

11 PETITION FOR ZONING RE-CLASSIFICATION AND/OR SPECIAL EXCEPTION

TO THE ZONING COMMISSIONER OF BALTIMORE COUNTY:

NOLLEY P. FISHER, SR. and
Helen T. Fisher, legal owner of the property situate in Baltimore
County and which is described in the description and plat attached hereto and made a part hereof,
hereby petition (1) that the zoning status of the herein described property be re-classified, pursuant
to the Zoning Law of Baltimore County, from an _____ zone to an _____
zone; for the following reasons:

and (2) for a Special Exception, under the said Zoning Law and Zoning Regulations of Baltimore
County, to use the herein described property, for, Service Garage (body and fender
repair, car repair, etc.).

Property is to be posted and advertised as prescribed by Zoning Regulations.

I, or we, agree to pay expenses of above re-classification and/or Special Exception advertising,
posting, etc., upon filing of this petition, and further agree to and are to be bound by the zoning
regulations and restrictions of Baltimore County adopted pursuant to the Zoning Law for Baltimore
County.

Contract purchaser _____
Address _____
Legal Owners _____
Address 3402 Hollins Ferry Road
Baltimore, Maryland 21227
Protestant's Attorney _____
Address 5420 Carville Ave.
Baltimore, Maryland 21227
Petitioner's Attorney _____

ORDERED By The Zoning Commissioner of Baltimore County, this _____ day
of _____, 1979, that the subject matter of this petition be advertised, as
required by the Zoning Law of Baltimore County, in two newspapers of general circulation through-
out Baltimore County, that property be posted, and that the public hearing be had before the Zoning
Commissioner of Baltimore County in Room 106, County Office Building in Towson, Baltimore
County, on the _____ day of _____, 1979, at _____ o'clock
_____ M.

Zoning Commissioner of Baltimore County.

(over)

BALTIMORE COUNTY

ZONING PLANS

ADVISORY COMMITTEE



PETITION AND SITE PLAN

EVALUATION COMMENTS

BALTIMORE COUNTY ZONING PLANS ADVISORY COMMITTEE July 17, 1979

COUNTY OFFICE BLDG.
111 W. Chesapeake Ave.
Towson, Maryland 21204

Chairman
Nicholas B. Commodari

Members
Bureau of Engineering
Department of Traffic Engineering
State Road Commission
Bureau of Fire Prevention
Health Department
Public Planning
Building Department
Board of Education
Zoning Administration
Industrial Development

Julian S. Brewer, Jr., Esquire
5420 Carville Avenue
Baltimore, Maryland 21227

RE: Item No. 212
Petitioner - Fisher
Special Exception Petition

Dear Mr. Brewer:

The Zoning Plans Advisory Committee has reviewed the plans
submitted with the above referenced petition. The following comments,
are not intended to indicate the appropriateness of the zoning action
requested, but to assure that all parties are made aware of plans or
problems with regard to the development plans that may have a bearing
on this case. The Director of Planning may file a written report with
the Zoning Commissioner with recommendations as to the suitability
of the requested zoning.

Located between the west side of Annapolis Road and the east
side of Oak Road, approximately 200 feet north of Maple Road in the
13th Election District, the subject property is presently zoned B.L.
and is improved with an individual dwelling. Adjacent properties to
the north and south and fronting on Annapolis Road are similarly zoned
and improved, while residentially zoned and improved land exists along
Oak Road.

Because of your client's proposal to raze the existing structure
and construct a service garage building on this property, this Special
Exception is required. In view of the fact that revised site plans in-
corporating the comments from the State Highway Administration were
submitted to this office, I scheduled this petition for a hearing date.
However, it should be noted that if this petition is granted and at the
time of application for the necessary building permits the submitted
site plan should also reflect paving of the proposed parking area, land-
scaping of the site and an indication that the proposed fence will extend
from the front of the new building to the side property line. In addition,
the use of the property opposite this site should also be shown in order
to determine if additional screening is required.

Item No. 212
Special Exception Petition
July 17, 1979

Enclosed are all comments submitted from the Committee to
this office. The remaining members felt that no comment was warranted.
This petition is accepted for filing on the date of the enclosed filing
certificate. Notice of the hearing date and time, which will be held not
less than 30 nor more than 90 days after the date on the filing certificate,
will be forwarded to you in the near future.

Very truly yours,

NICHOLAS B. COMMODARI
Chairman
Zoning Plans Advisory Committee

NBC:hk

Enclosures

cc: David W. Dallas, Jr. & Sons
7006 Harford Road
Baltimore, Maryland 21234

Maryland Department of Transportation

State Highway Administrator

James J. O'Donnell
Secretary
M. S. Callender
Administrator

April 30, 1979

Mr. S. Eric DiNenna
Zoning Commissioner
County Office Bldg.
Towson, Md. 21204

Re: Z.A.C. Meeting, April 24, 1979
ITEM: #212.
Property Owner: Nolley P. &
Helen T. Fisher
Location: W S Annapolis Rd.
(Route 648) 200' N Maple Rd.
Existing Zoning: B.L.
Proposed Zoning: Special
Exception for a service garage
Acres: 0.501
District: 13th

Attention: Mr. N. Commodari

Dear Mr. DiNenna:

The entrance must be a depressed curb type with 36" depression
transitions. The frontage of the site must be improved with curbing
and paving. The curb is to be 20' from the centerline of existing
roadway. The proposed right of way is 70', 35' from the centerline.
Concrete sidewalk will be required.

The plan must be revised prior to a hearing date being assigned.

Very truly yours,

Charles Lee, Chief
Bureau of Engineering
Access Permits

CL:JEM:vrd

By: John E. Meyers

My telephone number is (301) 383-4320

P.O. box 717 / 300 West Preston Street, Baltimore, Maryland 21203



Baltimore County
Office of Planning and Zoning
TOWSON, MARYLAND 21204
(410) 494-3211

John D. Seyffert
DIRECTOR

July 11, 1979

Mr. William Hammond, Zoning Commissioner
Zoning Advisory Committee
Office of Planning and Zoning
Baltimore County Office Building
Towson, Maryland 21204

Dear Mr. Hammond:

Comments on Item #212, Zoning Advisory Committee Meeting, April 24, 1979, are as follows:

Property Owner: Nolley P. and Helen T. Fisher
Location: W/S Annapolis Rd. 200' N. Maple Road
Existing Zoning: B.L.
Proposed Zoning: Special Exception for a service garage
Acres: 0.501
District: 13th

This office has reviewed the subject petition and offers the following comments. These comments
are not intended to indicate the appropriateness of the zoning in question, but are to assure that
all parties are made aware of plans or problems with regard to development plans that may have a
bearing on this petition.

Landscaping should be provided.

Very truly yours,

John L. Wimbley
Planner III
Current Planning and Development

Baltimore County
Department of Public Works
TOWSON, MARYLAND 21204

THORNTON M. MOURING, P.E.
DIRECTOR

June 12, 1979

Mr. William E. Hammond
Zoning Commissioner
County Office Building
Towson, Maryland 21204

Re: Item #212 (1978-1979)
Property Owner: Nolley E. & Helen T. Fisher
W/S Annapolis Rd. 200' N. Maple Rd.
Existing Zoning: B.L.
Proposed Zoning: Special Exception for a service garage
Acres: 0.501 District: 13th

Dear Mr. Hammond:

The following comments are furnished in regard to the plat submitted to this office
for review by the Zoning Advisory Committee in connection with the subject item.

Highways:

Annapolis Road (Md. 648), formerly (U.S. 301) is a State Road; therefore, all
improvements, intersections, entrances and drainage requirements as they affect the road
come under the jurisdiction of the Maryland State Highway Administration. Any utility
construction within the State Road right-of-way will be subject to the standards,
specifications and approval of the State in addition to those of Baltimore County.

Oak Road, an existing public road, is proposed to be improved in the future as
a 30-foot closed section roadway on a 50-foot right-of-way and extended to and connected
with Glenrose Avenue.

Highway right-of-way widening, including any necessary reversible easements for
slopes, will be required in connection with any grading or building permit application,
or redevelopment of this property.

The entrance locations are subject to approval by the Department of Traffic
Engineering, and shall be constructed in accordance with Baltimore County Standards.

Sediment Control:

Development of this property through stripping, grading and stabilization could
result in a sediment pollution problem, damaging private and public holdings downstream
of the property. A grading permit is, therefore, necessary for all grading, including
the stripping of top soil.

Storm Drains:

Provisions for accommodating storm water or drainage have not been indicated on the
submitted plan.

Julian S. Brewer, Jr., Esquire
5120 Carville Avenue
Baltimore, Maryland 21227

NOTICE OF HEARING

RE: W/S Annapolis Road, 200' North of Maple Road - Nolley & Helen Fisher
Petitioners - Case No. 80-24-X

TIME: 11:00 A.M.

DATE: Tuesday, July 31, 1979

PLACE: ROOM 106 COUNTY OFFICE BUILDING, 111 W. CHESAPEAKE AVENUE,

TOWSON, MARYLAND

ZONING COMMISSIONER OF
BALTIMORE COUNTY

RECEIVED
BALTIMORE COUNTY
ZONING COMMISSION
JUL 26 1979

WILLIAM S. BREWER, JR.
ZONING COMMISSIONER

July 24, 1979

Julian S. Brewer, Jr., Esquire
5120 Carville Avenue
Baltimore, Maryland 21227

RE: W/S Annapolis Rd., 200' N Maple Rd
Petition for Special Exception
Nolley P. Fisher, Sr., et ux
Case No. 80-24-X

Dear Sir:

This is to advise you that N.P.F. is due for
advertising and posting of the above property.

Please make check payable to Baltimore County, Maryland and remit
to Mrs. Jones, Room 113, County Office Building, Towson, Maryland 21204,
before the hearing.

Very truly yours,

William S. Brewer, Jr.
Zoning Commissioner

WHS/cj

ITEM 212 - FISHER - SPECIAL EXCEPTION

PROXIMITY TO RESIDENTIAL HOMES #7 on Map #1

*NAMES OF PERSONS IN OPPOSITION TO PETITION

\$ 4018 Annapolis Road - Mrs. Russell Adcock
owner - 29 years
living on fixed income
recently invested \$900 for new roof

4027 Annapolis Road - Mr. and Mrs. Joseph Vols
owner
retired
invested in home

4016 Oak Road - Mrs. Gertrude Holbein
owner - 48 years
living on fixed income
invested \$2,714 for furnace, plumbing,
windows and roof

4018 Oak Road - Mr. and Mrs. Cornell Rubenstein
owner, 33 years
retired
invested in home
maintained road for 30 years

4020 Oak Road - William Becker, Sr. unable to attend hearing,
but was present at a meeting on Saturday,
admitted to hospital on Monday. Wife is
handicapped with Multiple Sclerosis.
5 years and invested \$1500.

EVELYN LOUISE JONES - now renting house on the site petitioned;
4016 ANNAPOLIS ROAD. Has lived in house for 21 months and has
invested 1700 of her own money plus the labor to make the
dwelling livable.

* Spokesperson for the community: Dolores J. O'Connell, 3019 Michigan Avenue
21227
active in community for 20 years, elected official in the area. member of
Baltimore Highlands Improvement Association.

Requires mark on my own schedule
later about Seventeen hundred
dollar 1700.00

EVELYN LOUISE JONES
4016 Annapolis Road
Baltimore, Md 21227
Phone 636-5790

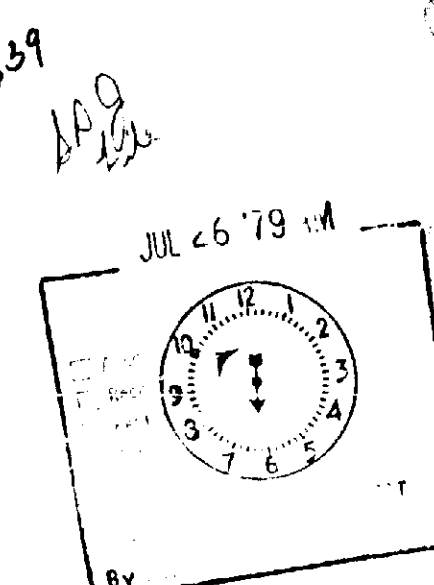
Renting

I have lived here 21 months
fixed income

You will go if I get a
way there.

You will be able to give testimony

NOLLEY P. FISHER, Sr., et ux



The Lansdowne Improvement Association

July 25, 1979
2517 Hammond, Ferry Road
Lansdowne, Md. 21227
247-2325

Honorable William Hammond,
Zoning Commissioner of Baltimore County,
106 County Office Building
111 W. Chesapeake Avenue
Towson, Maryland 21204

Attn: Mrs. Jeanie Jung,
Deputy Zoning Commissioner

Re: W/S Annapolis Road, 200' North of
Maple Road - Nolley and Helen Fisher,
Petitioners - Case No. 80-24-X

Dear Mrs. Jung:

In reference to the above case of Nolley Fisher,
it has come to the attention of the Lansdowne Improvement
Association that due to an engineer's drafting error nearly four
years ago this case has been involved in a fine legal triangle,
as the line delineation was moved in such a manner during the
estate settlement as to create undue hardship for the Fisher
family who have been in business at this address for over forty-
eight years.

The Fishers' auto repair business has been an asset
to the community and, they as a family, have been involved in
community affairs. Upon finding themselves involved in the
aforementioned triangle they have tried to cooperate with the
officials of Baltimore County. However, they are now currently
trying to obtain a special exception for use at 4000 Old Annapolis
Road. We sincerely regret losing the Fishers and their business
from the Lansdowne area, however, we sincerely believe they will

Honorable William Hammond,
Zoning Commissioner of
Baltimore County

Page two

July 25, 1979

be an asset to the Baltimore Highlands community and their
residents.

Respectfully,

(Mrs.) Theresa Lowry, President
Lansdowne Improvement
Association

cc: Mrs. Jeanie Jung,
Deputy Zoning Commissioner

cc: Mr. James Burns, Coordinator,
Zoning and Enforcement and Violation Section

cc: Mr. Nolley Fisher

cc: Julian S. Brewer, Jr., Esquire
5420 Carville Avenue
Baltimore, Maryland 21227

David W. Dallas, Jr. and Sons
Registered Professional Engineers & Land Surveyors

7008 HARFORD ROAD - BALTIMORE, MARYLAND 21234

PHONE: (301) 254-4555

David W. Dallas, Jr., P.E., R.L.S.

Michael B. Dallas, P.L.S.

ZONING DESCRIPTION

4016 ANNAPOLIS ROAD

SPECIAL EXCEPTION FOR PLANNED SERVICE

IN A SL ZONE

BEGINNING for the same on the westernmost side of Annapolis Road
(19 feet wide) at a point distant 200 feet more or less measured
in a northerly direction from the center of Maple Road, thence
binding on the westernmost side of said Annapolis Road, north
7 degrees 30 minutes east 107 feet, thence running north 82
degrees 30 minutes west 204 feet to the westernmost side of Oak
Road (20 feet wide), thence binding on said road south 7
degrees 30 minutes west 107 feet, thence running south 82
degrees 30 minutes east 204 feet to the place of beginning.

March 2, 1979

1 - \$1500.00

2 - WILLIAM E. BECKER, Sr.
4020 OAK Rd.
Baltimore, Md 21227

3 - RENT - 5 YEARS

4 - No

5 - UNABLE; WILL BE IN HOSPITAL

6 - UNABLE AT THIS TIME.

WIFE IS HANDICAPPED; HAS MULTIPLE
SCLEROSIS.

October 17, 1979

Julian S. Brewer, Jr., Esquire
5420 Carville Avenue
Baltimore, Maryland 21227

RE: Petition for Special Exception
W/S of Annapolis Road, 200' N of
Maple Avenue - 13th Election
District
Nolley P. Fisher, Sr., et ux -
Petitioners
NO. 80-24-X (Item No. 212)

Dear Mr. Brewer:

I have this date passed my Order in the above referenced matter in
accordance with the attached.

Very truly yours,

WILLIAM E. HAMMOND
Zoning Commissioner

WEH/srl

Attachments

cc: Mrs. Russell Adcock
4018 Annapolis Road
Baltimore, Maryland 21227

Mr. & Mrs. Joseph Volz
4027 Annapolis Road
Baltimore, Maryland 21227

Mrs. Gertrude Holbein
4016 Oak Road
Baltimore, Maryland 21227

LAW OFFICES OF
CHARLES E. KOUNTZ

2201 Hammonds Ferry Road, Baltimore, Maryland 21227
NDI 242-0100

February 27, 1981

Walter R. Reiter, Jr., Chairman
Baltimore County Board of Appeals
Court House, Room 219
Towson, Maryland 21204

Re: Nolley P. Fisher, Sr., et ux, Petitioners
Zoning Case No. 80-24-X (Item 212)

Dear Chairman Reiter:

The above-entitled matter is scheduled for hearing on Tuesday,
March 3, 1981 at 10:00 A.M.

I am a member of the House of Delegates, Maryland General
Assembly, and will be attending sessions on that date and at that
time.

Julian S. Brewer, Jr., Esquire, who represents the Petitioners,
and I have agreed that this case be postponed and not rescheduled
until it is requested due to the fact that we feel that we are very
close to the matter being settled due to the Fishers having had
another piece of property rezoned under the recent land maps.

We would appreciate it if you would accept the agreement of
counsel in this case as to the postponement, and we apologize for
any inconvenience that this might have caused you because of the
short notice. We had sincerely thought that the other property
would have been ready for the Fishers by this time.

All witnesses will be notified by us to alleviate some work on
your behalf.

I thank you for any consideration that you can extend to me in
this matter.

Yours very truly,

Charles E. Kountz

kh
cc: Julian S. Brewer, Jr., Esq.
John W. Hessian, III, Esq.
Mrs. Dolores O'Connell

Julian S. Brewer, Jr., Esquire
Page 2
October 17, 1979

cc: Mr. & Mrs. Cornell Rubenstein
4018 Oak Road
Baltimore, Maryland 21227

Mr. & Mrs. William Bocker, Sr.
4020 Oak Road
Baltimore, Maryland 21227

Ms. Evelyn Louise Jones
4016 Annapolis Road
Baltimore, Maryland 21227

Ms. Dolores J. O'Connell
3019 Michigan Avenue
Baltimore, Maryland 21227

John W. Hessian, III, Esquire
People's Counsel

494-3180

County Board of Appeals
Room 219, Court House
Towson, Maryland 21204
September 29, 1981

John W. Hessian, Esq.
People's Counsel
Court House
Towson, Md. 21204

Dear Mr. Hessian:

Re: Case No. 80-24-X
Nolley P. Fisher, Sr., et ux

Enclosed herewith is a copy of the Order of Dismissal passed
today by the County Board of Appeals in the above entitled case.

Very truly yours,

June Holmen, Secretary

Encl.

cc: Julian S. Brewer, Jr., Esq.
Mr. & Mrs. Nolley P. Fisher, Sr.
Mrs. Russell Adcock
Mr. & Mrs. Joseph Volz
Mrs. Gertrude Holbein
J. E. Dyer
W. Hammond
Mrs. Dolores O'Connell
Alice & Cornell Rubenstein
Ms. Catherine Owings
Mrs. Evelyn Jones
Charles E. Kountz, Jr., Esq.

Walter R. Reiter, Jr., Chairman

-2-

November 24, 1980

Therefore, I respectfully request that the
matter scheduled on December 11, 1980 be continued.

Very truly yours,

Julian S. Brewer, Jr.

JSBJR/pr

cc: Charles E. Kountz, Jr., Esquire
Kountz and Crowe
2201 Hammonds Ferry Road
Baltimore, Maryland 21227

OFFICE:
242-1200

RESIDENCE:
242-1512

JULIAN S. BREWER, JR.
ATTORNEY AT LAW
BREWER BUILDING
5420 CARVILLE AVENUE
BALTIMORE, MARYLAND 21227

JAMES F. BREWER
ASSOCIATE

November 24, 1980

Walter R. Reiter, Jr., Chairman
Baltimore County Board of Appeals
Court House, Room 219
Towson, Maryland 21204

Re: Nolley P. Fisher, Sr., et ux, Petitioners
Zoning Case No. 80-24-X (Item 212)

Dear Mr. Reiter:

The above-entitled matter is scheduled for hearing
on Thursday, December 11, 1980 at 10:00 a.m.

Mr. and Mrs. Nolley P. Fisher, Sr. have been
operating a business on Hollins Ferry Road and that business
was not permissible under the zoning, and because of that the
within case was filed so that the business could be re-located
to Old Annapolis Road.

A recent development came about when the new zoning
maps have now allowed the Fishers the proper zoning for the
Hollins Ferry Road property, and the only item left is the
obtaining of the permit for the building to be placed on the
property on Hollins Ferry Road. Upon the permit being issued
it will be the intention of the Fishers to dismiss the case
now pending before your Board.

I would respectfully request that the case set
on December 11, 1980 be continued and as soon as the permit
is granted for the Hollins Ferry Road property that the case
will be dismissed.

I have been in close communication with Mr. Kountz
and he agrees with me that the case should be continued until the
permit has been granted, at which time the case would be dismissed.

OFFICE:
242-1200

RESIDENCE:
242-1512

JULIAN S. BREWER, JR.
ATTORNEY AT LAW
BREWER BUILDING
5420 CARVILLE AVENUE
BALTIMORE, MARYLAND 21227

JAMES F. BREWER
ASSOCIATE

September 25, 1981

Baltimore County Board of Appeals
Court House, Room 219
Towson, Maryland 21204

Re: Nolley P. Fisher, Sr., et ux, Petitioners
Zoning Case No. 80-24-X (Item 212)

Gentlemen:

I represent Mr. Nolley P. Fisher, Sr., et ux.
I received a telephone call from your office on September 23
1981 in which I was advised that your staff was going through
some old cases and found that this case was still pending.
We had filed the Petition before the Zoning Board and the
ruling went in our favor, however, an appeal was taken by
the opposing parties.

I was requested to ascertain from my clients
whether or not they wish to continue with this case, and
I communicated with Mr. Nolley P. Fisher, Sr. on September 25,
1981. He advised me that they had settled in their new property
and he did not wish to pursue the matter of the zoning any
further.

Therefore, in accordance with the request from
your office, Mr. Fisher will withdraw his Petition, without
prejudice, so that the matter can be closed in your office.

Very truly yours,

Julian S. Brewer, Jr.

JSBJR/pr

cc: Mr. and Mrs. Nolley P. Fisher, Sr.

OFFICE:
242-1200

RESIDENCE:
242-1512

JULIAN S. BREWER, JR.
ATTORNEY AT LAW
BREWER BUILDING
5420 CARVILLE AVENUE
BALTIMORE, MARYLAND 21227

June 9, 1980

JAMES F. BREWER
ASSOCIATE

Walter R. Reiter, Jr., Chairman
Baltimore County Board of Appeals
Court House, Room 219
Towson, Maryland 21204

Re: Nolley P. Fisher, Sr., et ux, Petitioners
Zoning Case No. 80-24-X (Item 212)

Dear Mr. Reiter:

I am requesting that the above entitled case
now scheduled for hearing on June 19, 1980 at 11 a.m.
be continued by agreement with Charles E. Kountz,
Esquire, Attorneys for the Appellants and Protestants.

The reason for the continuance is that the
present location of the Fisher Business has become an
issue on the map to be decided upon by the Baltimore
County Council for increased zoning from its present
designation.

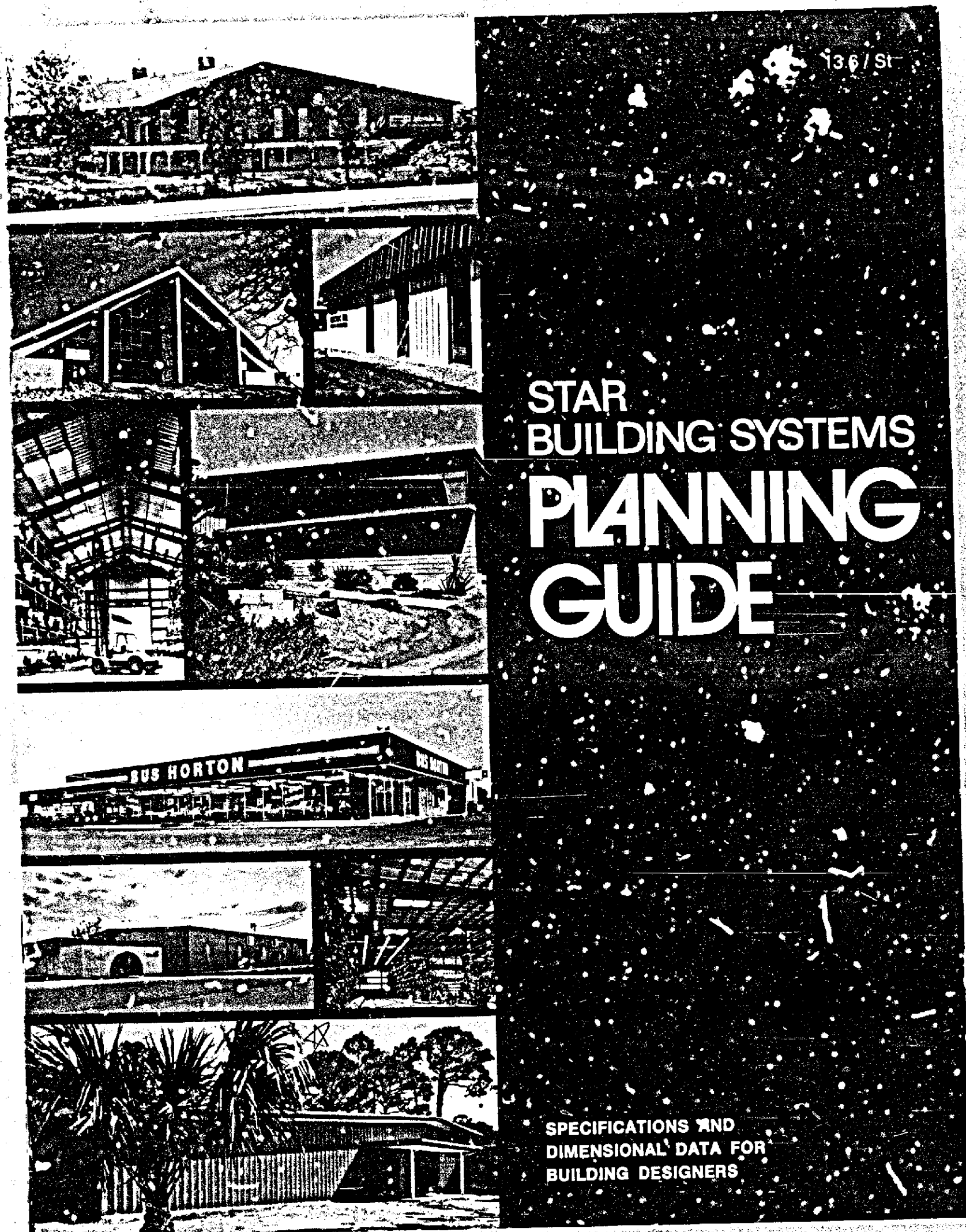
It is requested at this time that no new date
be scheduled until same has been requested by Mr. Kountz
and myself.

Very truly yours,

Julian S. Brewer, Jr.

JSBJR:mm

cc: Charles E. Kountz, Jr., Esquire
Kountz & Crowe
2201 Hammonds Ferry Road
Lansdowne, Maryland 21227



Julian S. Brewer, Jr., Esquire
5420 Carville Avenue
Baltimore, Maryland 21227

7006 Harford Road
Baltimore, Maryland 21234

BALTIMORE COUNTY OFFICE OF PLANNING & ZONING

County Office Building
111 W. Chesapeake Avenue
Towson, Maryland 21204

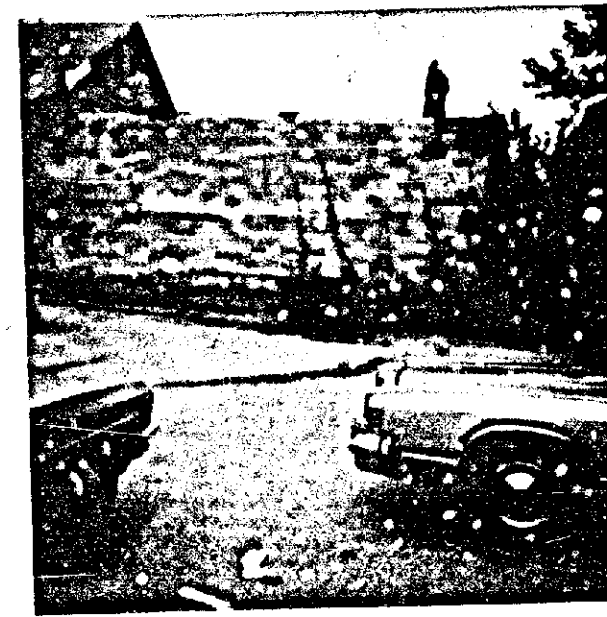
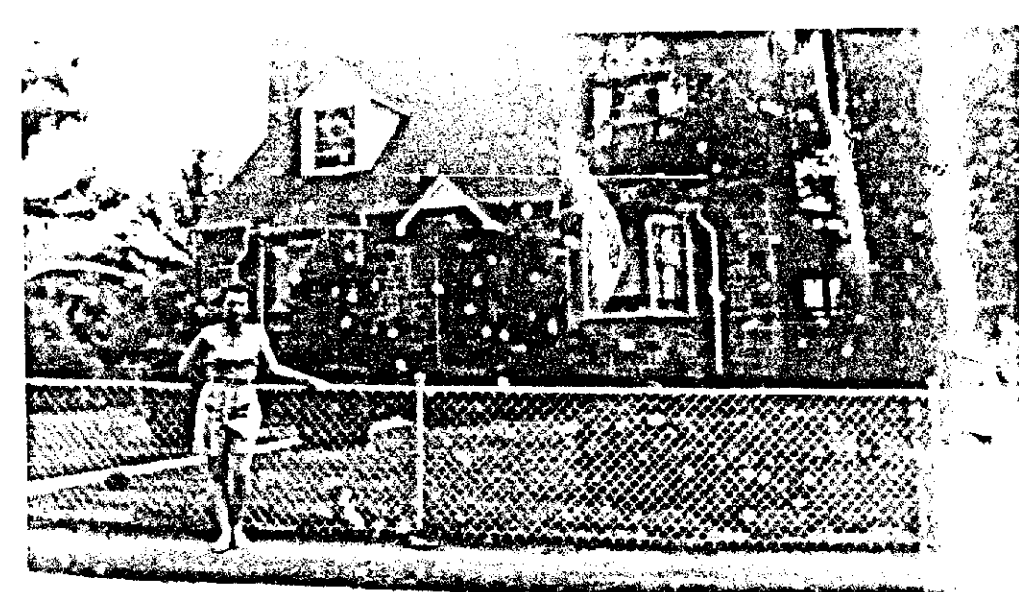
Your Petition has been received and accepted for filing this 27th day of June, 1979.

WILLIAM E. HAMMOND
Zoning Commissioner

Petitioner Nolley P. Fisher, Sr.

Petitioner's Attorney Brewer, Esq.

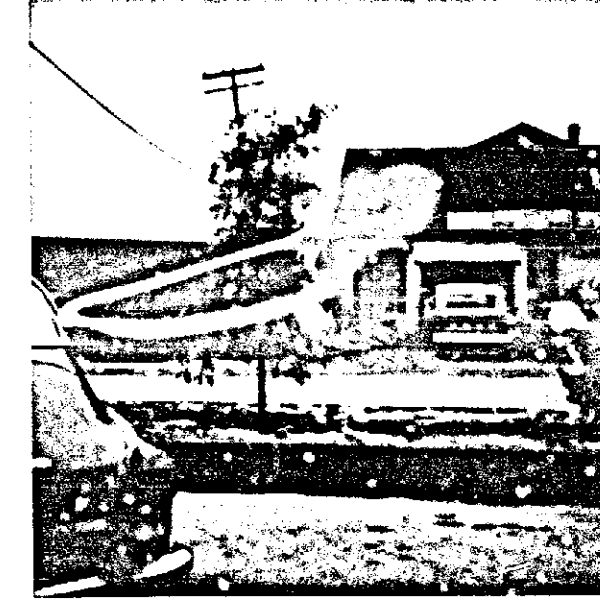
Reviewed by: Nicholas B. Commodari
Chairman, Zoning Plans
Advisory Committee



#1 Bladensburg's



Fisher's Hollers Farm Rd.



Fisher's Hollers Farm Rd.



Fisher's Hollers Farm Rd.

PETITION MAPPING PROGRESS SHEET										
FUNCTION	Well Map		Original		Duplicate		Tracing		200 Sheet	
	date	by	date	by	date	by	date	by	date	by
Descriptions checked and outline plotted on map										
Petition number added to outline										
Denied										
Granted by ZC, BA, CC, CA										
Reviewed by: <u>GR</u>	Revised Plans: Change in outline or description Yes ☐ No ☐									
Previous case: <u>none</u>	Map # _____									

BALTIMORE COUNTY OFFICE OF PLANNING & ZONING

County Office Building
111 W. Chesapeake Avenue
Towson, Maryland 21204

Your Petition has been received and accepted for filing this 27 day of June, 1979.

WILLIAM E. HAMMOND
Zoning Commissioner

Petitioner Fisher

Petitioner's Attorney Brewer

Reviewed by: Nicholas B. Commodari
Chairman, Zoning Plans
Advisory Committee

BALTIMORE COUNTY, MARYLAND
OFFICE OF FINANCE - REVENUE DIVISION
MISCELLANEOUS CASH RECEIPT

No. 83064

DATE July 26, 1979 ACCOUNT #01-662

AMOUNT \$17.91

RECEIVED FROM Helen Fisher

FOR Advertising and Posting for Case #80-21-X

47.94 %

VALIDATION OR SIGNATURE OF CASHIER

BALTIMORE COUNTY, MARYLAND
OFFICE OF FINANCE - REVENUE DIVISION
MISCELLANEOUS CASH RECEIPT

No. 83270

DATE November 16, 1979 ACCOUNT 01-562

AMOUNT \$80.00

RECEIVED FROM John V. Hession, III, Peguine

FOR Filing Fee for Appeal of Case No. 80-21-X

VALIDATION OR SIGNATURE OF CASHIER

BALTIMORE COUNTY OFFICE OF PLANNING AND ZONING

County Office Building
111 W. Chesapeake Avenue
Towson, Maryland 21204

Your Petition has been received * this 5th day of April 1979. Filing Fee \$ 50.00. Received Check Cash Other

S. Eric DiNenna,
Zoning Commissioner

Petitioner Fisher

Submitted by

Petitioner's Attorney Julian Brewer Jr.

Reviewed by

* This is not to be interpreted as acceptance of the Petition for assignment of a hearing date.

BALTIMORE COUNTY, MARYLAND
OFFICE OF FINANCE - REVENUE DIVISION
MISCELLANEOUS CASH RECEIPT

No. 78759

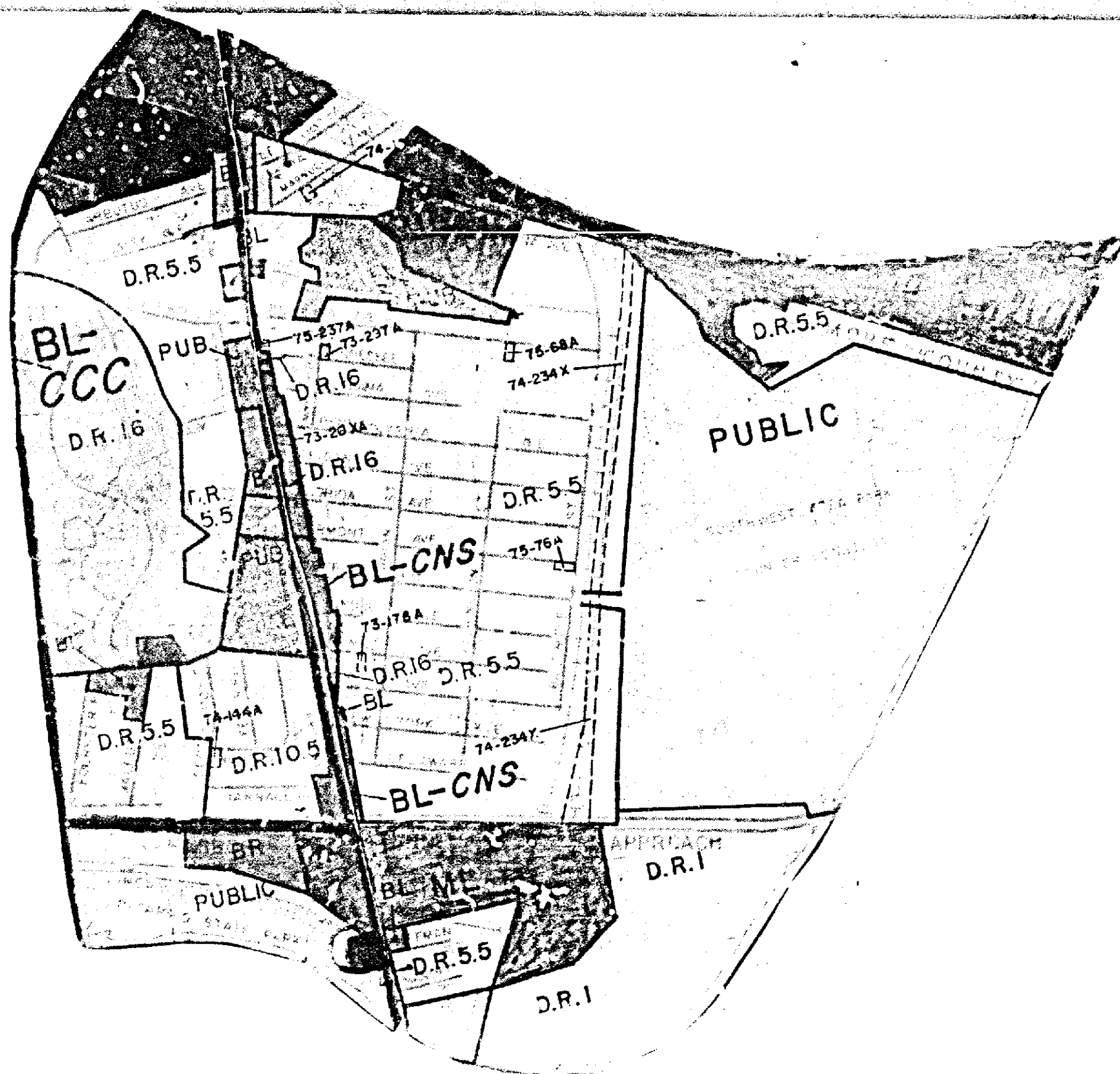
DATE July 2, 1979 ACCOUNT #01-662

AMOUNT \$50.00

RECEIVED FROM Fisher & Son

FOR Posting and Advertising for Case #80-21-X

VALIDATION OR SIGNATURE OF CASHIER



Star Manufacturing Company's nationwide team of experienced construction specialists is available at a moment's notice to help solve your building problems.

Nearly 300 Star Builder Dealers — most with general contractor capabilities — cover practically all of the country. They can provide you with a wide range of a variety of services — from delivery of steel components, to steel erection, through full turnkey construction.

Backing up these builder dealers, Star's own District Managers provide on-the-spot technical assistance. Star National Account offices in New York, Chicago, and Oklahoma City staffed with experienced engineers and salesmen can help you with your particular problem. Star has national companies with regional or nationwide projects.

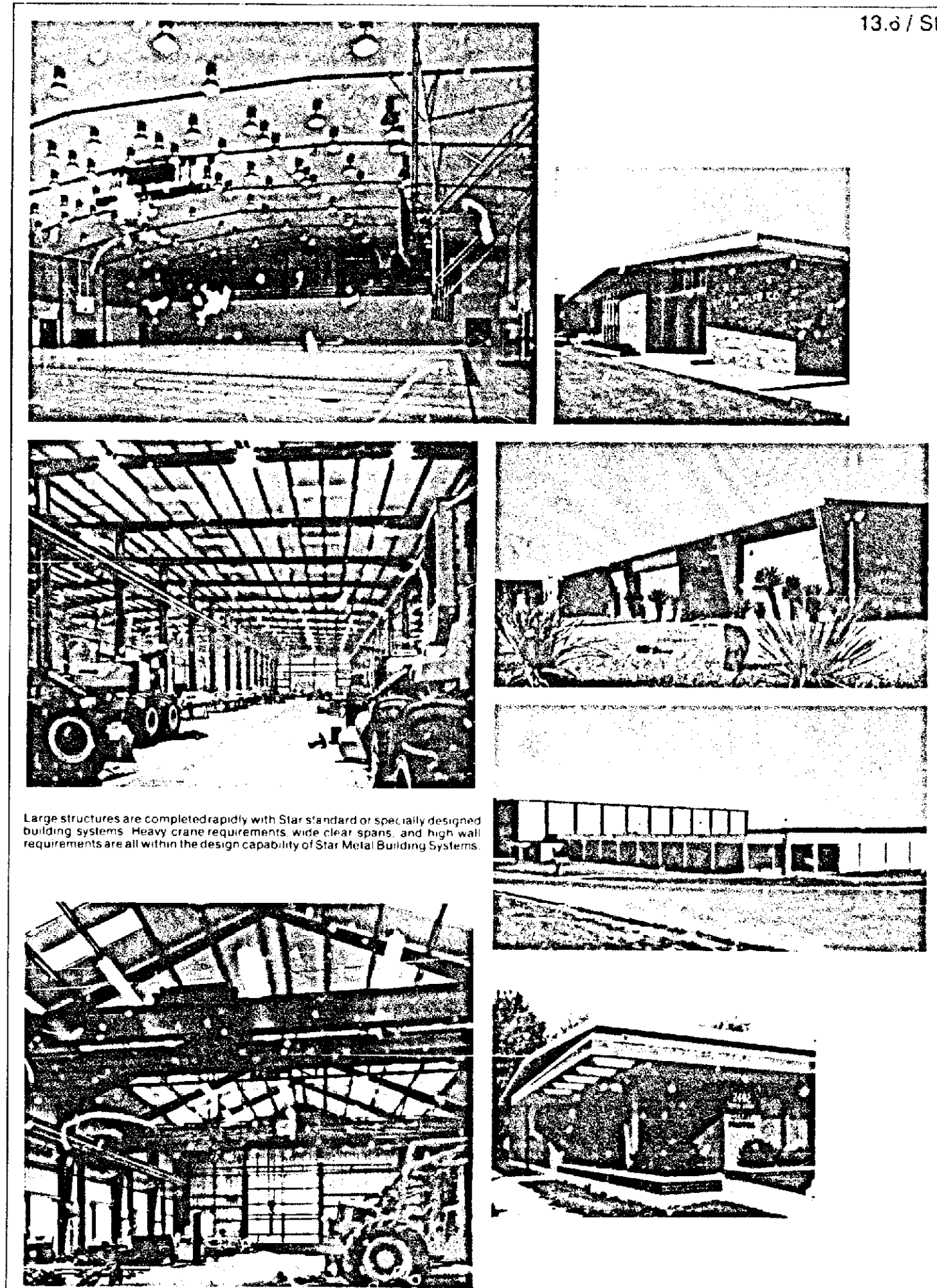
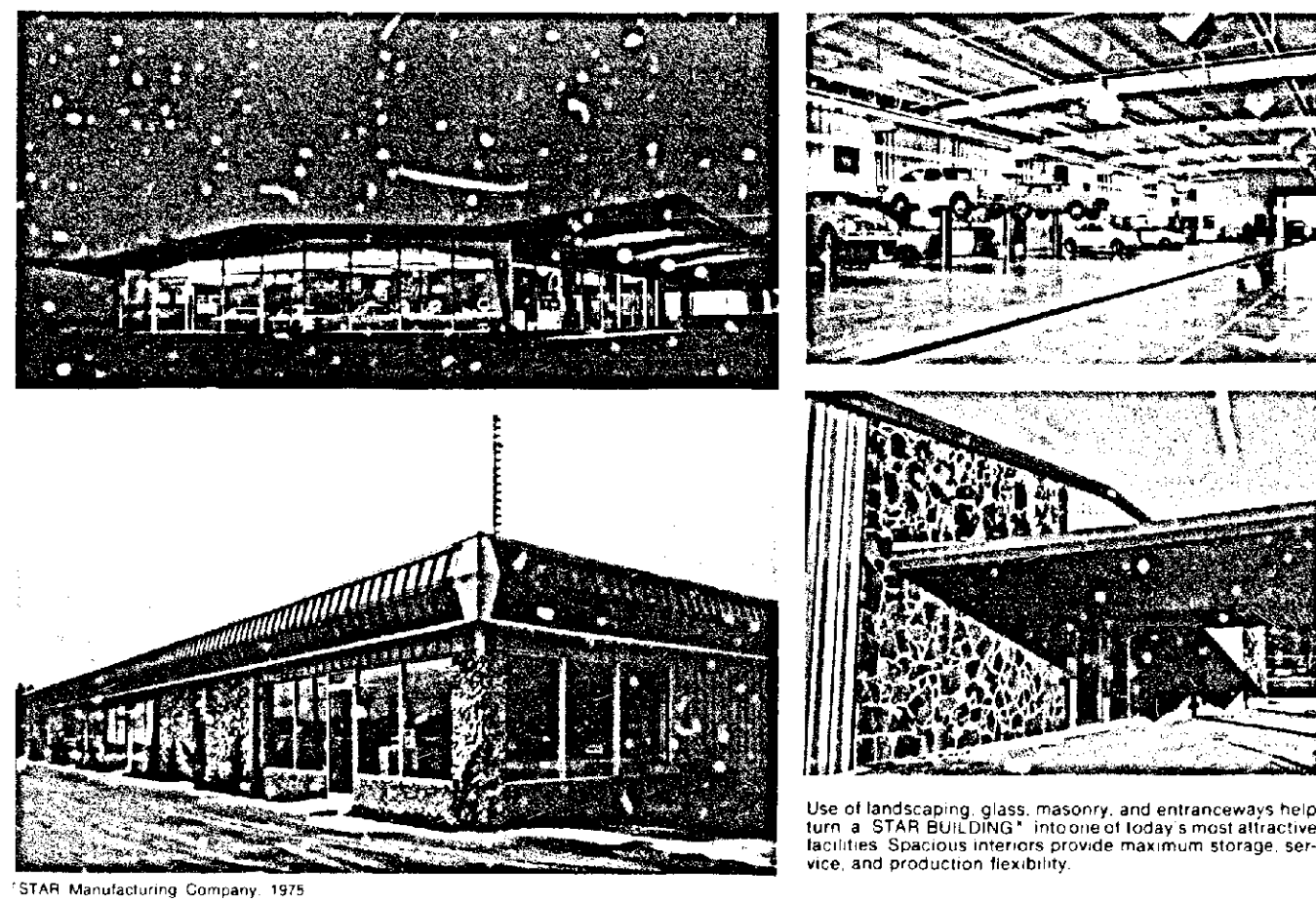
With 45 years' experience and more than 40,000 build-

ings to its credit, Star Manufacturing Company has put together the right combination of people and facilities to give you a quality product backed by quality service.

Our product line is one of the broadest in the industry. We offer eight basic structural systems in more than 7,100 standard and custom width height load combinations. One may be the best solution to your particular building requirements.

When special engineering design is needed, Star's capable engineering staff is on call to design a Special Star Building System to fit your specifications.

So contact your Star Builder Dealer when you have a building problem. You'll get the quality you need, when and where you want it, and at a competitive price, from Star.



"MAP" I

color code:

identification:

- Site of Petition for Special Exception - service garage 4016 Annapolis Road

Existing Service Garages:

A. Schumaker Exxon - 3529 Annapolis Road
B. Dave's Service Center - 3716 Annapolis Road
(Dave Fisher, nephew of Wolley, Sr.)
C. Bob's Automotive Service - 4105 Annapolis Road
(son of Wolley, Sr., Robert Fisher)
D. Harry's & Steiners - 4209 Annapolis Rd

Abandoned Service Stations:

E. formerly, Hulligan's Beas-2007 Annapolis Road
now = A. A. Ambulance Service
Dress & Casuals
The Port Contractors
Chesapeake Enterprises, Inc.
Formerly, Texaco Station-4119 Annapolis Road
now = Soda Pop Shop
G. formerly, Citico Station - 4301 Annapolis Road
now Carpet Castle
H.. Formerly, Gulf Station - 4409 Annapolis Road
now = Lucky's

HIGHLAND VILLAGE APARTMENTS - 1,152 Units

FRIENDSHIP GARDENS & SUNSET HILLS - scored DR10,5 row-houses (400)

1. Parkanna Medical Center
2. Proposed Senior Citizen Convalescent Home
3. Highlands Medical Building
4. Irvine's Drug Store
5. English Consul Volunteer Fire Department
6. Highland Garden Apartments
7. Residential Area
8. old Turkey Farm, Highlands Baptist Church negotiating for site

GLEADINGS & SON'S Trucking Company (Zoning Violation 67-145-V
EX 67-53)

MAP # I
-2-

color code:

identification:

[REDACTED] - 1. Baltimore Highlands Elementary School, largest enrollment in District
(additional classrooms are planned in future)

2. Annex, old school - Will become a community center in near future

3. English Consul School Site - 25 year lease for Recreation & Parks

4. Stream Valley Park

[REDACTED] - 4. County-owned ground - in current budget for development

[REDACTED] - PARK DRIVE CROSSING;

X - CLENBORG EXTENSION;

O - BLINKING CAUTION SIGNAL FOR VOLUNTEER FIRE DEPARTMENT

T - TAVERNE LOCATED IN BALTIMORE COUNTY SECTION OF ANNAPOLIS ROAD (9)

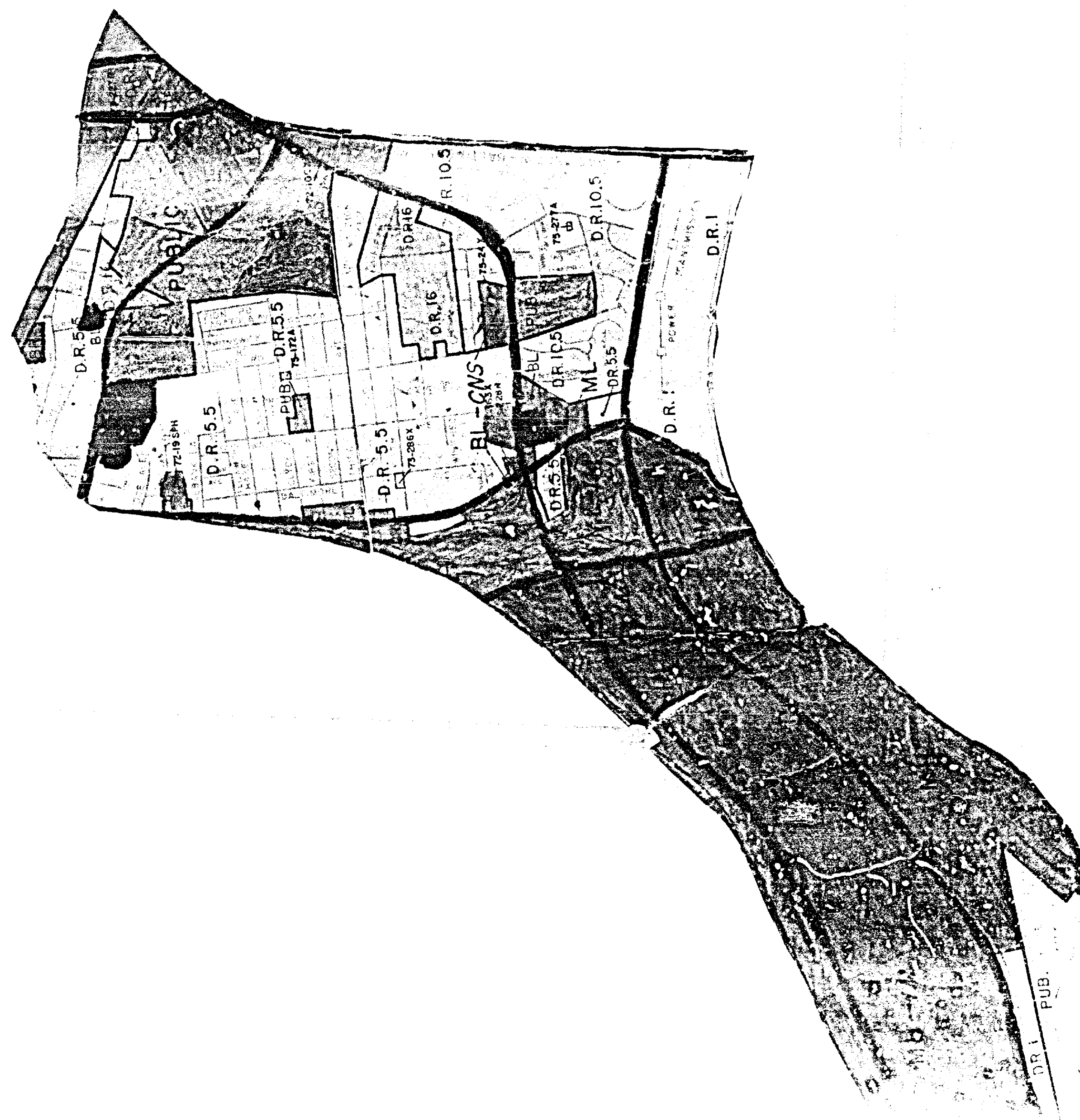
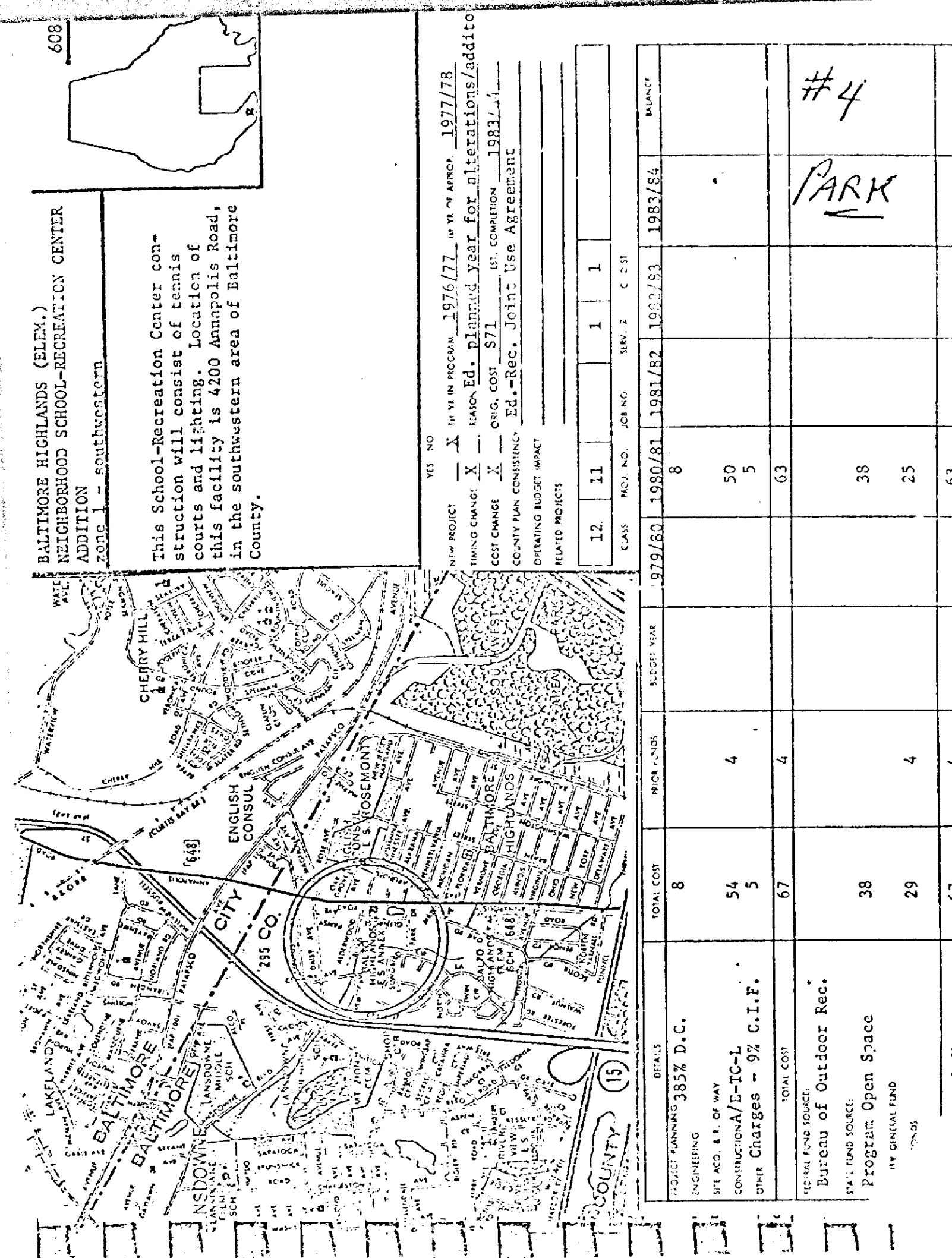
PAGE 2

BLACK SIDE PARKING FACILITIES FOR BUSINESS ON ANnapolis ROAD

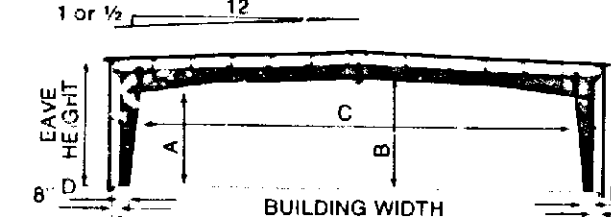
WALK IS EXISTING SIDEWALKS FOR ELEMENTARY SCHOOLS

BLUM RESISTANCE ATTENDING MEETING AGAINST PETITION FOR SPECIAL EXCEPTION

In requesting re-zoning for this property, the community supported it because Dr. McNeal and Dr. Queral stated as a matter of record and covenant, will construct and operate a medical office building with full-service diagnostic care, dental offices, and a senior citizens' convalescent care center. The property will not be used for any other purpose. (copy of letter to Councilman Murphy available)



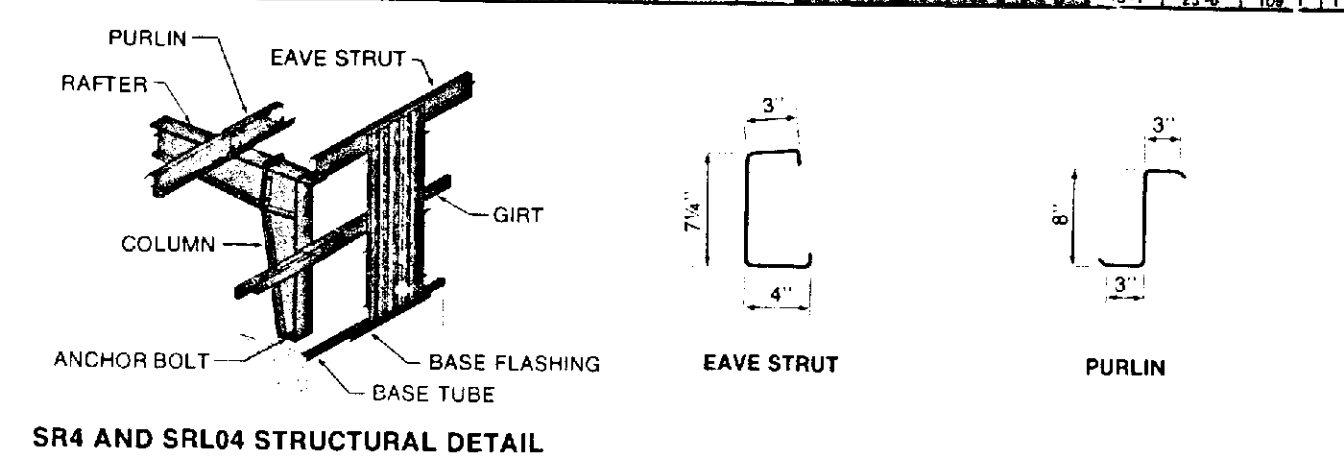
STAR SR4 AND SRLO4 BUILDING SYSTEMS



Where wide, low profile, clear spans are needed, Star's SR4 and SRLO4 rigid frame systems provide for orderly interiors and attractive exteriors. These systems are available in a 12, 20, 30, or 40 psf live load, 15, 20, or 25 psf wind load, and 20, 24, or 25-foot bay spacing.

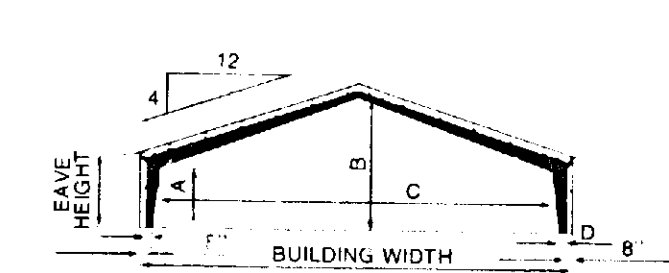
SR4 12 psf LIVE LOAD	SR4 20 psf LIVE LOAD	SR4 30 psf LIVE LOAD	SR4 40 psf LIVE LOAD
WIDTH	HEIGHT	HEIGHT	HEIGHT
50	12.0	12.0	12.0
60	12.0	12.0	12.0
70	12.0	12.0	12.0
80	12.0	12.0	12.0
90	12.0	12.0	12.0
100	12.0	12.0	12.0
120	12.0	12.0	12.0

SRLO4 12 psf LIVE LOAD	SRLO4 20 psf LIVE LOAD	SRLO4 30 psf LIVE LOAD	SRLO4 40 psf LIVE LOAD
WIDTH	HEIGHT	HEIGHT	HEIGHT
50	12.0	12.0	12.0
60	12.0	12.0	12.0
70	12.0	12.0	12.0
80	12.0	12.0	12.0
90	12.0	12.0	12.0
100	12.0	12.0	12.0
120	12.0	12.0	12.0



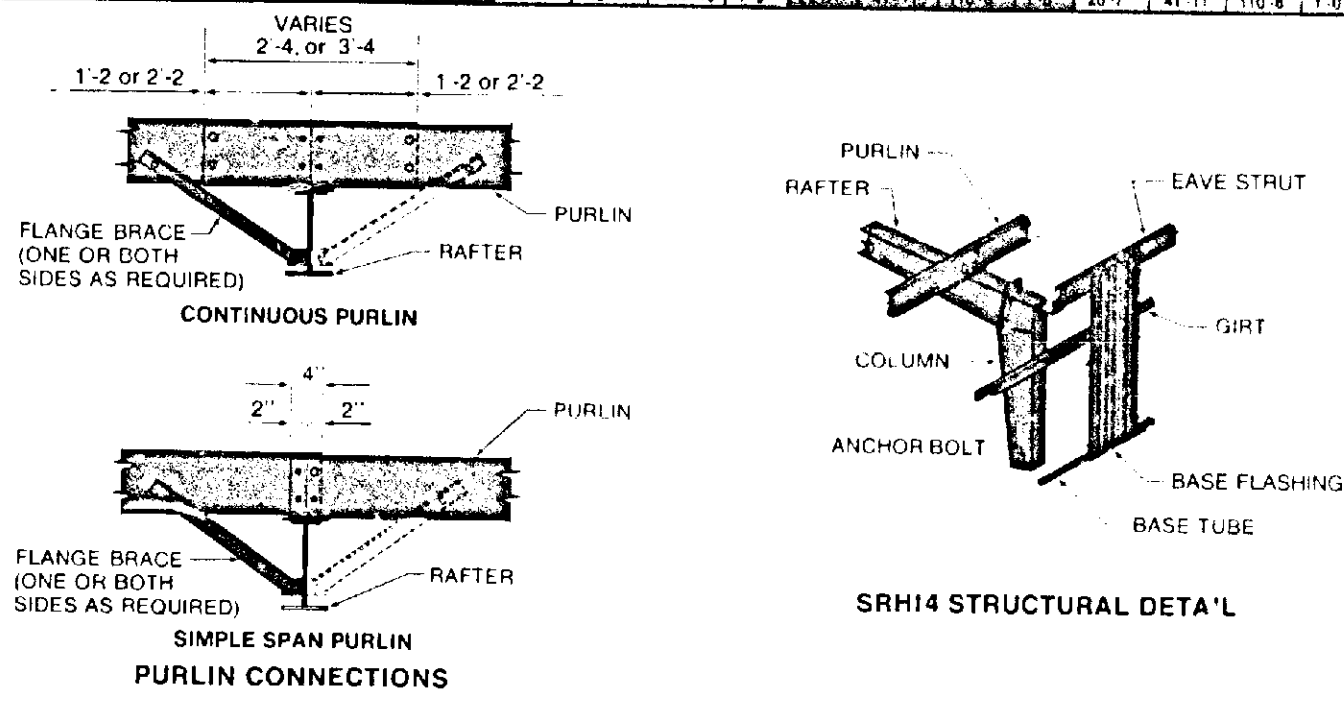
SR4 AND SRLO4 STRUCTURAL DETAIL

STAR SRH4 BUILDING SYSTEM

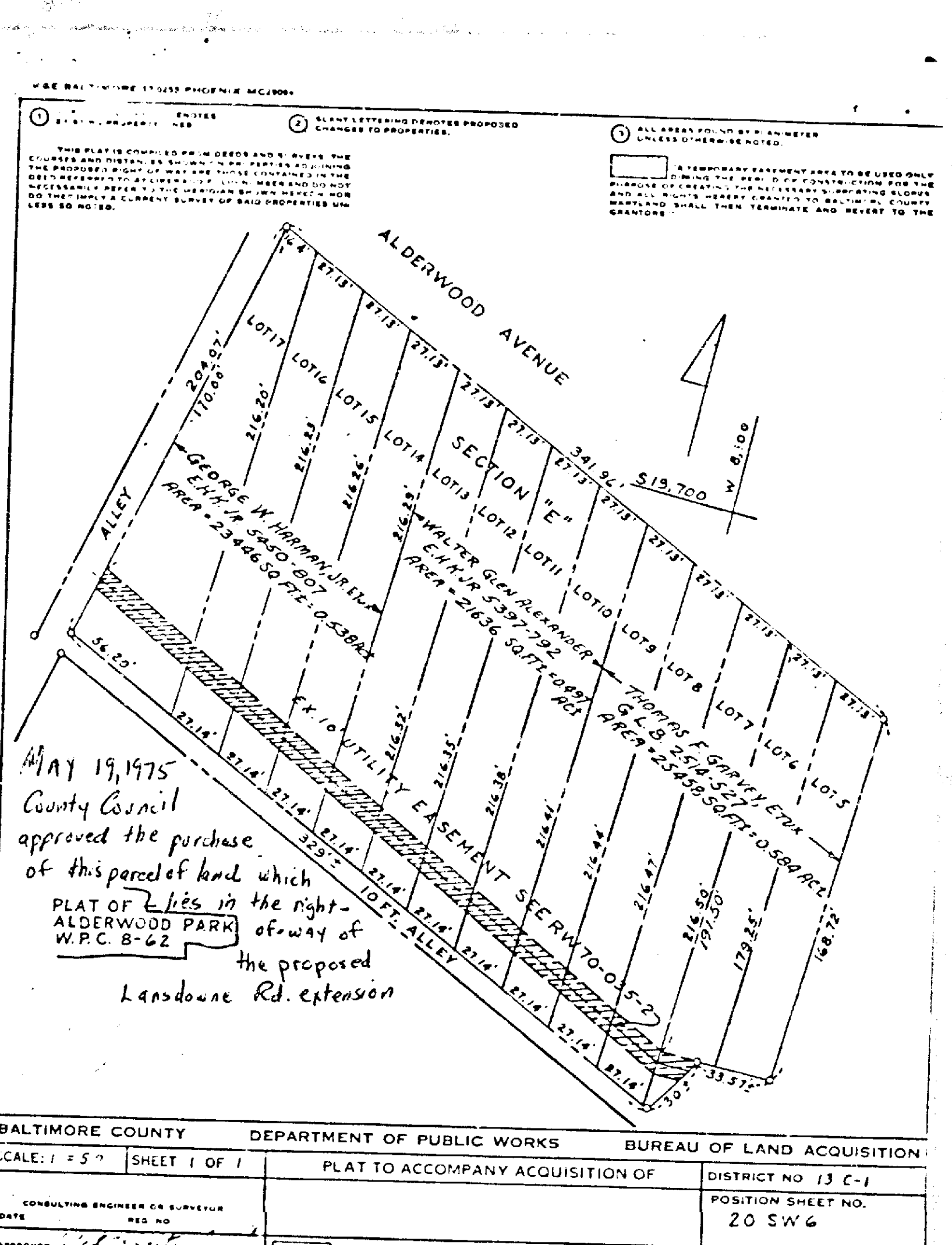
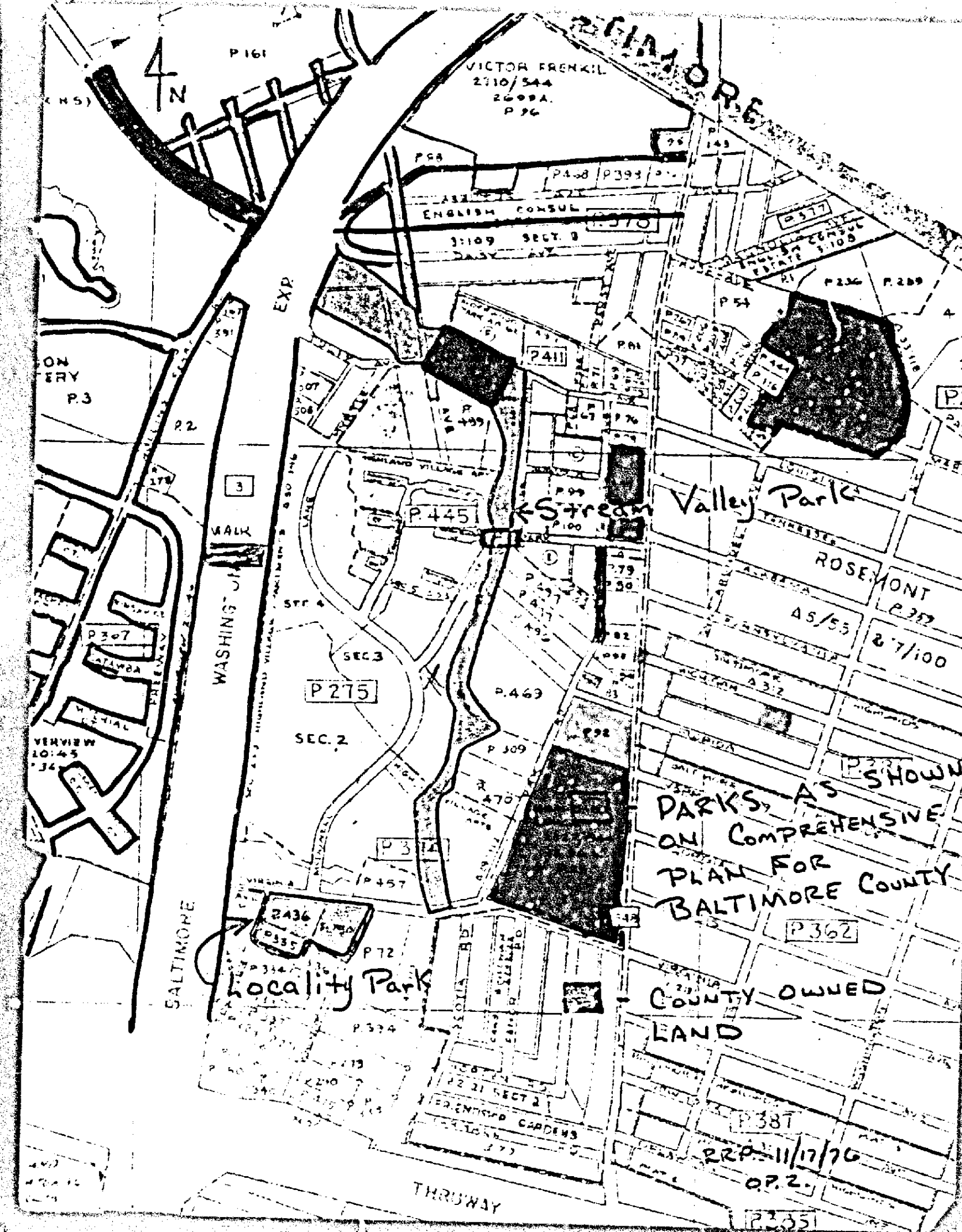


This rigid frame high profile building system provides spacious gable areas for indoor tennis or storage facilities, utilities installation and other uses. The system has a 12 foot clear height. It is available in a 12, 20, 30, or 40 psf live load, 15, 20, or 25 psf wind load, and 20, 24, or 25-foot bay spacing.

STAR SRH4 12 psf LIVE LOAD	STAR SRH4 20 psf LIVE LOAD	STAR SRH4 30 psf LIVE LOAD	STAR SRH4 40 psf LIVE LOAD
WIDTH	HEIGHT	HEIGHT	HEIGHT
40	12.0	12.0	12.0
50	12.0	12.0	12.0
60	12.0	12.0	12.0
70	12.0	12.0	12.0
80	12.0	12.0	12.0
100	12.0	12.0	12.0
120	12.0	12.0	12.0



SRH4 STRUCTURAL DETAIL



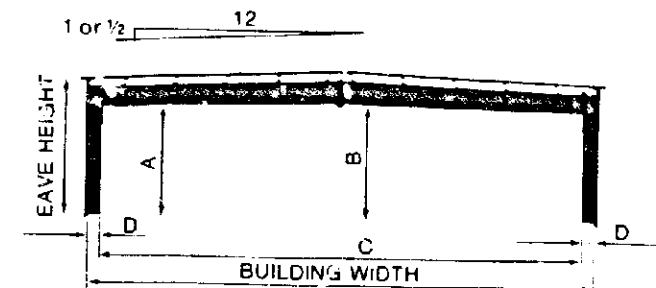
ANALYSIS A - SOUTHWEST RECREATION FACILITIES - POPULATION	POPULATION	TOTAL NUMBER HOUSING UNITS	TOTAL NUMBER APARTMENT UNITS	PERCENTAGE OF APARTMENTS	SCHOOL ENROLLMENT K-9th	PERCENT STUDENTS K-9th	PERCENTAGE SENIORS	TOTAL ACREAGE RECREATION & PARKS	TOTAL EXPENDITURES 6 month summary, FEB. 1976-JULY, 1976	RECREATION & PARKS	AMOUNT PER PERSON	MEDIUM FAMILY INCOME
ABOVE 65	12,691	1,357	1,357	100%	1,357	100%	100%	1,357	1,357	1,357	1,357	1,357
55-64	11,714	1,281	1,281	100%	1,281	100%	100%	1,281	1,281	1,281	1,281	1,281
45-54	11,714	1,281	1,281	100%	1,281	100%	100%	1,281	1,281	1,281	1,281	1,281
35-44	11,714	1,281	1,281	100%	1,281	100%	100%	1,281	1,281	1,281	1,281	1,281
25-34	11,714	1,281	1,281	100%	1,281	100%	100%	1,281	1,281	1,281	1,281	1,281
15-24	11,714	1,281	1,281	100%	1,281	100%	100%	1,281	1,281	1,281	1,281	1,281
5-14	11,714	1,281	1,281	100%	1,281	100%	100%	1,281	1,281	1,281	1,281	1,281
0-4	11,714	1,281	1,281	100%	1,281	100%	100%	1,281	1,281	1,281	1,281	1,281

RECREATION FACILITIES	POPULATION	TOTAL NUMBER HOUSING UNITS	TOTAL NUMBER APARTMENT UNITS	PERCENTAGE OF APARTMENTS	SCHOOL ENROLLMENT K-9th	PERCENT STUDENTS K-9th	PERCENTAGE SENIORS	TOTAL ACREAGE RECREATION & PARKS	TOTAL EXPENDITURES 6 month summary, FEB. 1976-JULY, 1976	RECREATION & PARKS	AMOUNT PER PERSON	MEDIUM FAMILY INCOME
ABOVE 65	12,691	1,357	1,357	100%	1,357	100%	100%	1,357	1,357	1,357	1,357	1,357
55-64	11,714	1,281	1,281	100%	1,281	100%	100%	1,281	1,281	1,281	1,281	1,281
45-54	11,714	1,281	1,281	100%	1,281	100%	100%	1,281	1,281	1,281	1,281	1,281
35-44	11,714	1,281	1,281	100%	1,281	100%	100%	1,281	1,281	1,281	1,281	1,281
25-34	11,714	1,281	1,281	100%	1,281	100%	100%	1,281	1,281	1,281	1,281	1,281
15-24	11,714	1,281	1,281	100%	1,281	100%	100%	1,281	1,281	1,281	1,281	1,281
5-14	11,714	1,281	1,281	100%	1,281	100%	100%	1,281	1,281	1,281	1,281	1,281
0-4	11,714	1,281	1,281	100%	1,281	100%	100%	1,281	1,281	1,281	1,281	1,281

BALTIMORE COUNTY, MARYLAND	INTER-OFFICE CORRESPONDENCE	DATE	SUBJECT
HARVEY C. JONES, II, Director	Legislative Liaison Office	February 26, 1975	1976-1980 Secondary Highway Improvement Program
WILLIAM D. FROMM, Director	Office of Planning		
The Baltimore County Office of Planning and Zoning recommends that the priorities identified by the State Highway Administration in their 1976-1980 Secondary Highway Program be reordered to more adequately reflect the needs of Baltimore County.			
We have four major secondary highway improvements which are needed more than those identified by the state. These four important highways are: 1) Belair Road (U.S. 1) from Fitch Avenue to Forge Road, 2) Annapolis Road (Md. 648) from Anne Arundel County to Baltimore City, 3) Eastern Boulevard (Md. 150) from Stevens Road to Carroll Island Road, and 4) Southeast Boulevard (Md. 702) from Old Eastern Avenue to Marilyn Avenue.			
The Belair Road improvement would alleviate much of the congestion at the Belair Road intersections with Joppa Road and Putty Hill Avenue. The Annapolis Road improvement would alleviate hazards to the elementary school children attending the two elementary schools at the intersection of Falls Road and Bowleys Quarters Roads. The Eastern Boulevard improvement would alleviate much of the congestion at the intersections of Carroll Island and Bowleys Quarters Roads. The Southeast Boulevard improvement will alleviate much of the congestion on Eastern Boulevard and the Back River Neck Peninsula.			
Project Planning money could be placed in the Budget for FY 1976 for these four improvements in lieu of the project planning money for the intersection of Falls Road (Md. 25) and Seminary Avenue (Md. 131) which can be improved with TOPICS money. The project planning money for Liberty Road (Md. 26) between Carroll County and Wards Chapel Road could be deferred.			
WDF/WPT/vh	WILLIAM D. FROMM, Director	Office of Planning	

PROJECTS FOR 5-YEAR PROGRAM WITH EXISTING FUNDING LEVEL	
PROJECTS IN STATE SECONDARY PROGRAM	BALTIMORE COUNTY OPZ RECOMMENDED PRIORITIES
MD. 26 Liberty Rd. -Deer Park Rd. to Offutt Rd.	*MD. 26 Liberty Rd. -Deer Park Rd. to Offutt Rd.
*MD. 26 Liberty Rd. -Wards Chapel Rd. to Deer Park Rd.	MD. 7 Philadelphia Rd. - U.S. 40 to MD. 695
MD. 7 Philadelphia Rd. -bridge over I-695 and approaches	*U.S. 140 Reisterstown Rd. - I-695 to Chartley Blvd.
MD. 146 Dulaney Valley Rd. -Charmuth to Pot Spring Rd.	MD. 702 Southeast Expressway - Old Eastern Ave. to Marilyn Ave.
U.S. 140 Reisterstown Rd. - I-695 to Chartley Blvd.	*MD. 648 Old Annapolis Rd. - Anne Arundel County Line to Baltimore City Line
MD. 151 Sparrows Point Blvd. - Delmar Ave. to Tin Mill Rd.	MD. 45 York Rd. -Industry Lane to Shaven Rd.
MD. 7 Philadelphia Rd. - U.S. 40 to MD. 695	MD. 143 Warren Rd. -Extended- I-83 to MD. 45

STAR STR4 AND STB4 BUILDING SYSTEMS

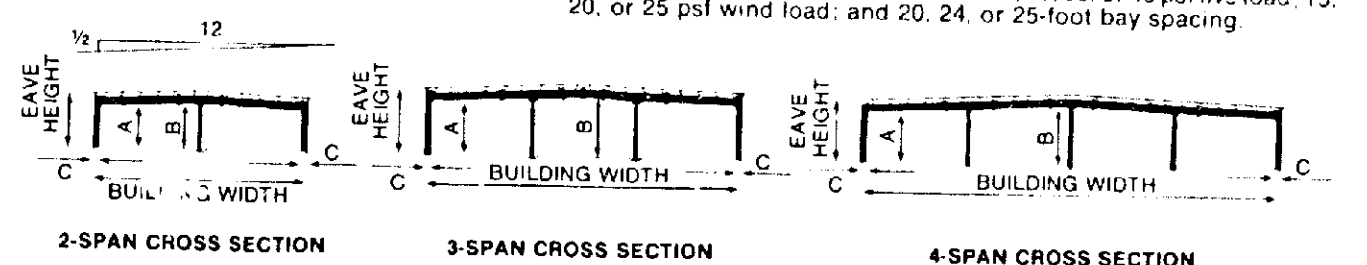


These tapered beam building systems offer a minimum of lost space at the columns. Flush girt design makes interior finishing more economical. STR4 and STB4 are available in a 12, 20, 30, or 40 psf live load; 15, 20, or 25 psf wind load; and 20, 24, or 25-foot bay spacing.

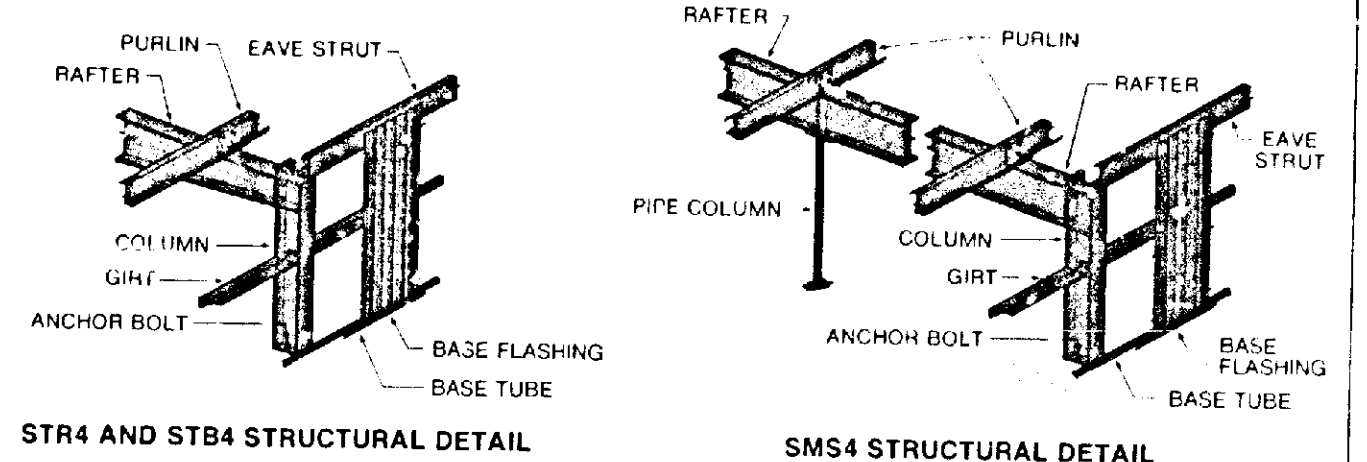
STR4 12 Pch.		12 psf LIVE LOAD				20 psf LIVE LOAD				30 psf LIVE LOAD				40 psf LIVE LOAD			
WIDTH	FACE HEIGHT	A	B	C	D	A	B	C	D	A	B	C	D	A	B	C	D
20	10-0	8-0	6-0	4-0	10-0	8-0	6-0	4-0	10-0	8-0	6-0	4-0	10-0	8-0	6-0	4-0	10-0
	12-0	10-0	8-0	6-0	4-0	12-0	10-0	8-0	6-0	12-0	10-0	8-0	6-0	12-0	10-0	8-0	6-0
	14-0	12-0	10-0	8-0	6-0	14-0	12-0	10-0	8-0	14-0	12-0	10-0	8-0	14-0	12-0	10-0	8-0
	16-0	14-0	12-0	10-0	8-0	16-0	14-0	12-0	10-0	16-0	14-0	12-0	10-0	16-0	14-0	12-0	10-0
	18-0	16-0	14-0	12-0	10-0	18-0	16-0	14-0	12-0	18-0	16-0	14-0	12-0	18-0	16-0	14-0	12-0
24	10-0	8-0	6-0	4-0	10-0	8-0	6-0	4-0	10-0	8-0	6-0	4-0	10-0	8-0	6-0	4-0	10-0
	12-0	10-0	8-0	6-0	12-0	10-0	8-0	6-0	12-0	10-0	8-0	6-0	12-0	10-0	8-0	6-0	12-0
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	16-0	14-0	12-0	10-0	16-0	14-0	12-0	10-0	16-0	14-0	12-0	10-0	16-0	14-0	12-0	10-0	16-0
	18-0	16-0	14-0	12-0	18-0	16-0	14-0	12-0	18-0	16-0	14-0	12-0	18-0	16-0	14-0	12-0	18-0
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	12-0	10-0	8-0	6-0	12-0	10-0	8-0	6-0	12-0	10-0	8-0	6-0	12-0	10-0	8-0	6-0	12-0
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	16-0	14-0	12-0	10-0	16-0	14-0	12-0	10-0	16-0	14-0	12-0	10-0	16-0	14-0	12-0	10-0	16-0
	18-0	16-0	14-0	12-0	18-0	16-0	14-0	12-0	18-0	16-0	14-0	12-0	18-0	16-0	14-0	12-0	18-0
36	10-0	8-0	6-0	4-0	10-0	8-0	6-0	4-0	10-0	8-0	6-0	4-0	10-0	8-0	6-0	4-0	10-0
	12-0	10-0	8-0	6-0	12-0	10-0	8-0	6-0	12-0	10-0	8-0	6-0	12-0	10-0	8-0	6-0	12-0
	14-0	12-0	10-0	8-0	14-0	12-0	10-0	8-0	14-0	12-0	10-0	8-0	14-0	12-0	10-0	8-0	14-0
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	12-0	10-0	8-0	6-0	12-0	10-0	8-0	6-0	12-0	10-0	8-0	6-0	12-0	10-0	8-0	6-0	12-0
	14-0	12-0	10-0	8-0	14-0	12-0	10-0	8-0	14-0	12-0	10-0	8-0	14-0	12-0	10-0	8-0	14-0
	16-0	14-0	12-0	10-0	16-0	14-0	12-0	10-0	16-0	14-0	12-0	10-0	16-0	14-0	12-0	10-0	16-0
	18-0	16-0	14-0	12-0	18-0	16-0	14-0	12-0	18-0	16-0	14-0	12-0	18-0	16-0	14-0	12-0	18-0
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	14-0	12-0	10-0	8-0	14-0	12-0	10-0	8-0	14-0	12-0	10-0	8-0	14-0	12-0	10-0	8-0	14-0
	16-0	14-0	12-0	10-0	16-0	14-0	12-0	10-0	16-0	14-0	12-0	10-0	16-0	14-0	12-0	10-0	16-0
	18-0	16-0	14-0	12-0	18-0	16-0	14-0	12-0	18-0	16-0	14-0	12-0	18-0	16-0	14-0	12-0	18-0
60	10-0	8-0	6-0	4-0	10-0	8-0	6-0	4-0	10-0	8-0	6-0	4-0	10-0	8-0	6-0	4-0	10-0
	12-0	10-0	8-0	6-0	12-0	10-0	8-0	6-0	12-0	10-0	8-0	6-0	12-0	10-0	8-0	6-0	12-0
	14-0	12-0	10-0	8-0	14-0	12-0	10-0	8-0	14-0	12-0	10-0	8-0	14-0	12-0	10-0	8-0	14-0
	16-0	14-0	12-0	10-0	16-0	14-0	12-0	10-0	16-0	14-0	12-0	10-0	16-0	14-0	12-0	10-0	16-0
	18-0	16-0	14-0	12-0	18-0	16-0	14-0	12-0	18-0	16-0	14-0	12-0	18-0	16-0	14-0	12-0	18-0

STR4 12 Pch		12 psf LIVE LOAD								20 psf LIVE LOAD								30 psf LIVE LOAD								40 psf LIVE LOAD							
WIDTH	RACE HEIGHT	A	B	C	D	A	B	C	D	A	B	C	D	A	B	C	D	A	B	C	D												
20	10-0	10-0	8-0	6-0	4-0	10-0	8-0	6-0	4-0	10-0	8-0	6-0	4-0	10-0	8-0	6-0	4-0	10-0	8-0	6-0	4-0												
	12-0	12-0	10-0	8-0	6-0	12-0	10-0	8-0	6-0	12-0	10-0	8-0	6-0	12-0	10-0	8-0	6-0	12-0	10-0	8-0	6-0												
	14-0	14-0	12-0	10-0	8-0	14-0	12-0	10-0	8-0	14-0	12-0	10-0	8-0	14-0	12-0	10-0	8-0	14-0	12-0	10-0	8-0												
	16-0	16-0	14-0	12-0	10-0	16-0	14-0	12-0	10-0	16-0	14-0	12-0	10-0	16-0	14-0	12-0	10-0	16-0	14-0	12-0	10-0												
24	10-0	10-0	8-0	6-0	4-0	10-0	8-0	6-0	4-0	10-0	8-0	6-0	4-0	10-0	8-0	6-0	4-0	10-0	8-0	6-0	4-0												
	12-0	12-0	10-0	8-0	6-0	12-0	10-0	8-0	6-0	12-0	10-0	8-0	6-0	12-0	10-0	8-0	6-0	12-0	10-0	8-0	6-0												
	14-0	14-0	12-0	10-0	8-0	14-0	12-0	10-0	8-0	14-0	12-0	10-0	8-0	14-0	12-0	10-0	8-0	14-0	12-0	10-0	8-0												
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STAR SMS4 BUILDING SYSTEM



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PROJECTS FOR 5-YEAR PROGRAM WITH EXISTING FUNDING LEVEL

PROJECTS IN STATE SECONDARY PROGRAM	BALTIMORE COUNTY OPZ RECOMMENDED PRIORITIES	COMMENTS
MD. 45 York Rd.-Industry Lane to Shawan Rd.	MD. 146 Dulany vs. 57 Rd.-Charmath Rd. to Pot Spring Rd.	Improvement needed to accommodate increased traffic volumes and relieve bottlenecks.
MD. 26 Liberty Rd.-Wards Chapel Co. mile east of Carroll County Line	MD. 151 Sparrows Point Blvd.-Delmar Ave. to Elm Mill Rd.	Provide improved access and lane balance to Sparrows Point industrial complex.
MD. 129 Park Heights Ave.-Baltimore City Line to I-695	MD. 129 Park Heights Ave.-Baltimore City Line to I-695	Increase road capacity and provide continuity with traffic flow within Baltimore City.
MD. 26 Liberty Rd.-7 mile east of Carroll County Line to Carroll County	MD. 143 Warren Rd. Extended-I-83 to MD. 45	

*Project which could be completed within the 5-year program period at current funding levels.

** Projects which the OPZ staff recommend to be removed from the 5-year program under the existing funding constraints.

SOUTHWEST AREA:

ISSUE #204 Annapolis Road improvements

CONSIDERATIONS: 1. Proposed State Road Commission improvements have been deferred until after 1980.

2. Baltimore County feels that this road warrants improvement now.

INITIAL STAFF RECOMMENDATION: Show road improvements before 1980.

COURSE OF ACTION: Request State Road Commission reevaluation of timing on Annapolis Road.

Safety In September?

By Delores O'Connell

first District Councilman John V. Murphy were on hand at the Baltimore Highlands Elementary School on Annapolis Rd. at 7:30 in the morning to walk with the group.

Due to the recent ruling from the state changing the transportation to a Senior High School, students from Baltimore Highlands including the ninth grade, will have no place to walk in the streets along Annapolis Rd. Daisy & Tulip Aves. in the Baltimore Highlands area of Baltimore County between 7:30 & 8:30 A.M. and again between 2:30 & 3:30 P.M. on Tuesday, April 8th.

County Executive Theodore G. Vanepps and

very heavy, especially in the morning when people are going to work, the same hours the students would be walking to school.

Annapolis Rd. is a state highway with traffic from north and south between Baltimore City, Linthicum, and Pikesville. It is a 1 1/2 mile to 1 mile distance between Washington Blvd. and Patapsco Ave.

Tulip Ave. is an unimproved road not wide enough for two cars and is the only road connecting McDowell Lane, the map

throughway for a development of over 1,000 homes.

According to the Board of Education, exceptions to this ruling would be made when it was proven that the safety of students were involved.

At a recent community meeting Mrs. O'Connell stated, Continued bus service for students attending Lansdowne Junior High School would be an immediate and the most probable solution and perhaps even satisfy the parents.

Mrs. O'Connell explained lack of sidewalks is not a new problem to our community. Back in February, 1963 before the senior high was opened, parents in the community held a similar meeting where safety was discussed. There the State had plans to widen Annapolis Rd. and provide sidewalks on both sides.

Lansdowne Blvd. was planned to be continued from Hollins Ferry Rd. to Annapolis Rd. or Michigan Ave.

Satisfied with future plans for sidewalks the community agreed with temporary solutions of extending Alderwood Rd. across private property, thus enabling a safe walkway to school.

Since that time, over 1,000 homes have been

built and the road through this development opens directly into the safe walkway that was provided earlier. A new middle school was opened and children attending the 6, 7, 8 grades from the Baltimore Highlands are joined those students in the 9, 10, 11, 12 grades that must take this hazardous walk to school.

Who has happened to the promised sidewalks?

The state has once again deferred plans to widen Annapolis Rd. until after 1980 and the connection of Lansdowne Blvd. from Hollins Ferry Rd. to Annapolis Rd. was not even mentioned in the recent comprehensive planning maps and proposals for Baltimore County.

Another meeting of the community was held recently, where parents once again considered what steps have been taken toward the safety of their children and their community.

State Roads Commission also will be advised for the need to repair the present fencing along the Baltimore-Washington Expressway near Virginia Ave. This is used as a short-cut for many of those walking to school. It is only four blocks this way, compared to over a mile using the Annapolis Road.

The MAIL BAG

January 2, 1981

Mr. John M. Martin, Editor-in-Chief, 5515 Selma Avenue, Arbutus 27, Maryland

Dear Jack:

My sincere congratulations and best wishes to you and all your staff as you move into your new, larger offices. This is certainly a tribute to the initiative and resourcefulness of the management of "The Times."

I am happy to report at this time that I have been advised by Mr. John H. Funk, Chairman-Director, State Roads Commission of Maryland, that the contract has been awarded for the erection of fencing along the Baltimore-Washington Expressway from Daisy Avenue to the Harford Tunnel Thruway to United States Steel Corporation at \$18,078.75.

Your readers will be pleased to know this since so many people in the Baltimore Highlands area have been concerned over the lack of this fencing. Mrs. Delores O'Connell, a resident of Michigan Ave. brought the matter to my attention and I immediately took it up with the State Roads Commission with the mentioned contract resulting.

In addition to my best wishes in your new quarters I want to add the sincere hope that 1981 will be a very happy, prosperous, healthy and peaceful year for you, your family and all the members of your organization.

Sincerely,
Frederick L. Dewberry, Jr.,
Commissioner, Port of Baltimore

Traffic Signal At English Consul To Be Installed Now

The long-awaited traffic signal at Old Annapolis Road and Michigan Avenue is now scheduled to be installed as of November 30, according to Eugene J. Clifford, Chief, Division of Traffic Engineering for Baltimore County.

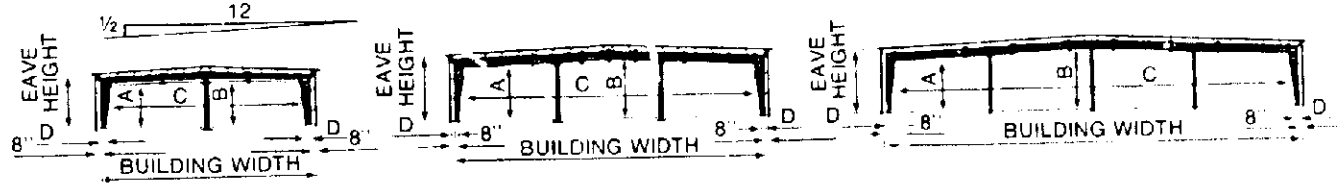
In a letter to County Councilman Frederick L. Dewberry, Jr., (D, 1st), Mr. Clifford explained that a back log of signal installations has delayed the unit but work will be completed within two weeks.

Mr. Dewberry had requested a date for completion of the work on November 2 and was advised of the schedule by Mr. Clifford on November 13.

Primary function of the traffic signal will be to facilitate the movement of equipment from the English Consul Fire Department, which has been forced to place members of the Department in the streets to direct traffic when the engines are responding to an alarm.

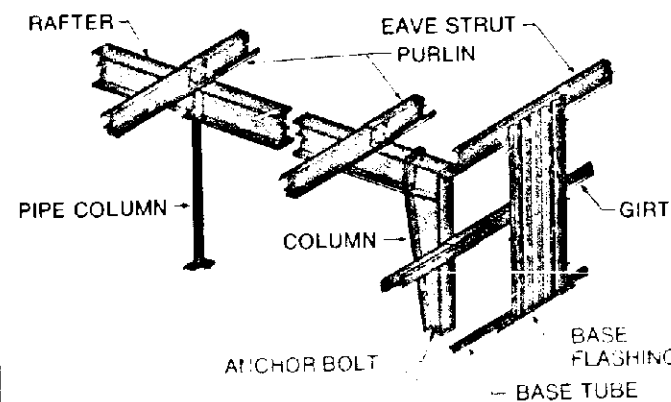
STAR SMT4 BUILDING SYSTEM

This building system combines multi-span flexibility with tapered beam strength and economy. Standard width capability ranges from a minimum of 80 feet to a maximum of 240 feet. SMT4 is available in a 12, 20, 30, or 40 psf live load; 15, 20, or 25 psf wind load; and 20, 24, or 25-foot bay spacing.



2-SPAN CROSS SECTION 3-SPAN CROSS SECTION 4-SPAN CROSS SECTION

	WIDTH	EAVE HEIGHT	12 psf LIVE LOAD				20 psf LIVE LOAD				30 psf LIVE LOAD				40 psf LIVE LOAD			
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	100	2 @ 50	21-7	23-2	74-6	6	21-7	23-2	74-6	6	21-7	22-9	75-2	6	21-8	22-9	75-2	6
	120	2 @ 60	21-7	23-1	95-0	6	21-7	23-1	95-0	6	21-4	22-10	94-8	6	21-3	22-10	94-8	6
	140	2 @ 70	21-7	23-1	114-8	6	21-7	23-1	114-8	6	21-4	22-8	114-4	6	21-1	22-8	114-4	6
3 SPAN	120	3 @ 40	17-11	20-4	115-8	6	17-11	20-4	115-8	6	17-9	20-6	114-8	6	17-9	20-6	114-8	6
	150	3 @ 50	21-7	24-0	115-0	6	21-7	24-0	115-0	6	21-9	24-5	114-8	6	21-9	24-5	114-8	6
	180	3 @ 60	21-7	24-0	145-8	6	21-7	24-0	145-8	6	21-5	25-0	144-8	6	21-5	25-0	144-8	6
	200	3 @ 80	21-7	24-0	175-0	6	21-7	24-0	175-0	6	21-5	25-5	174-4	6	21-1	25-5	174-4	6
4 SPAN	160	4 @ 40	21-7	24-10	155-0	6	21-7	24-10	155-0	6	21-9	24-10	155-4	6	21-9	24-10	155-4	6
	200	4 @ 50	21-7	24-10	195-8	6	21-7	24-10	195-8	6	21-5	25-6	194-8	6	21-5	25-6	194-8	6
	220	4 @ 55	21-7	24-10	215-0	6	21-7	24-10	215-0	6	21-5	25-6	214-8	6	21-5	25-6	214-8	6
	240	4 @ 60	21-7	24-10	235-0	6	21-7	24-10	235-0	6	21-5	25-11	234-4	6	21-3	25-11	234-4	6



SMT4 STRUCTURAL DETAIL

DESIGN CRITERIA FOR STAR BUILDINGS*

STAR BUILDING components sustain requested contributing dead loads and specified live or wind loads by using the universally recognized "Elastic Theory" of steel behavior. Engineering design is in accordance with good engineering practices and the current specifications of both AISI and AISI.

Dead load is defined as all contributing permanent loads being supported by a member. Live load is defined as all loads other than dead load, wind load and seismic load. Roof live load usually refers to snow load.

Star rigid frames are designed to meet or exceed the allowable stress provisions of the current AISI Specification for the Design, Fabrication and Erection of Structural Steel for Buildings. In addition, rigid frames are designed to resist the most severe condition produced by the following design load combinations:

1. Dead load + live load on the horizontal projection of the roof.
2. Dead load + wind load (MBMA distribution).
3. Dead load + live load + one-half wind load.
4. Dead load + one-half live load + wind load.
5. Dead load + full live load on leeward slope and one-half live load on windward slope.

Standard STAR BUILDINGS are designed to sustain the following roof live loads:

- 12 psf
- 20 psf
- 30 psf
- 40 psf

Standard STAR BUILDINGS are designed to sustain the following wind loads:

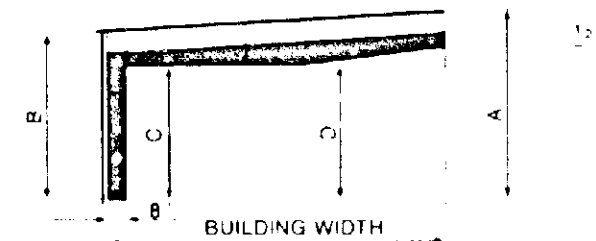
- 15 psf
- 20 psf
- 25 psf

Rigid frame bay spacing shall be 20.0, 24.0, or 25.0 on center or as otherwise indicated in a set of building blueprints. (Bay spacing for a 40 psf live load building shall be 20.0 on center only.) When additional live loads, such as crane loads, are specified and must be supported by the rigid frames, design is based on the most severe condition produced by:

1. Dead load + live load.
2. Dead load + one-half live load + crane load.
3. Dead load + wind load.
4. Dead load + one-half wind load + crane load.

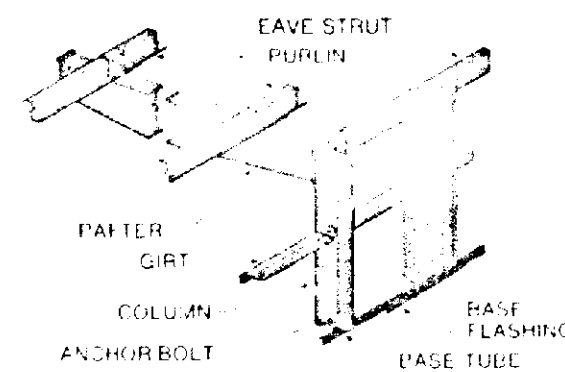
Complete design analysis of all structural components of any STAR BUILDING is available upon request.

STAR SWE4 BUILDING EXPANSION SYSTEM



Building additions take shape quickly and economically with a Star width expansion system. Width expansions are available in a 12, 20, 30, or 40 psf live load, and 15, 20, or 25 psf wind load. All columns are designed for a 25 psf wind load.

	WIDTH	12 psf LIVE LOAD				20 psf LIVE LOAD				30 psf LIVE LOAD				40 psf LIVE LOAD			
		A	B	C	D	A	B	C	D	A	B	C	D	A	B	C	D
15	10-0	9-4 1/2	8-1	8-4	10-0	9-4 1/2	8-1	8-4	10-0	9-4 1/2	8-1	8-4	10-0	9-4 1/2	8-1	8-4	10-0
	12-0	11-4 1/2	10-1	10-4	12-0	11-4 1/2	10-1	10-4	12-0	11-4 1/2	10-1	10-4	12-0	11-4 1/2	10-1	10-4	12-0
	14-0	13-4 1/2	12-1	12-4	14-0	13-4 1/2	12-1	12-4	14-0	13-4 1/2	12-1	12-4	14-0	13-4 1/2	12-1	12-4	14-0
	16-0	15-4 1/2	14-1	14-4	16-0	15-4 1/2	14-1	14-4	16-0	15-4 1/2	14-1	14-4	16-0	15-4 1/2	14-1	14-4	16-0
20	10-0	9-2	7-10	8-3	10-0	9-2	7-10	8-3	10-0	9-2	7-9	7-9	10-0	9-2	7-9	7-9	10-0
	12-0	11-2	9-10	10-3	12-0	11-2	9-10	10-3	12-0	11-2	9-9	9-9	12-0	11-2	9-9	9-9	12-0
	14-0	13-2	11-10	12-3	14-0	13-2	11-10	12-3	14-0	13-2	11-9	11-9	14-0	13-2	11-9	11-9	14-0
	16-0	15-2	13-10	14-3	16-0	15-2	13-10	14-3	16-0	15-2	13-9	13-9	16-0	15-2	13-9	13-9	16-0
25	10-0	9-2	7-10	8-3	10-0	9-2	7-10	8-3	10-0	9-2	7-9	7-9	10-0	9-2	7-9	7-9	10-0
	12-0	11-2	9-10	10-3	12-0	11-2	9-10	10-3	12-0	11-2	9-9	9-9	12-0	11-2	9-9	9-9	12-0
	14-0	13-2	11-10	12-3	14-0	13-2	11-10	12-3	14-0	13-2	11-9	11-9	14-0	13-2	11-9	11-9	14-0
	16-0	15-2	13-10	14-3	16-0	15-2	13-10	14-3	16-0	15-2	13-9	13-9	16-0	15-2	13-9	13-9	16-0
30	10-0	9-2	7-10	8-3	10-0	9-2	7-10	8-3	10-0	9-2	7-9	7-9	10-0	9-2	7-9	7-9	10-0
	12-0	11-2	9-10	10-3	12-0	11-2	9-10	10-3	12-0	11-2	9-9	9-9	12-0	11-2	9-9	9-9	12-0
	14-0	13-2	11-10	12-3	14-0	13-2	11-10	12-3	14-0	13-2	11-9	11-9	14-0	13-2	11-9	11-9	14-0
	16-0	15-2	13-10	14-3	16-0	15-2	13-10	14-3	16-0	15-2	13-9	13-9	16-0	15-2	13-9	13-9	16-0
35	10-0	9-2	7-10	8-3	10-0	9-2	7-10	8-3	10-0	9-2	7-9	7-9	10-0	9-2	7-9	7-9	10-0
	12-0	11-2	9-10	10-3	12-0	11-2	9-10	10-3	12-0	11-2	9-9	9-9	12-0	11-2	9-9	9-9	12-0
	14-0	13-2	11-10	12-3	14-0	13-2	11-10	12-3	14-0	13-2	11-9	11-9	14-0	13-2	11-9	11-9	14-0
	16-0	15-2	13-10	14-3	16-0	15-2	13-10	14-3	16-0	15-2	13-9	13-9	16-0	15-2	13-9	13-9	16-0
40	10-0	9-2	7-10	8-3	10-0	9-2	7-10	8-3	10-0	9-2	7-9	7-9	10-0	9-2	7-9	7-9	10-0
	12-0	11-2	9-10	10-3	12-0	11-2	9-10	10-3	12-0	11-2	9-9	9-9	12-0	11-2	9-9	9-9	12-0
	14-0	13-2	11-10	12-3	14-0	13-2	11-10	12-3	14-0	13-2	11-9	11-9	14-0	13-2	11-9	11-9	14-0
	16-0	15-2	13-10	14-3	16-0	15-2	13-10	14-3	16-0	15-2	13-9	13-9	16-0	15-2	13-9	13-9	16-0



SWE4 STRUCTURAL DETAIL

DESIGN CRITERIA FOR STAR'S SWE4 BUILDING EXPANSION SYSTEM

Star's SWE4 is designed to sustain requested contributing dead loads and specified live or wind loads. Engineering design is in accordance with good engineering practices and the current specifications of both AISI and AISI.

Dead load is defined as all contributing permanent loads being supported by a member. Live load is defined as all loads other than dead load, wind load and seismic load. Roof live load usually refers to snow load.

Star's SWE4 expansion system is designed to sustain the following roof live loads:

- 12 psf
- 20 psf
- 30 psf
- 40 psf

Standard SWE4 expansion systems are designed to sustain the following wind loads:

- 15 psf
- 20 psf
- 25 psf

Bay spacing for SWE4 frames shall be 20.0, 24.0, or 25.0 on center or as otherwise indicated in a set of building blueprints. (Bay spacing for a 40 psf live load building shall be 20.0 on center only.)

Complete design analysis of all structural components of any SWE4 expansion system is available upon request.

13.6 / St

SOUTHWEST AREA

ISSUE # 203

CONSIDERATIONS:

METROPOLITAN BOULEVARD

1. North-South access between Security Boulevard and Catonsville area is non-existent.
2. Beltway is now providing this movement which limits the effective use of this road. Heavy traffic volume and long back-up within this corridor.
3. If no firm decision is made now on status of this road, the interchange with I-70 N could be lost limiting effectiveness of Metropolitan Boulevard.

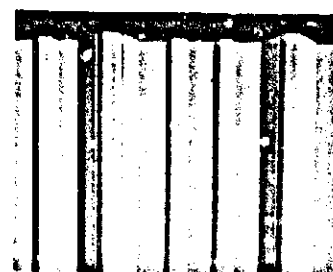
INITIAL STAFF RECOMMENDATIONS:

Inclusion of Metropolitan Boulevard from Wilkens Avenue to Security Boulevard.

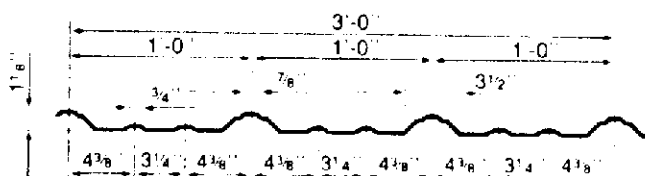
COURSE OF ACTION:

Insert into State capital improvement program. Secure protective environmental design standards to be used in design layout of this road through residential areas.

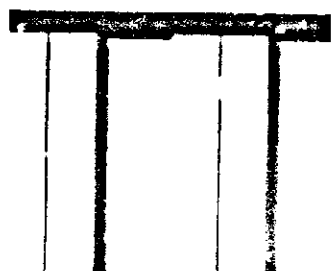
ROOF AND WALL SYSTEMS



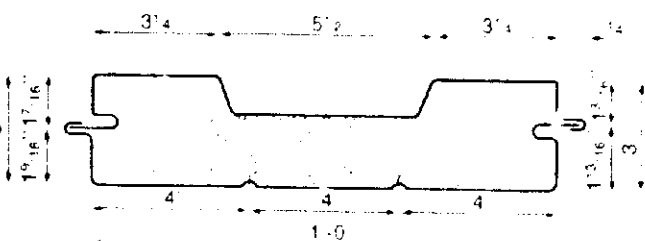
Star's **DURA-80**® Roof and Wall Systems feature 80,000 psi high-tensile steel to provide maximum strength. The wall system is available in 26 gage and can be furnished in several **STARCOTE**® colors. Star's roof system is available in 26 or 24 gage and will be furnished in Galvanized, Marble White, or Antique White only.



DURA-80® Panel



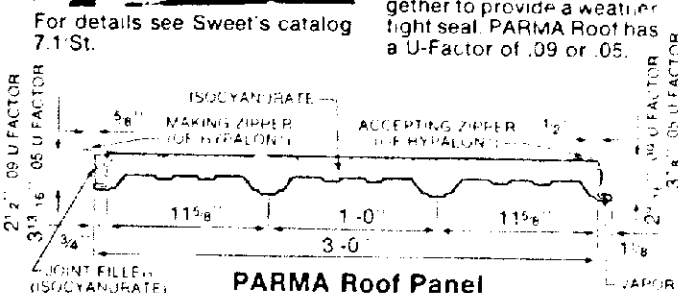
Star's **UNI-THERM**® Wall System is one of the highest quality, factory insulated, wall panels available in the industry. It has a U-Factor of 0.23 and a Sound Transmission Class of 37. The exterior and/or interior face panels are available in several **STARCOTE**® colors. **STARCOTE**® Marble White is available on the interior face panel only.



UNI-THERM® Panel



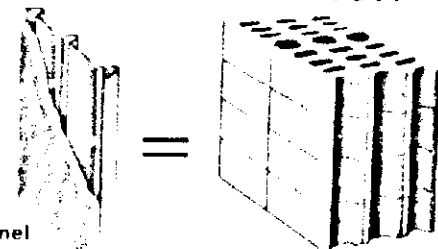
Star's new **PARMA**® Roof System is quickly replacing the conventional built-up roof. It is composed of four components essential to roof performance, the deck, insulation, weathering membrane and joint sealing. All of these items are factory composite into structurally sound panels. These panels are easy to install and literally zip together to provide a weather tight seal. **PARMA** Roof has a U-Factor of .09 or .05.



PARMA Roof Panel

*PARMA is a trademark of Star Manufacturing Company.
Complete specifications and design data for the above wall and roof systems is available upon request.

SUPERIOR INSULATION



Steel Panel and 1 1/2 inch Insulation

24 inch Concrete Blocks

A metal building system means efficient insulation because steel is non-porous and it won't crack. Steel panels with 1 1/2-inch thick fiber glass of 1/2-pound density, and vapor barrier, provide an insulating barrier better than 3" thicknesses of 8-inch thick, 3 oval core, sand and gravel aggregate concrete blocks.

GUARANTEED COLOR FINISHES

Star offers a dual line of guaranteed panel color finishes in eight standard colors. Sample color chips are available upon request. All **STARCOTE**® Color Guarantees only cover building panels exposed to normal weather conditions on the continent of North America and will be extended to other areas of the world only on written consent of Star Manufacturing Company.

STARCOTE® sidewall color finishes are guaranteed for 5 or 10 years against chipping, cracking, blistering or peeling, excessive fading and chalking. They will not chalk in excess of ASTM D-659-44 No. 8 Specification Test and will not fade more than 5.0 Delta E from the Modified Adams Color Coordinate System as measured by any accepted Testimeter. Standard colors available are: **Antique White, Spanish Gold, Colony Blue, Puckskin, Dusk Green, Deep Olive and Horizon Blue.** Sample guarantees are available upon request.

STARCOTE® roof color finishes are guaranteed for 3 or 10 years against chipping, cracking, blistering or peeling. In addition, the 10 year finish is guaranteed against excessive fading and chalking. It will not chalk in excess of ASTM D-659-44 No. 6 Specification Test and will not fade more than 5.0 Delta E from the Modified Adams Color Coordinate System as measured by any accepted Testimeter. Standard colors are: **Marble White, guaranteed for 3 years, and Antique White, guaranteed for 10 years.** Sample guarantees are available upon request.

COMPLETE SELECTION OF ACCESSORIES

DOORS — Star offers a complete line of doors for all building types.

WINDOWS — Aluminum and steel windows provide virtually maintenance-free service, maximum illumination and ventilation.

SKYLIGHTS — Standard plastic skylights in white are available as well as the Star insulated, two-piece skylight. All are easily field installed.

FASTENERS — Star's Dura-80® Wall System uses #12 x 5/8" self-tapping or #12 x 7/8" self-drilling fasteners. Roof fasteners will be #14 x 3/4" self-tapping or #12 x 1" self-drilling fasteners. Star's UNI-THERM® Wall System uses #12 x 1/4" self-expanding lock bolts which are installed from the inside of the building providing a cleaner exterior appearance.

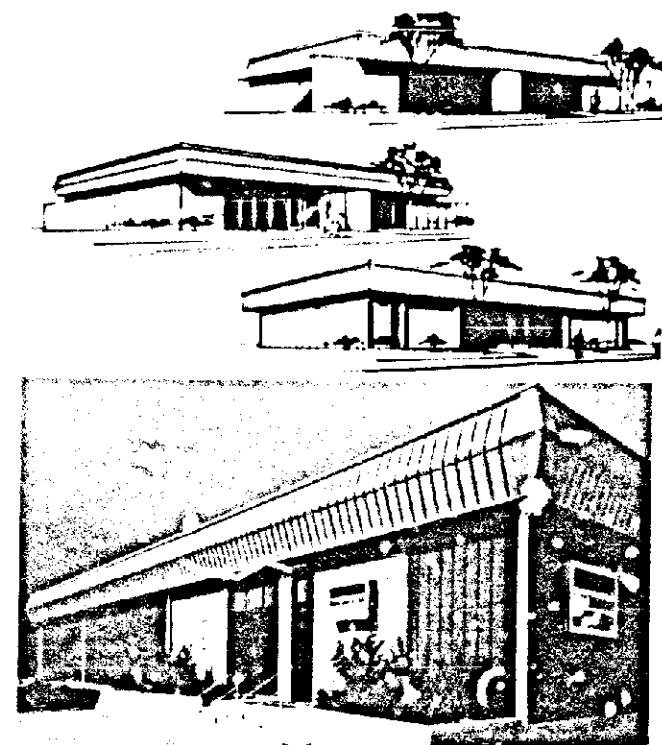
VENTILATORS — Two low profile, longlife types are available. Univent is a gravity type ventilator, engineered to provide maximum air transmission efficiency. It is available in single 9-foot units or continuous units in multiples of 9 feet. Monovent is a highly efficient, circular gravity type ventilating unit. It is factory installed in the ridge cap panel and is available in 20" and 24" throat dimensions.

ROOF EXTENSIONS — Star offers three basic roof extension systems. The **Structural Canopy** enhances the beauty of your STAR BUILDING while providing shelter to entrance areas, walkways and loading docks, shielding them from wind, rain, hail and snow. Standard widths available are 5 and 10 feet. A **Simline Canopy** adds a finished architectural touch to your building in addition to providing all-weather protection. This canopy system is available in a 3, 4 or 5 foot extension. A **Gable Overhang** provides a building with a flattering completed appearance while protecting walkways and glass entrance areas from rain, hail and snow. Standard widths available are 3 and 6 feet.

NEW DIMENSION IN DESIGN FROM STAR COMMAND FACADES

Star Command Facades with the shape of things to come are created to provide an unusual accent feature. Facades are formed of galvanized structural steel and factory coated color paneling. Star Command Facades provide a definite "flat roof" appearance.

Star offers a Mansard, Convex, or Vertical configuration. Facades are not recommended for heavy snow areas.



ROOF SYSTEMS

The STARBUIL® 30 and 90 roof systems are classified by the UNDERWRITERS LABORATORIES, INC.® UNDERWRITERS LABORATORIES, INC. classified the DURA-80 type metal roof deck panel as to wind uplift resistance only, class 30 and 90, as shown by Construction NO. 59. See U.L. Classified Building Materials Index.

MATERIAL GUARANTEE

Every Star Building® has a one-year Material Guarantee against defects in material composition, fabrication workmanship, and faults inherent in building design. A sample copy of this guarantee is available upon request.

NATIONAL STANDARDS

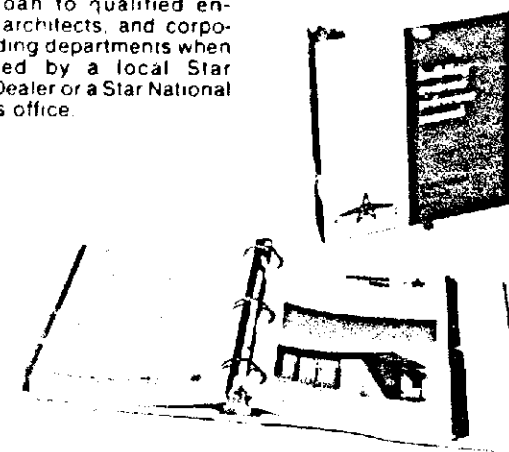
Star is a member of the Metal Building Manufacturers' Association (MBMA) and recognizes the design criteria of the American Iron and Steel Institute (AISI) and the American Institute of Steel Construction (AISC). Star Buildings® are designed under the supervision of a Registered Professional Engineer.



PLANNING INFORMATION 13.6 / St

In Star's Building Systems Reference Manual the designer will find everything necessary to plan his construction project using a Star Building System. In it may be found structural, wall and roof systems, exterior trim, interior finishing, and accessory data. Also guarantees, technical planning aids, construction details, photos, diagrams, and other related information.

This helpful manual is available on loan to qualified engineers, architects, and corporate building departments when sponsored by a local Star Builder, Dealer or a Star National Accounts office.



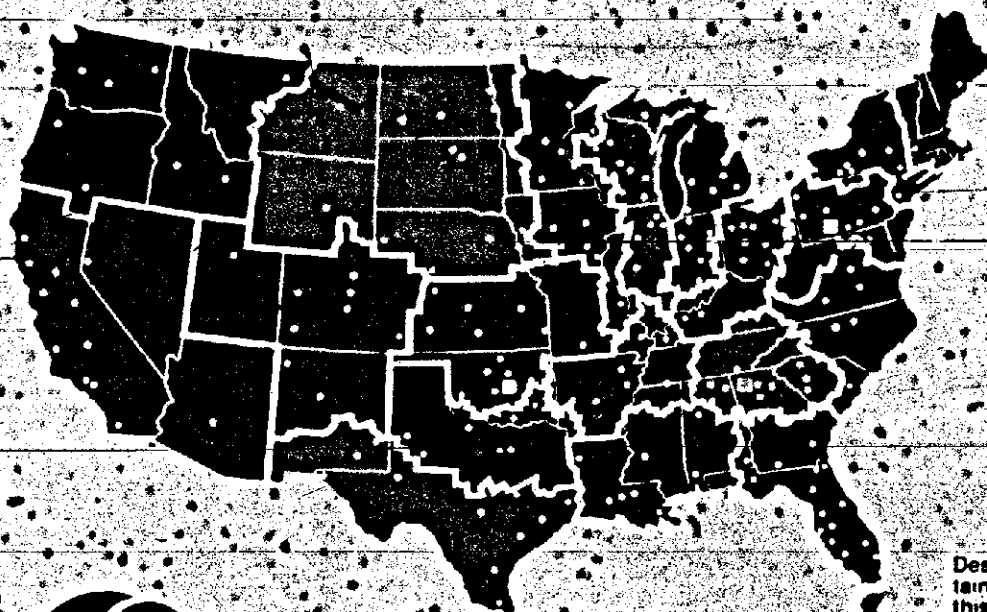
A Special Report to Building Planners gives a timely analysis of the economic advantage of metal building systems. It presents an objective guide to total building planning from site selection to final landscaping. A handy 4-page pull-out section provides a comprehensive check list of 150 basic decisions to make before building.



Star's Prestige Brochure is a high quality, 22-page booklet that illustrates in words and color photographs how Star Building Systems can solve any number of building problems. In addition, the brochure discusses the versatility of the Star System and the professional capabilities of Star's Dealers.

Design And Construction Data on Star Building Systems (TD-1 brochure) gives detailed information on Star Building Systems. It explains how each structural system works and lists available sizes. In addition, TD-1 displays and discusses the wide range of accessory facade and trim systems available.





**STAR METAL
BUILDING SYSTEMS
SERVE THE NATION**

- Star Builder Dealers
- Manufacturing Plants
- Sales Districts

Descriptions and specifications contained herein were in effect at the time this publication was approved for printing. We reserve the right to discontinue products at any time or change specifications and/or designs without notice and without incurring obligation.

6 STAR ADVANTAGES FOR BUILDING DESIGNERS

1. **SERVICE.** With its three major manufacturing plants and nearly 300 Builder/Dealers throughout the nation, Star's total service is available in your area.
2. **FLEXIBILITY.** Star Metal Building Systems components are almost unlimited in their application, with over 7,100 different standard building size-load combinations and others available as special designs. Designers can give their imaginations free reign in considering structural design possibilities.
3. **BEAUTY-ABILITY.** Glass, brick, masonry, plastic and other building materials can be blended with Star structural systems and wall panels to produce a structure with great eye appeal. Architects have complete esthetic flexibility.
4. **EXPERIENCE.** With more than 40,000 of its buildings now in use, Star Manufacturing Company has a wealth of experience ready to help solve your building problem.
5. **SPEED.** Star is geared to meet the demands of today's "need it now" management. STAR BUILDINGS are manufactured and erected in weeks. System components are manufactured in one place, then fit together easily at the construction site to save erection time.
6. **COST.** Computer designing, system components and automated factory fabrication keeps STAR BUILDING costs low. Because erection is simple, it is lower in cost. And the building is ready for occupancy sooner, which is often translatable into dollars.

Get the name and address of your nearest Star Builder/Dealer from one of these National Account or Regional Offices.

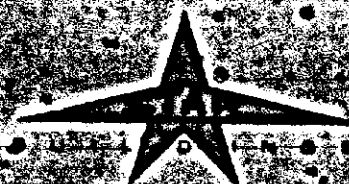
New York 212-697-5840
Chicago 312-565-0230

Birmingham 205-871-7468
Oklahoma City 405-636-2010

STAR MANUFACTURING COMPANY

8600 S. Interstate 35 Box 94910, Oklahoma City, Oklahoma 73109

Serving the Nation from Production Facilities in Oklahoma City, Cantonment, Georgia, and Homer City, Pennsylvania



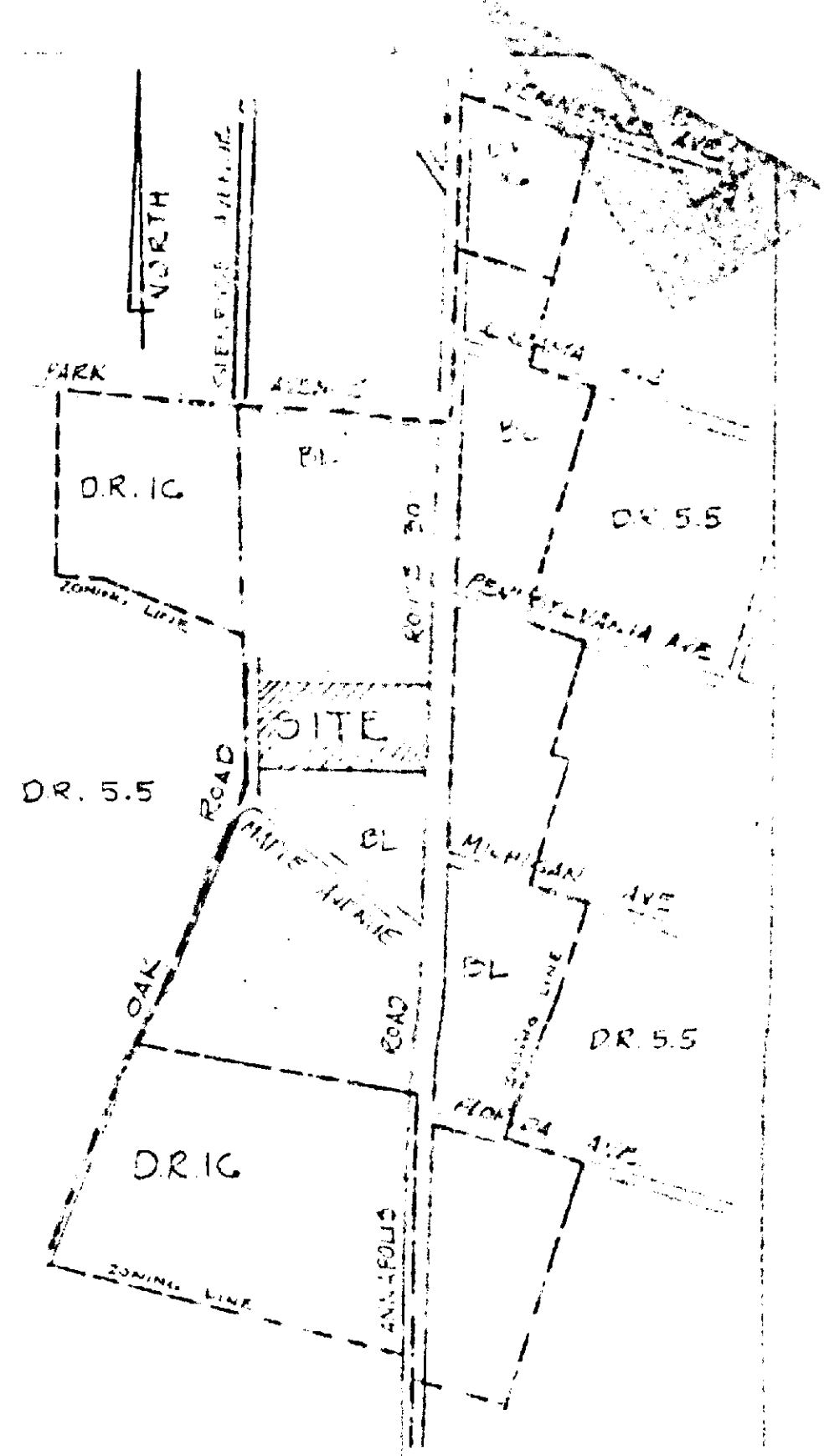
NOTES: GRADUATED SLOPES FROM EXISTING TO
GRADE: 1/2" PER FOOT

17,550
17,550

DR-5.5

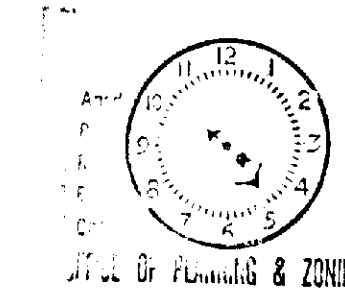
DR-16

ZONING DATA
1. GROSS ACRES OF TRACT 0.5012 AC
2. EXISTING ZONING OF TRACT BL
3. PROPOSED USE SERVICE GARAGE
4. PROPOSED ZONING PL WITH A SPECIAL
EXCEPTION FOR A SERVICE GARAGE
5. BUILDING AREA 5000 SQ FT
6. REQUIRED PARKING 5000/201 = 25 SPACES
7. PROVIDED PARKING 40 SPACES



LOCATION & ZONING MAP
SCALE: 1"=200'

OFFICE OF
JULY 21, 1970
REVISED PLANS
JUN 27 79 PM



4010 ANNAPOLIS ROAD
ZONING PLAT
FISHER PROPERTY

14TH ELECTION DISTRICT BALTIMORE COUNTY, MD
DATE: 11/70
JULY 21, 1970
VALLEY & ALBERTA A. FISHER
3045 HOLLAND FERRY ROAD
BALTIMORE, MD 21227

REVISIONS: 25-1070
25-1070
REVISED JUNE 21, 1970

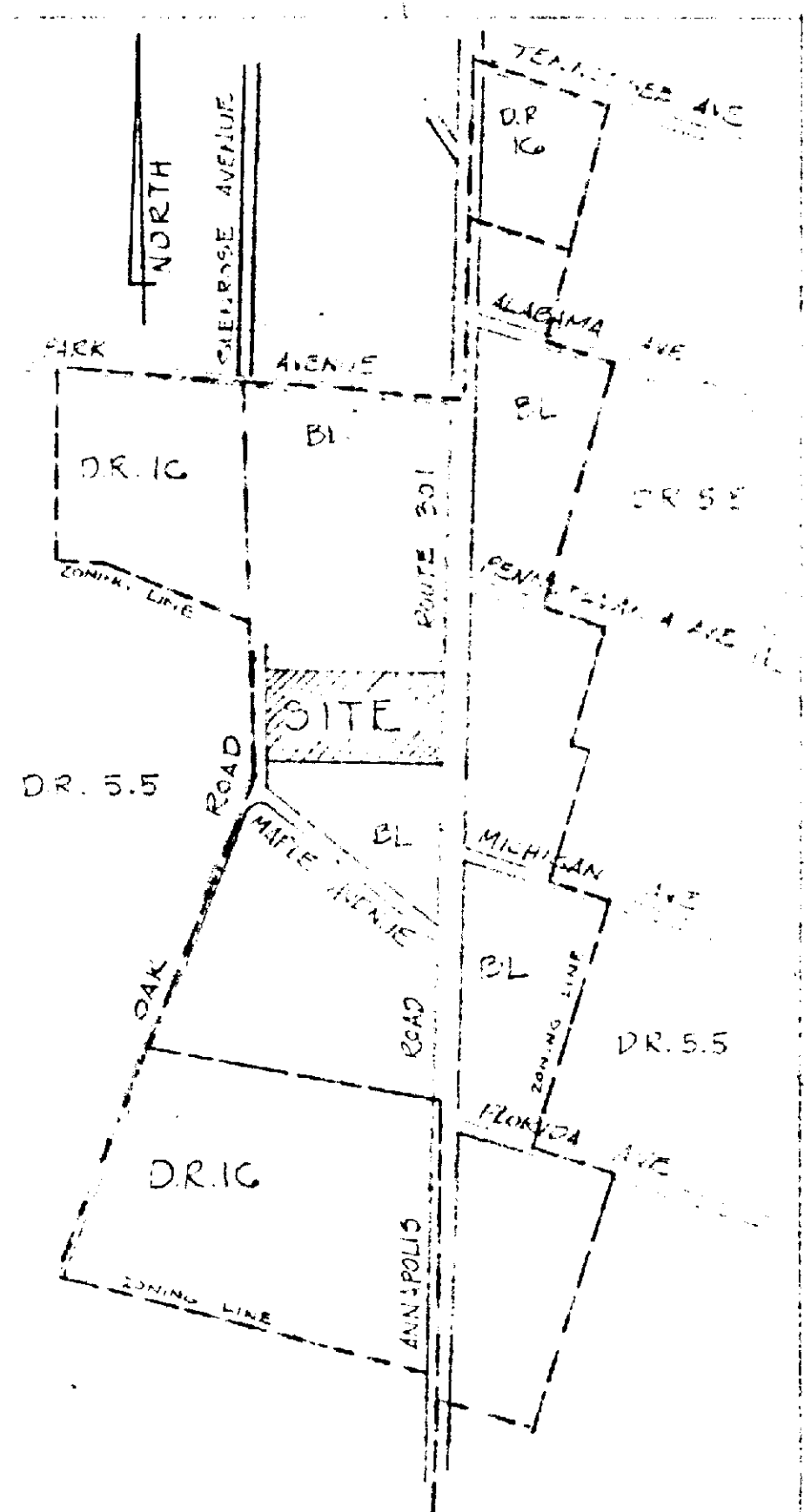
7/21/70
J. W. FISHER, ENGINEER
7005 WINDYBROOK DRIVE, BALTIMORE, MD 21227

BL

DR-5.5

DR-16

ZONING DATA
1. GROSS ACRES OF TRACT 0.5012 AC
2. EXISTING ZONING OF TRACT BL
3. PROPOSED USE SERVICE GARAGE
4. PROPOSED ZONING PL WITH A SPECIAL
EXCEPTION FOR A SERVICE GARAGE
5. BUILDING AREA 5000 SQ FT
6. REQUIRED PARKING 5000/201 = 25 SPACES
7. PROVIDED PARKING 41 SPACES



LOCATION & ZONING MAP
SCALE: 1"=200'

4010 ANNAPOLIS ROAD
ZONING PLAT
FISHER PROPERTY

14TH ELECTION DISTRICT BALTIMORE COUNTY, MD
DATE: 11/70
JULY 21, 1970
VALLEY & ALBERTA A. FISHER
3045 HOLLAND FERRY ROAD
BALTIMORE, MD 21227

REVISIONS: 25-1070
25-1070
REVISED JUNE 21, 1970

7/21/70
J. W. FISHER, ENGINEER
7005 WINDYBROOK DRIVE, BALTIMORE, MD 21227

Beginning of
Zoning Description BL

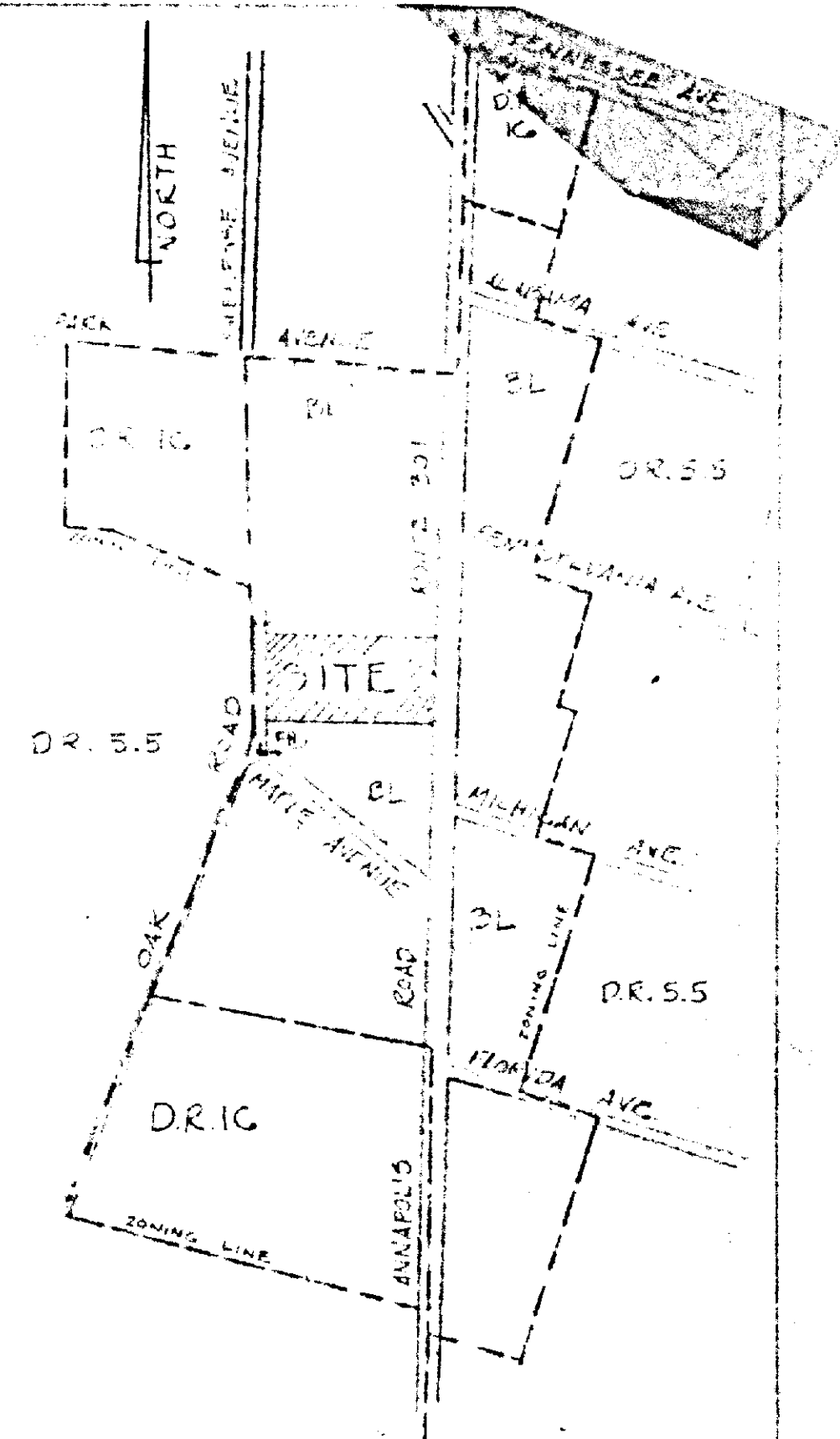
NOTE: COORDINATES SCALED FROM BALTIMORE COUNTY UTILITY PLAN.

DR. - 1G

DR. - 5.5

ZONING DATA

- 1 GROSS ACREAGE OF TRACT 0.501² AC
- 2 EXISTING ZONING OF TRACT BL
- 3 PROPOSED USE SERVICE GARAGE
- 4 PROPOSED ZONING BL WITH A SPECIAL EXCEPTION FOR A SERVICE GARAGE
- 5 BUILDING AREA 5000 SF
- 6 REQUIRED YARDING 5000/20 = 250 STAGES
- 7 PROPOSED YARDING 40 STAGES



LOCATION & ZONING MAP
SCALE: 1"=200'

NOTE: THE DATA HEREIN IS BASED ON THE RECORDS OF THE BALTIMORE COUNTY PLANNING & ZONING DEPARTMENT.

REVISED PLANS

JUL 26 79 AM

1000 ANNAPOLIS ROAD

FISHER PROPERTY

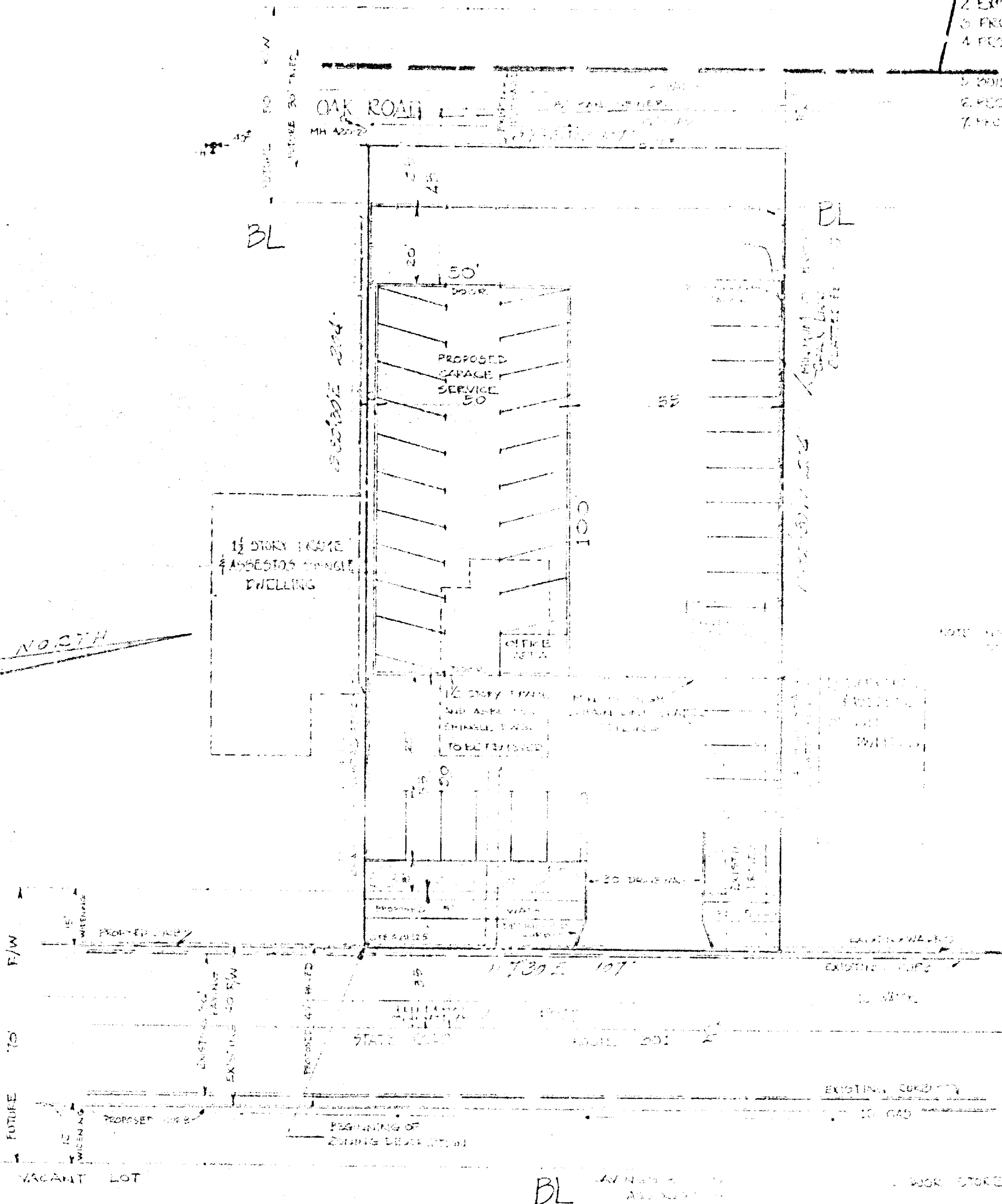
10TH ELECTION DISTRICT BALTIMORE COUNTY
SCALE 1"=200' JANUARY 11, 1970

PETITIONED BY
VOLLEY E. FISHER & ALBERTA A. FISHER
3315 WILSON FERRY ROAD
BALTIMORE, MD 21227

APPROVED BY
BALTIMORE COUNTY PLANNING & ZONING DEPARTMENT
JULY 26, 1979

REVISED TO 25, 1970
REVISED TO 21, 1970
REVISED JUNE 21, 1970
REVISED JULY 23, 1971

7/26/79
BALTIMORE COUNTY PLANNING & ZONING DEPARTMENT
7036 HARTFORD, BALTIMORE, MD 21224



BL

WORK STORE

ORDER RECEIVED FOR FILING

DATE October 1, 1979
BY John E. Seffert
ADMINISTRATIVE ASSISTANT

Pursuant to the advertisement, posting of property, and public hearing on the above Petition and it appearing that by reason of the requirements of Section 502.1 of the Baltimore County Zoning Regulations having been met, the Special Exception for a service garage should be granted.

Therefore, IT IS ORDERED by the Zoning Commissioner of Baltimore County, this 17th day of October, 1979, that the herein Petition for Special Exception for a service garage should be and the same is GRANTED, from and after the date of this Order, subject, however, to the following restrictions:

- Emergency access only from Oak Avenue shall be controlled by a chain-locked gate entrance for fire vehicular use.
- Hours of operation shall be from 8:00 a.m. to 6:00 p.m. on weekdays and no later than 1:00 p.m. on Saturday.
- Parking area shall be paved with macadam paving, with balance of area to be of a dustless, durable surface.
- Fencing shall be eight feet in height, extending from the front of the new improvements along the side and rear lot lines, and shall be screened from the Oak Avenue residences with vine cover or plantings.
- A side yard setback of ten feet shall be provided between the new improvements and the south property line.
- Compliance with the comments submitted by the Maryland Department of Transportation, State Highway Administration, dated April 30, 1979.
- The business operation, together with the proposed improvements, shall be in strict compliance with Section 405A of the Baltimore County Zoning Regulations.
- All damaged automotive parts shall be removed from the premises weekly.
- A revised site plan shall be submitted, incorporating all of the above applicable restrictions, and approved by the State Highway Administration, the Department of Public Works, and the Office of Planning and Zoning, including landscaping and screening approval by the Current Planning and Development Division.

William E. Hammond
Zoning Commissioner of
Baltimore County



STEPHENE COLLINS
DIRECTOR

July 5, 1979

Mr. William Hammond
Zoning Commissioner
County Office Building
Towson, Maryland 21204

Item No. 212 -ZAC- Meeting of April 24, 1979
Property Owner: Nolley P. & Helen T. Fisher
Location: W/S Annapolis Rd. 200' N Maple Rd.
Existing Zoning: B.L.
Proposed Zoning: Special Exception for a service garage
Acres: 0.501
District: 13th

Dear Mr. Hammond:

The requested special exception for a service garage is not expected to have a major effect on traffic.

Very truly yours,

Michael S. Flanigan
Michael S. Flanigan
Engineer Associate II

MSP/mjm



DONALD J. ROOP, M.D., M.P.H.
DEPUTY STATE AND COUNTY HEALTH OFFICER

June 21, 1979

Mr. William E. Hammond, Zoning Commissioner
Office of Planning and Zoning
County Office Building
Towson, Maryland 21204

Dear Mr. Hammond:

Comments on Item # 212, Zoning Advisory Committee meeting of April 24, 1979, are as follows:

Property Owner: Nolley P. & Helen T. Fisher
Location: W/S Annapolis Rd. 200' N Maple Rd.
Existing Zoning: B.L.
Proposed Zoning: Special Exception for a service garage
Acres: 0.501
District: 13

Metropolitan water and sewer exist.

If lubrication work and oil changes are performed at this location, revised plans must be submitted showing method providing for the elimination of waste oil in accordance with Water Resources Administration requirements.

A Permit to Construct from the Division of Air Pollution Control is required for such items as paint spray processes, underground gasoline storage tank (s) (5,000 gallons or more) and any other equipment or process which exhausts into the atmosphere.

Very truly yours,

Ian J. Forrester
Ian J. Forrester
Director
BUREAU OF ENVIRONMENTAL SERVICES

IJF/JRP:ph

cc: W. Phillips



Paul H. Reincke
CHIEF

May 21, 1979

Office of Planning and Zoning
Baltimore County Office Building
Towson, Maryland 21204

Attention: Mr. Commodari, Chairman
Zoning Advisory Committee

Re: Property Owner: Nolley P. & Helen T. Fisher

Location: W/S Annapolis Rd. 200' N Maple Rd.

Item No. 212 Zoning Advisory Committee Meeting of 4/24/79

Dear Sir:

Pursuant to your request, the referenced property has been surveyed by this Bureau and the comments below marked with an "X" are applicable and required to be corrected or incorporated into the final plans for the property.

(X) 1. Fire hydrants for the referenced property are required and shall be located at intervals of 200 feet along an approved road in accordance with Baltimore County Standards as published by the Department of Public Works.

() 2. A second means of vehicle access is required for the site.

() 3. The vehicle dead end condition shown at _____ exceeds the maximum allowed by the Fire Department.

(X) 4. The site shall be made to comply with all applicable parts of the Fire Prevention Code prior to occupancy or beginning of operations.

() 5. The buildings and structures existing or proposed on the site shall comply with all applicable requirements of the National Fire Protection Association Standard No. 101 "Life Safety Code", 1973 Edition prior to occupancy.

() 6. Site plans are approved as drawn.

() 7. The Fire Prevention Bureau has no comments, at this time.

Reviewed by H. P. Kelly
Planning Group
Special Inspection Division

Noted and Approved by George M. Hegmann
Fire Prevention Bureau

BOARD OF EDUCATION OF BALTIMORE COUNTY

TOWSON, MARYLAND - 21204

Date: April 23, 1979

Mr. S. Eric DiNenna
Zoning Commissioner
Baltimore County Office Building
Towson, Maryland 21204

Z.A.C. Meeting of: April 24, 1979

RE: Item Nos. 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223
Property Owner:
Location:
Present Zoning:
Proposed Zoning:

District:
No. Acres:

Dear Mr. DiNenna:

All of the above have no bearing on student population.

Very truly yours,

W. Nick Petrovich
W. Nick Petrovich,
Field Representative

SEPH N. MCGOWAN, PRESIDENT
ATARD WILLIAMS, JR., VICE-PRESIDENT
S. M. ROZARIS

THOMAS H. BOYER
MRS. LORRAINE P. CHIRCUA
ROGER B. HAYDON

ALVIN LORBER
MRS. MILTON R. SMITH, JR.
RICHARD W. TRACY, DVM.

ROBERT V. DUBEL, SUPERINTENDENT

RE: PETITION FOR SPECIAL EXCEPTION : BEFORE THE ZONING COMMISSIONER
W/S of Annapolis Rd. 200'
N of Maple Rd., 13th District : OF BALTIMORE COUNTY
NOLLEY P. FISHER, SR., et ux, : Case No. 80-24-X
Petitioners

ORDER TO ENTER APPEARANCE

Mr. Commissioners:

Pursuant to the authority contained in Section 524.1 of the Baltimore County Charter, I hereby enter my appearance in this proceeding. You are requested to notify me of any hearing date or dates which may be now or hereafter designated therefore, and of the passage of any preliminary or final Order in connection therewith.

Peter Max Zimmerman
Peter Max Zimmerman
Deputy People's Counsel

John W. Hession, III
John W. Hession, III
People's Counsel for Baltimore County
County Office Building
Towson, Maryland 21204
494-2188

I HEREBY CERTIFY that on this 9th day of July, 1979, a copy of the foregoing Order was mailed to Julian S. Brewer, Jr., Esquire, 5420 Carville Avenue, Baltimore, Maryland 21227, Attorney for Petitioners.

John W. Hession, III
John W. Hession, III

RE: PETITION FOR SPECIAL EXCEPTION : BEFORE THE ZONING COMMISSIONER
for Service Garage
W/S of Annapolis Rd., 200'
N of Maple Ave., 13th District : OF BALTIMORE COUNTY
NOLLEY P. FISHER, SR., et ux, : Case No. 80-24-X (Item 212)
Petitioners

ORDER FOR APPEAL

Mr. Commissioners:

Please note on appeal from your decision in the above-entitled matter, under date of October 17, 1979, to the County Board of Appeals and forward all papers in connection therewith to said Board for hearing.

Peter Max Zimmerman
Peter Max Zimmerman
Deputy People's Counsel

John W. Hession, III
John W. Hession, III
People's Counsel for Baltimore County
County Office Building
Towson, Maryland 21204
494-2188

I HEREBY CERTIFY that on this 15th day of November, 1979, a copy of the foregoing Order for Appeal was mailed to Julian S. Brewer, Jr., Esquire, 5420 Carville Avenue, Baltimore, Maryland 21227, Attorney for Petitioner; Mrs. Russell Adcock, 4018 Annapolis Road, Baltimore, Maryland 21227; Mr. and Mrs. Joseph Volz, 4027 Annapolis Road, Baltimore, Maryland 21227; Mrs. Gertrude Holbein, 4016 Oak Road, Baltimore, Maryland 21227; and Mrs. Dolores O'Connell, 3019 Michigan Avenue, Baltimore Maryland 21227.

John W. Hession, III
John W. Hession, III

RE: PETITION FOR SPECIAL EXCEPTION : BEFORE
for Service Garage : COUNTY BOARD OF APPEALS
W/S of Annapolis Rd., 200' :
N of Maple Ave., 13th District : OF
NOLLEY P. FISHER, SR., et ux, : BALTIMORE COUNTY
Petitioners :
No. 80-24-X
(Item No. 212)

ORDER OF DISMISSAL

Petition of Nolley P. Fisher, Sr., et ux, for Special Exception for a Service Garage, on property located on the west side of Annapolis Road, 200' north of Maple Avenue, in the 13th District of Baltimore County.

WHEREAS, the Board of Appeals is in receipt of a letter of withdrawal of petition filed September 28, 1981 (a copy of which letter is attached hereto and made a part hereof) from the attorney representing the Petitioners in the above entitled matter.

WHEREAS, the said attorney for the said Petitioners requests that the petition filed on behalf of said Petitioners be withdrawn as of September 28, 1981.

It is hereby ORDERED this 29th day of September, 1981, that said petition be and the same is withdrawn and dismissed.

COUNTY BOARD OF APPEALS
OF BALTIMORE COUNTY

William T. Hackett
Patricia Phipps
Leroy B. Spurrier

PETITION FOR SPECIAL EXCEPTION
13th District

ZONING: Petition for Special Exception for a Service Garage
LOCATION: West side of Annapolis Road, 200 feet North of Maple Road
DATE & TIME: Tuesday, July 31, 1979 at 11:00 A.M.
PUBLIC HEARING: Room 106, County Office Building, 111 W. Chesapeake Avenue, Towson, Maryland

The Zoning Commissioner of Baltimore County, by authority of the Zoning Act and Regulations of Baltimore County, will hold a public hearing:

Petition for Special Exception for a service garage (body and fender repair, car repair, etc.)

All that parcel of land in the Thirteenth District of Baltimore County

Being the property of Nolley P. Fisher, Sr. and Helen T. Fisher, as shown on plat plan filed with the Zoning Department

Hearing Date: Tuesday, July 31, 1979 at 11:00 A.M.
Public Hearings: Room 106, County Office Building, 111 W. Chesapeake Avenue, Towson, Maryland

BY ORDER OF
WILLIAM E. HAMMOND
ZONING COMMISSIONER
OF BALTIMORE COUNTY

494-3180

COUNTY BOARD OF APPEALS
Room 219 Court House
Towson, Md. 21204

June 11, 1980

Hearing Room 218

NOTICE OF POSTPONEMENT

CASE NO. 80-24-X NOLLEY P. FISHER, SR., et ux
For SE-Service Garage
W/S Annapolis Rd., 200' N. of Maple Ave.
13th District
10/17/79 - Z.C. GRANTED SE, with restrictions
Assigned for hearing on THURSDAY, JUNE 19, 1980, at 10 a.m., has been POSTPONED by the Board at the request of Counsel for the Petitioners.
cc: Julian S. Brewer, Jr., Esq. Counsel for Petitioners
Mr. & Mrs. N. P. Fisher, Sr. Petitioners
Charles E. Kountz, Jr., Esq. Counsel for Protestants
Mr. Russell Adcock Protestant
Mrs. Gertrude Holbein
Mrs. Dolores O'Connell Requested Notification
Alice & Cornell Rubenstein
Ms. Catherine Owings
Mrs. Evelyn Jones
John W. Hession, III, Esq. People's Counsel
Mr. J. E. Dyer
Mr. W. E. Hammond
Mr. J. Hoswell

June Holmen, Secretary



BUILDING SYSTEMS, INC.
June 13, 1978

Mr. Nolley Fisher
3318 Hollins Ferry Rd.
Baltimore, Md. 21227

Re: Service Facility
Hollins Ferry Rd.

Dear Mr. Fisher:

We hereby submit for your review our proposal on the above complete as follows.

Description:
Furnish necessary labor, tools and equipment to erect one (1) 50' x 100' long (25' bays) x 14' high at the eave metal building. Structural steel to be standard bolted connections for primary and secondary members with no field requirements. Roof and wall panels to have self-drilling fasteners for panel to structural connection.

Accessories to be as follows:
A) (2) 20' x 12' sliding doors
B) (1) 3' x 7' hollow metal service door
C) (32) 3' high wall translucent panels

Exclusions:
A) Eave gutter and downspout assembly
B) Mechanical openings (Roof and walls).

General Conditions:
1) Material storage 20' from building site.
2) 20' accessibility around building.
3) 20' min. stone or equal stabilized roadway around building.
4) Bolted connection for primary & secondary framing, no field welding.
5) Self-drilling fasteners for panel to structural connection.

Price of the above labor & equipment to be for the sum of \$6,400.00.

Thank you for your interest.

Very truly yours,

RINK BUILDING SYSTEMS, INC.

GHR:em Gerald H. Rink
COMMERCIAL AND INDUSTRIAL BUILDERS • ELK RIDGE INDUSTRIAL PARK • C339 HOWARD LANE • ELK RIDGE, MD. 21227 • 796-1540 (403)

494-3180

County Board of Appeals
Room 219, Court House
Towson, Maryland 21204

October 6, 1980

NOTICE OF ASSIGNMENT

NO POSTPONEMENTS WILL BE GRANTED WITHOUT GOOD AND SUFFICIENT REASONS. REQUESTS FOR POSTPONEMENTS MUST BE IN WRITING AND IN STRICT COMPLIANCE WITH BOARD RULE 2(b). ABSOLUTELY NO POSTPONEMENTS WILL BE GRANTED WITHIN FIFTEEN (15) DAYS OF SCHEDULED HEARING DATE IN ACCORDANCE WITH RULE 2(c), COUNTY COUNCIL BILL #108

CASE NO. 80-24-X NOLLEY P. FISHER, SR., ET UX
SE - Service Garage
W/S Annapolis Rd., 200' N. of Maple Ave.
13th District
10/17/79 - Z.C. GRANTED SE, with restrictions
ASSIGNED FOR: THURSDAY, DECEMBER 11, 1980 at 10 a.m.

cc: Julian S. Brewer, Jr., Esq. Counsel for Petitioners
Mr. and Mrs. Nolley P. Fisher, Sr. Petitioners
Charles E. Kountz, Jr., Esq. Counsel for Protestants
Mrs. Russell Adcock Protestant
Mr. and Mrs. Joseph Volz
Mrs. Gertrude Holbein
Mrs. Dolores O'Connell Requested Notification
Alice & Cornell Rubenstein
Ms. Catherine Owings
Mrs. Evelyn Jones
John W. Hession, III, Esq. People's Counsel
Mr. J. E. Dyer
Mr. W. E. Hammond
Mr. J. Hoswell

Edith T. Eisenhart, Adm. Secretary

67-178692
LANE
Clear Span Building Corp.
BOX 952 ADRIAN, MICHIGAN 49221
PHONE 517-263-8474
SALES ORDER
DATE
CUSTOMER
ADDRESS
CITY, STATE & ZIP
COUNTY
BANK
DIRECTIONS
APPROX. SHIPPING DATE
SPECIAL INSTRUCTIONS
TOTAL ALL ITEMS
TAX
FREIGHT
TOTAL
DEPOSIT
BALANCE
BALANCE PAID ON DELIVERY BY CASHIER'S CHECK
BASIC BUILDING DESCRIPTION
BAY SIZE
BLANT WALL
STRAIGHT WALL
GAMBREL
CURVETTE
PIER
PURLINS & GIRTS
WOOD
AGRI
ACCESSORIES
QUANT.
DESCRIPTION
EACH
TOTAL
BUYER'S RIGHT TO CANCEL
I have read and understand the terms of this agreement as stated on reverse side
FIELD REP.
HOME OFFICE CONTACT
CUSTOMER SIGNATURE
Yellow copy - Customer Copy
Pink Copy - Salesman Copy

494-3180

COUNTY BOARD OF APPEALS
Room 219 Court House
Towson, Md. 21204

March 27, 1980

Hearing Room 218

NOTICE OF POSTPONEMENT

CASE NO. 80-24-X NOLLEY P. FISHER, SR., et ux
SE-to use property as a service garage
W/S of Annapolis Road, 200' North of Maple Avenue
13th District
ZC-Ordered on Oct. 17, 1979, that the petition for Special Exception be Granted with restrictions
Assigned for hearing on Tuesday, April 15, 1980, at 9 a.m., has been POSTPONED by the Board at the request of the new attorney for the protestants, as he has a prior commitment in Court.
cc: Julian S. Brewer, Jr., Esq. Counsel for Petitioners
Mr. and Mrs. Nolley Fisher Petitioners
Mrs. Russell Adcock Protestant
Mr. and Mrs. Joseph Volz
Mrs. Gertrude Holbein
Mrs. Dolores O'Connell
Alice & Cornell Rubenstein
John W. Hession, Esq. People's Counsel
J. E. Dyer Zoning
William Hammond
John D. Seyffert Planning
Charles E. Kountz, Jr., Esq. Counsel for Protestants

June Holmen, Secy.

BALTIMORE COUNTY, MARYLAND

INTER-OFFICE CORRESPONDENCE

William E. Hammond
TO: Zoning Commissioner
John D. Seyffert, Director
FROM: Office of Planning and Zoning
SUBJECT: Petition #80-24X Item 212

Petition for Special Exception for a Service Garage
West side of Annapolis Road, 200 feet North of Maple Road
Petitioner - Nolley P. Fisher, Sr. and Helen T. Fisher

13th District

HEARING: Tuesday, July 31, 1979 (11:00 A.M.)

The proposed use would not be inappropriate here; however, if granted, it is requested that the petitioner be required to submit a landscaping plan to the Division of Current Planning and Development and obtain their approval.

John D. Seyffert
John D. Seyffert, Director
Office of Planning and Zoning

JDS:JGH:rw