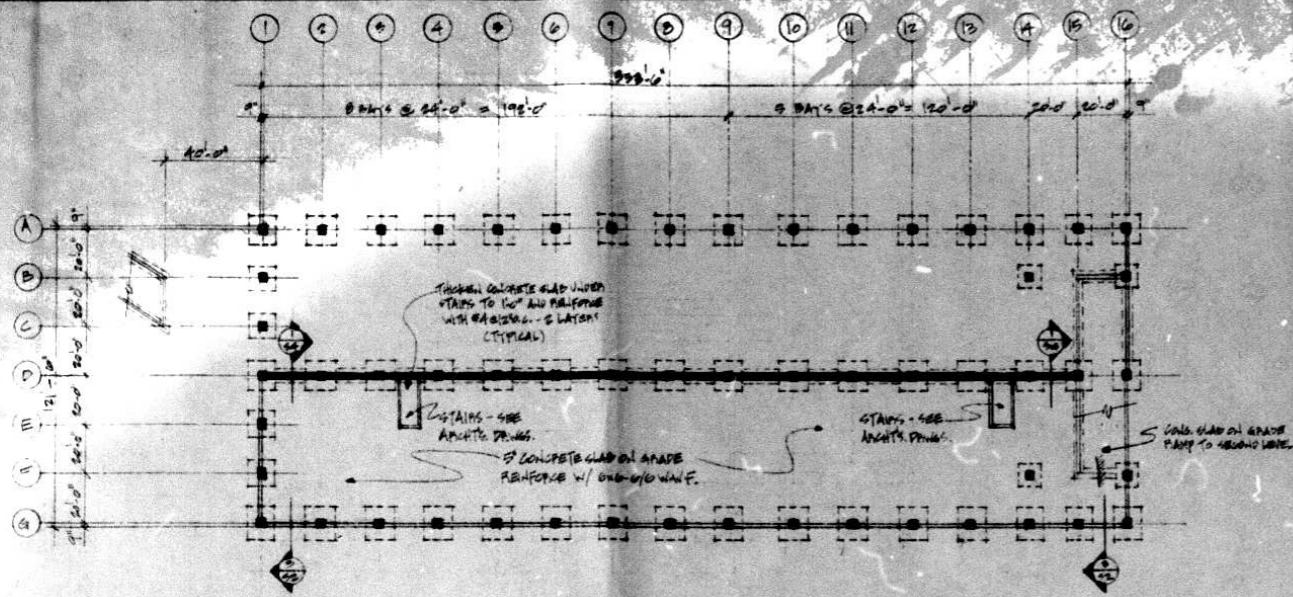
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Issue Date  
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**S2**  
OF 4

PRECAST



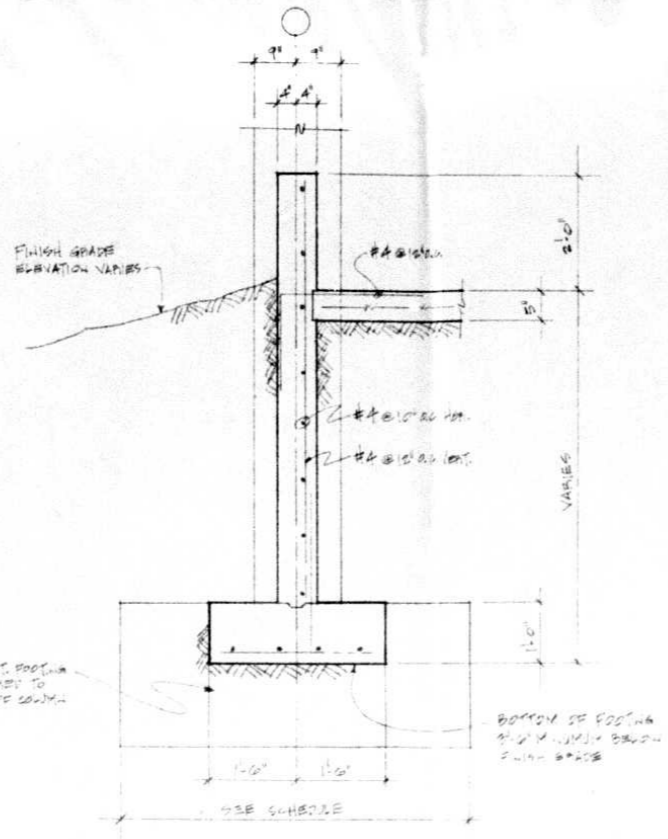
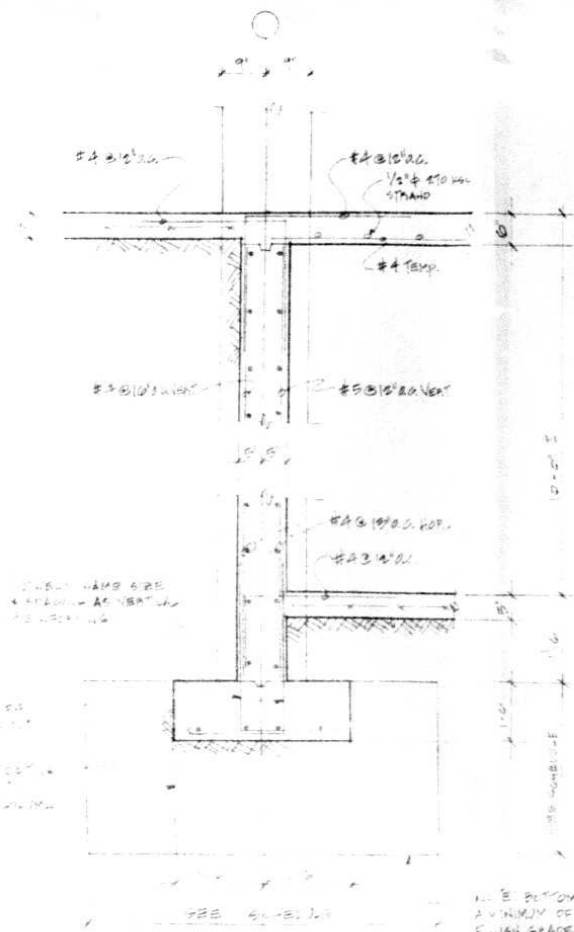
**STRUCTURE FOR**  
**PARKING**  
**GREATER BALTIMORE**  
**MEDICAL CENTER**  
**BALTIMORE, MD.**

REVISIONS	DATE	DESCRIPTION

Issue Date: 5/1/78  
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SHEET  
**S3**  
 OF 4

CAST IN PLACE



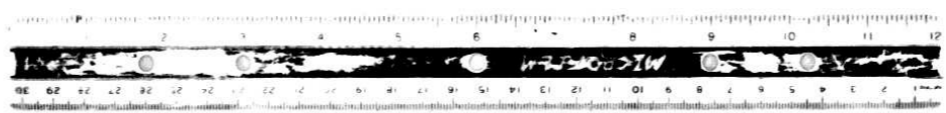
SECTION 2  
SCALE: 3/4" = 1'-0"

SECTION 1  
SCALE: 3/4" = 1'-0"

FOOTING SCHEDULE

NO.	FOOTING	SIZE	REINFORCEMENT
1	Column	12" dia	#4 bars
2	Footing	12" x 12"	#3 bars
3	Column	12" dia	#4 bars
4	Footing	12" x 12"	#3 bars
5	Column	12" dia	#4 bars
6	Footing	12" x 12"	#3 bars
7	Column	12" dia	#4 bars
8	Footing	12" x 12"	#3 bars
9	Column	12" dia	#4 bars
10	Footing	12" x 12"	#3 bars
11	Column	12" dia	#4 bars
12	Footing	12" x 12"	#3 bars
13	Column	12" dia	#4 bars
14	Footing	12" x 12"	#3 bars
15	Column	12" dia	#4 bars
16	Footing	12" x 12"	#3 bars
17	Column	12" dia	#4 bars
18	Footing	12" x 12"	#3 bars
19	Column	12" dia	#4 bars
20	Footing	12" x 12"	#3 bars
21	Column	12" dia	#4 bars
22	Footing	12" x 12"	#3 bars
23	Column	12" dia	#4 bars
24	Footing	12" x 12"	#3 bars
25	Column	12" dia	#4 bars
26	Footing	12" x 12"	#3 bars
27	Column	12" dia	#4 bars
28	Footing	12" x 12"	#3 bars
29	Column	12" dia	#4 bars
30	Footing	12" x 12"	#3 bars

- GENERAL NOTES:
1. ALL CAST IN PLACE CONCRETE BEAMS AND SLABS SHALL BE LIGHTWEIGHT (115 PCF) CONCRETE F'C = 4,000 PSI.
  2. ALL COLUMNS SHALL BE NORMAL WEIGHT F'C = 5,000 PSI.
  3. ALL FOOTINGS AND WALLS SHALL BE NORMAL WEIGHT F'C = 3,000 PSI.
  4. ALL REINFORCING STEEL SHALL CONFORM TO ASTM A-615 GRADE 60 EXCEPT BEAM STIRRUPS AND COLUMN TIES WHICH SHALL CONFORM TO ASTM A-615 GRADE 40.
  5. ALL POST-TENSIONING CABLES SHALL BE 7 WIRE STRAND FOR PRE-STRESSING AND SHALL CONFORM TO ASTM A-416 WITH A MINIMUM ULTIMATE TENSILE STRENGTH OF 270,000 PSI.
  6. POST-TENSIONING CABLES SHALL BE COATED WITH A PERMANENT RUST- PREVENTIVE LUBRICANT AND WRAPPED WITH A DOUBLE LAYER OF KRAFT PAPER OR PLASTIC SHEATH.
  7. PROVIDE ADEQUATE SHORING AND BRACING DURING CONSTRUCTION OF ALL SLABS, BEAMS, AND WALLS TO SUPPORT ALL APPLIED LOADS.
  8. ALL COLUMNS SHALL HAVE DIMENSIONS OF 18" x 18". ALL COLUMNS SHALL HAVE #4 TIES AT 12" O.C. AVERAGE COLUMN VERTICAL REINFORCING SHALL BE AS FOLLOWS:
    - A. PROPOSED - 18" x 18" 4 #10
    - B. FUTURE - 18" x 18" 6 #11
  9. FUTURE CONSTRUCTION BASED UPON TWO ADDITIONAL LEVELS BETWEEN COLUMN LINES 'A' AND 'B'; AND THREE ADDITIONAL LEVELS BETWEEN COLUMN LINES 'D' AND 'E'.
  10. ALL FOUNDATION DESIGN AND INFORMATION BASED UPON ASSUMED PRELIMINARY INFORMATION. A COMPLETE SOIL REPORT PREPARED BY A QUALIFIED SOILS ENGINEER IS NECESSARY PRIOR TO ANY FINAL FOUNDATION DESIGN. ASSUMED PRELIMINARY INFORMATION IS AS FOLLOWS:
    - A. PROPOSED CONSTRUCTION BASED UPON SPREAD FOOTINGS WITH AN ALLOWABLE SOIL BEARING PRESSURE OF 4,000 PSF. BOTTOM OF FOOTINGS TO REST ON CONTROLLED STRUCTURAL COMPACTED FILL. BOTTOM OF FOOTINGS TO BE A MINIMUM OF 3'-6" BELOW FINISH GRADE.
    - B. FUTURE CONSTRUCTION BASED UPON SPREAD FOOTINGS WITH AN ALLOWABLE SOIL BEARING PRESSURE OF 4,000 PSF. BOTTOM OF FOOTINGS TO REST ON CONTROLLED STRUCTURAL COMPACTED FILL. BOTTOM OF FOOTINGS TO BE A MINIMUM OF 3'-6" BELOW FINISH GRADE.
    - C. ASSUMED EQUIVALENT FLUID PRESSURE BEHIND WALLS TO BE 55 PCF.
    - D. SEE PRELIMINARY FOOTING SCHEDULE THIS SHEET.



CAST IN PLACE

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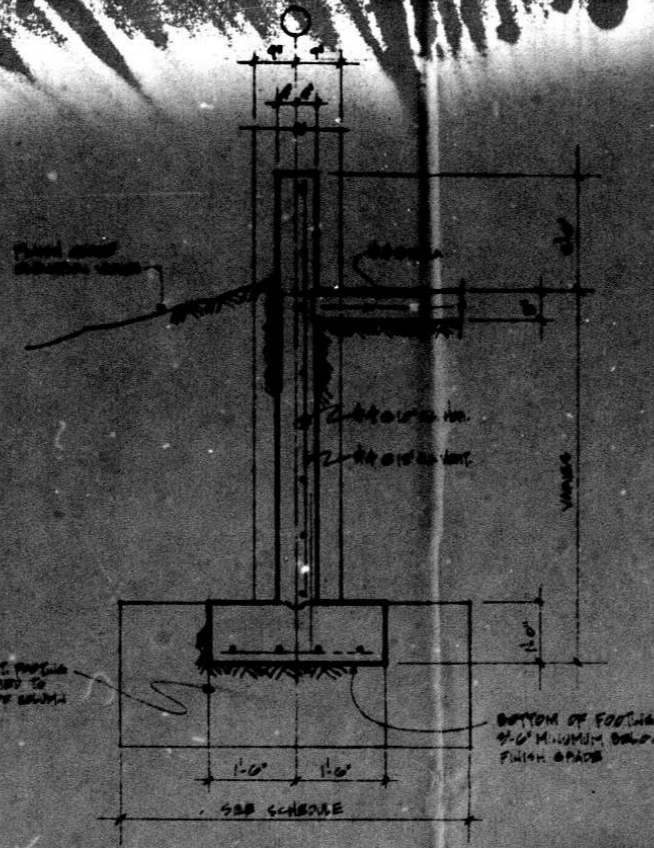
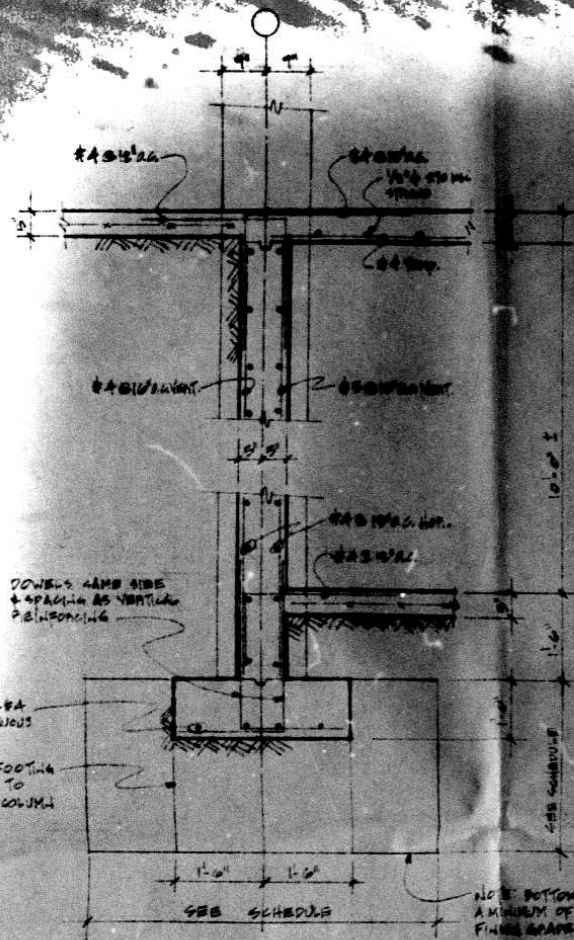
PARKING STRUCTURE FOR  
 GREATER BALTIMORE  
 MEDICAL CENTER  
 BALTIMORE, MD.

By: \_\_\_\_\_  
 Drawn: \_\_\_\_\_  
 Checked: \_\_\_\_\_  
 Approved: \_\_\_\_\_

REVISIONS  
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 Approved: \_\_\_\_\_

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**S4**  
 OF \_\_\_\_\_



SECTION II  
SCALE: 3/4" = 1'-0"

SECTION I  
SCALE: 3/4" = 1'-0"

PRELIMINARY FOUNDATION SCHEDULE

COLUMN	PROPOSED	FUTURE
A1, A10, A11, A16	6'-0" x 6'-0" x 2'-0" 5-#5 EA WAY	5'-0" x 5'-0" x 2'-0" 5-#5 EA WAY
A2 THRU A9	5'-0" x 5'-0" x 2'-0" 6-#5 EA WAY	7'-0" x 7'-0" x 2'-0" 1-#6 EA WAY
A14, A15	5'-0" x 5'-0" x 2'-0" 5-#5 EA WAY	6'-0" x 6'-0" x 2'-0" 5-#5 EA WAY
B1, C1	4'-0" x 4'-0" x 2'-0" 5-#5 EA WAY	6'-0" x 6'-0" x 2'-0" 6-#5 EA WAY
B14	5'-0" x 5'-0" x 2'-0" 5-#5 EA WAY	10'-0" x 10'-0" x 2'-0" 8-#5 EA WAY
E1, F1, G	4'-0" x 4'-0" x 2'-0" 5-#5 EA WAY	10'-0" x 10'-0" x 2'-0" 8-#5 EA WAY
I1, D1, G	5'-0" x 5'-0" x 2'-0" 5-#5 EA WAY	6'-0" x 6'-0" x 2'-0" 6-#5 EA WAY
D2 THRU D3	7'-0" x 7'-0" x 2'-0" 6-#5 EA WAY	14'-0" x 14'-0" x 2'-0" 12-#5 EA WAY
D14	4'-0" x 4'-0" x 2'-0" 5-#5 EA WAY	10'-0" x 10'-0" x 2'-0" 7-#5 EA WAY
D15	4'-0" x 4'-0" x 2'-0" 5-#5 EA WAY	9'-0" x 9'-0" x 2'-0" 7-#5 EA WAY
E1, F1, A14, A15	5'-0" x 5'-0" x 2'-0" 5-#5 EA WAY	6'-0" x 6'-0" x 2'-0" 5-#5 EA WAY
F14	5'-0" x 5'-0" x 2'-0" 5-#5 EA WAY	11'-0" x 11'-0" x 2'-0" 10-#5 EA WAY
G1 THRU G13	5'-0" x 5'-0" x 2'-0" 6-#5 EA WAY	10'-0" x 10'-0" x 2'-0" 9-#5 EA WAY



1. ALL FOUNDATIONS TO BE CAST IN PLACE
2. ALL FOUNDATIONS TO BE CAST IN PLACE
3. ALL FOUNDATIONS TO BE CAST IN PLACE
4. ALL FOUNDATIONS TO BE CAST IN PLACE
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PARKING STRUCTURE FOR  
 GREATER BALTIMORE  
 MEDICAL CENTER  
 BALTIMORE, MD.

NO.	REVISIONS

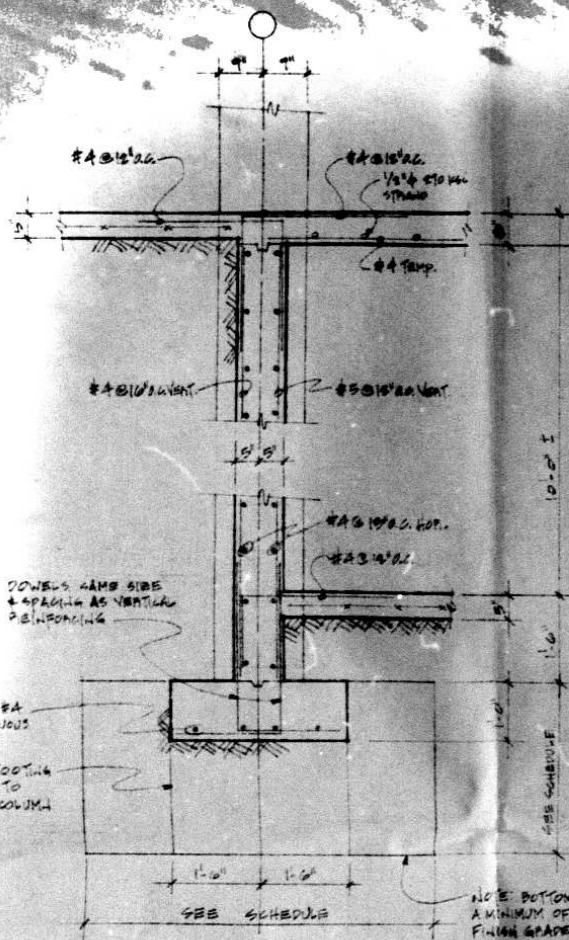
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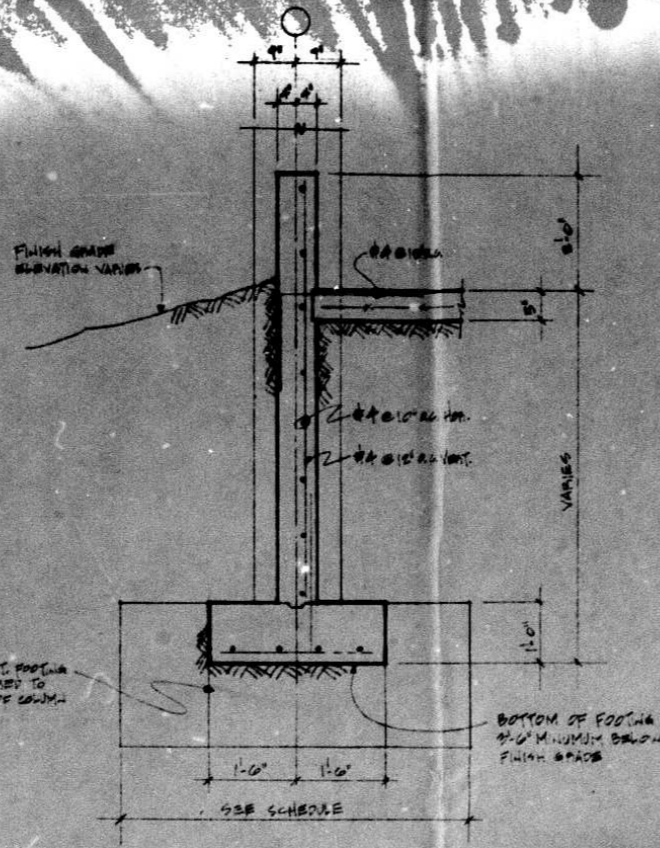
**S4**  
 OF 4

CAST IN PLACE





SECTION 1  
SCALE: 3/4" = 1'-0"



SECTION 2  
SCALE: 3/4" = 1'-0"

- GENERAL NOTES:
- ALL WORK TO BE CAST IN PLACE CONCRETE SHALL BE LAP WELDED (SEE REVISIONS) F.C. & L.S. REVISIONS.
  - ALL REINFORCEMENT SHALL BE EPOXY COATED #4 = 5,000 PSI.
  - ALL REINFORCEMENT SHALL BE EPOXY COATED #3 = 3,000 PSI.
  - ALL REINFORCEMENT SHALL BE EPOXY COATED #5 = 5,000 PSI.
  - ALL REINFORCEMENT SHALL BE EPOXY COATED #6 = 5,000 PSI.
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  - ALL REINFORCEMENT SHALL BE EPOXY COATED #9 = 5,000 PSI.
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  - ALL REINFORCEMENT SHALL BE EPOXY COATED #23 = 5,000 PSI.
  - ALL REINFORCEMENT SHALL BE EPOXY COATED #24 = 5,000 PSI.
  - ALL REINFORCEMENT SHALL BE EPOXY COATED #25 = 5,000 PSI.
  - ALL REINFORCEMENT SHALL BE EPOXY COATED #26 = 5,000 PSI.
  - ALL REINFORCEMENT SHALL BE EPOXY COATED #27 = 5,000 PSI.
  - ALL REINFORCEMENT SHALL BE EPOXY COATED #28 = 5,000 PSI.
  - ALL REINFORCEMENT SHALL BE EPOXY COATED #29 = 5,000 PSI.
  - ALL REINFORCEMENT SHALL BE EPOXY COATED #30 = 5,000 PSI.

COLUMN	PROPOSED	FUTURE
A1-A16	6'-0" x 6'-0" x 2'-0" 5 #5 EA WAY	5'-0" x 5'-0" x 2'-0" 5 #5 EA WAY
A2 THRU A13	5'-0" x 5'-0" x 2'-0" 6 #5 EA WAY	7'-0" x 9'-0" x 3'-0" 1 #8 EA WAY
A14 A-15	3'-0" x 3'-0" x 2'-0" 5 #5 EA WAY	6'-0" x 6'-0" x 2'-0" 8 #5 EA WAY
B-1-C-1	4'-0" x 4'-0" x 3'-0" 5 #5 EA WAY	6'-0" x 6'-0" x 3'-0" 6 #5 EA WAY
B-14	5'-0" x 5'-0" x 2'-0" 5 #5 EA WAY	10'-0" x 10'-0" x 3'-0" 8 #5 EA WAY
E-1-F-1	4'-0" x 4'-0" x 2'-0" 5 #5 EA WAY	10'-0" x 10'-0" x 3'-0" 8 #5 EA WAY
I-1-O-2	8'-0" x 8'-0" x 2'-0" 8 #5 EA WAY	6'-0" x 6'-0" x 2'-0" 8 #5 EA WAY
O-2 THRU O-3	7'-0" x 7'-0" x 2'-0" 6 #5 EA WAY	14'-0" x 14'-0" x 4'-0" 12 #5 EA WAY
D-4	10'-0" x 10'-0" x 3'-0" 7 #5 EA WAY	10'-0" x 10'-0" x 3'-0" 7 #5 EA WAY
D-5	4'-0" x 4'-0" x 2'-0" 5 #5 EA WAY	9'-0" x 9'-0" x 3'-0" 7 #5 EA WAY
F-1 THRU F-5	5'-0" x 5'-0" x 2'-0" 5 #5 EA WAY	8'-0" x 8'-0" x 2'-0" 8 #5 EA WAY
F-14	5'-0" x 5'-0" x 2'-0" 5 #5 EA WAY	10'-0" x 10'-0" x 3'-0" 8 #5 EA WAY
G-1 THRU G-3	5'-0" x 5'-0" x 2'-0" 5 #5 EA WAY	10'-0" x 10'-0" x 3'-0" 8 #5 EA WAY



PARKING STRUCTURE FOR  
 GREATER BALTIMORE  
 MEDICAL CENTER  
 BALTIMORE, MD.

No.	Date	Description

Issue Date: 5-1-75  
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**S4**  
OF 4

CAST IN PLACE