

CONSENT TO VARIANCE

The undersigned, owners of Lots 11, 12, 13, 14, 3 and 2 respectively in the subdivision known as Quaker Hills, Section 1 and Section 2, as recorded among the Plat Records of Baltimore County in Plat Book EHK, Jr., No. 43, folio 34 and No. 44, folio 136, and First Amended Subdivision Plat of Quaker Hills recorded in Plat Book EHK, Jr., No. 46, folio 140, do hereby consent to the conversion of the barn located on Lot 6 in the said subdivision into a residence, recognizing and specifically consenting hereby to the fact that there is a minimum front setback of ten (10) feet and a side setback of thirty-two (32) feet instead of the front setback of fifty (50) feet, and the side setback of seventy-five (75) feet as shown on the aforesaid plats, the variance having been granted by Order of the Board of Appeals for Baltimore County on February 3, 1981.

WITNESS:

[Signature] Lot 11
[Signature] Lot 12
[Signature] Lot 13
[Signature] Lot 3
[Signature] Lot 2
[Signature]
 By [Signature]
 James W. McKee, General Partner

HOOPER, KIEFER
 & CORNELL
 BALTIMORE, MD. 21201

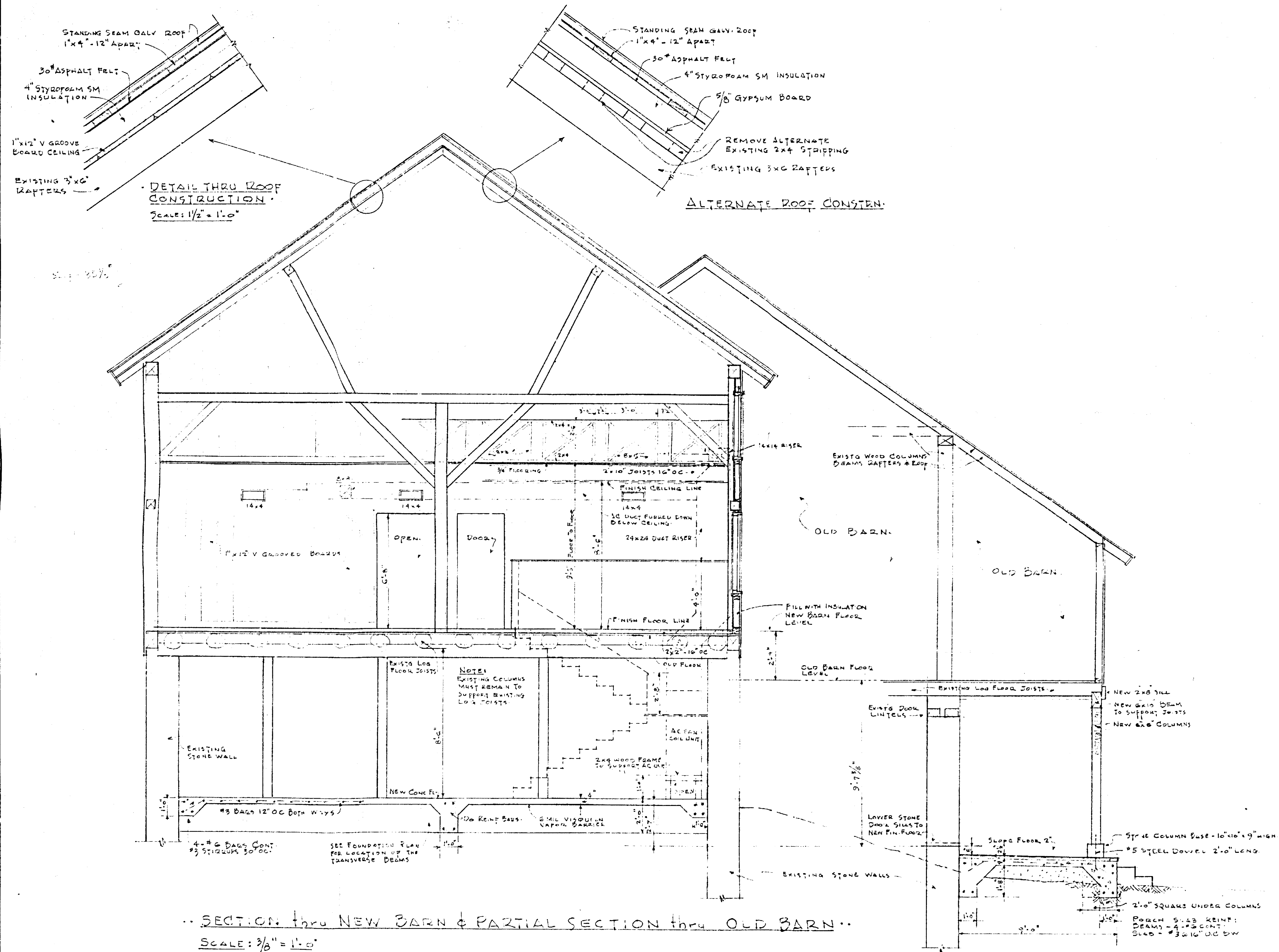
CONSENT TO VARIANCE

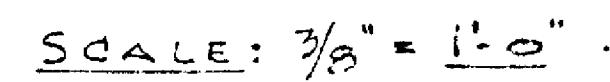
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WITNESS:

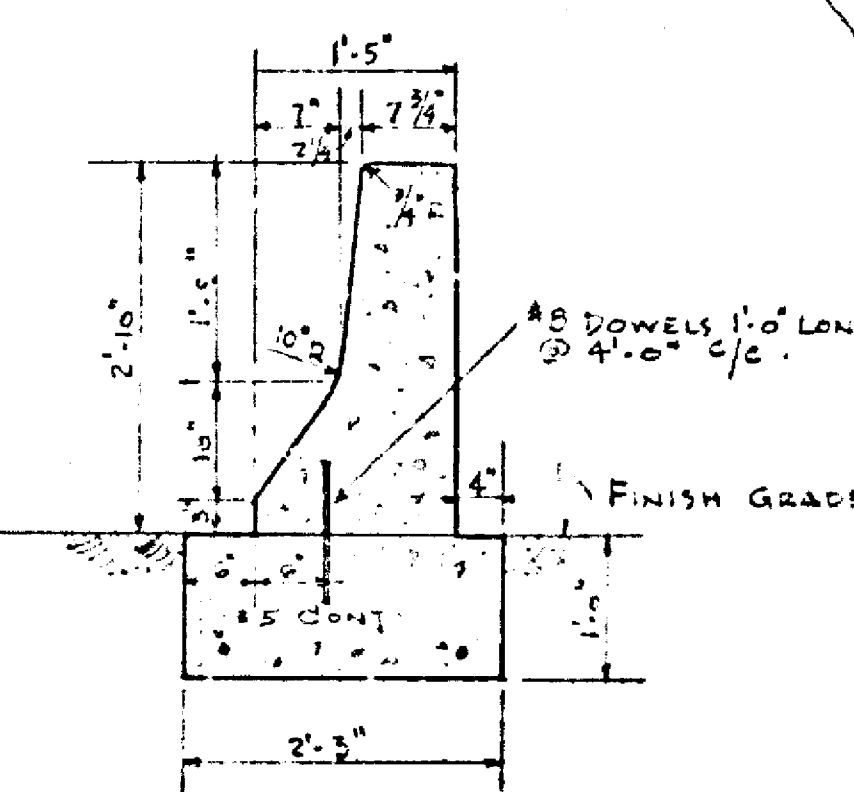
[Signature] Lot 14
[Signature]
[Signature]
[Signature]
[Signature]
[Signature]
[Signature]
 By [Signature]
 James W. McKee, General Partner

HOOPER, KIEFER
 & CORNELL
 BALTIMORE, MD. 21201





STANDARD CONCRETE BARRIER
SINGLE FACE NF MD - 648.01

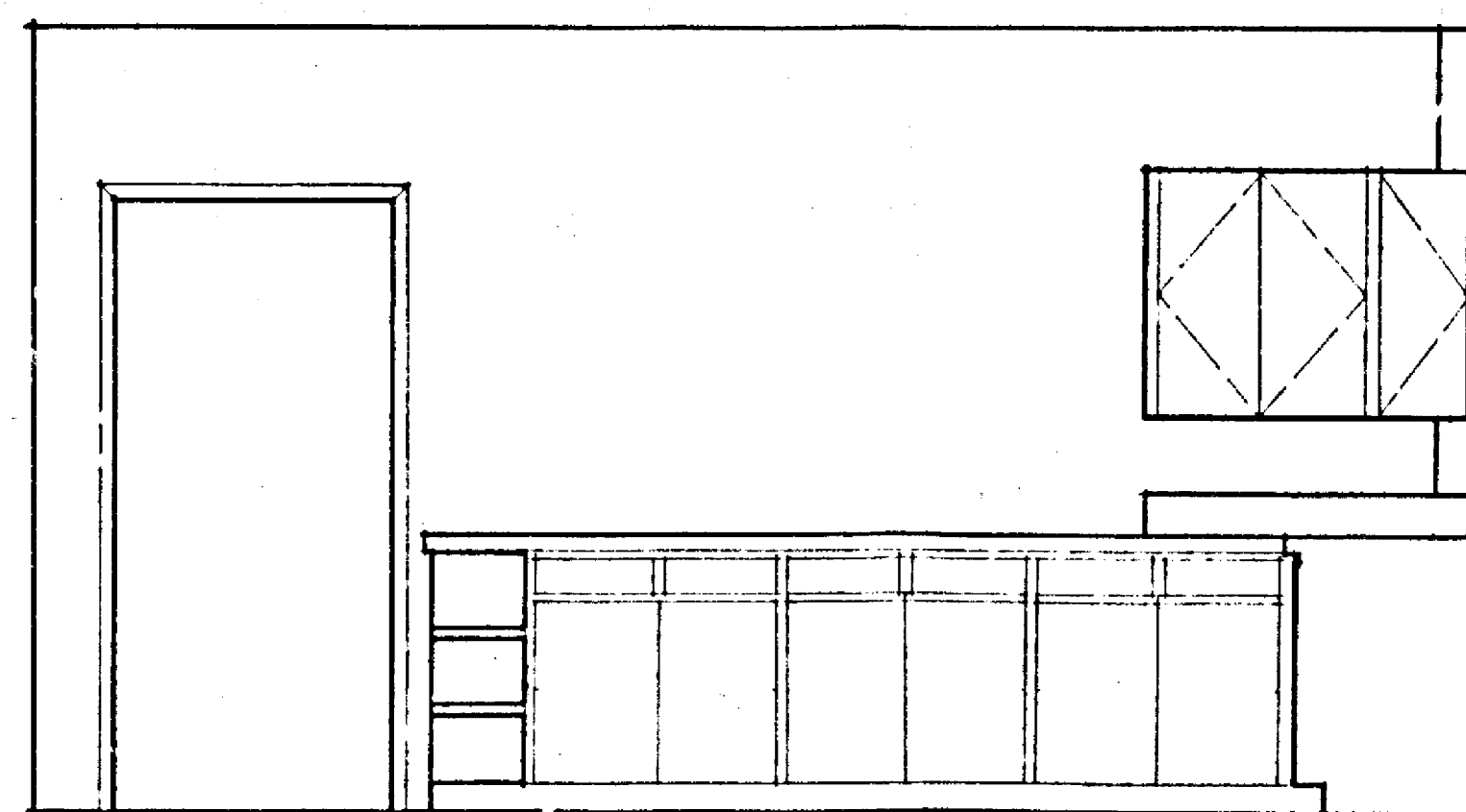


LOCATION OF NEW
CONCRETE BARRIER.

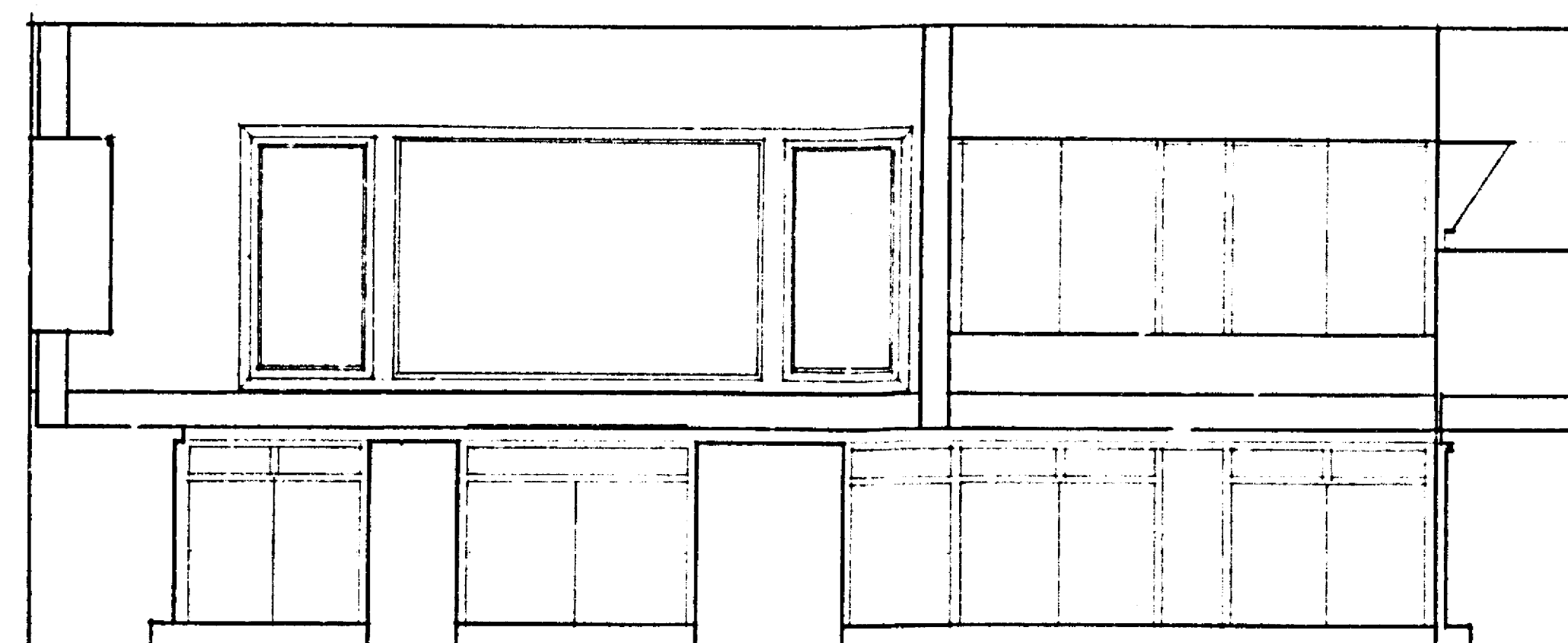
SCALE: $1/16" = 1'-0"$

BOARD OF APPEALS
PETITIONER'S
EXHIBIT

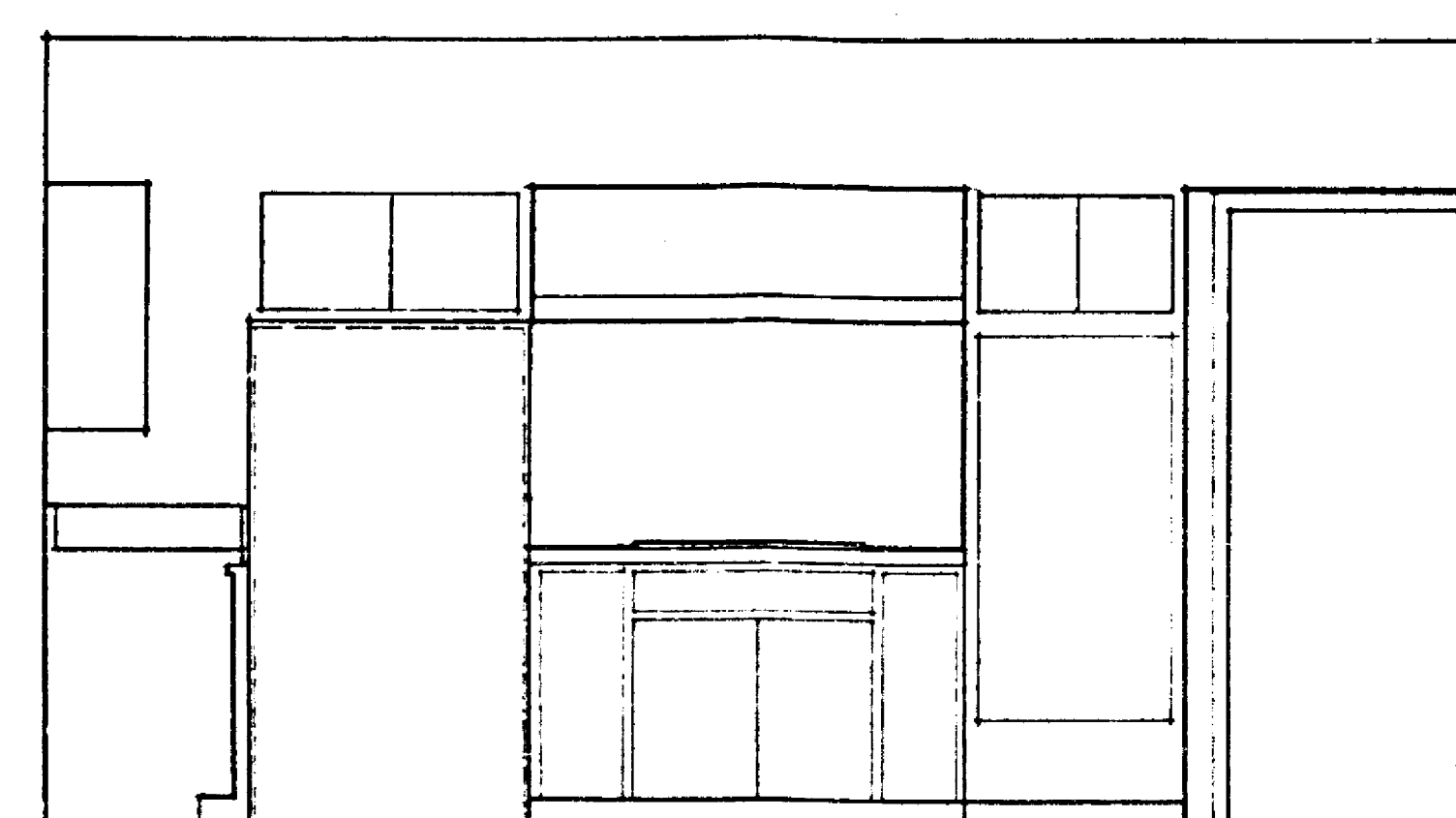
BARN REMODELING FOR
MR & MRS R G WHITTAKER
COCKEYSVILLE, MARYLAND
NOVEMBER 1, 1988 SHEET NO. 3



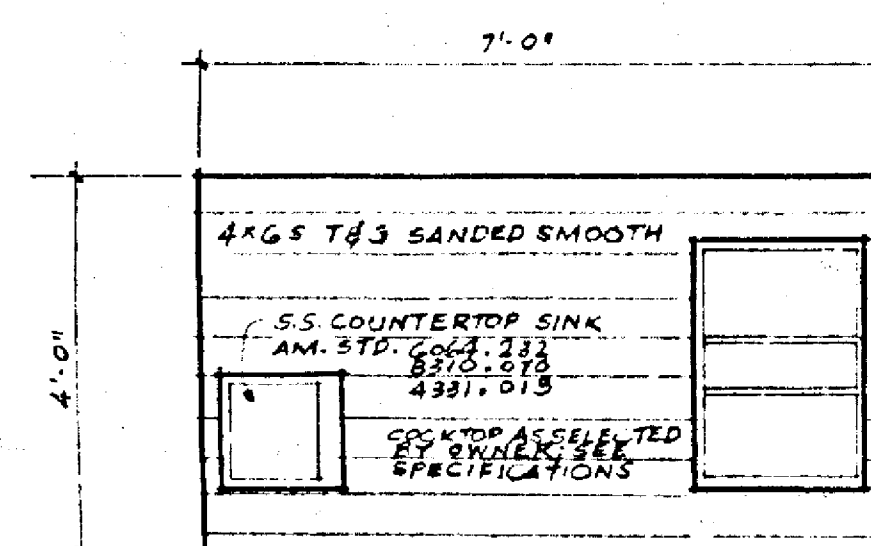
NORTH ELEVATION
SCALE 1/2" = 1'-0"



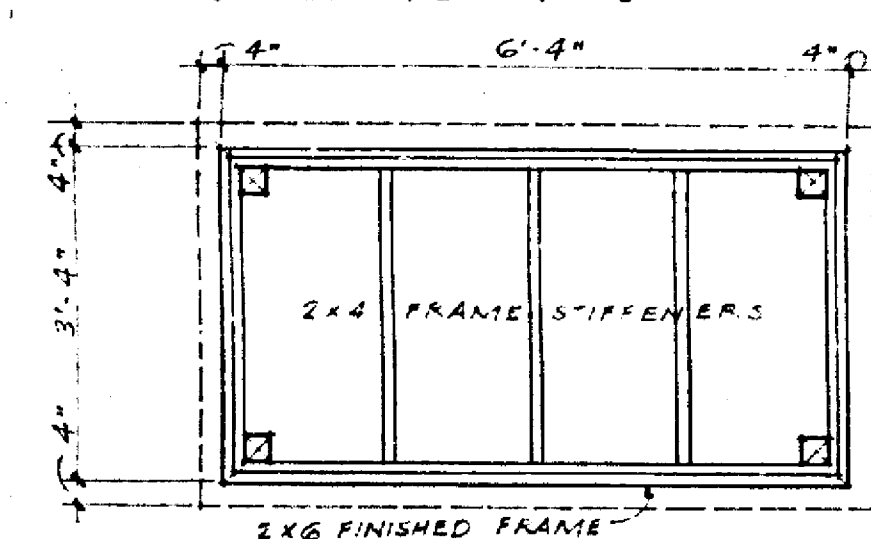
EAST ELEVATION
SCALE 1/2" = 1'-0"



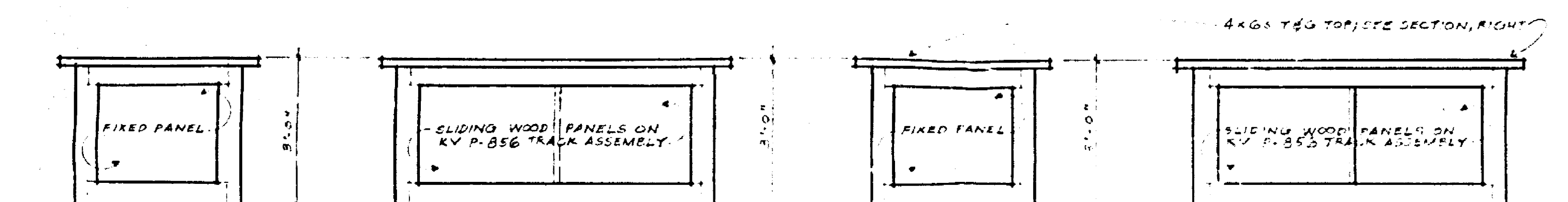
SOUTH ELEVATION
SCALE 1/2" = 1'-0"



PLAN OF ISLAND
SCALE 1/2" = 1'-0"



SECTION
SCALE 1/2" = 1'-0"

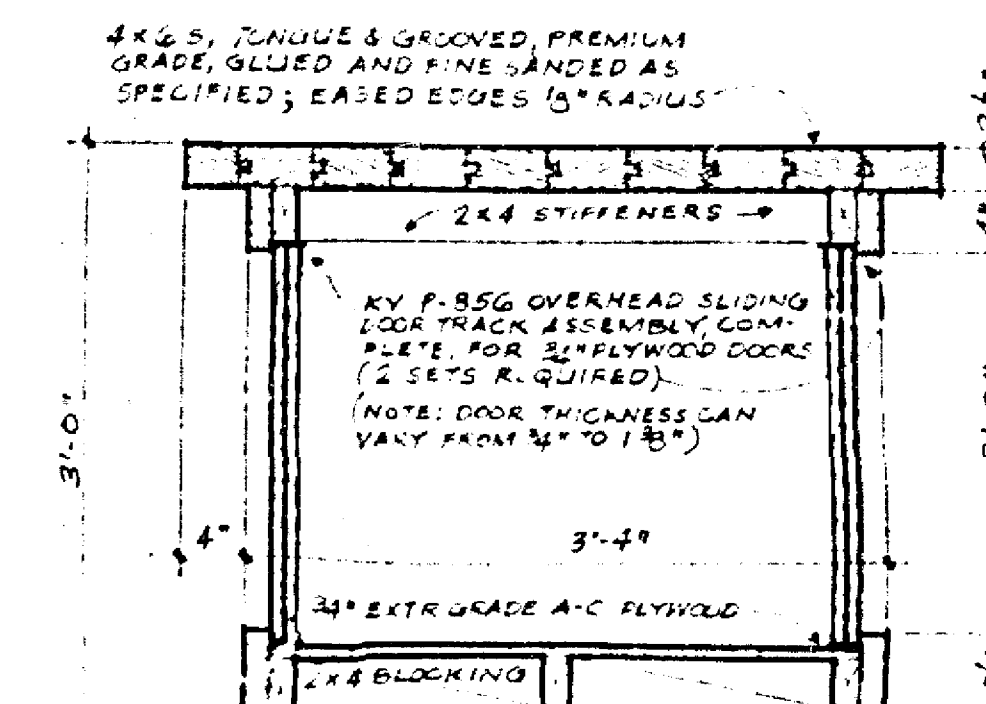


ELEV. 1
SCALE 1/2" = 1'-0"

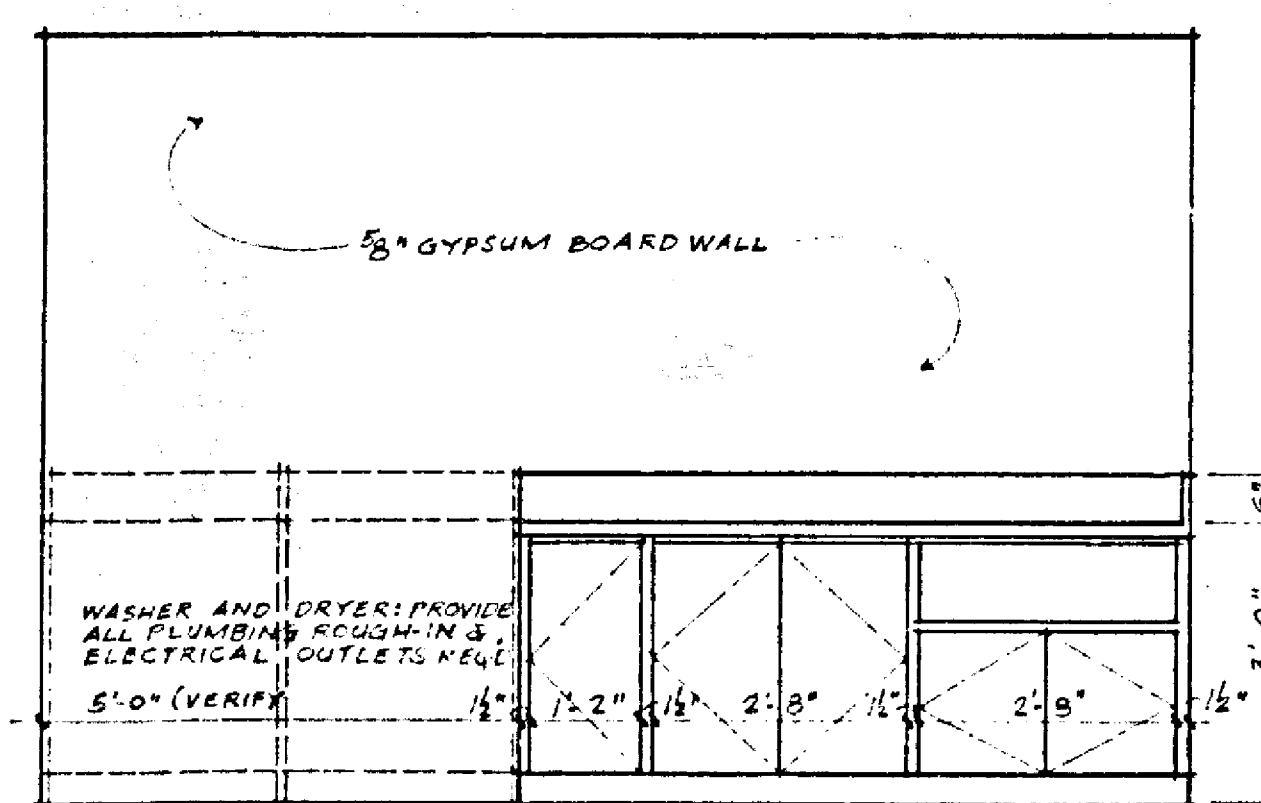
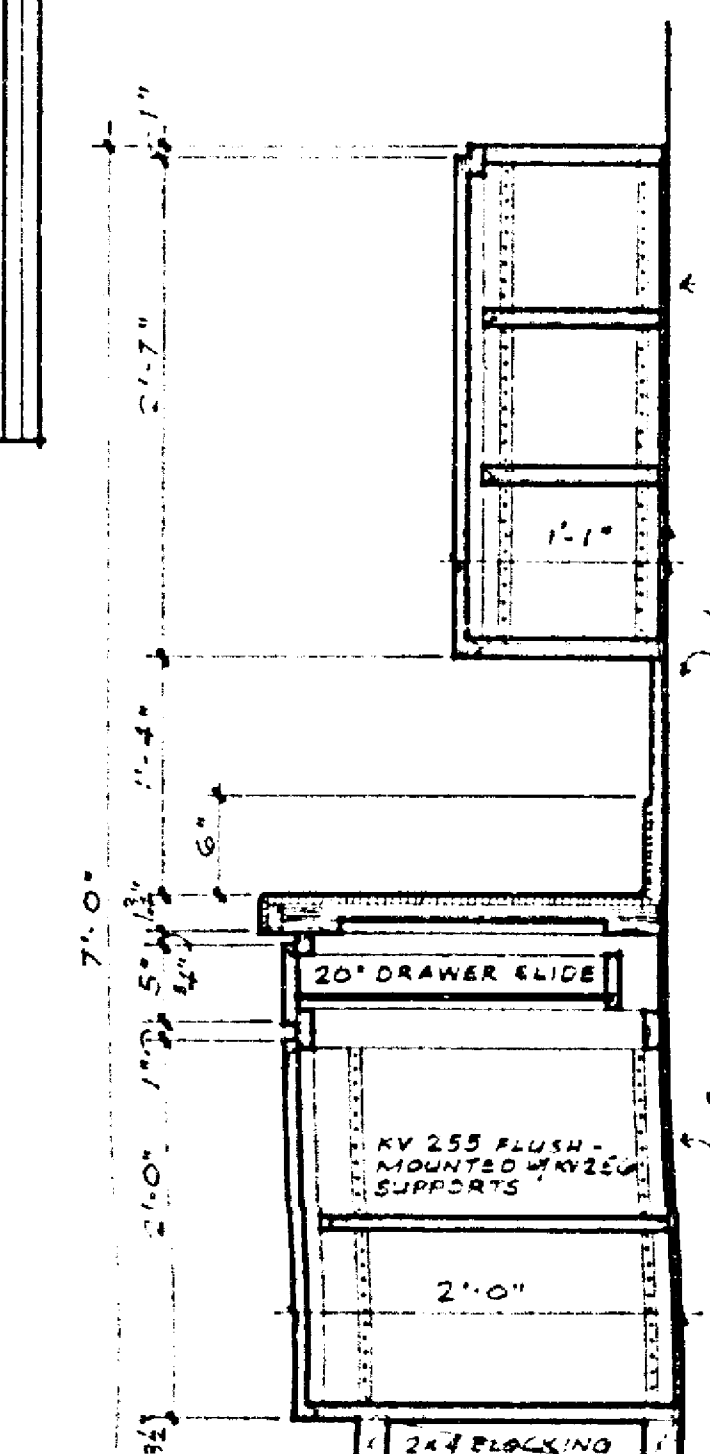
ELEV. 2

ELEV. 3

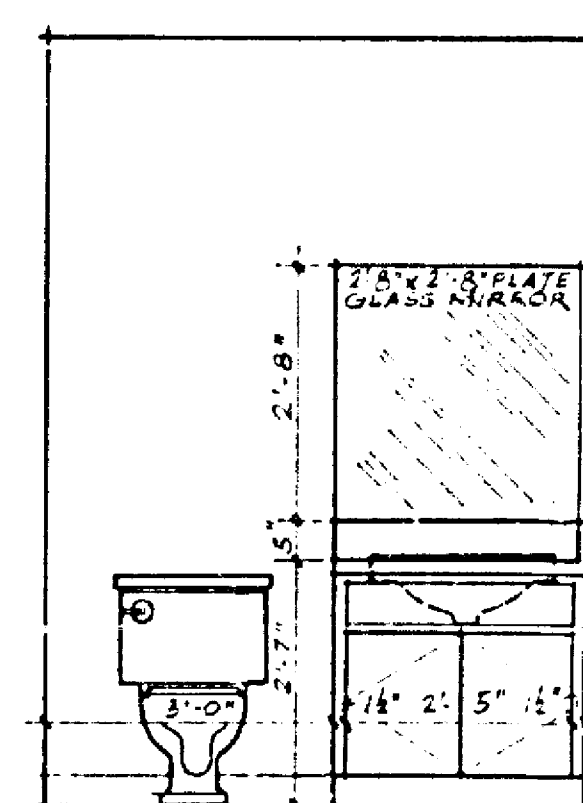
ELEV. 4



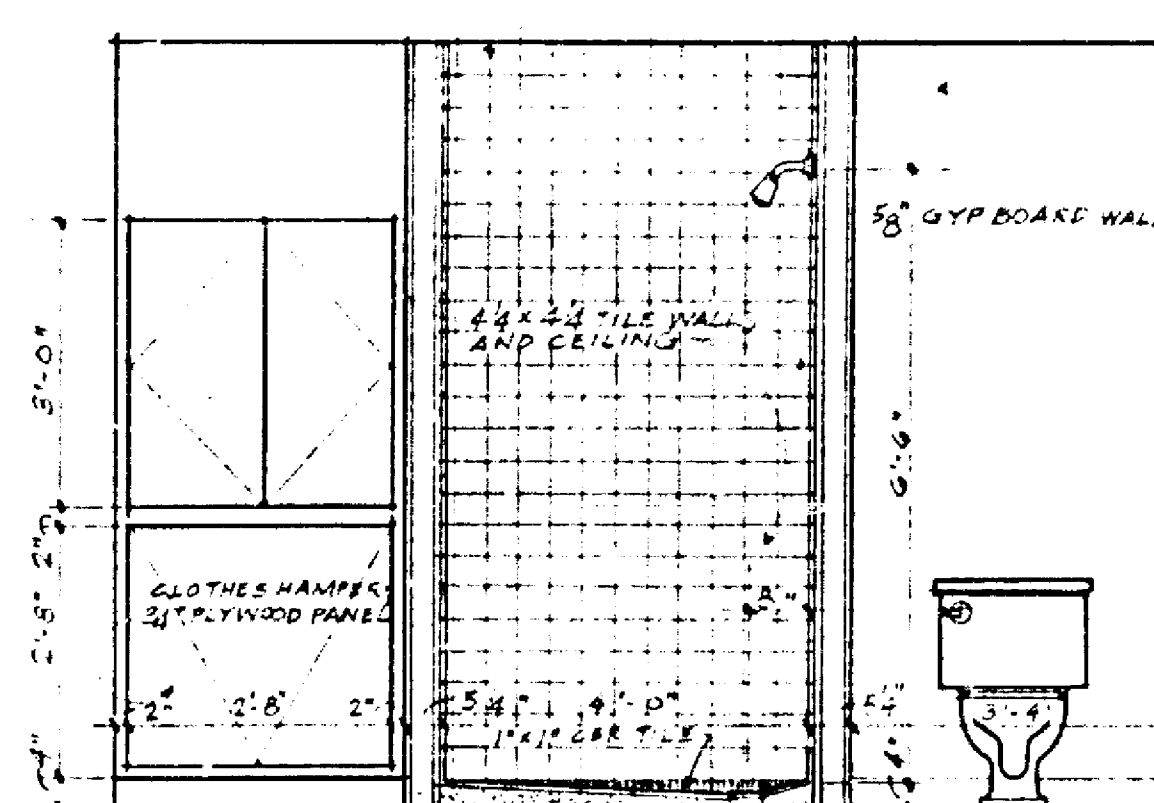
SECTION - ISLAND & WALL CABINET
SCALE 1" = 1'-0"



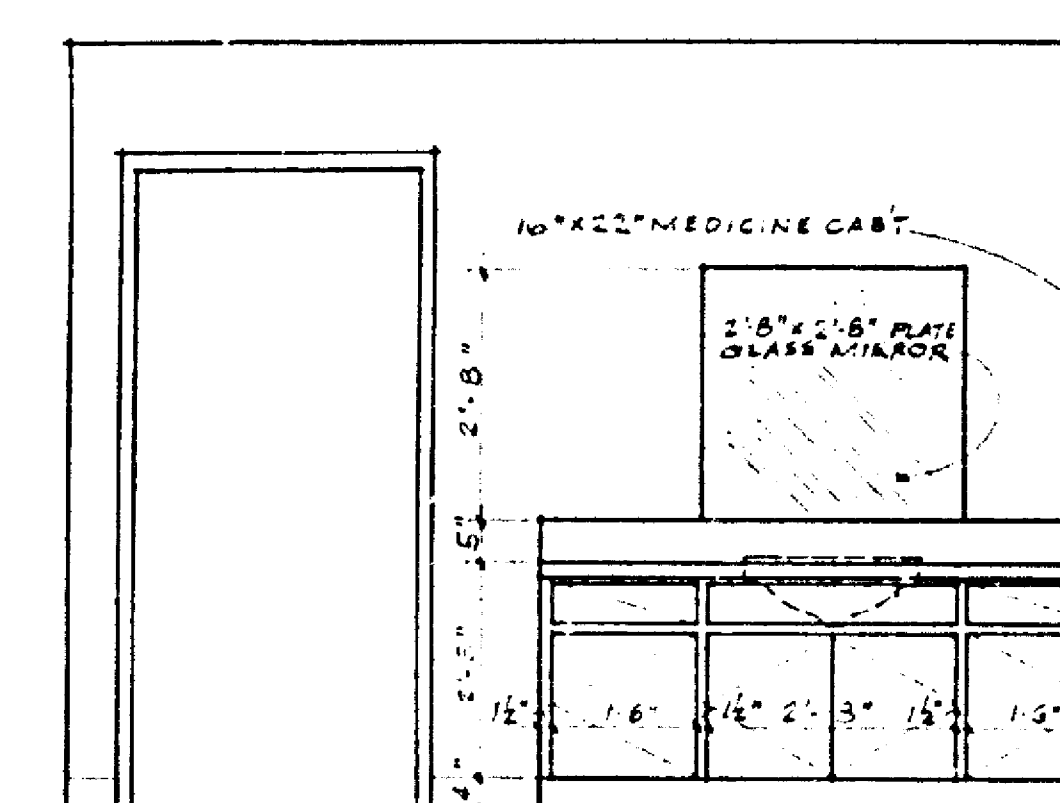
NORTH ELEVATION-UTILITY
SCALE 1/2" = 1'-0"



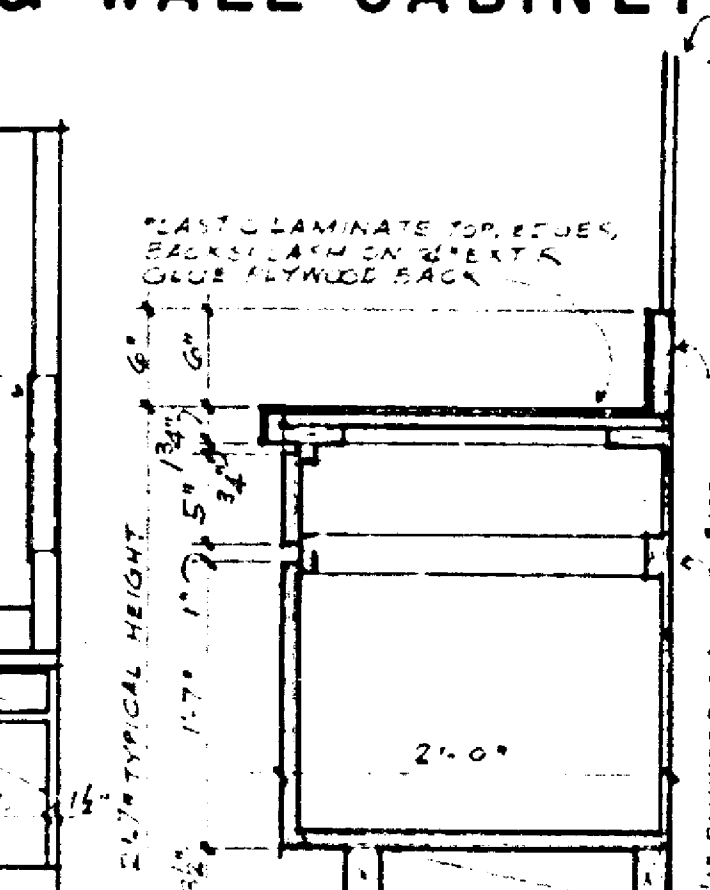
TOILET NO. 3
SCALE 1/2" = 1'-0"



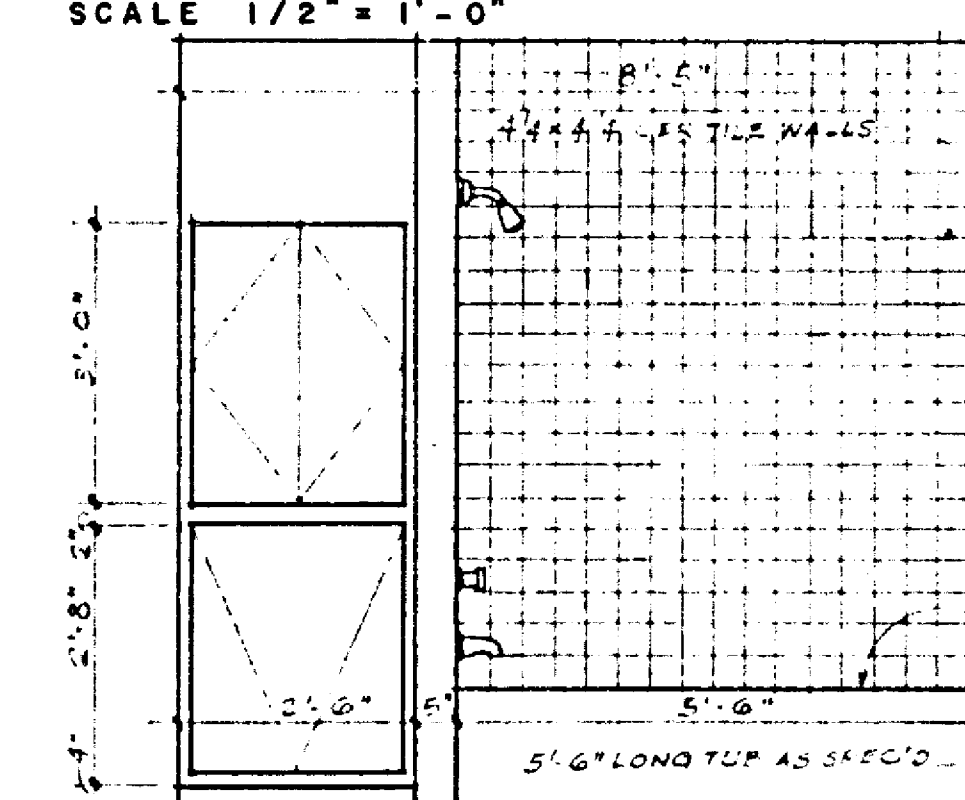
TOILET NO. 2 - NORTH ELEV.
SCALE 1/2" = 1'-0"



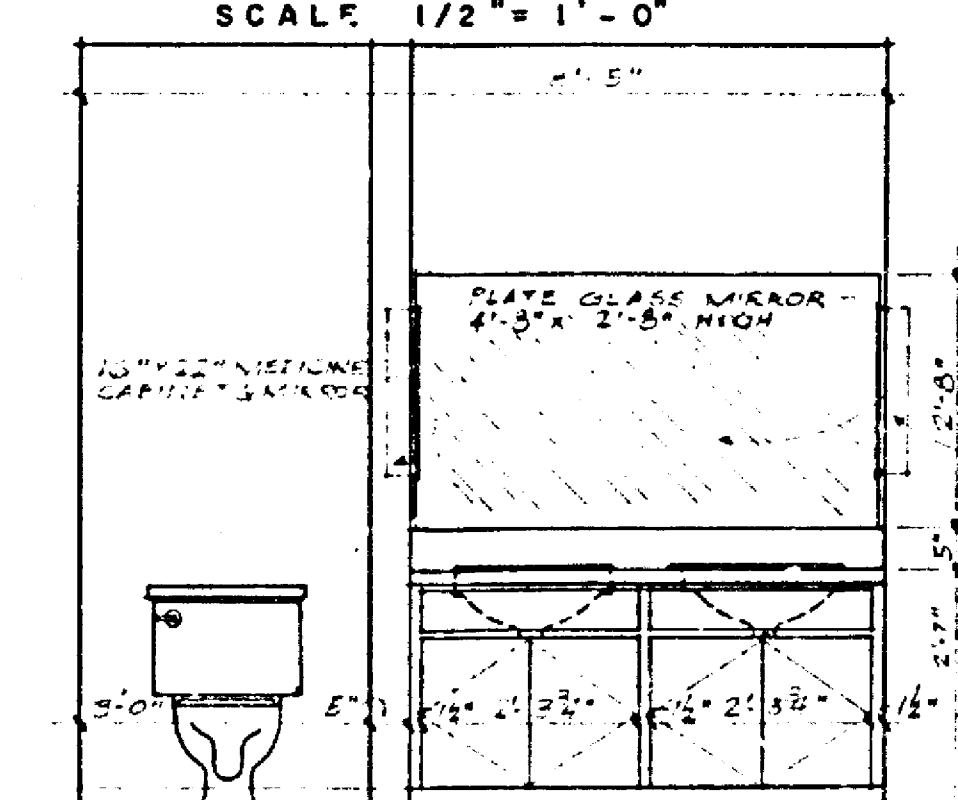
TOILET NO. 2 - SOUTH ELEV.
SCALE 1/2" = 1'-0"



LAV. CABINET
SCALE 1" = 1'-0"



TOILET 1 - SOUTH ELEV.
SCALE 1/2" = 1'-0"



TOILET 1 - NORTH ELEV.
SCALE 1/2" = 1'-0"

BOARD OF APPEALS
PETITIONER'S
EXHIBIT E

BARN REMODELING FOR
MR & MRS R G WHITTAKER
COCKEYSVILLE, MARYLAND
NOVEMBER 11, 1960
SHEET NO. 6

Pursuant to the advertisement, posting of property, and public hearing on the Petition and it appearing that by reason of the following finding of facts that strict compliance with the Baltimore County Zoning Regulations would result in practical difficulty and unreasonable hardship upon the petitioner(s), the Variance(s) should be had; and it further appearing that by reason of the granting of the Variance(s) requested not adversely affecting the health, safety, and general welfare of the community, the Variance(s) should be granted.

IT IS ORDERED by the Zoning Commissioner of Baltimore County, this _____ day of _____, 19____, that the herein Petition for the Variance(s) to permit

Pursuant to the advertisement, posting of property, and public hearing on the Petition and it appearing that by reason of failure to show practical difficulty and/or unreasonable hardship and, further, that the granting of the variances requested will adversely affect the health, safety, and general welfare of the community, the variances should not be granted.

Therefore, IT IS ORDERED by the Zoning Commissioner of Baltimore County, this _____ day of July, 1980, that the herein Petition for Variances to permit _____ rear yard setbacks of nineteen feet and thirty-two feet from the centerline of the road in lieu of the required seventy-five feet be and the same is hereby DENIED.

Zoning Commissioner of Baltimore County

Zoning Commissioner of Baltimore County

BALTIMORE COUNTY PUBLIC SCHOOLS

Robert Y. Dubel, Superintendent

Towson, Maryland - 21204

Date: April 14, 1980

Mr. William E. Hammond
Zoning Commissioner
Baltimore County Office Building
1111 West Chesapeake Avenue
Towson, Maryland 21204

Z.A.C. Meeting of: April 15, 1980

RE: Item No: 197, 198, 199, 200, 201, 202, 203
Property Owner:
Location:
Present Zoning:
Proposed Zoning:

District:
No. Acres:

Dear Mr. Hammond:

All of the above have no bearing on student population.

Very truly yours,
Mr. Nick Petrovich, Assistant
Department of Planning

NWP/bp

BALTIMORE COUNTY
DEPARTMENT OF HEALTH
TOWSON, MARYLAND 21204
DONALD J. ROOP, M.D., M.P.H.
DEPUTY STATE & COUNTY HEALTH OFFICER

May 15, 1980

Mr. William E. Hammond, Zoning Commissioner
Office of Planning and Zoning
County Office Building
Towson, Maryland 21204

Dear Mr. Hammond:

Comments on Item #201, Zoning Advisory Committee Meeting of April 15, 1980, are as follows:

Property Owner: Quaker Bottom Associates
Location: SW/3 Quaker Bottom Rd. No. 1 1100' W Quaker Bottom Rd. No. 2
Existing Zoning: R.C. 5
Proposed Zoning: Variance to permit a minimum front setback of 19' to the centerline and a minimum side setback of 32' to the centerline both in lieu of the required 75'.
Acres: 5.00
District: 8th

A private well and sewage disposal system are proposed. Soil percolation tests have been conducted and the results are valid until July 11, 1981. The proposed septic system must be located at the highest elevation of the entire sewage disposal area. Due to the existing topography, if the existing barn is to be converted to a single family residential use, an elevation and/or grading study must be conducted to verify that gravity flow can be obtained from the structure to the highest point of the sewage disposal area.

Prior to approval of a building permit, a water well must be drilled, meeting all regulations as set forth by the Baltimore County Department of Health and the State of Maryland, Department of Mental Health and Hygiene. Prior to occupancy approval, the potability of the water supply must be verified by collection of a bacteriological water sample.

Very truly yours,

Don J. Roop, Director
BUREAU OF ENVIRONMENTAL SERVICES

JJR/fth

RE: PETITION FOR VARIANCES : BEFORE THE ZONING COMMISSIONER
SW/3 of Quaker Bottom Rd. No. 1,
1100' W of Quaker Bottom Rd. No. 2, : OF BALTIMORE COUNTY
8th District
QUAKER BOTTOM ASSOCIATES, :
Petitioner : Case No. 80-260-A

ORDER TO ENTER APPEARANCE

Mr. Commissioner:

Pursuant to the authority contained in Section 524.1 of the Baltimore County Charter, I hereby enter my appearance in this proceeding. You are requested to notify me of any hearing date or dates which may be now or hereafter designated therefore, and of the passage of any preliminary or final Order in connection therewith.

Peter Max Zimmerman
Deputy People's Counsel

John W. Hession, III
People's Counsel for Baltimore County
Rm. 223, Court House
Towson, Maryland 21204
494-2188

I HEREBY CERTIFY that on this 17th day of June, 1980, a copy of the foregoing Order was mailed to Dorothy Beaman, Attorney, 405 W. Pennsylvania Avenue, Towson, Maryland 21204, Attorney for Petitioner; and Ms. Susan Braungart, 2217 Cloverdale, Fallston, Maryland 21047, Contract Purchaser.

John W. Hession, III
John W. Hession, III

BALTIMORE COUNTY
FIRE DEPARTMENT
TOWSON, MARYLAND 21204
825-7310

PAUL H. REMCKE
CHIEF

May 14, 1980

Mr. William Hammond
Zoning Commissioner
Office of Planning and Zoning
Baltimore County Office Building
Towson, Maryland 21204

Attention: Nick Comodari, Chairman
Zoning Plans Advisory Committee

Re: Property Owner: Quaker Bottom Associates

Location: Quaker Bottom Road No. 1 1100' W Quaker Bottom Road No. 2

Item No: 201 Zoning Agenda: Meeting of April 15, 1980

Gentlemen:

Pursuant to your request, the referenced property has been surveyed by this Bureau and the comments below marked with an "X" are applicable and required to be corrected or incorporated into the final plans for the property.

- () 1. Fire hydrants for the referenced property are required and shall be located at intervals or _____ feet along an approved road in accordance with Baltimore County Standards as published by the Department of Public Works.
- () 2. A second means of vehicle access is required for the site.
- () 3. The vehicle dead end condition shown at _____ EXCEEDS the maximum allowed by the Fire Department.
- () 4. The site shall be made to comply with all applicable parts of the Fire Prevention Code prior to occupancy or beginning of operations.
- (X) 5. The buildings and structures existing or proposed on the site shall comply with all applicable requirements of the National Fire Protection Association Standard No. 101 "Life Safety Code", 1976 Edition prior to occupancy.
- () 6. Site plans are approved as drawn.
- () 7. The Fire Prevention Bureau has no comments, at this time.

REVIEWER: Planning Group
Special Inspection Division

Noted and
Approved:

George M. McGehee
Fire Prevention Bureau

BALTIMORE COUNTY
DEPARTMENT OF PERMITS & LICENSES
TOWSON, MARYLAND 21204
494-3610

TED ZARSKI, JR.
DIRECTOR

April 14, 1980

Mr. William E. Hammond, Zoning Commissioner
Office of Planning and Zoning
County Office Building
Towson, Maryland 21204

Dear Mr. Hammond:

Comments on Item #201 Zoning Advisory Committee Meeting, April 15, 1980 are as follows:

Property Owner: Quaker Bottom Associates
Location: SW/3 Quaker Bottom Road No. 1 1100' W Quaker Bottom Road No. 2
Existing Zoning: R.C. 5
Proposed Zoning: Variance to permit a minimum front setback of 19' to the centerline and a minimum side setback of 32' to the centerline both in lieu of the required 75'.

Acres: 5.00
District: 8th

The items checked below are applicable:

- X A. All structures shall conform to the Baltimore County Building Code 1978, the Energy Code and other applicable codes.
- X B. A building/_____ permit shall be required before beginning construction.
- X C. Residential: Three sets of construction drawings are required to file a permit application. Architect/Engineer seal is/is not required.
- D. Commercial: Three sets of construction drawings with a Maryland Registered Architect or Engineer shall be required to file a permit application.
- E. In wood frame construction an exterior wall erected within 6' 0" of an adjacent lot line shall be of one hour fire resistive construction, no openings permitted within 3' 0" of lot line. A minimum 2" masonry firewall is required if construction is on the lot line.
- F. Requested variance conflicts with the Baltimore County Building Code, Section/_____.
- G. A change of occupancy shall be applied for, along with an alteration permit application, and three required sets of drawings indicating how the structure will meet the Code requirements for the proposed change. Drawings may require a professional seal.
- H. Before this office can comment on the above structure, please have the owner, thru the services of a Registered in Maryland Architect or Engineer certify to this office, that the structure for which a proposed change in use is proposed complies with the height/area requirements of Table 305 and the required construction classification of Table 211.
- I. Comments _____.

NOTE: These comments reflect only on the information provided by the drawing submitted to the office of Planning and Zoning and are not intended to be construed as the full extent of any permit. If desired additional information may be obtained by visiting Room #22 (Plans Review) at 111 West Chesapeake Ave., Towson.

Very truly yours,

Charles E. Surman, Chief
Plans Review

CEB:rrj

CONSENT TO VARIANCE

We, the undersigned, owners of lots 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300, 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822, 823, 824, 825, 826, 827, 828, 829, 830, 831, 832, 833, 834, 835, 836, 837, 838, 839, 840, 841, 842, 843, 844, 845, 846, 847, 848, 849, 850, 851, 852, 853, 854, 855, 856, 857, 858, 859, 860, 861, 862, 863, 864, 865, 866, 867, 868, 869, 870, 871, 872, 873, 874, 875, 876, 877, 878, 879, 880, 881, 882, 883, 884, 885, 886, 887, 888, 889, 890, 891, 892, 893, 894, 895, 896, 897, 898, 899, 900, 901, 902, 903, 904, 905, 906, 907, 908, 909, 910, 911, 912, 913, 914, 915, 916, 917, 918, 919, 920, 921, 922, 923, 924, 925, 926, 927, 928, 929, 930, 931, 932, 933, 934, 935, 936, 937, 938, 939, 940, 941, 942, 943, 944, 945, 946, 947, 948, 949, 950, 951, 952, 953, 954, 955, 956, 957, 958, 959, 960, 961, 962, 963, 964, 965, 966, 967, 968, 969, 970, 971, 972, 973, 974, 975, 976, 977, 978, 979, 980, 981, 982, 983, 984, 985, 986, 987, 988, 989, 990, 991, 992, 993, 994, 995, 996, 997, 998, 999, 1000.

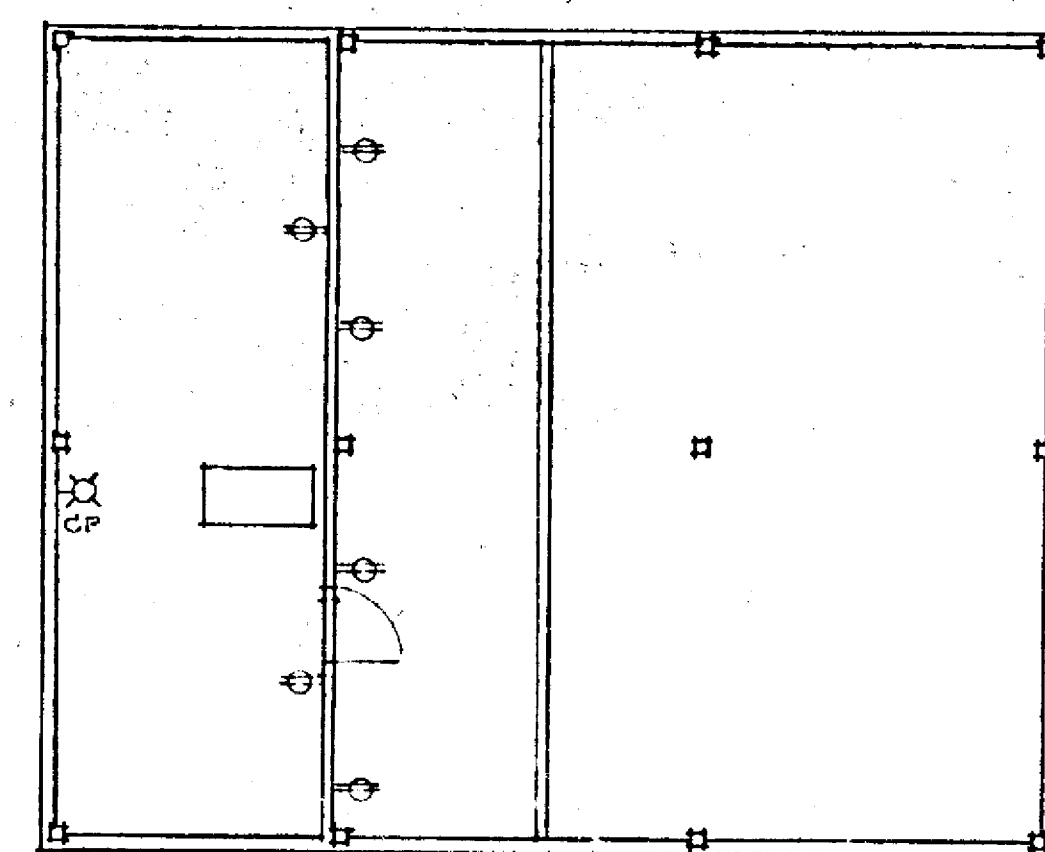
WITNESSES:
John W. Hession, III
People's Counsel for Baltimore County
Rm. 223, Court House
Towson, Maryland 21204
494-2188
Quaker Bottom Associates, a Limited Partnership
By: James W. Hession, General Partner

HUGGEL, KIEFER
& CORNELL
BALTIMORE, MD. 21201

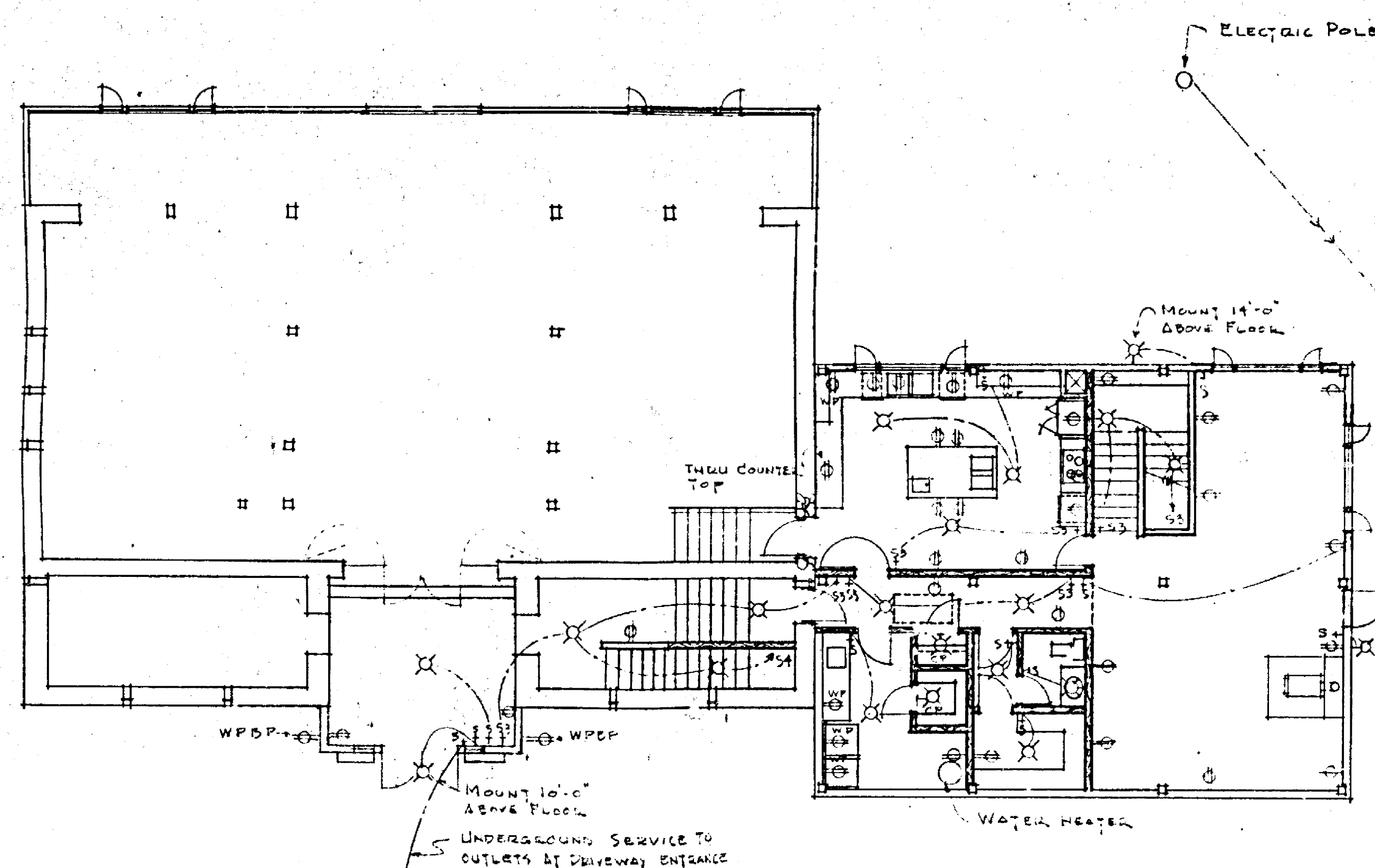
HUGGEL, KIEFER
& CORNELL
BALTIMORE, MD. 21201

QUAKER BOTTOM ASSOCIATES,
a Limited Partnership
By: James W. Hession, General
Partner

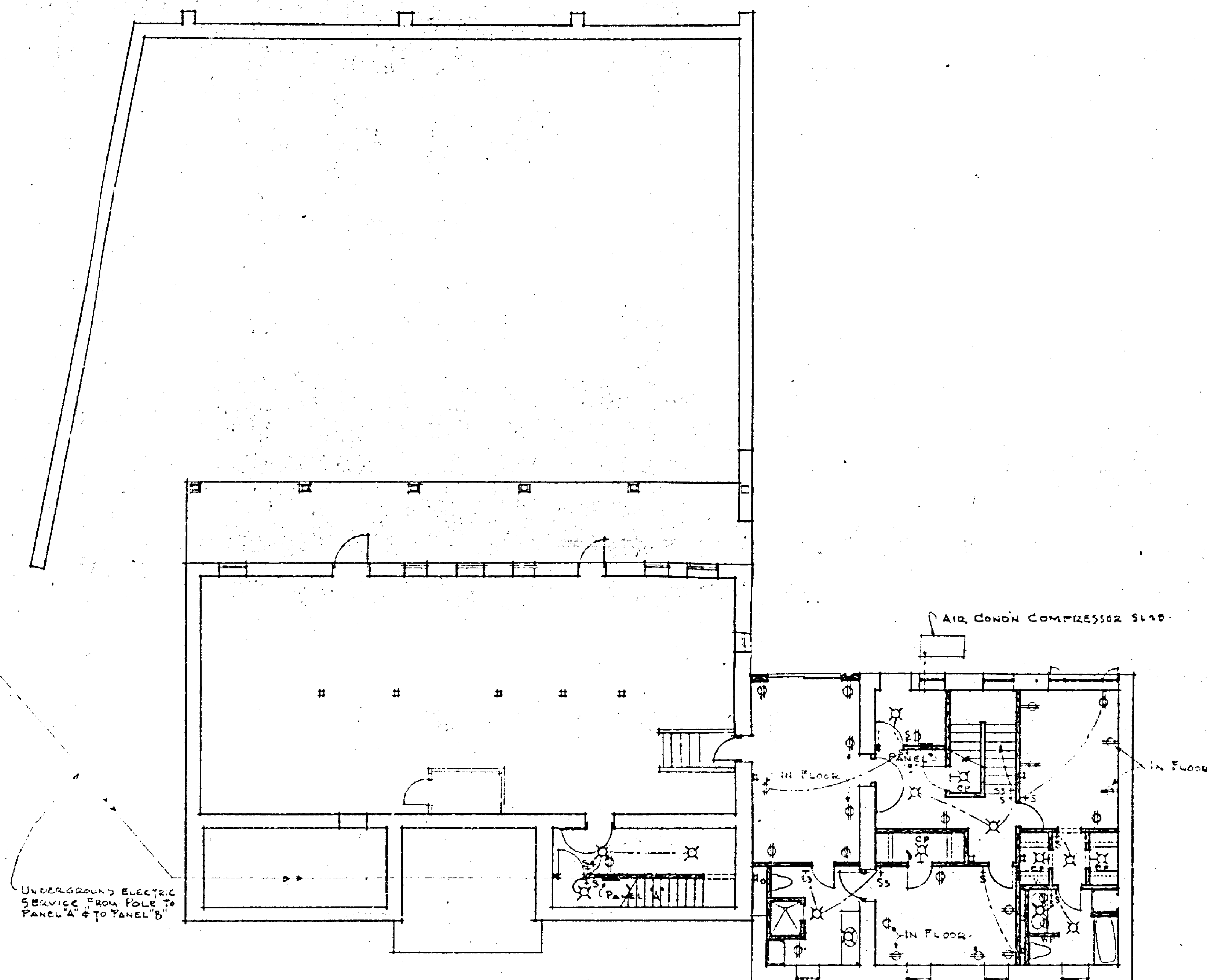
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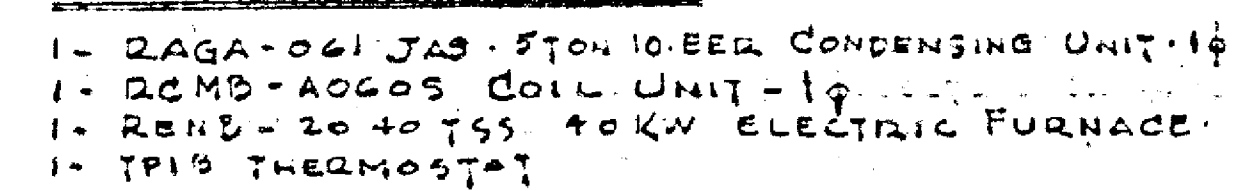
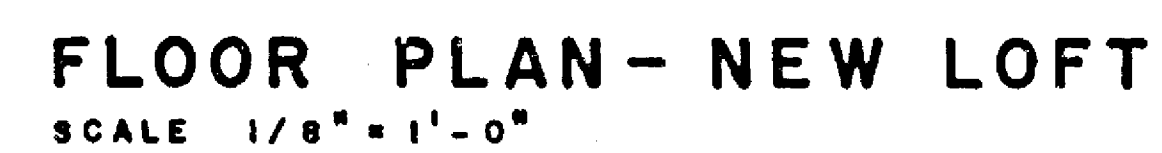
FLOOR PLAN - NEW LOFT
SCALE 1/8" = 1'-0"



**ELECTRICAL
FLOOR PLAN - NEW UPPER LEVEL**
SCALE 1/8" = 1'-0"



**ELECTRICAL
FLOOR PLAN - NEW LOWER LEVEL**
SCALE 1/8" = 1'-0"



**AIR CONDITIONING
FLOOR PLAN-NEW LOWER LEVEL**
SCALE 1/8" = 1'-0"

RE: PETITION FOR VARIANCE : BEFORE
from Section 1A04.38.3 : COUNTY BOARD OF APPEALS
of the Baltimore County :
Zoning Regulations : OF
SW/S Quaker Bottom Road No. 1, : BALTIMORE COUNTY
1100' W. of Quaker Bottom Road :
No. 2 :
8th District : No. 80-260-A
Quaker Bottom Associates, :
Petitioner :

OPINION

This case comes before the Board on an appeal from a decision of the Zoning Commissioner denying the requested variance. The subject property is located in the Eighth Election District, on the southwest side of Quaker Bottom Road No. 1, 1100 feet west of Quaker Bottom Road No. 2. Testimony on this requested variance, to allow a minimum front setback of ten feet instead of the required fifty feet and a side setback of thirty-two feet instead of seventy-five feet as required in Section 1A04.38 of the Baltimore County Zoning Regulations, was received from both Protestants and Petitioner, and is summarized in this Opinion.

The subject parcel, part of an approved subdivision, contains an old barn which the contract purchaser wishes to convert to a residence. However, the barn is located on a curve, and the Baltimore County Department of Traffic Engineering originally gave a negative report in this case because of this safety hazard. Michael Flanigan, Baltimore County Traffic Engineer, stated to the Board that the erection of a "Jersey Barrier" would alleviate this problem and his department has approved a new plat, Exhibit D, which details this new plan. The Traffic Department would not object to the approval of the variance requested if this new plat is strictly followed.

The Petitioners offered the testimony of a traffic expert, William Guckert, who stated that the traffic count at the site is very light, even at peak hours, that the posted speed limit is 25 MPH, and that there have been no traffic accidents at this curve.

The lone Protestant, Mr. Kenneth Bosley, who lives two miles from the site, objected to the petition and feels that the property should remain a barn.

PETITIONER'S
EXHIBIT 1

ANALYSIS OF STRUCTURAL STABILITY
AND RENOVATION OF BARN BUILDINGS
QUAKER BOTTOM ROAD NO. 1
COCKEYSVILLE, MARYLAND 21030

B. W. KAMINSKI, JR., B.S.B.C.

Quaker Bottom Associates - #80-260-A

2.

It is the opinion of this Board that the granting of the requested variance, in order to permit the conversion of a barn into a single family residence, with the erection of the "Jersey Barrier" according to the plat and plans submitted in Exhibit D, would not cause injury to the public health, safety, and general welfare in this area. The Board further feels that this requirement must be met before the County issues an occupancy permit for the subject property.

ORDER

For the reasons set forth in the foregoing Opinion, it is this 3rd day of February, 1981, by the County Board of Appeals, ORDERED that the Order of the Zoning Commissioner be reversed and that the variance petitioned for, be and the same is hereby GRANTED, subject to the following restriction:

1. The erection of the so called "Jersey Barrier" must be completed exactly as shown on the presented plat, identified as Exhibit D, prior to the issuance of any occupancy permit.

Any appeal from this decision must be in accordance with Rules B-1 thru B-12 of the Maryland Rules of Procedure.

COUNTY BOARD OF APPEALS
OF BALTIMORE COUNTY

William T. Hockett
William T. Hockett, Acting Chairman

Patricia Millhauser
Patricia Millhauser

LeRoy S. Spurrier
LeRoy S. Spurrier

QUAKER BOTTOM ASSOCIATES : COUNTY BOARD OF APPEALS
: Case No. 80-260-A

Madam Clerk:

Please issue summons for the following witness:

Michael S. Flanigan
Engineer Associate II
Baltimore County Department of
Traffic Engineering
Court House
Towson, Maryland 21204

To testify for Petitioners, Quaker Bottom Associates at a hearing before The County Board of Appeals, Room 219, Court House, Towson, Maryland 21204.

Returnable Thursday, the 29th day of January, 1981, at 9:45 a.m.

COST \$ 5.00

SUMMONS NO. 1-12-81 19

NON RES 19

IN DEBT 15

DEBT LEFT 10

SHOWN F
CHAMBERLAIN, MICKEY, JR.
OF BALTIMORE COUNTY

Dorothy M. Beaman, attorney for
Quaker Bottom Associates

Please serve the above summons.

Edith T. Eisenhart
Edith T. Eisenhart, Adm. Secretary

County Board of Appeals of Baltimore County

HOOPER, KIEFER
& CORNELL
BALTIMORE, MD. 21201

QUAKER BOTTOM ASSOCIATES : COUNTY BOARD OF APPEALS
: Case No. 80-260-A

Madam Clerk:

Please issue summons for the following witness:

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Engineer Associate II
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To testify for Petitioners, Quaker Bottom Associates at a hearing before The County Board of Appeals, Room 219, Court House, Towson, Maryland 21204.

Returnable Thursday, the 29th day of January, 1981, at 9:45 a.m.

Dorothy M. Beaman, attorney for
Quaker Bottom Associates

Please serve the above summons.

Edith T. Eisenhart, Adm. Secretary
County Board of Appeals of Baltimore County

RECEIVED
BALTIMORE COUNTY
JAN 5 10 00 AM '81
COUNTY CLERK
BY: E

HOOPER, KIEFER
& CORNELL
BALTIMORE, MD. 21201

INTRODUCTION

The purpose of this report is to list the findings of a visual inspection of the two barn-type buildings located on Lot No. 6, Quaker Hills Subdivision, Quaker Bottom Road No. 1, Cockeysville, Maryland, for structural stability and feasibility for conversion into a residential dwelling. Again, this was a visual inspection only and therefore the writer cannot be held liable for any deficiencies discovered or revealed upon demolition or rehabilitative construction. Likewise, the estimate prepared in coordination with this study to correct the initial problems noted, in order to bring the structure up to standards to facilitate renovation, are based only on visual inspection.

REPORT

The structure inspected is located on Quaker Bottom Road No. 1 on Lot No. 6, Section One, of the subdivision entitled Quaker Hills, Baltimore County, Maryland. The structure itself is comprised of two buildings. The first which will be referred to in this report as the "Old Building" (see Exhibit No. 1) is approximately 50 feet by 60 feet and is stone and wood frame construction. The second adjacent building (see Exhibit No. 1) will be referred to as the "New Building" is also of stone and wood frame construction and is approximately 40 feet by 42 feet. The actual age of the total structure is not determinable but from the wood peg type of construction evidenced, would probably place it over one hundred years old. The materials used in construction of the "New Building" are later in type and design but only from the floor up and could have been renovations and/or repairs.

A. "OLD BUILDING"

The "Old Building" foundation is stone construction along with the entire end walls. All of which are in very good condition. There is no visual evidence of structural cracks or openings. However, because of its age, the stone work will need repointing and waterproofing, although there was no visual evidence of water damage through the walls.

The main beams and columns within the "Old Building" are in good condition for the most part. Two of the main columns are split and should be replaced. (See Exhibit No. 2). One main support beam of the roof on the southeast side appears rotted and extremely deflected therefore should be replaced. (See Exhibit No. 3). This beam also divides the main building from an additional section. This section is of wood frame construction creating an overhang or cantilever design over the stable area. This section appears to be in poor condition. The sides have totally pulled away from the main building and is considerably out of plumb and square, even to the naked eye. Viewing this same section from the exterior, deflection or sag occurs laterally at both ends running east and west. (See Exhibit No. 4). The outriggers or floor joists of this overhang however appear in good condition except for two which are rotted and have been repaired by supplementing them with smaller timbers. My recommendation would be to remove this overhang section and add a new exterior wall of wood frame construction at the building line of the "Old Building" to support the roof. The outriggers could be left if desired replacing the rotted ones, made level, and perhaps create a deck or porch effect.

- 3 -

The roof of the "Old Building" is in fair to poor condition and is sagging in certain areas. The construction is oversized rafters with a wood lath or purlin-type connectors, covered with cedar shake shingles in turn covered with tin or painted thin gauge sheet metal. The sag on the southeast side is caused by the main beam sagging, previously mentioned and the overall poor condition of the aforementioned overhang. Another factor causing the sag is the rafters are on wide centers.

Each rafter should be checked for deterioration and deflection to reduce sag. I do not feel that this type of construction is a detriment in that the roof structural members appear sound for the most part considering the age of the building. The size of each rafter is also a plus, since they are oversized. The other cause of the sag is the exterior stone walls on which the roof rests were not built perfectly plumb and level, typical of old stone construction, thus creating the unnatural flow of the roof line. My recommendation would be to remove the metal covering, cedar shake shingles and wood lath connectors, realign and adjust the rafters, add 2" x 6"s for additional strength plus to help take the deflection out of the old rafters, add 1/2" roof sheathing material, roofing paper and asphalt shingles.

At the time the old roof is removed new fascia boards would have to be added since they are rotted; at which time overhangs could be added if desired.

On the northeast side of the "Old Building" are two additional small rooms that are accessible in two directions, from the exterior

- 4 -

and from the inside through a larger window-sized opening. The two additions were added later and do not in any way affect the overall construction of the "Old Building". They are of stone construction and support the extension of the existing roof line which again adds to the misalignment of the roof. At the present time, they are basically storage sheds and could be linked to the "Old Building" with constructed openings.

The floor of the "Old Building" is in good condition and would make an excellent subfloor. The floor however was almost totally covered with straw which made a visual inspection almost impossible, but from walking on it and viewing it from underneath in the stable area, I derived my conclusion that it is sound.

The lower level or basement level of the "Old Building" is a stable. Doors and windows have been added and others closed. Again no structural damage is evident. The window frames are good but the sashes are in poor condition. The main timbers or joists in this area which are the structural members of the floor of the "Old Building" are in good condition. The stalls have been used recently and kept in good repair evidenced by fairly recent paint.

There is electric service in the stable area and it appears to be 30 ampere service. However, all wiring is obsolete and does not conform to present electrical codes and would therefore have to be replaced.

The main entrance door to the "Old Building" is in poor condition and would have to be replaced along with doors into the two additions that were mentioned previously.

- 5 -

B. "NEW BUILDING"

The "New Building" is directly adjacent but not structurally connected to the "Old Building" however they do share a common stone wall. The foundation is stone construction with no visual evidence of structural damage, however, pointing, filling and waterproofing would be needed.

The basement or lower level area, half of which appeared to be a tractor storage garage, revealed that most support beams and columns are in good condition. For the most part six beams (8" x 8"s) are rotted or split and should be replaced. The main support beam is in good condition, however, the end support column (8" x 8"s) is rotted at the bottom and will have to be replaced along with adding a footer. (See Exhibit No. 5). The second or adjacent area is divided from the previous section by a stone supporting wall which is the center support for all floor beams or joists. These floor beams are in good condition except six should be replaced.

Above the foundation is a wood frame construction with typical barn siding in good condition except for six or eight boards which should be replaced with some trimming or straightening. This siding would then be a good base for an added finish material.

On the northeast corner, the main bearing beam or plate shows extreme termite damage (see Exhibit No. 6). The termites are gone but this section would have to be cut out and replaced.

On the west side is the entrance which is a track-mounted side sliding plywood door in relatively new condition.

- 6 -

The interior of the "New Building" is in good condition. All main beams and columns appear good. The floor will make an excellent subfloor. The roof structure appears in good condition except for two or three rafters. The same type construction occurs with this roof as in the "Old Building" except the tin of the "Old Building" is replaced with corrugated metal. Again I recommend stripping all old materials and applying a new roof as outlined in the "Old Building" section.

Even with the close adjacency of these two buildings there are two different floor ground elevations. The main floor of the "New Building" is approximately four feet above the elevation of the main floor of the "Old Building". Because of the change in grade or ground elevation, the basement levels have the same variance.

- 7 -

SUMMARY

For the most part both structures are sound and in good condition, considering their age. The fact that both roofs must be replaced is quite common to any structure of that age whether it is a house dwelling or barn-type construction, since barns are a normally neglected structure.

The structural qualities are overwhelming for the main supporting features. Over-sized timbers for construction of floor joists, plates, beams and columns will not be duplicated today and probably is the main factor this building has lasted and will keep on lasting. The few members which are rotten or sagging have no negative effect on the overall structure of the barn. However, to convert to a residential dwelling these items must be replaced for safety, ease of new construction and to meet new codes plus the condition will only worsen if neglected.

The design potentials are endless and quite challenging. The total square footage of just the two first floor areas is approaching 4,700 square feet which is probably twice the amount needed for normal living space of an average family. This amount of square footage leaves ample room for creating exciting floor plans, atriums, staircases, balconies, lofts, etc.

I would recommend consulting an architect for assistance on design or even a total design package. A qualified reputable building contractor, who would be familiar with conversions or renovations of this type or similar type work, should also be consulted.

- 8 -

CONSTRUCTION ESTIMATE

The construction estimate includes the following items:

"OLD BUILDING"

1. Remove the existing roofing materials from the "Old Building" i.e., tin covering, cedar shake shingles and intermediate wood purlins; replace rotted rafters and realign. Add additional 2" x 6" rafters and 1/2" plywood sheathing, roofing paper, asphalt roof shingles and flashing. Replace all fascia boards.
2. Remove overhang section, replace rotted outriggers (Exhibit No. 4). Replace deflected wood beam (Exhibit No. 3). Replace split wood columns (Exhibit No. 4).
3. Replace overhang section with complete new wall at "Old Building" line. The new wall will be constructed of 2" x 4"s or 2" x 6"s with 1" insulating board.

"NEW BUILDING"

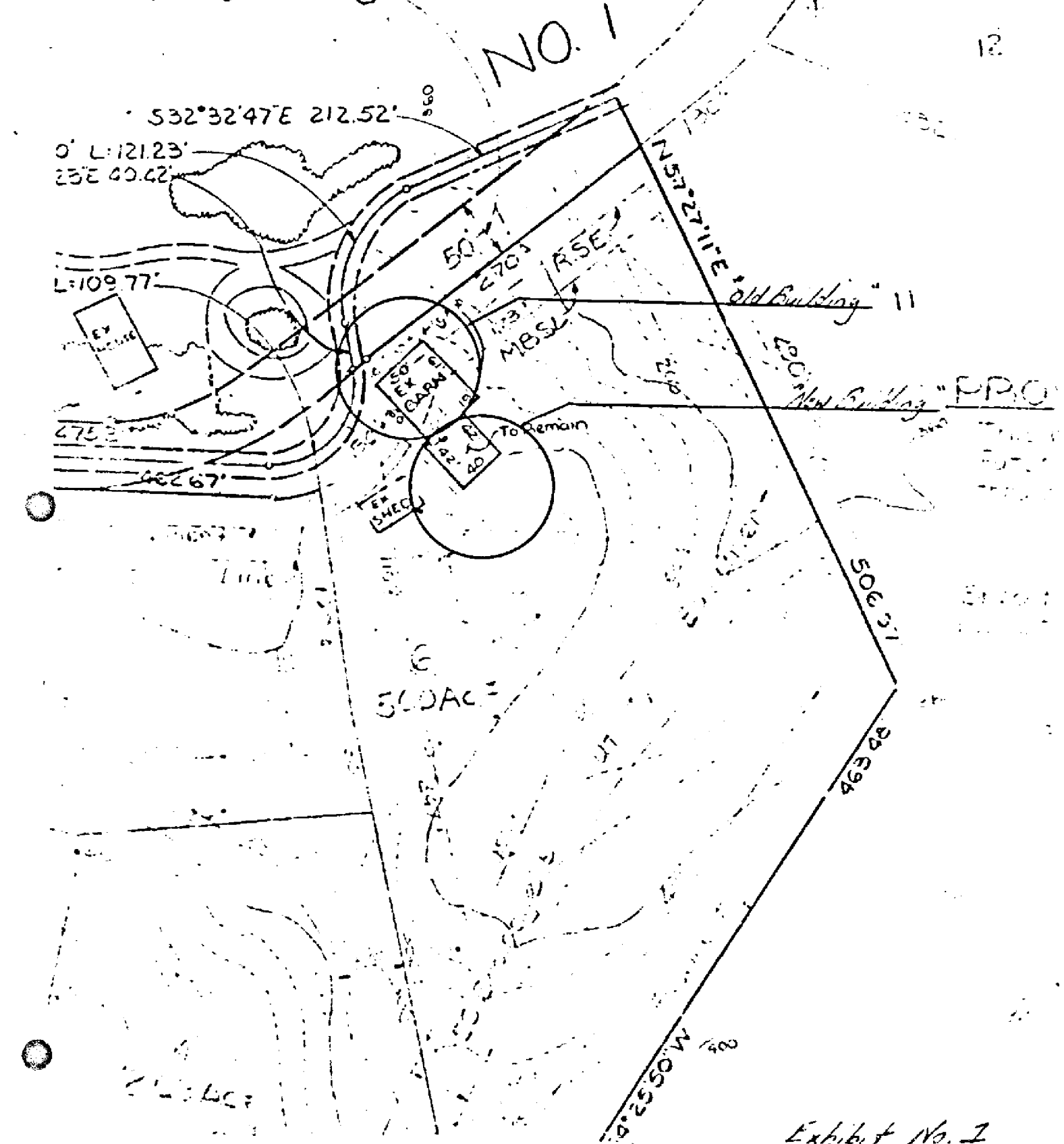
1. Remove existing roofing material from "New Building" i.e., corrugated metal roofing, cedar shake shingles and intermediate wood purlins. Replace any rotted rafters and realign. Add additional 2" x 6" rafters, 1/2" plywood sheathing, roofing paper, asphalt roof shingles and flashing. Add fascia boards.
2. Replace rotten section of wood plate destroyed by termites (Exhibit No. 6).
3. Replace all rotted beams in ceiling of tractor area.
4. Replace column and footer in tractor area (Exhibit No. 5).

TOTAL ESTIMATE = \$20,000.00

PREPARED BY:
KamKee Construction Co., Inc.
and
J.C. Simpson Company

- 9 -

Alignment of Quaker Bottom
Established by Baltimore
County Engineering



- 10 -

Exhibit No. 1

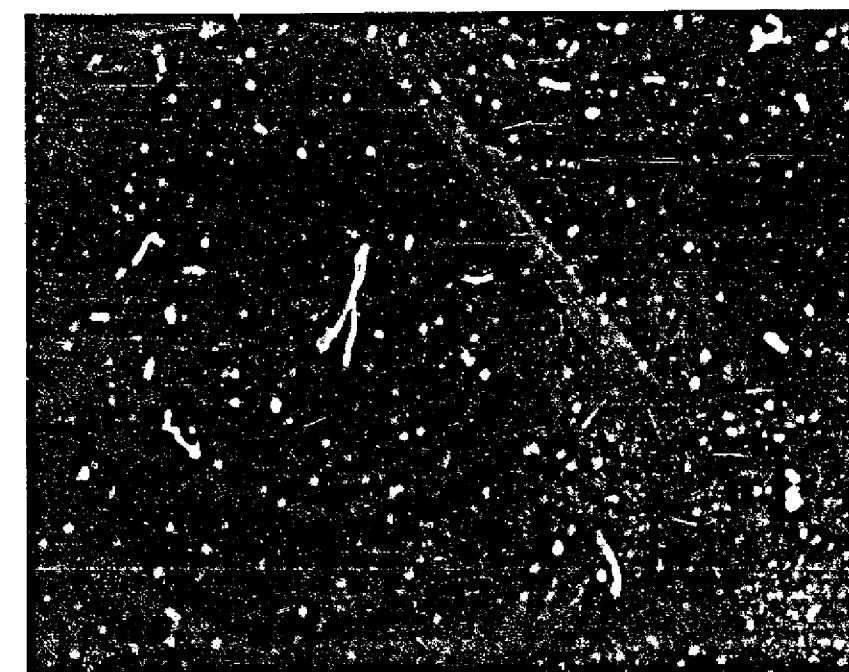


EXHIBIT NO. 2



EXHIBIT NO. 3

- 11 -

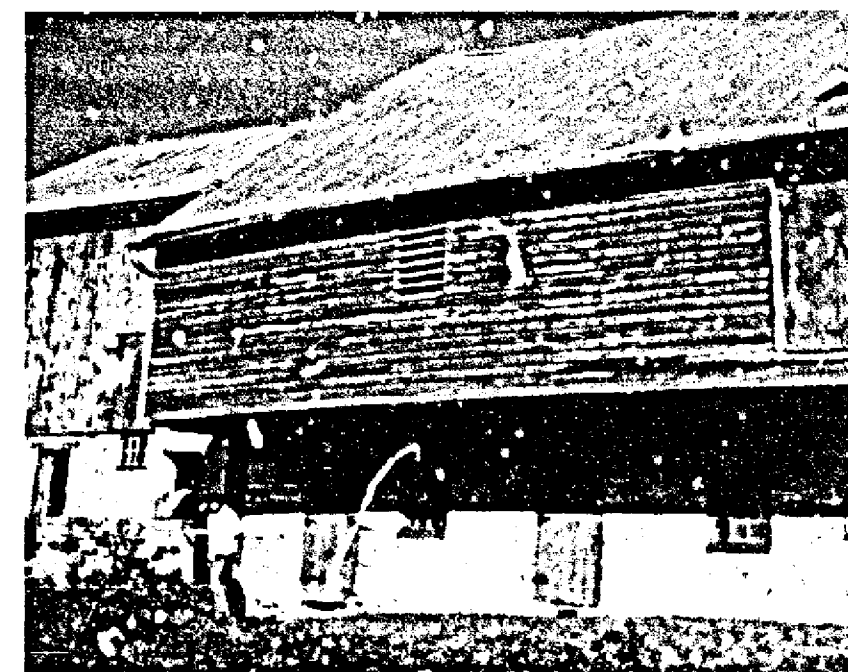


EXHIBIT NO. 4



EXHIBIT NO. 5

- 12 -



EXHIBIT NO. 6

- 13 -

PETITION FOR VARIANCES

8th District

ZONING: Petition for Variances for front and side yard setbacks
LOCATION: Southwest side of Quaker Bottom Road No. 1, 1100 feet West of Quaker Bottom Road No. 2
DATE & TIME: Tuesday, June 24, 1980 at 9:45 A.M.
PUBLIC HEARING: Room 106, County Office Building, 111 W. Chesapeake Avenue, Towson, Maryland

The Zoning Commissioner of Baltimore County, by authority of the Zoning Act and Regulations of Baltimore County, will hold a public hearing:

Petition for Variances to allow a minimum front yard setback from the centerline of the road of 19 feet and a minimum side yard setback from the centerline of the road of 32 feet in lieu of the required 75 feet

The Zoning Regulation to be excepted as follows:

Section 1404.3B.3 - Building setbacks

All that parcel of land in the Eighth District of Baltimore County

Being the property of Quaker Bottom Associates, as shown on plat plan filed with the Zoning Department

Hearing Date: Tuesday, June 24, 1980 at 9:45 A.M.
Public Hearing: Room 106, County Office Building, 111 W. Chesapeake Avenue, Towson, Maryland

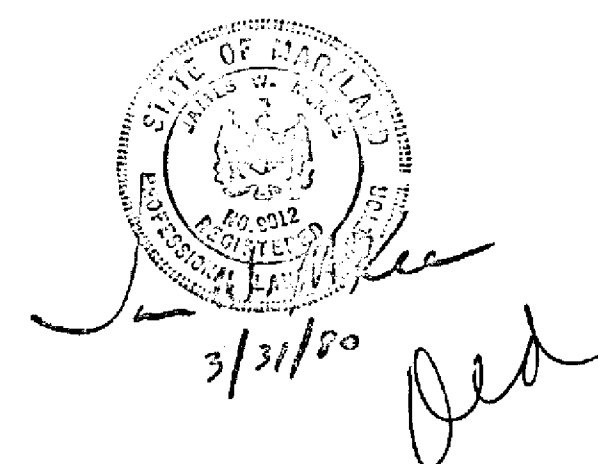
BY ORDER OF
WILLIAM E. HAMMOND
ZONING COMMISSIONER
OF BALTIMORE COUNTY

McKEE, DUVAL & ASSOCIATES, INC.
Engineering - Surveying - Real Estate Development

1717 YORK RD. LUTHERVILLE, MARYLAND 21093
Telephone: (301) 252-5820

Description of 5.000 Acres of Land, More or Less
8th Election District
Baltimore County, Maryland

Beginning for the same at a point approximately 1,100 feet West of the intersection of Quaker Bottom Roads Numbers 1 and 2 and being known and designated as Lot 6 on a plat dated July 11, 1978 and recorded among the Plat Records of Baltimore County in Plat Book B.M.C., Jr. 43 folio 34 and known as Section 1, Quaker Hills.



BALTIMORE COUNTY
OFFICE OF PLANNING & ZONING
TOWSON, MARYLAND 21204
494-0350

WILLIAM E. HAMMOND
ZONING COMMISSIONER

June 16, 1980

Dorothy Beaman, Esquire
105 W. Pennsylvania Avenue
Towson, Maryland 21204

RE: Petition for Variance
SW/S Quaker Bottom Rd #1, 1100' W of
Quaker Bottom Rd #2
Quaker Bottom Associates
Case No. 80-260-A

Dear Ms. Beaman:

This is to advise you that \$19.38 is due for advertising and posting of the above-property.

Please make check payable to Baltimore County, Maryland and remit to Sandra Jones, Room 113, County Office Building, Towson, Maryland 21204, before the hearing.

Very truly yours,

WILLIAM E. HAMMOND
Zoning Commissioner

WEH:sj

BALTIMORE COUNTY, MARYLAND

INTER-OFFICE CORRESPONDENCE

TO: Mr. W. E. Hammond
Zoning Commissioner
John D. Seyffert, Director
Office of Planning and Zoning
FROM: Petition No. 80-260-A Item 201
SUBJECT: Petition No. 80-260-A Item 201

Petition for Variances for front and side yard setbacks
Southwest side of Quaker Bottom Road No. 1, 1100 feet West of Quaker Bottom Road No. 2
Petitioner- Quaker Bottom Associates

Eighth District

HEARING: Tuesday, June 24, 1980 (9:45 A.M.)

In view of the concerns expressed by the Department of Traffic Engineering (see Zoning Advisory Committee comment dated 5/7/80), this office is opposed to the granting of the subject petition.

JDS:JGH:ab

John D. Seyffert, Director
Office of Planning and Zoning

August 11, 1980

John W. Hessian, III, Esquire
People's Counsel
Old Court House - 2206
Towson, Maryland 21204

RE: Petition for Variance
SW/S of Quaker Bottom Road No. 1,
1100' W of Quaker Bottom Road No. 2
Quaker Bottom Associates
Case No. 80-260-A

Dear Mr. Hessian:

Please be advised that an Appeal has been filed by Dorothy M. Beaman, Esquire, on behalf of Quaker Bottom Associates, from the decision rendered by the Zoning Commissioner of Baltimore County in the above-referenced matter.

You will be notified of the date and time of the appeal hearing when it is scheduled by the County Board of Appeals.

Very truly yours,

WILLIAM E. HAMMOND
Zoning Commissioner

WEH:SJ

cc: Mr. Kenneth Bosley
Box 334
Cockeysville, Maryland 21030

May 27, 1980

Dorothy Beaman, Esquire
405 W. Pennsylvania Avenue
Towson, Maryland 21204

NOTICE OF HEARING

RE: Petition for Variances - SW/S Quaker Bottom Road No. 1,
1100' W of Quaker Bottom Road No. 2 - Quaker Bottom
Associates - Case No. 80-260-A

TIME: 9:45 A.M.

DATE: Tuesday, June 24, 1980

PLACE: ROOM 106 COUNTY OFFICE BUILDING, 111 W. CHESAPEAKE AVENUE,

TOWSON, MARYLAND

[Signature]
ZONING COMMISSIONER OF
BALTIMORE COUNTY

cc: Ms. Susan Brannigan
2217 Cloverdale
Fallston, Md 21047

McKee, DuVal & Assoc., Inc.
1717 York Road
Lan Lee Bldg.
Lutherville, MD 21093

LAW OFFICES
HOOPER, KIEFER & CORNELL
343 NORTH CHARLES STREET
BALTIMORE, MARYLAND 21201
(301) 727-4700
August 8, 1980

RICHARD W. KIEFER
F. DUNCAN CORNELL
JIM P. MINNELL
WILLIAM L. CLARK
DOROTHY M. BEAMAN
QUENTIN G. PARKER
COUNSEL
PHILIP HELLER SACHS

TOWSON OFFICE
405 W. PENNSYLVANIA AVENUE
TOWSON, MARYLAND 21204
ARTHUR U. HOOPER
(301) 727-4701

Zoning Commissioner
County Office Building
Towson, Maryland 21204

Re: Petition for Variances
SW/S of Quaker Bottom Road
No. 1, 1100' W of Quaker Bottom
Road No. 2 - 8th. Election District
Quaker Bottom Associates - Petitioner
No. 80-260-A (Item No. 201)

Gentlemen:

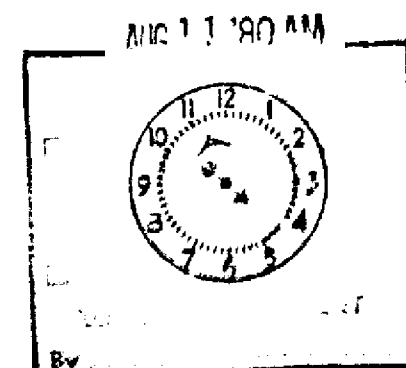
Quaker Bottom Associates, a limited partnership of the
State of Maryland, James W. McKee, general partner, 1824 Ridge
Road, Reisterstown, Maryland 21136, hereby appeals from the
denial of its Petition for Variance as above referenced.
The Zoning Commissioner of Baltimore County signed its
Order of Denial on July 28, 1980.

I enclose herewith our check in the amount of \$35.00
covering the costs of appeal. Please advise me of the date
of hearing.

Very truly yours,

[Signature]
Dorothy M. Beaman

DMB:igs
cc: James W. McKee
Enclosure - check



BALTIMORE COUNTY
OFFICE OF PLANNING & ZONING
TOWSON, MARYLAND 21204
494-0353
WILLIAM E. HAMMOND
ZONING COMMISSIONER

July 28, 1980

Dorothy M. Beaman, Esquire
405 West Pennsylvania Avenue
Towson, Maryland 21204

RE: Petition for Variances
SW/S of Quaker Bottom Road
No. 1, 1100' W of Quaker Bottom
Road No. 2 - 8th Election District
Quaker Bottom Associates -
Petitioner
NO. 80-260-A (Item No. 201)

Dear Ms. Beaman:

I herewith pass my Order in the above referenced matter in ac-
cordance with the attached.

Very truly yours,

[Signature]
WILLIAM E. HAMMOND
Zoning Commissioner

WEH:arl

Attachments

cc: Mr. Kenneth Bosley
Box 334
Cockeysville, Maryland 21030

John W. Hessian, III, Esquire
People's Counsel

STREET TRAFFIC STUDIES, LTD.
STEPHEN G. PETERSEN, P.E., PRESIDENT

June 17, 1980

PETITIONER'S EXHIBIT 5

MEMORANDUM

TO: James McKee
FROM: Wes Guckert
SUBJECT: #519 Quaker Bottom Road #1
Baltimore County
Variance to Zoning

As requested we have conducted a traffic engineering study
to determine the impact of the development of the subject
property as planned.

Base Conditions

The site is located along Quaker Bottom Road east of I-83
as shown in Exhibit 1. The subject property is part of a
total planned development of 32 lots called Quaker Hills
(sections 1 and 2). Quaker Bottom Road is a two lane County
maintained roadway posted for 25 MPH. The roadway pavement
is approximately 20 feet wide in front of the subject site
but narrows to about 15 feet west of the property. Quaker
Bottom Road is a winding, rolling, rural roadway with no
centerline or edgeline pavement markings. The subject property
is situated on a 90 degree curve and there are no advance
curve warning signs to advise the motorists of the change in
horizontal alignment.

Traffic Planning & Engineering Consulting • Traffic Counting • Signal Design • Traffic Impact & Adequate Public Facilities Analysis
Office: Washington • 16628 S. Westmont Dr., Gaithersburg, Md. 20878 301-258-0558 • Baltimore • 4 Priddyway Garth Parkton, Md. 21120 301-343-0550

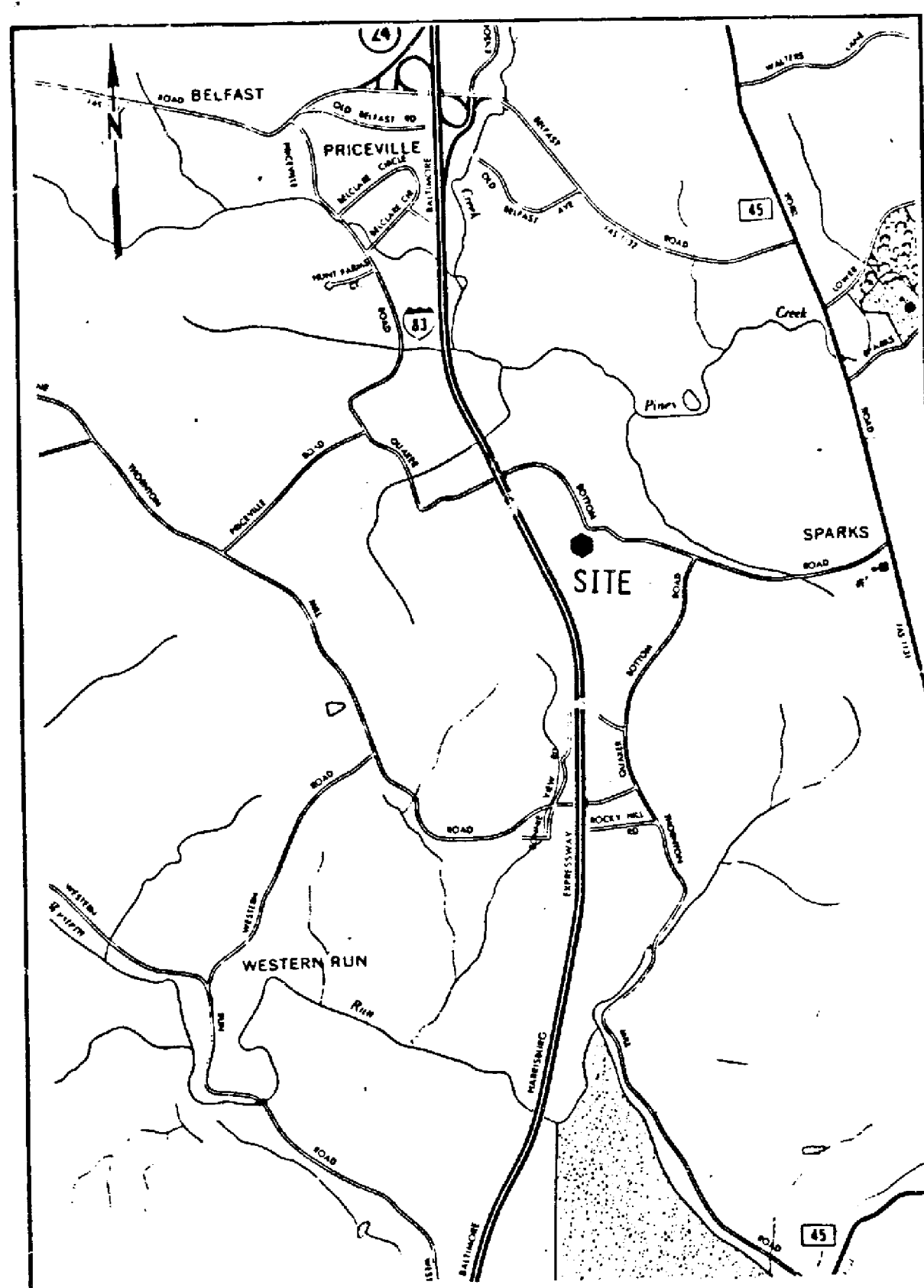


EXHIBIT 1
SITE LOCATION

Traffic Volumes

STS LTD conducted a two-way machine count along Quaker
Bottom Road at Maryland 45 (York Road) from Wednesday,
June 4, 1980 to Saturday, June 7, 1980. The volumes
recorded are shown on Exhibit 2. The morning peak hour
volume is 27 vehicles (7-8 AM) and the evening peak hour is
43 vehicles (5-6 PM). This equates to an average of less than
one vehicle per minute along Quaker Bottom Road during peak
periods.

Accident Statistics

Computer accident records were reviewed at the Maryland State
Highway Administration Bureau of Accident Statistics and
Analysis in Glen Burnie, Maryland for all of Quaker Bottom
Road.

QUAKER BOTTOM ROAD #1 (Co. Rte. 208)

Log Mile	Location
0.00	Priceville Road
0.49	I-83
0.83	Approximate Site Location
1.11	Quaker Bottom Road #2 (Co. Rte. 205)
1.66	Maryland 45 (York Road)

1977

No accidents along Quaker Bottom Road #1

1978

Log mile 0.36 (w. of I-83) 3 PM - vehicle hit a parked car -
Listed Probable Cause - speed too great for weather conditions
Log mile 1.12 (at Quaker Bottom Road #2) - 9 PM - single
vehicle accident
Listed Probable Cause - speed too great for weather conditions
Log mile 1.47 (near Maryland 45) - 6 PM - head-on collision
Listed Probable Cause - exceeding posted speed limit

VEHICLE COUNT MACHINE SUMMARY											
ALONG QUAKER BOTTOM ROAD											
SET UP BY J. ELLIS											
LOCATION: Baltimore County											
DATES: June 4-7, 1980											
WEATHER: Days: Wells - Saturday											
TABULATED BY: J. W. Guckert											
MACHINE NO. _____											
WEEKDAY TRAFFIC VOLUMES											
TIME	MONDAY	TUESDAY	WEDNESDAY	THURSDAY	FRIDAY	SATURDAY	SUNDAY	WEEKEND VOL.	7 DAY TOTAL	AVG. DAILY VOL.	AVG. WEEKLY VOL.
12-1 AM											
1-2											
2-3											
3-4											
4-5											
5-6											
6-7											
7-8											
8-9											
9-10											
10-11											
11-12											
12-1 PM											
1-2											
2-3											
3-4											
4-5											
5-6											
6-7											
7-8											
8-9											
9-10											
10-11											
11-12											
TOTAL											

Recommendations and Conclusions

Quaker Bottom Road is a typical rural County roadway with a
realistic posted speed limit of 25 MPH. The present low-
density zoning indicates that little development is likely
to take in this area.

The accident statistics show that no accidents have occurred
at the "curve" where the site is located within the last two
years. Furthermore only three accidents were reported along
the entire length of Quaker Bottom Road during 1977 and 1978
all of which were attributable to driver error and not roadway
geometrics.

The existing volumes are extremely low and do not present a
capacity problem and the posted speed limit of 25 MPH is
reasonable.

It is recommended that the County Department of Traffic
Engineering prepare signing plans for Quaker Bottom Road to
provide the motoring public with appropriate warning signs for
the horizontal curves especially in the vicinity of the sub-
ject site. This signing coupled with the speed limit will
advise motorists they are approaching a curve that must be
driven less than 25 MPH. Although it may not be aesthetically
pleasing, guardrail should be placed along Quaker Bottom
Road at the subject site by the County if deemed necessary by
County officials.

Once the roadway is properly signed, it is my opinion that the
use of the site as planned will not pose a "hazard" to motorists.



STREET TRAFFIC STUDIES, INC.

PETITIONER'S EXHIBIT 4

QUALIFICATIONS AND EXPERIENCE

John W. Guckert

April 3, 1980

EXPERIENCE: Street Traffic Studies, Limited
August 1977 to Present
Manager, STS - I function as an associate to Stephen G. Petersen, P.E. I have performed all types of traffic engineering studies and have worked on over 150 projects since August 1977. I have prime responsibility for many projects and have prepared reports for the clients based upon my analysis and they have acted accordingly.

The locations where I have testified as an expert traffic engineer are listed on Page 3.

April 1977 to August 1977
Worked part time for STS as an assistant to Stephen G. Petersen, P.E. on all types of engineering and planning projects.

May 1972 to August 1977
Maryland State Highway Administration Traffic Division Engineer Associate - I worked as a Design Draftsman for the Traffic Signal Design Section for ten (10) months. Projects included signals for isolated intersections and inter connected coordinated signal systems throughout the State. February, 1973 I began working for the Baltimore Metropolitan Regional Traffic Engineer as a primary assistant. Duties and studies included (but not limited to) traffic signal design, sign design, capacity analysis, geometric design and review, parking and speed limit studies. Worked as an assistant in southern Maryland and eastern shore for 1 1/2 years and in the Baltimore Metropolitan area for 2 1/2 years.

May 1968 to May 1972
United States Air Force
Vietnamese Linguist for the United States Air Force Security Service.

Oct. 1967 to April 1968
Maryland State Highway Administration Testing Laboratory Engineering Associate - Conducted tests on all types of materials used by the State Highway Administration and contractors.

Traffic Planning & Engineering Consulting • Traffic Counting • Signal Design • Traffic Impact & Adequate Public Facilities Analysis
Office: Washington / 16628 S Westland Dr., Gaithersburg, Md. 20760 301/258 0558 • Baltimore / 4 Pennyboy Garth, Parkton, Md. 21120 301/343 0950

EDUCATION:

Pursuing Bachelor's Degree in Civil Engineering. Currently attending Johns Hopkins University. I have taken courses at Towson State University and Essex Community College. 60 credits towards Civil Engineering Degree. Personnel Management course while in the United States Air Force.

PROFESSIONAL COURSES

Northwestern University - Traffic Institute
1). Seminar for Technical Assistants (June, 1973)
2). Highway Capacity Workshop (March, 1976)
3). Traffic Signal Workshop (January, 1976)
4). Urban Street Systems Design Workshop (March, 1977)
5). Traffic Management of Land Development (February, 1978)

United States Department of Transportation
Traffic Control for Street and Highway Construction and Maintenance Operations
Urban Traffic Control Systems (UTCS) Seminar - FHWA
ITE - Self-training Course

University of Maryland
Short Course Urban Transportation Planning (May, 1975)
Traffic Engineering Short Course (1972)

University of Tennessee
Quick response Urban Travel Estimation Techniques (July, 1978)

Typical Projects

Transit Station Access Development Alternatives Study (TSDAS) for Baltimore County - complete January, 1978.
Comprehensive study of impact of Baltimore's Reisterstown Road Plaza Metro Station (cost \$21,000).

Various traffic signal design projects throughout the State of Maryland underway - estimated installation costs \$500,000.

Pikesville Revitalization Study - Baltimore County - underway sub-consultant to James L. Prost Associates (cost \$6500.00)

Various traffic planning and engineering studies relating to zoning and special exception cases throughout Maryland, Virginia, etc.

The following are locations and jurisdictions where I have qualified and testified as an expert traffic engineer.

Allegany County-Local Planning Board
Anne Arundel County-Zoning Hearing Examiner
Baltimore City Council
Baltimore County-Zoning Hearing Examiner
Town of Bel Air-Planning Board
Town of Bel Air-Town Council
Harford County-Zoning Hearing Examiner
Loudon County Virginia-Planning Board
Montgomery County-Zoning Hearing Examiner
Prince Georges County-Zoning Hearing Examiner
St. Mary's County-Planning Board
Baltimore County Board of Appeals
City of Annapolis Planning Commission
West Whiteland Township, Pennsylvania

LAW OFFICES
HOOPER, KIEFER & CORNELL
343 NORTH CHARLES STREET
BALTIMORE, MARYLAND 21204
(301) 727-4700

TOWSON OFFICE
408 W. PENNSYLVANIA AVENUE
TOWSON, MARYLAND 21204

ARTHUR U. HOOPER
(301) 727-4700

October 14, 1980

Mr. Walter A. Reiter, Jr.
County Board of Appeals
Room 219
Court House
Towson, Maryland 21204

Re: Quaker Bottom Associates
Appeal from Zoning Commissioner
No. 80-260-A (Item No. 201)

Dear Mr. Reiter:

I represent James W. McKee, General Partner of Quaker Bottom Associates, a limited partnership. We filed a Petition for Variance for front and side yard setbacks for property located on the south-west side of Quaker Bottom Road, which Petition was denied by Zoning Commissioner Hammond after a hearing on June 24, 1980. We filed an appeal to this Board on August 8, 1980.

This particular piece of property is improved by a barn built in 1811 and Quaker Bottom Associates has a contract purchaser who wants to renovate the barn to make it his principal residence. The contract of sale is contingent upon securing the variance to make the renovation of this historical site possible.

However, the terms of the contract provide for settlement on or before February 8, 1981. Accordingly, we earnestly request that the hearing on this appeal be set in as early as possible. If you need any additional information, please feel free to get in touch with me.

Very truly yours,

Dorothy M. Beaman

RECEIVED
BALTIMORE COUNTY
OCT 21 1980
CLERK OF BOARD
OF APPEALS

James W. McKee

LAW OFFICES
HOOPER, KIEFER & CORNELL
343 NORTH CHARLES STREET
BALTIMORE, MARYLAND 21204
(301) 727-4700

August 8, 1980

TOWSON OFFICE
408 W. PENNSYLVANIA AVENUE
TOWSON, MARYLAND 21204

ARTHUR U. HOOPER
(301) 727-4700

Zoning Commissioner
County Office Building
Towson, Maryland 21204

Re: Petition for Variances
SW/S of Quaker Bottom Road
No. 1, 1100' W of Quaker Bottom
Road No. 2 - 8th. Election District
Quaker Bottom Associates - Petitioner
No. 80-260-A (Item No. 201)

Gentlemen:

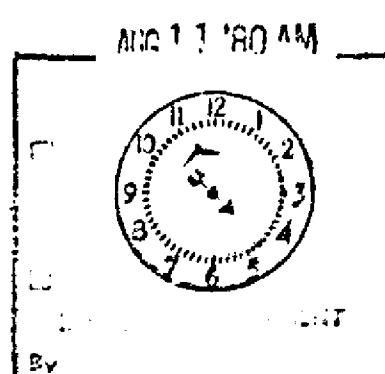
Quaker Bottom Associates, a limited partnership of the State of Maryland, James W. McKee, general partner, 1824 Ridge Road, Reisterstown, Maryland 21136, hereby appeals from the denial of its Petition for Variance as above referenced. The Zoning Commissioner of Baltimore County signed its Order of Denial on July 28, 1980.

I enclose herewith our check in the amount of \$35.00 covering the costs of appeal. Please advise me of the date of hearing.

Very truly yours,

Dorothy M. Beaman

DMB:gs
cc: James W. McKee
Enclosure - check



494-3180

County Board of Appeals
Room 219, Court House
Towson, Maryland 21204

October 21, 1980

NOTICE OF ASSIGNMENT

NO POSTPONEMENTS WILL BE GRANTED WITHOUT GOOD AND SUFFICIENT REASONS. REQUESTS FOR POSTPONEMENTS MUST BE IN WRITING AND IN STRICT COMPLIANCE WITH BOARD RULE 2(b). ABSOLUTELY NO POSTPONEMENTS WILL BE GRANTED WITHIN FIFTEEN (15) DAYS OF SCHEDULED HEARING DATE IN ACCORDANCE WITH RULE 2(c), COUNTY COUNCIL BILL #108

CASE NO. 80-260-A

QUAKER BOTTOM ASSOCIATES

Variance to allow minimum front setback

SW/S of Quaker Bottom Rd. No. 1, 1100'
W of Quaker Bottom Rd. No. 2

8th District

7/28/80 - ZC DENIED Variances

ASSIGNED FOR:

Duncan Cornell Esq.
cc: Dorothy M. Beaman, Esq.

Quaker Bottom Associates

Susan Braungart

Kenneth Bosley

J. W. Hession, Esq.

J. E. Dyer

Wm. Hammond

Petitioner

Contract Purchaser

Protestant

People's Counsel

Zoning Office

" "

June Holmen, Secy.

494-3180

County Board of Appeals
Room 219, Court House
Towson, Maryland 21204

February 2, 1981

Duncan Cornell, Esquire
405 W. Pennsylvania Avenue
Towson, Maryland 21204

Re: Case No. 80-260-A
Quaker Bottom Associates

Dear Mr. Cornell:

Enclosed herewith is a copy of the Opinion and Order passed today by the County Board of Appeals in the above entitled case.

Very truly yours,

Edith T. Eisenhart
Edith T. Eisenhart, Adm. Secretary

Encl.

cc: Quaker Bottom Associates
Susan Braungart
Mr. Kenneth Bosley
John W. Hession, III, Esq.
Mr. J. E. Dyer
Mr. W. E. Hammond
Mr. J. Hoswell
Mr. N. E. Gerber

10/21/80 - The following were notified of scheduled hearing set for THURS., JAN. 29, 1981, at 10 a.m.:

Dorothy M. Beaman, Esq.
Quaker Bottom Assoc.
Susan Braungart
Kenneth Bosley

J. Hession
J. Dyer
W. Hammond

January 9, 1981

Ms. Dorothy M. Beaman
Hooper, Kiefer & Cornell
343 N. Charles Street
Baltimore, Md. 21201

Re: Summons - Case No. 80-260-A
Quaker Bottom Associates

Dear Ms. Beaman:

We have certified and forwarded to the Sheriff's Office the summons which you issued in the above entitled case. However, we are returning herewith your check as payment is not made to this office, but directly to the Sheriff's Office.

Very truly yours,

Edith T. Eisenhart
Edith T. Eisenhart, Adm. Secretary

Encl.

PETITION MAPPING PROGRESS SHEET									
FUNCTION	Wall Map		Original		Duplicate		Tracing		200 Sheet
	date	by	date	by	date	by	date	by	date
Descriptions checked and outline plotted on map									
Petition number added to outline									
Denied									
Granted by ZC, BA, CC, CA									
Reviewed by: <i>W.E.H.</i>	Revised Plans: Change in outline or description: ☐ Yes ☒ No								
Previous case: <i>80-260-A</i>	Map # <i>1</i>								

BALTIMORE COUNTY OFFICE OF PLANNING & ZONING

County Office Building
111 W. Chesapeake Avenue
Towson, Maryland 21204

Your Petition has been received this 3 day of April, 1981.
Filing Fee \$ 25 Received: ☒ Check ☐ Cash ☐ Other

#201

Petitioner: *Quaker Bottom Associates* Submitted by: *W.E.H.*
Petitioner's Attorney: *Beaman* Reviewed by: *W.E.H.*

*This is not to be interpreted as acceptance of the Petition for assignment of a hearing date.

LAW OFFICES
HOOPER, KIEFER & CORNELL

343 NORTH CHARLES STREET
BALTIMORE, MARYLAND 21201
(301) 727-4700

RICHARD A. KIEFER
F. DUNCAN CORNELL
JAN & HINDEL
WILLIAM E. CORNELL
DOROTHY M. BEAMAN
QUENTIN S. BARNER
COUNSEL
PHILIP HELLER BACHS

TOWSON OFFICE
408 W. PENNSYLVANIA AVENUE
TOWSON, MARYLAND 21204

ARTHUR U. HOOPER
(301) 727-4700

January 8, 1981

County Board of Appeals
Room 219
Court House
Towson, Maryland 21204

Re: Quaker Bottom Associates
Case No. 80-260-A

Gentlemen:

Please issue the attached summons in connection with the above referenced case scheduled to be held on January 29, 1981. Thank you for your assistance.

Yours very truly,

Dorothy M. Beaman
Dorothy M. Beaman

DMB:mw

Enclosure

RECEIVED
BALTIMORE COUNTY
JAN 9 10 30 AM '81
OFFICE OF PLANNING & ZONING
BY: *W.E.H.*

RECEIVED
BALTIMORE COUNTY
JAN 9 8 51 AM '81
OFFICE OF PLANNING & ZONING
BY: *W.E.H.*

M. Dorothy Beaman, Attorney At Law
405 West Pennsylvania Avenue
Towson, Maryland 21204

cc: McKee, DuVal & Assoc., Inc.
1717 York Rd.
Lutherville, Md. 21093

BALTIMORE COUNTY OFFICE OF PLANNING & ZONING

County Office Building
111 W. Chesapeake Avenue
Towson, Maryland 21204

Your Petition has been received and accepted for filing this 14th day of April, 1980.

William E. Hammond
WILLIAM E. HAMMOND
Zoning Commissioner

Petitioner: *Quaker Bottom Associates*

Petitioner's Attorney: *Dorothy Beaman*
Attorney At Law

Reviewed by: *Nicholas E. Commodari*
Nicholas E. Commodari
Chairman, Zoning Plans
Advisory Committee

CERTIFICATE OF POSTING

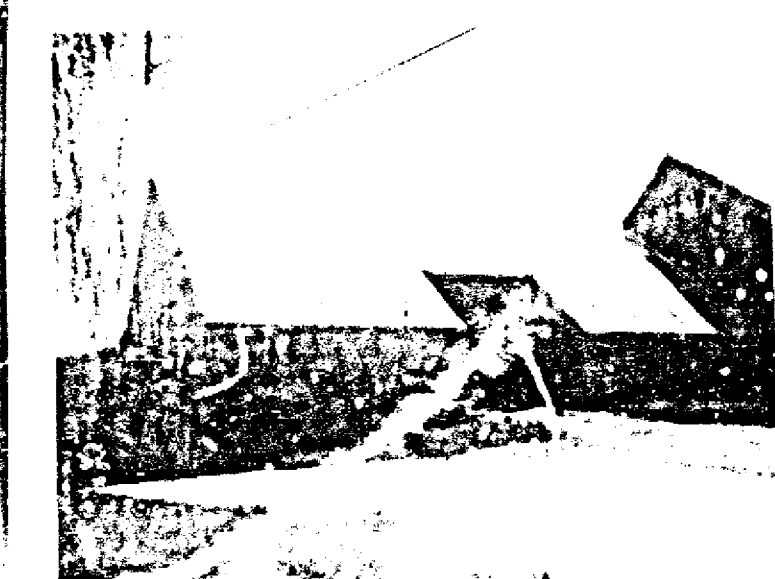
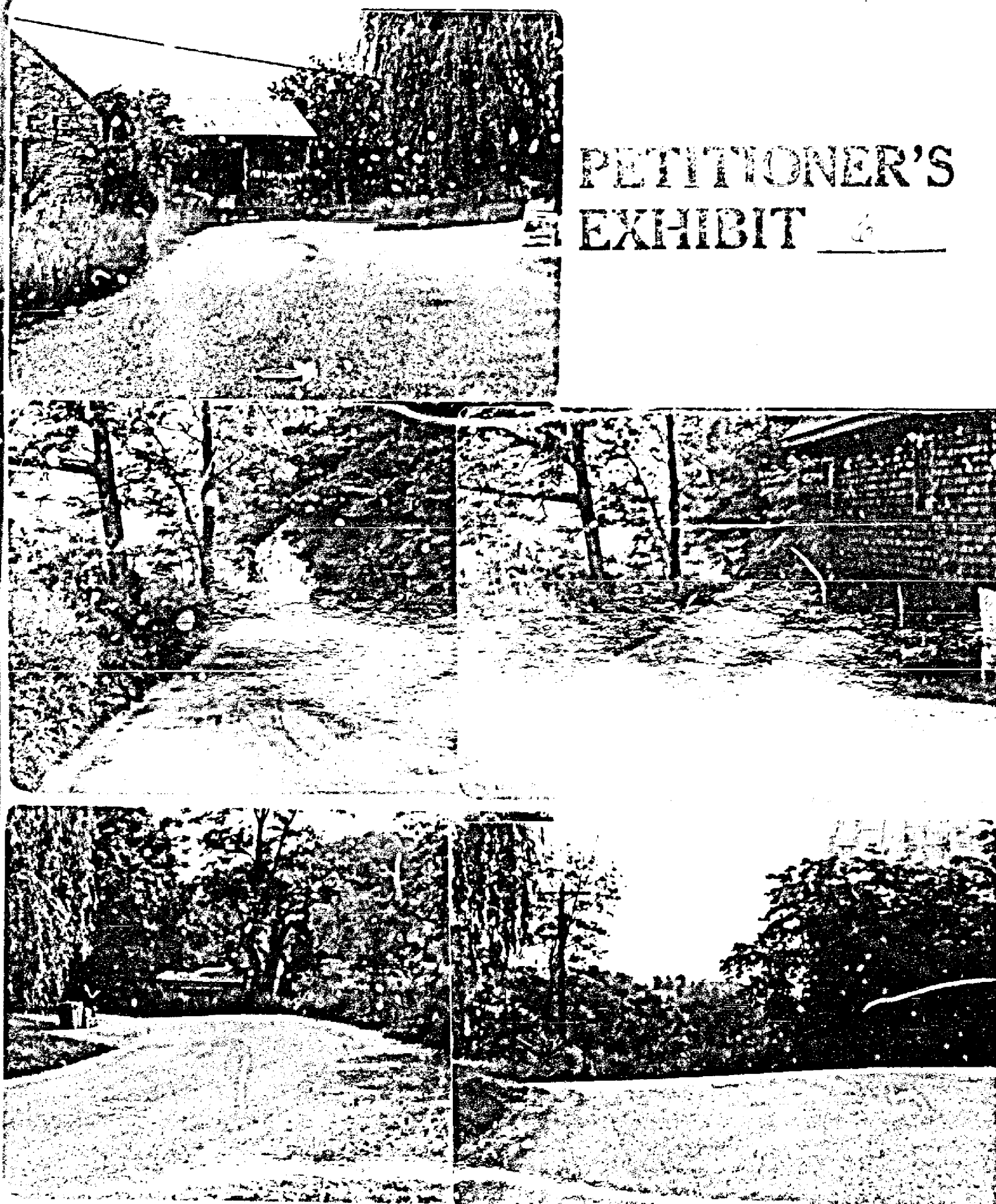
ZONING DEPARTMENT OF BALTIMORE COUNTY
Towson, Maryland

District: 8th Date of Posting: June 6, 1980
Posted for: PETITION FOR VARIANCES
Petitioner: QUAKER BOTTOM ASSOCIATES
Location of property: SW/Side of Quaker Bottom Rd. #1, 1100' W of Quaker Bottom Rd. #2
Location of Signs: SW/Side of Quaker Bottom Rd. #1, 1100' W of Quaker Bottom Rd. #2
Remarks: Quaker Bottom Associates
Posted by: Thomas R. Roland Date of return: June 13, 1980
Number of Signs: ONE

CERTIFICATE OF POSTING

ZONING DEPARTMENT OF BALTIMORE COUNTY
Towson, Maryland

District: 8th Date of Posting: August 29, 1980
Posted for: APPEAL
Petitioner: QUAKER BOTTOM ASSOCIATES
Location of property: SW/Side of Quaker Bottom Rd. No. 1, 1100' W of Quaker Bottom Rd. No. 2
Location of Signs: SW/Side of Quaker Bottom Rd. #1, 1100' W of Quaker Bottom Rd. #2
Remarks: Thomas R. Roland
Posted by: Thomas R. Roland Date of return: SEPT. 5, 1980
Number of Signs: ONE



DUPLICATE
CERTIFICATE OF PUBLICATION

TOWSON, MD., June 5, 1980

THIS IS TO CERTIFY, that the annexed advertisement was published in THE JEFFERSONIAN, a weekly newspaper printed and published in Towson, Baltimore County, Md., on the 24th day of June, 1980, the 19th day of June, 1980, appearing on the 5th day of June, 1980.

THE JEFFERSONIAN,
Richard A. Kiefer
Manager

Cost of Advertisement, \$ 11.00

The Essex Times

Essex, Md., June 5, 1980

This is to Certify, That the annexed

was inserted in The Essex Times, a newspaper printed and published in Baltimore County, once in each of one successive weeks before the 5th day of June, 1980.
Paul H. Heston
Publisher

BALTIMORE COUNTY, MARYLAND

OFFICE OF FINANCE & REVENUE DIVISION
MISCELLANEOUS CASH RECEIPT

DATE: August 22, 1980 ACCOUNT: 01-662

AMOUNT: \$35.00

RECEIVED: Hooper, Kiefer & Cornell

FOR: Filing Fee for Appeal of Case No. 80-260-A

DATE: August 22, 1980 ACCOUNT: 01-662

AMOUNT: \$5.00

RECEIVED: Hooper, Kiefer & Cornell

FOR: Posting for Appeal of Case No. 80-260-A

DATE: August 22, 1980 ACCOUNT: 01-662

AMOUNT: \$5.00

RECEIVED: Hooper, Kiefer & Cornell

FOR: Posting for Appeal of Case No. 80-260-A

DATE: August 22, 1980 ACCOUNT: 01-662

AMOUNT: \$5.00

RECEIVED: Hooper, Kiefer & Cornell

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FOR: Posting for Appeal of Case No. 80-260-A

DATE: August 22, 1980 ACCOUNT: 01-662

AMOUNT: \$5.00

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FOR: Posting for Appeal of Case No. 80-260-A

DATE: August 22, 1980 ACCOUNT: 01-662

AMOUNT: \$5.00

RECEIVED: Hooper, Kiefer & Cornell

FOR: Posting for Appeal of Case No. 80-260-A

DATE: August 22, 1980 ACCOUNT: 01-662

AMOUNT: \$5.00

RECEIVED: Hooper, Kiefer & Cornell

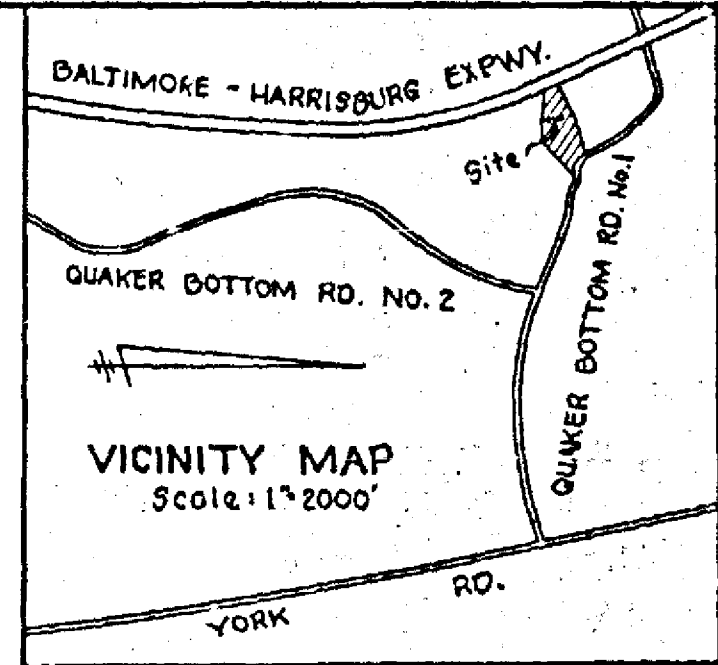
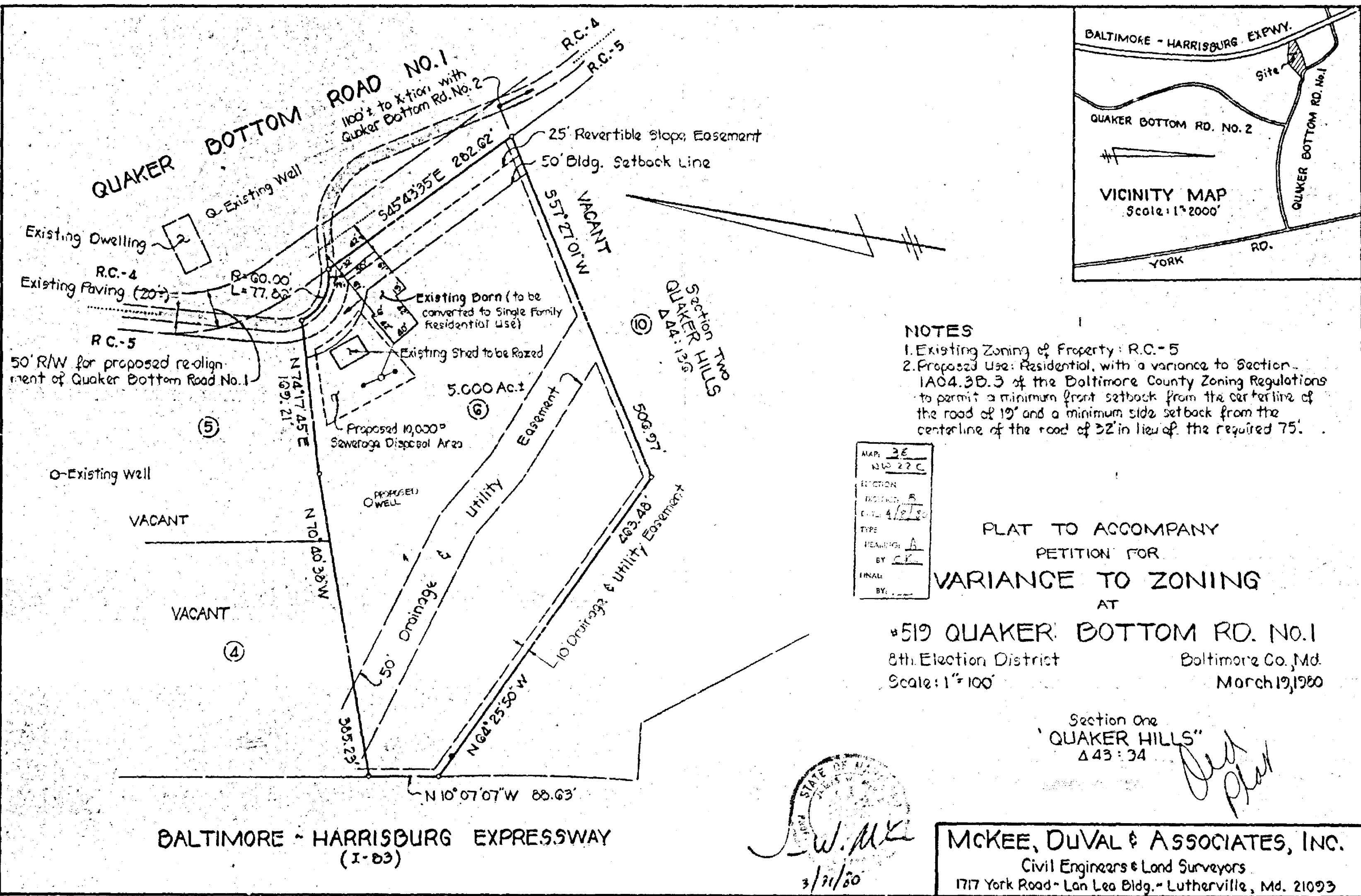
FOR: Posting for Appeal of Case No. 80-260-A

DATE: August 22, 1980 ACCOUNT: 01-662

AMOUNT: \$5.00

RECEIVED: Hooper, Kiefer & Cornell

FOR: Posting for Appeal of Case No. 80-260-A



NOTES

- 1. Existing Zoning of Property: R.C.-5
- 2. Proposed Use: Residential, with a variance to Section 1A04.3D.3 of the Baltimore County Zoning Regulations to permit a minimum front setback from the centerline of the road of 19' and a minimum side setback from the centerline of the road of 32' in lieu of the required 75'.

MAP:	2E
SECTION:	NW 22 C
EDITION:	B
DATE:	4/2/80
TYPE:	
REVISION:	A
BY:	CK
FINAL:	
BY:	

**PLAT TO ACCOMPANY
PETITION FOR
VARIANCE TO ZONING
AT**

***519 QUAKER BOTTOM RD. NO.1**
8th. Election District
Scale: 1"=100'

Baltimore Co., Md.
March 19, 1980

Section One
"QUAKER HILLS"
Δ 43:34

Deed plat

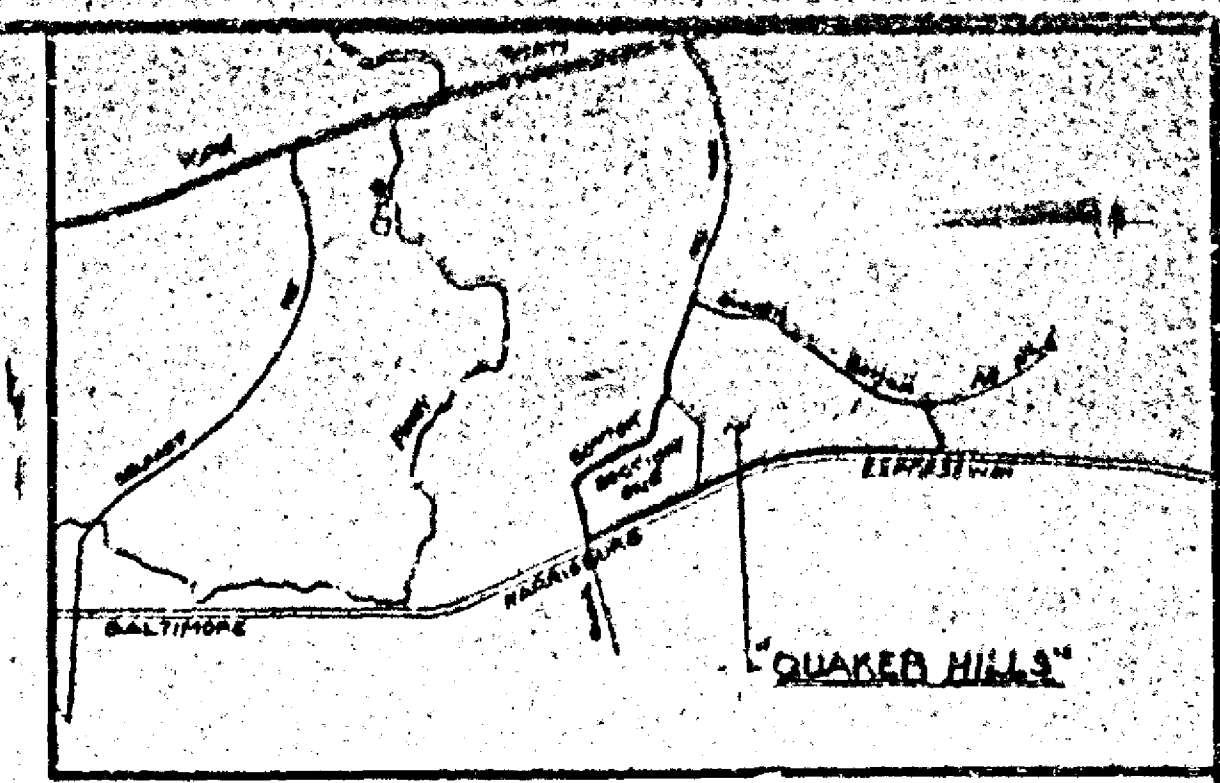
W. McKee
3/21/80

MCKEE, DUVAL & ASSOCIATES, INC.
Civil Engineers & Land Surveyors
1717 York Road - Lan Lea Bldg. - Lutherville, Md. 21093

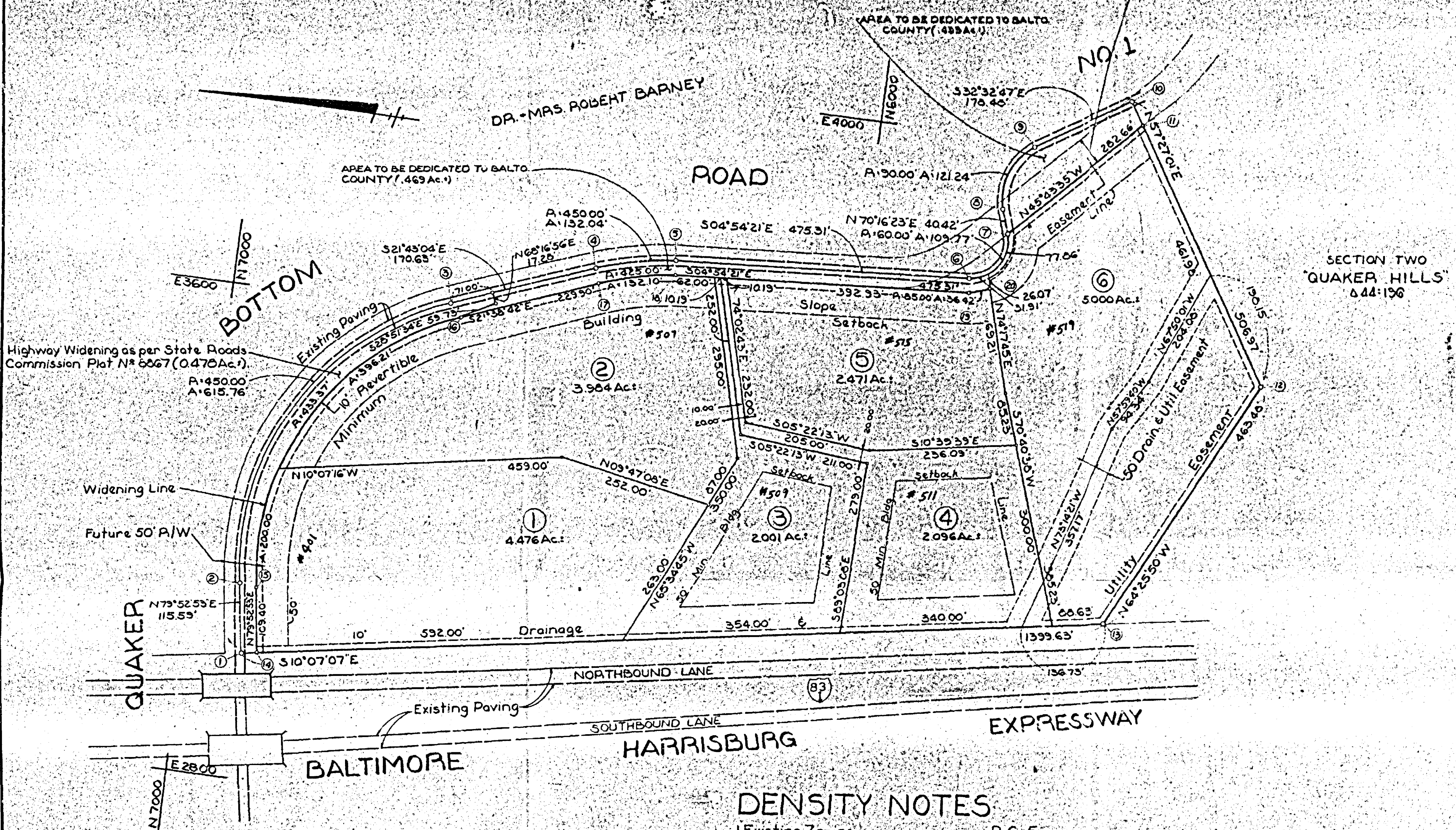
REASON FOR FIRST AMENDMENT
To change the width of the Reversible Slope Easement along Quaker Bottom Road No. 1 from 25' to 10'

Proposed Alignment of Quaker Bottom Road No. 1 as established by Baltimore Co. Bureau of Engineering, (50' R/W)

BOARD OF APPEALS
PETITIONER'S
EXHIBIT A



LOCATION MAP
Scale: 1"=2000'



CURVE DATA						
From-to	Δ	R	L	T	Chord	
2-3	78°24'03"	450.00'	615.76'	367.02'	N60°55'06"W	568.83'
4-5	16°48'43"	450.00'	132.04'	66.50'	S13°18'43"E	131.57'
6-7	104°49'16"	60.00'	109.77'	77.94'	S57°18'59"E	95.09'
8-9	77°10'50"	90.00'	121.24'	71.82'	S71°08'12"E	112.27'
15-16	78°49'28"	455.37'	596.21'	356.15'	S60°42'23"E	550.29'
17-18	16°48'44"	425.00'	124.71'	62.80'	S13°18'42"E	124.26'
19-20	24°32'58"	85.00'	36.42'	18.49'	S17°10'50"E	36.14'

COORDINATES				
Pt.	North	East	Pt.	North
1	6903.359	2996.687	11	5574.020
2	6925.245	3110.194	12	5325.460
3	6648.761	3607.311	13	5525.499
4	6424.226	3636.721	14	6678.740
5	6258.253	3727.015	15	6857.368
6	5822.684	3767.663	16	6628.721
7	5771.559	3647.695	17	6415.035
8	5784.360	3685.738	18	6294.114
9	5748.661	3591.383	19	5820.546
10	5558.226	4068.005	20	5706.019

GENERAL NOTES

- For Panhandle Lots; Refuse Collection, Roadway Maintenance, and Snow Removal are provided to the junction of the Panhandle & Street R/W Line only, & not onto the Panhandle Lot Driveway.
- This subdivision is on the Loch Raven Watershed.
- Highway & Highway Widening; Slope, Drainage & Utility Easements shown hereon are reserved unto the Developer and are hereby offered for dedication to Balto. County, Md. The developer, his personal representatives, & assigns, shall convey said areas, by deed, to Balto. County, Md., at no cost.

DENSITY NOTES

- | | |
|-----------------------------------|-------------------|
| 1. Existing Zoning | P.C.-5 |
| 2. Gross Area | 21,433 Ac. |
| 3. Roadway Dedication | 1380 Ac. |
| 4. Net Area | 20,028 Ac. |
| 5. No. of Units Allowed | 20 x 2 = 10 Lots |
| 6. No. of Units Proposed | 6 Lots |
| 7. No. of Parking Spaces Req'd. | 6 x 2 = 12 Spaces |
| 8. No. of Parking Spaces Provided | 12 Spaces |
| 9. Average Lot Size | 3338 Ac. |

NOTE:
This Record Plot may not be honored by Baltimore County after five (5) years from the recording date. See Baltimore County Ord. # 61-79 (Section 22-39.1).
All requirements of the Maryland State Department of Health and Baltimore County Department of Health pertaining to private water and/or sewerage systems must be complied with prior to approval of building applications.

FIRST AMENDED
FINAL SUBDIVISION PLAT
OF

SECTION ONE
"QUAKER HILLS"

8TH ELECTION DISTRICT BALTIMORE COUNTY, MD.
SCALE: 1"=100' OCTOBER 16, 1980

ENCL. JK, A6 Folio 140

Filed for record
Date: NOV 12 1980
To:

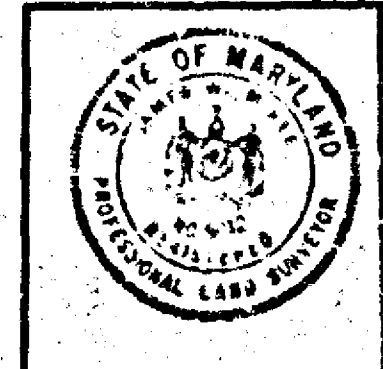
W. A. Coates, Jr. *WAC*
Final Plat Checked
Planning
Engineering
Survey
Date: 11/9/80

Approved: Baltimore County Planning Board
Date: 10/1/80
Approved: *James W. McKee*
Date: 10/31/80
Approved: *James W. McKee*
Date: 10/31/80

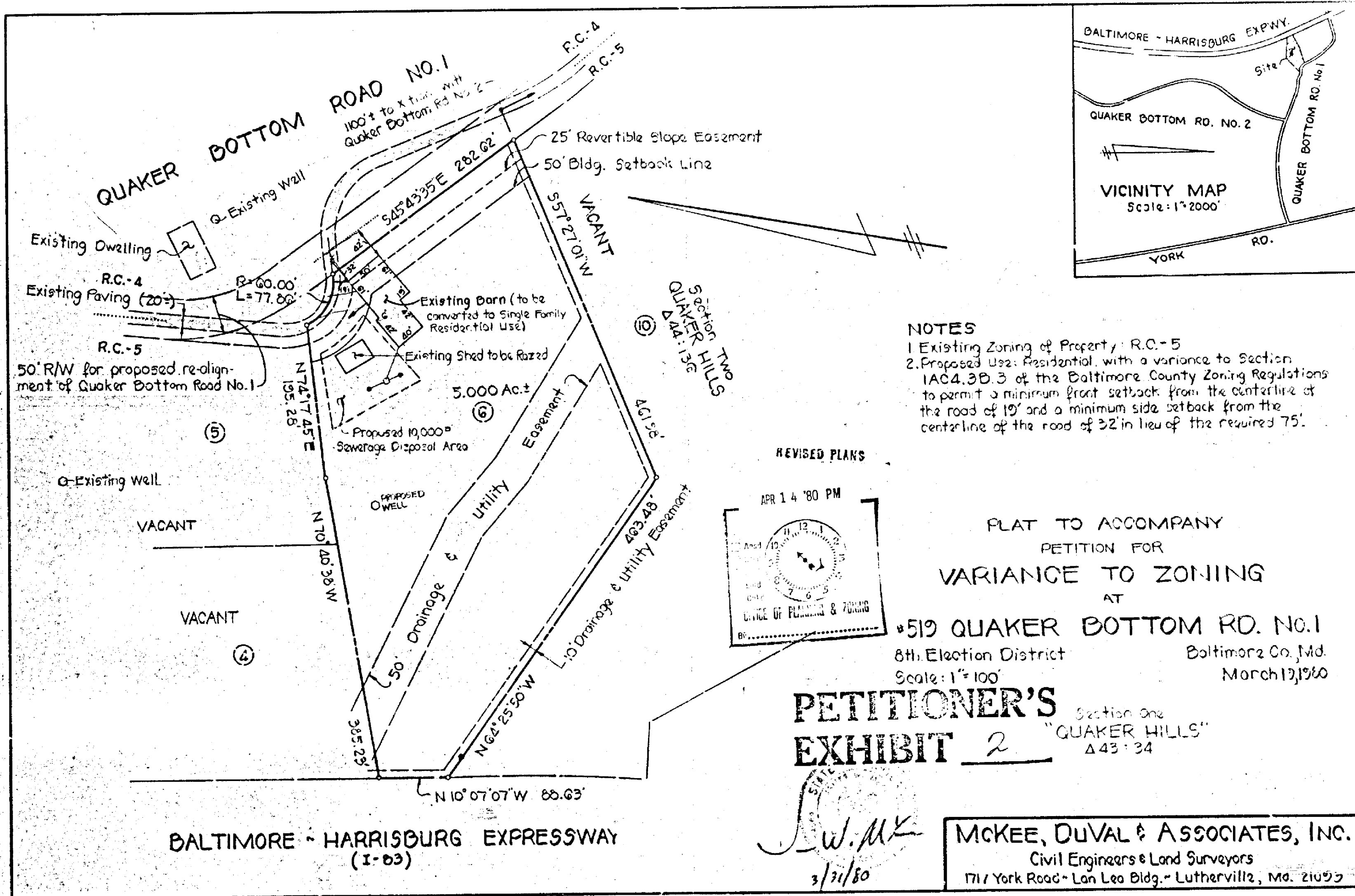
NOTE:
The Streets and/or Roads shown hereon and the mention thereof in deeds are for the purpose of description only, & the same are not intended to be dedicated to public use; the fee simple title to the beds thereof is expressly reserved in the grantors of the deed to which this plat is attached, their heirs and assigns.
NOTE:
The Courses & Co-ordinates shown hereon are based on assumed datum & refer to the following Traverse Stations.
N-1 NORTH 5000.00 EAST 5000.00
Q-1 NORTH 5777.58 EAST 3777.53
Q-23

SURVEYOR'S CERTIFICATE:
I, James W. McKee, A registered land surveyor of the State of Maryland, do hereby certify that the land shown hereon has been laid out & the plat thereof prepared in accordance with sections of 72A to 72E, inclusive of Article 17 of the Annotated Code of Maryland, 1959 Edition, as enacted or amended by the Acts of 1945 & 1947, & subsequent acts, if any, amendatory thereto.
James W. McKee Date: 10/1/80

OWNER'S CERTIFICATE:
The requirements of Section 72A to 72D of Article 17 of the Annotated Code of Maryland, 1959 Edition, Chapter 106 of the Acts of 1945, As amended by Chapters 84 & 788 of the Acts of 1947, and subsequent Acts, if any, amendatory thereto, so far as they concern the making of the plat & setting of markers have been complied with:
Owner of the Land shown hereon:
Date: 10/1/80



MCKEE, DUVAL & ASSOCIATES, INC.
Civil Engineers & Land Surveyors
1717 York Road - Lan Lta Bldg - Lutherville, Md. 21093
Job No. 77-24
Scale: 1"=100'
Date: 10-16-80
Engr. J.W.M.
Des. G.C.C.
Drwn. G.C.S.
Chkd. J.W.M.
Sht. No. 1 of 1



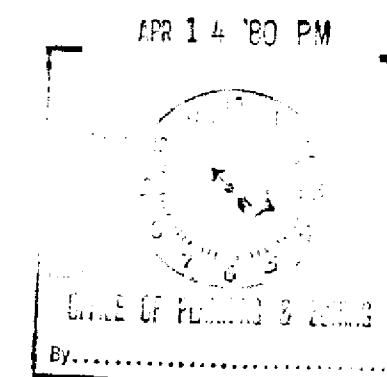
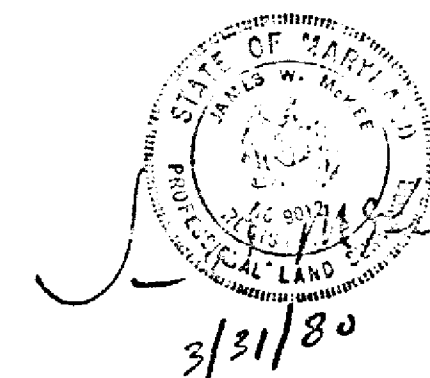
MCKEE, DUVAL & ASSOCIATES, INC.
Engineering - Surveying - Real Estate Development

1717 YORK RD. LUTHERVILLE, MARYLAND 21093
Telephone: (301) 252-5020

April 14, 1980

Description of 5.000 Acres of Land, More or Less
8th Election District
Baltimore County, Maryland

Beginning for the same at a point on the South side of Quaker Bottom Road No. 1 approximately 1,100 feet West of the intersection of Quaker Bottom Roads Numbers 1 and 2 and being known and designated as Lot 6 on a plat dated July 11, 1978 and recorded among the Plat Records of Baltimore County in Plat Book E.H.K., Jr. 43 Folio 34 and known as Section 1, Quaker Hills.



Item 201
REVISED PLANS

TRAFFIC NOTE

A.D.T. Counter Data: 124-74 A.D.T.

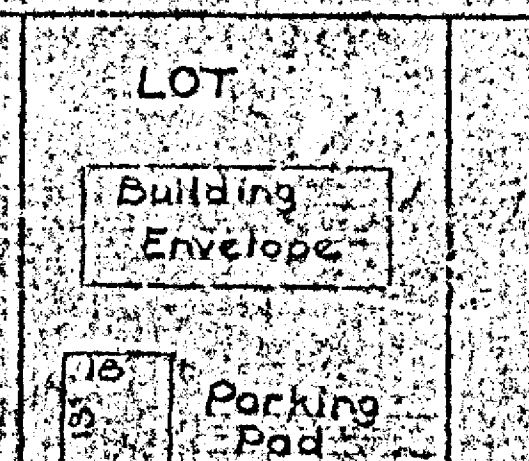
LANDSCAPING NOTE

Landscaping is to be performed by individual lot owners.

GRADING NOTE

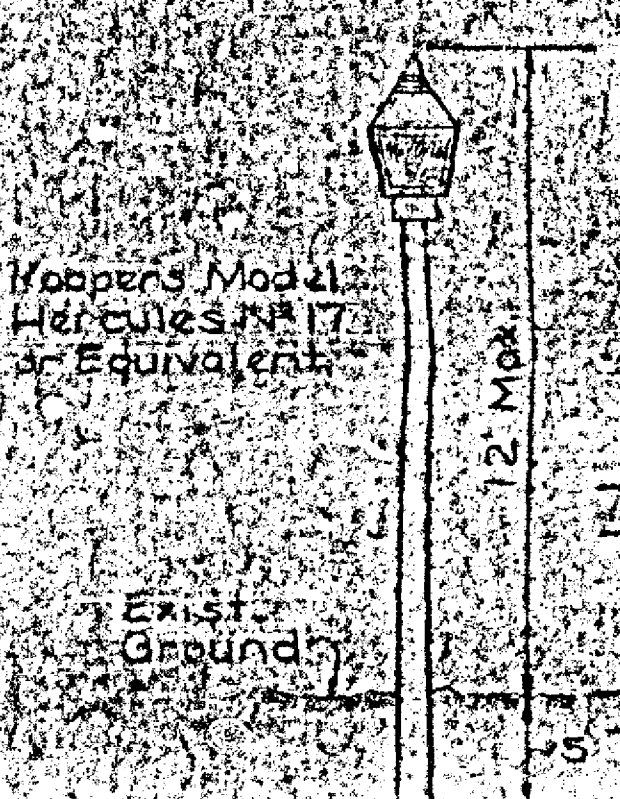
Grading is to be confined to 20' outside the perimeter of the house.

TYPICAL LOT w/ PARKING PAD



The typical parking pad shown is intended to comply with the minimum parking standards of the Balto. Co. Zoning Regulations, Section BO2-2A(III.F3).

The final location & type may be revised as a result of the proposed house location and/or at the request of the Original Home buyer. Driveways will be paved with 4" chip surfacing.



LIGHT DETAIL

Not to Scale

GENERAL NOTES

1. Lots shown hereon will operate on private well & septic systems.
2. For Panhandle Lots, refuse collection show removal & roadway maintenance are provided to the junction of the panhandle & street R/W Line only & not onto the panhandle lot driveway.
3. Lots shown hereon are for Single Family Residential Use only or FOR SALE.
4. No further subdivision of the parcels shown hereon will be allowed unless approved by the Balto. Co. Planning & Zoning Commission.
5. No building permit shall be issued for the construction of a dwelling on a lot shown on a final plat until a well approved by applicable state & co. agencies having jurisdiction has been located on site of any lot.
6. Where applicable, utilities shall be installed in accordance with the current regulations or as amended by the Public Service Commission of Maryland regarding underground service.
7. If and when water & sewerage facilities become available to this subdivision, connection thereto shall be required by the agency having jurisdiction.
8. All the panhandle driveways must be constructed to the rear lot prior to the sale of a lot.
9. Refuse to be collected twice weekly by Balto. County.



James W. McKee
(Md. Reg. #2012)

Date:

McKee, Duval & Associates, Inc.

Civil Engineers & Land Surveyors

1117 Rock Rd. - Lan Lea Bldg. - Lutherville, Md. 21093

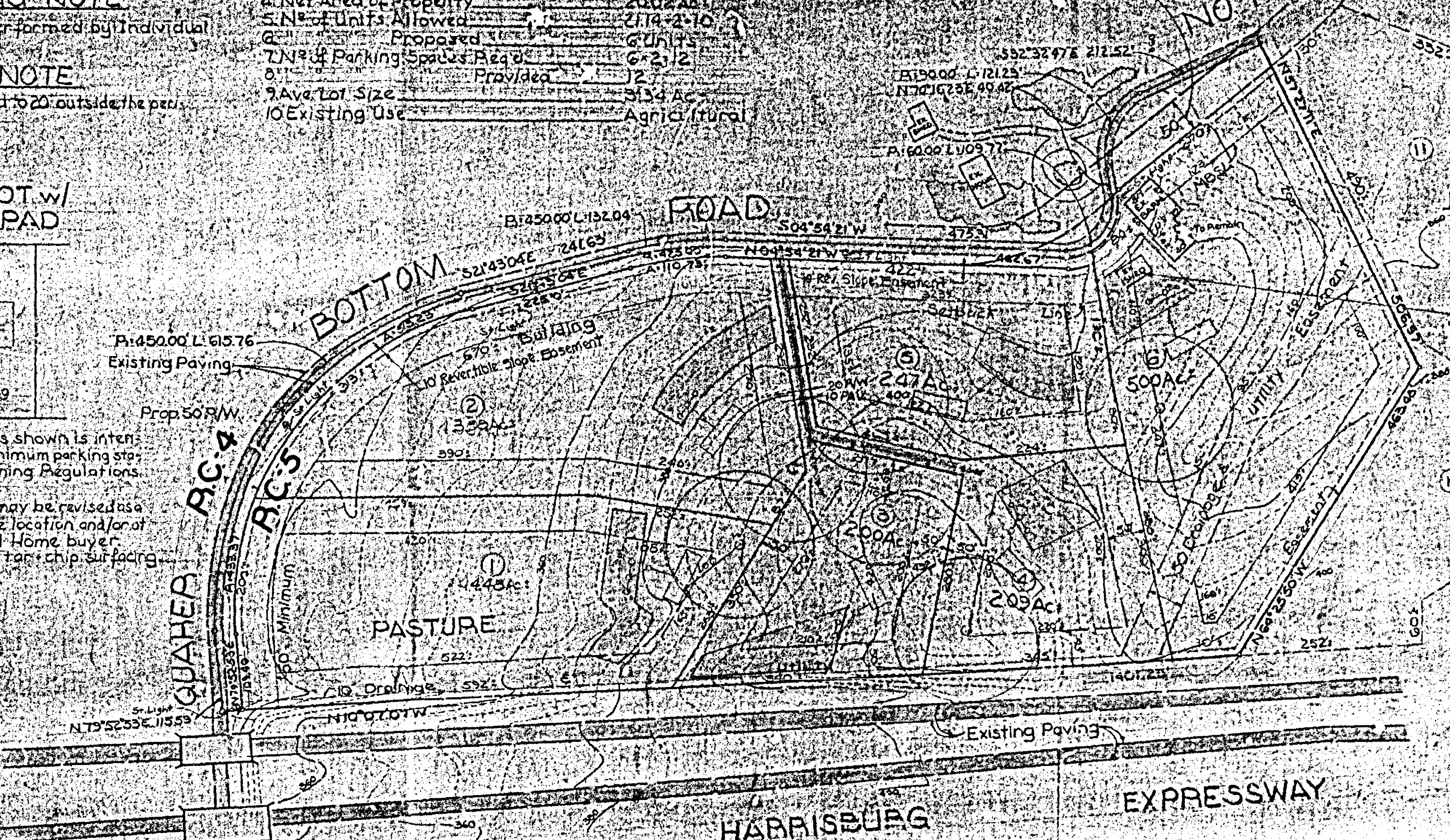
Plot No. 1 Scale: 1"=100' Engr: J.W.M. Dwg: G.C.S. Sheet No.

17-24 Date: 10/20/20 Des: J.W.M. Chk: J.W.M. 1 of 1

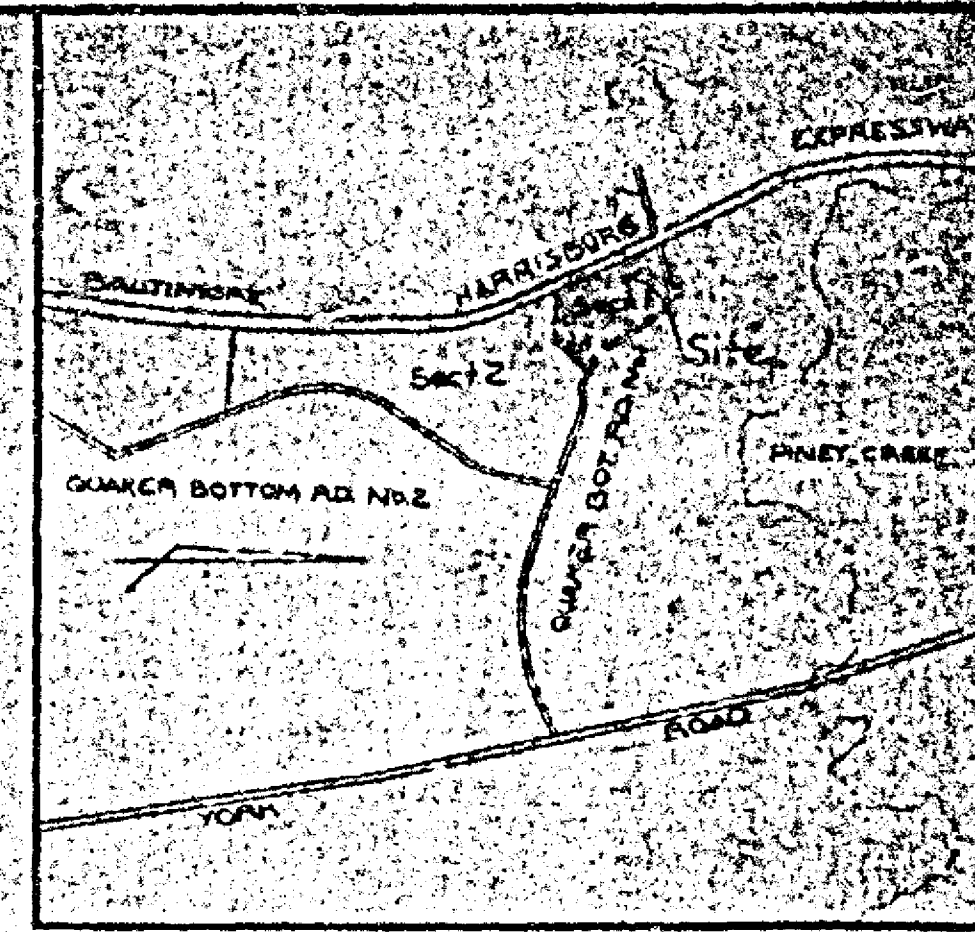
DENSITY NOTES

1. Existing Zoning	RC-5
2. Gross Area of Property	211.4 AC
3. Road R/W Dedication	112 AC
4. Net Area of Property	200.2 AC
5. No. of Units Allowed	2714-2-10
6. No. of Units Proposed	6 Units
7. No. of Parking Spaces Required	6-2-12
8. No. of Parking Spaces Provided	12
9. Ave. Lot Size	33.4 AC
10. Existing Use	Agricultural

Proposed Re-Alignment of Quaker Bottom Road No. 1 as established by Baltimore County Bureau of Engineering



BOARD OF APPEALS PETITIONER'S EXHIBIT

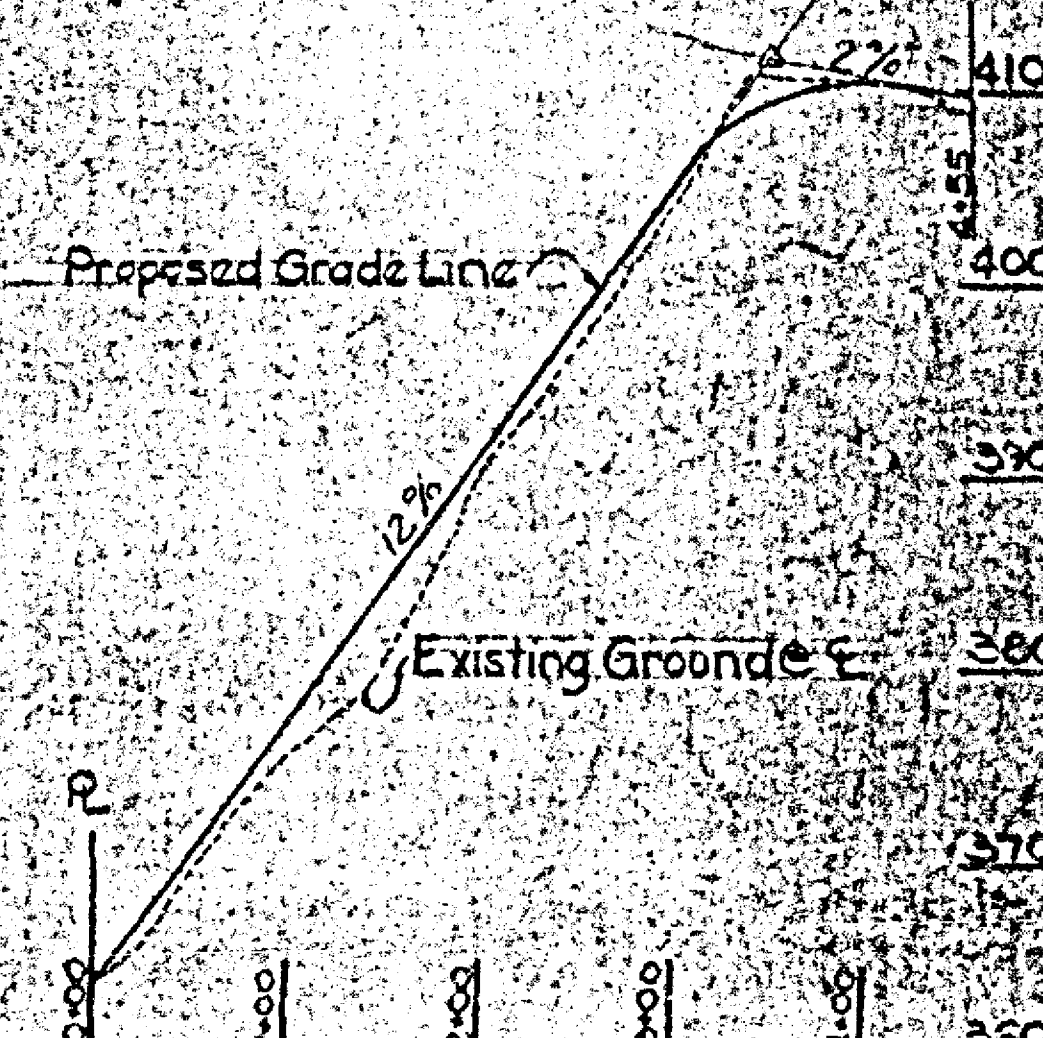


LOCATION MAP
Scale: 1"=2000'

PROVISOIRY SECTION

This property is reserved for future subdivision with access thru property to the East.

Shed to be razed if when building permit is applied for.



DRIVEWAY PROFILE
Scale: Hor. 1"=100' Vert. 1"=10'

PROVISOIRY NOTES

1. The ProvISOIRY Section of this partial development plan is not intended nor should it be utilized as a final development plan from which building application, nor be approved or issued. Its purpose is to provide those who purchase property within 200 feet thereof with a reasonable understanding as to how the developer will improve all adjoining vacant land that lies within 500 feet of their home.
2. The dimensioned boundaries of the ProvISOIRY Section as indicated hereon are not intended to separate it from the overall approval of this partial development plan. Any deviation from this part of development plan including the ProvISOIRY Section must be approved in accordance with Section BO2-2A.7.
3. Approval of the ProvISOIRY Section is not based on final engineered plans; however, it is intended to establish the final location, height, use and density of buildings on the lot. Final engineered location, height, use and density of buildings on the lot shall be retained, screening, parking areas and drives to the extent possible so as to coincide with their final permanent improvements and other pertinent amenities.
4. At the time of building permit applications, the ProvISOIRY Section of this development plan must be updated to comply with all respects to the form & content required by Section BO2-3A.3 of the Zoning Regulations.

FIRST AMENDED PARTIAL DEVELOPMENT PLAN

SECTION ONE

QUAKER HILLS

5th Election District

Baltimore County, Md.

Scale: 1"=100'

October 16, 1980

for

CONTRACT PURCHASER

Quaker Bottom Associates
1824 Ridge Road
Reisterstown, Md. 21136

OFFICE OF PLANNING & ZONING

APPROVED BY

Director of Planning Date:

Zoning Commissioner Date:

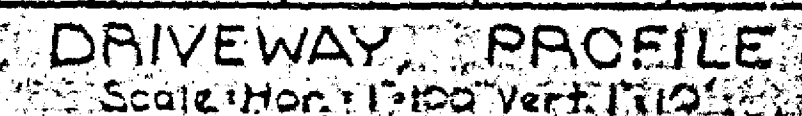
REVISIONS

Date	Description	By
10/20/80	Initial Design	J.W.M.
10/20/80	Final Design	J.W.M.
10/20/80	Final Design	J.W.M.
10/20/80	Final Design	J.W.M.
10/20/80	Final Design	J.W.M.
10/20/80	Final Design	J.W.M.
10/20/80	Final Design	J.W.M.
10/20/80	Final Design	J.W.M.
10/20/80	Final Design	J.W.M.
10/20/80	Final Design	J.W.M.

REASON FOR FIRST AMENDMENT

To change the width of the Reversible Slope Easement along Quaker Bottom Road No. 1 from 25' to 10' (10-16-80)

PETITIONER'S
EXHIBIT 3



GENERAL NOTES

1. All shown hereon will operate on private well & septic systems.
2. On-site refuse collection show removal & roadway maintenance are provided to the jurisdiction of the Panhandle & Street B/W Line only & not onto the panhandle of driveway.
3. Lots shown hereon are for sale & are for Single Family Residential Use only.
4. The jurisdiction of the parcels shown hereon will be allowed unless approved by the Baltimore County Planning & Zoning Commission.
5. No building permit shall be issued for the construction of a dwelling on a lot shown on a final plat until it is approved by applicable state & county agencies having jurisdiction has been located on site.
6. Where applicable, utilities shall be installed in accordance with the current regulations or as amended by the Public Service Commission of Md. regarding underground service.
7. If & when water & sewerage facilities become available to this subdivision, connection thereto shall be required by the agency having jurisdiction.
8. All the panhandle driveways must be constructed to the rear lot prior to the sale of lots.
9. Refuse is to be picked up twice weekly by Baltimore County.

GRADING NOTE

Grading is confined to 2' outside the perimeter of the house.

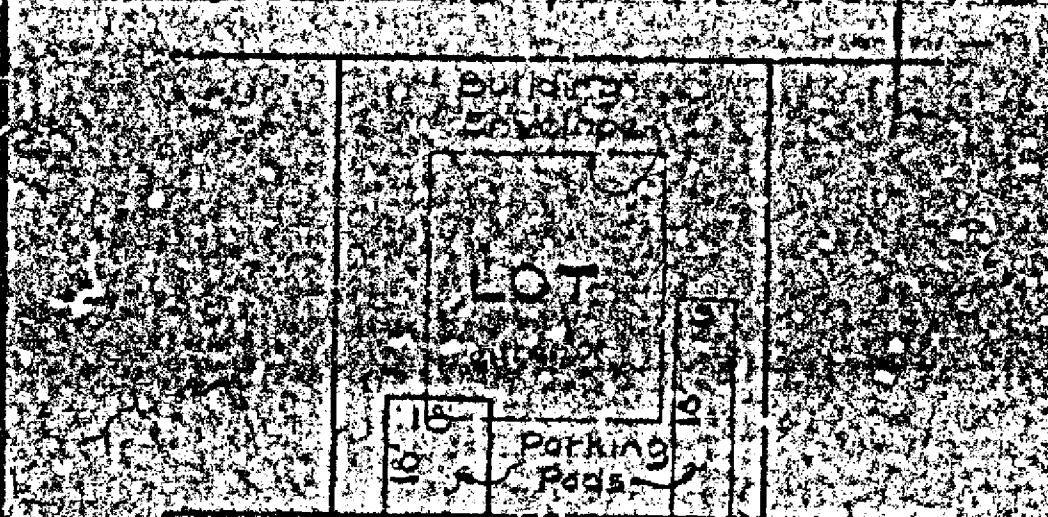
TRAFFIC NOTE

A.D.T. count per Balto Co. - 2012 4' 248 A.D.T.

LANDSCAPING NOTE

Landscaping is to be performed by Individual Lot Owners.

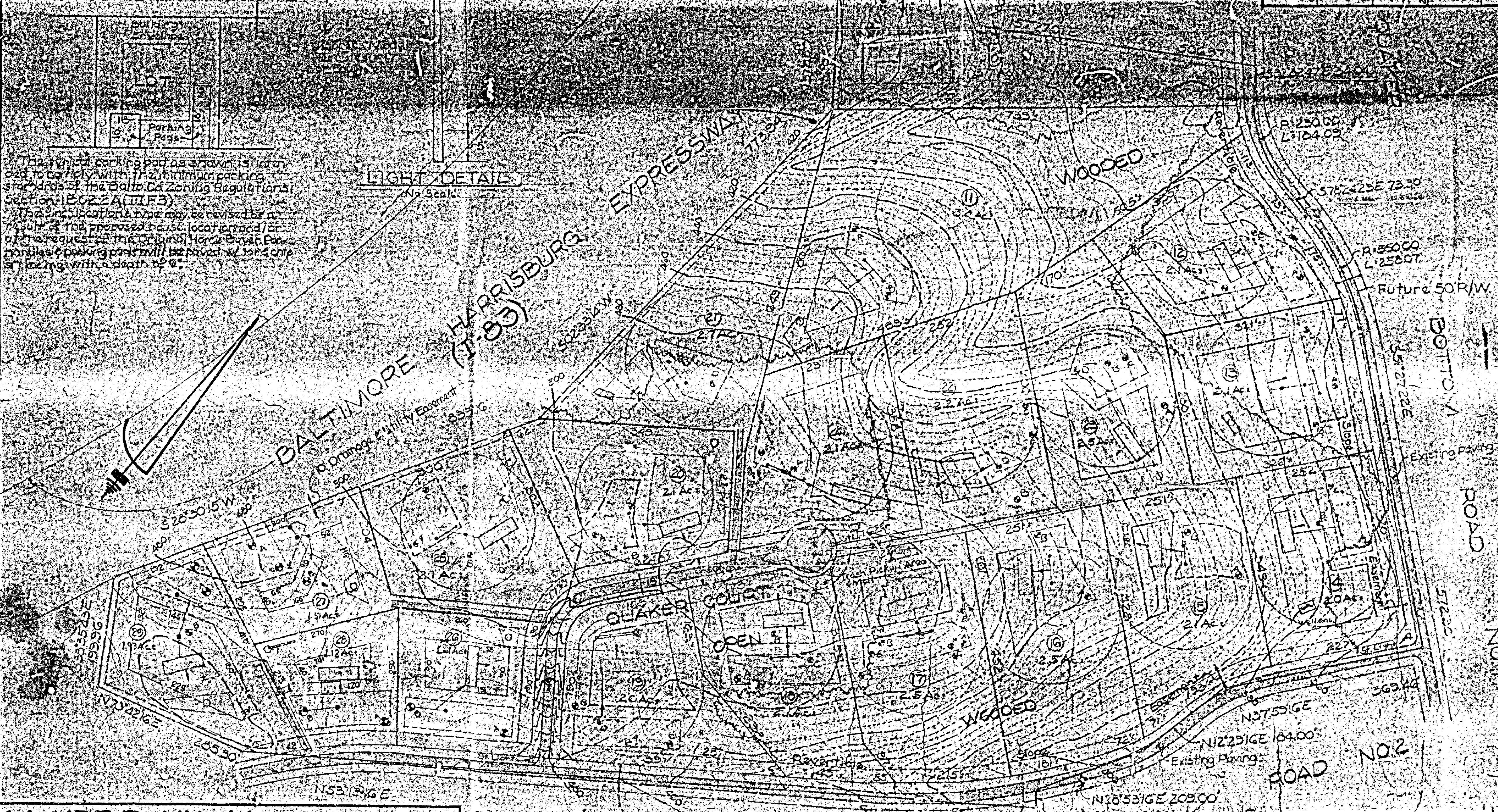
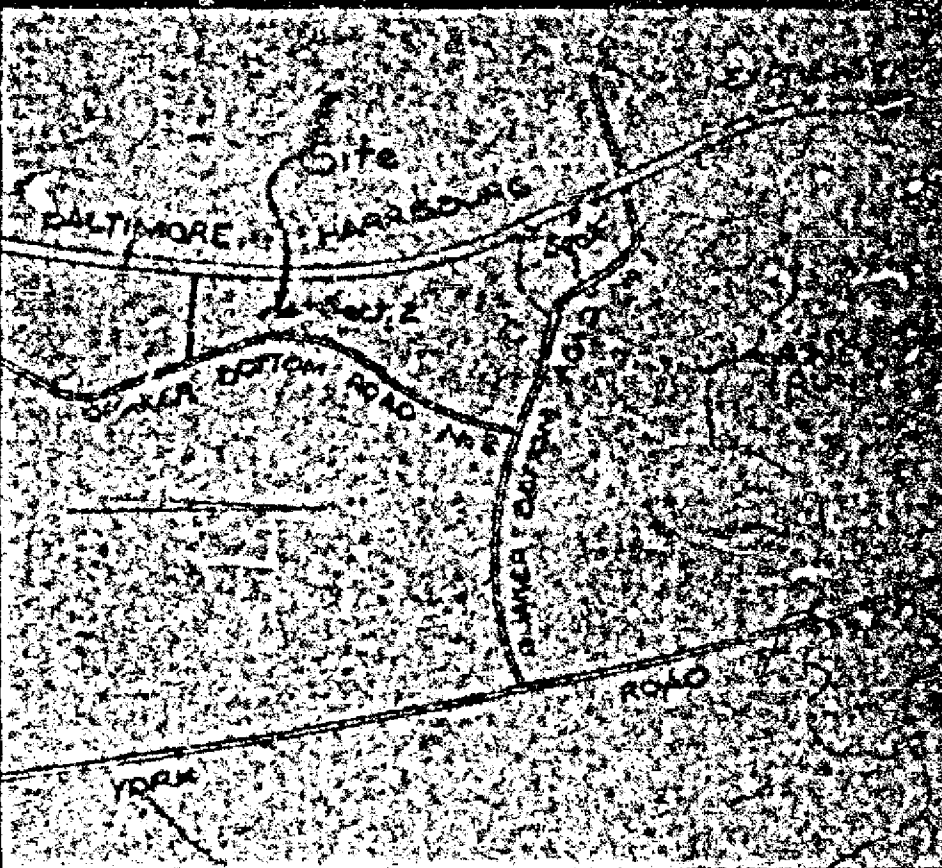
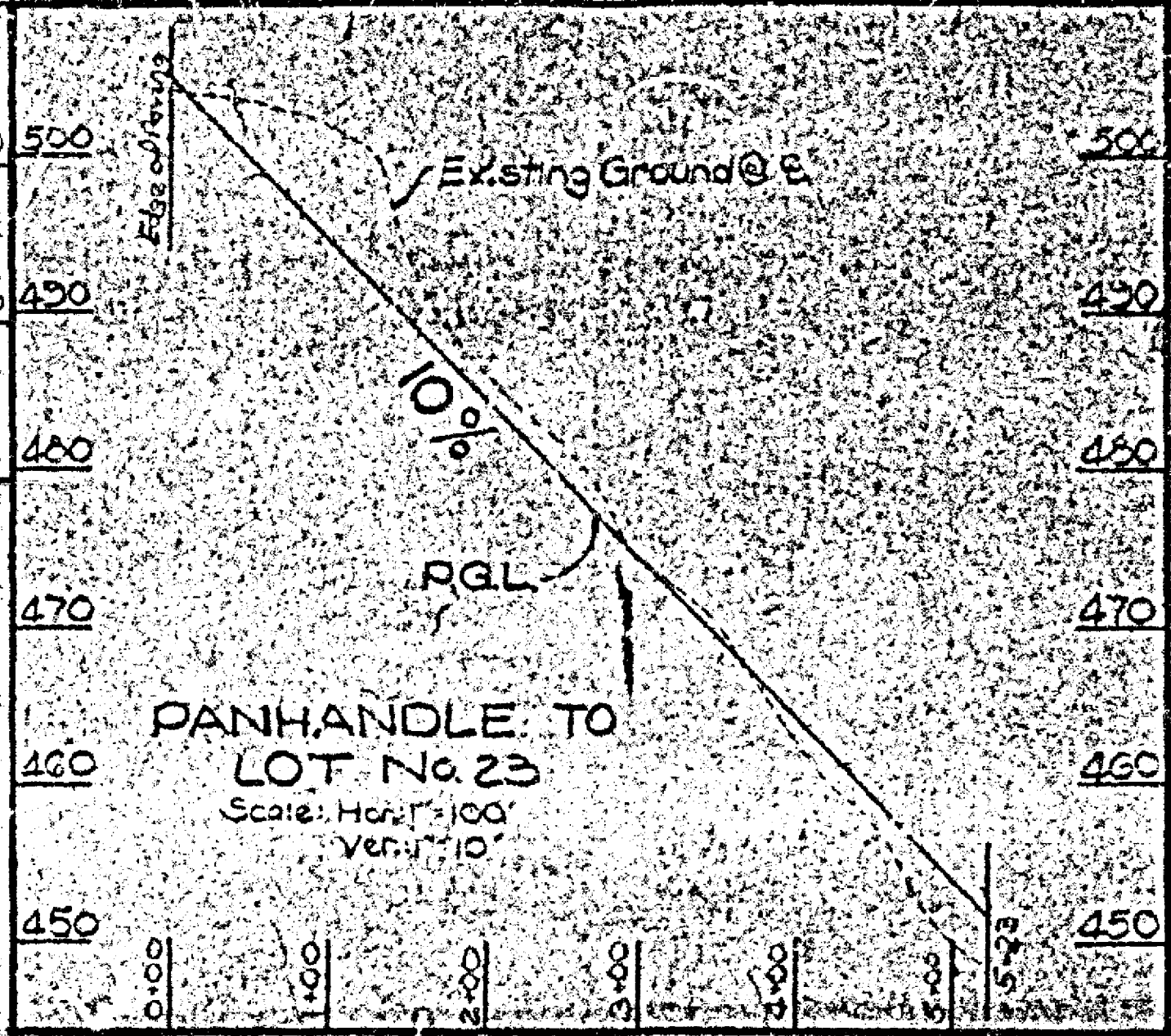
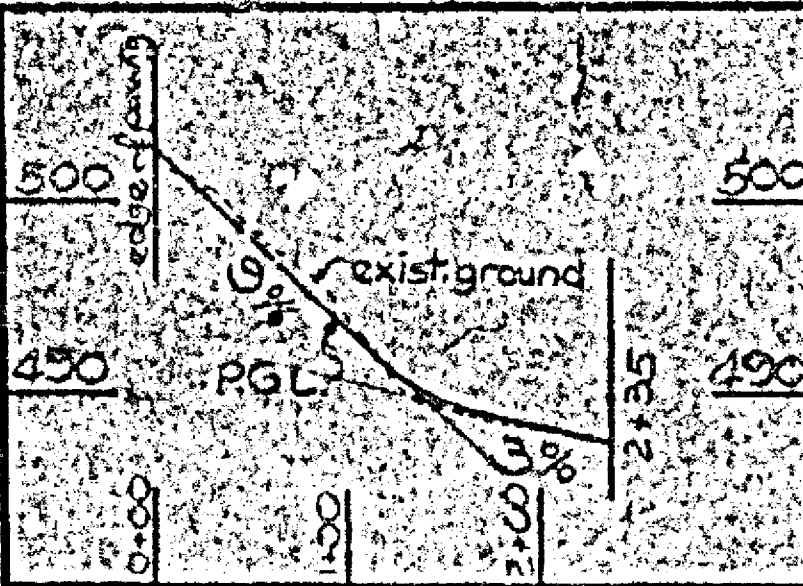
TYPICAL LOT W/ PARKING PAD



The typical parking pad as shown is intended to comply with the minimum parking standards of the Baltimore Zoning Regulations, Section 15-02-2-A (HUF3).

The lot location type may be revised by a request to the original Home Buyer Panhandle parking pad will be paved w/ top chip & paving with a depth of 2".

LOT OWNERS' CONSENT FOR FIRST AMENDMENT		
Lot 15 - Robert E. Blitch & Tanya Redding	Signature: <i>Robert E. Blitch</i>	Date: _____
Lot 19 - Richard F. Myce & E. Adeline H. Sacks	Signature: <i>Richard F. Myce</i>	Date: _____
Lot 20 - John & Debra A. Lambdin	Signature: <i>John & Debra A. Lambdin</i>	Date: _____
Lot 25 - John D. Jr. & Jane E. Hansen	Signature: <i>John D. Jr. & Jane E. Hansen</i>	Date: _____



DENSITY NOTES - SECTION TWO

1. Gross Area	45,205 Ac.
2. Road Dedication	2,573 Ac.
3. Net Area	46,424 Ac.
4. No. of Lots Allowed	49,403 x .007 = 321 Lots
5. No. of Lots Proposed	20 Lots
6. Average Lot Size	2,321 Ac.
7. No. of Parking Spaces Req.	40 Spaces

DENSITY NOTES - SECTION ONE

1. Existing Zoning	RC-5	RC-5
2. Gross Area	21,433 Ac.	70,030 Ac.
3. Road Dedication	1,380 Ac.	4,353 Ac.
4. Net Area	20,028 Ac.	66,477 Ac.
5. No. of Lots Allowed	21,433 x .007 = 14 Lots	70,030 x .007 = 490 Lots
6. No. of Lots Proposed	0 Lots	20 Lots
7. Average Lot Size	3,338 Ac.	2,557 Ac.

FIRST AMENDED FINAL DEVELOPMENT PLAN SECTION TWO QUAKER HILLS

Other Elct Dis: Balto Co, Md.
Scale: 1" = 100' Dec. 22, 1970

FOR CONTRACT PURCHASER
Quaker Bottom Associates
1824 Ridge Road
Beltsville, Md. 21155

REASON FOR AMENDMENT: 4-1-30
To increase the number of lots in Section Two from 16 lots to 20 lots.

*Loch Raven Watershed

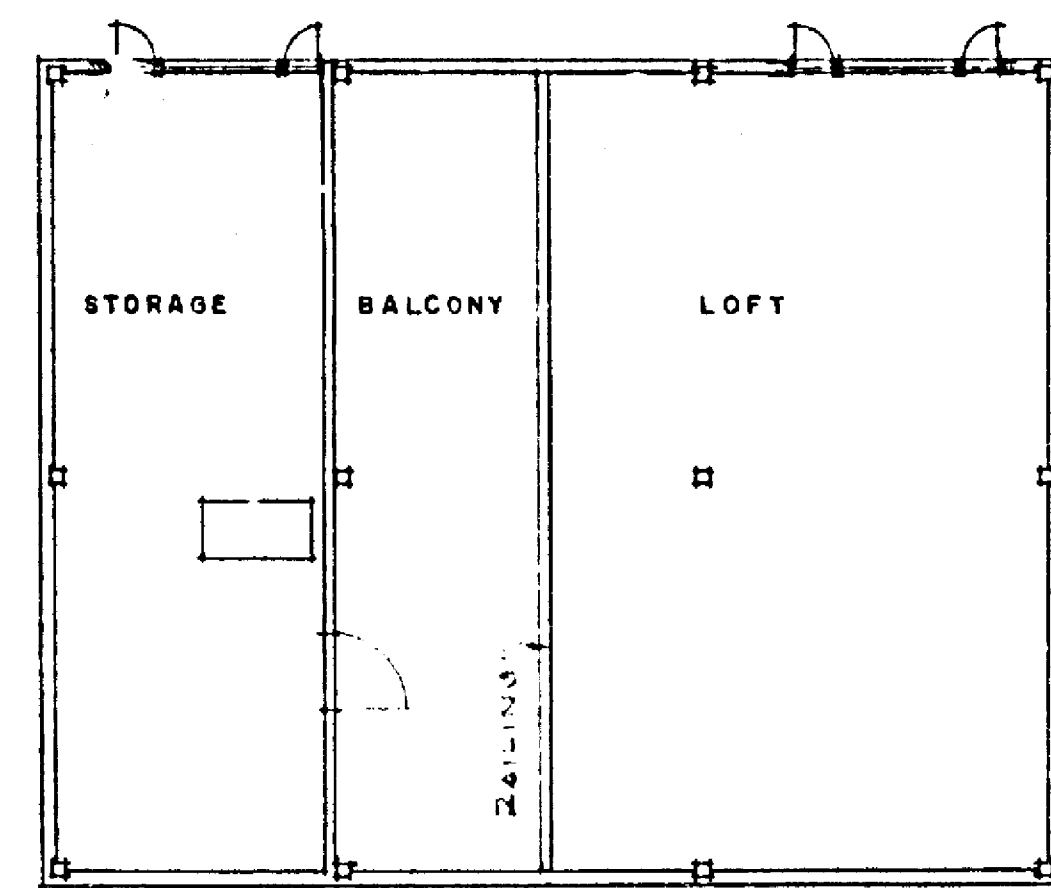
McKEE, DUVAL & ASSOCIATES, INC.
Civil Engineers & Land Surveyors
1717 York Road - Lan Lee Building - Lutherville, Maryland 21093

Job No.	Scale: 1" = 100'	Drawn: JWM	Check: GCS	Sheet No.
77-24	Date: 12-22-70	Des: JWM	Chk: JWM	1 of 1

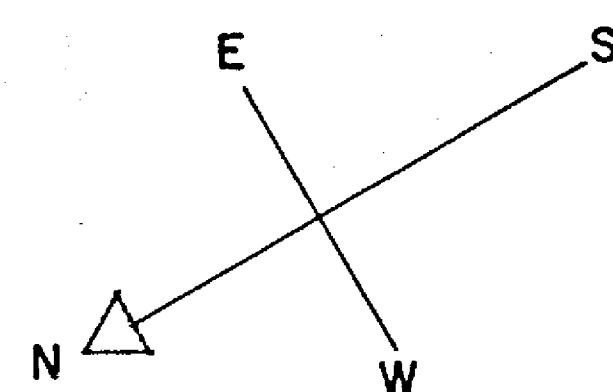
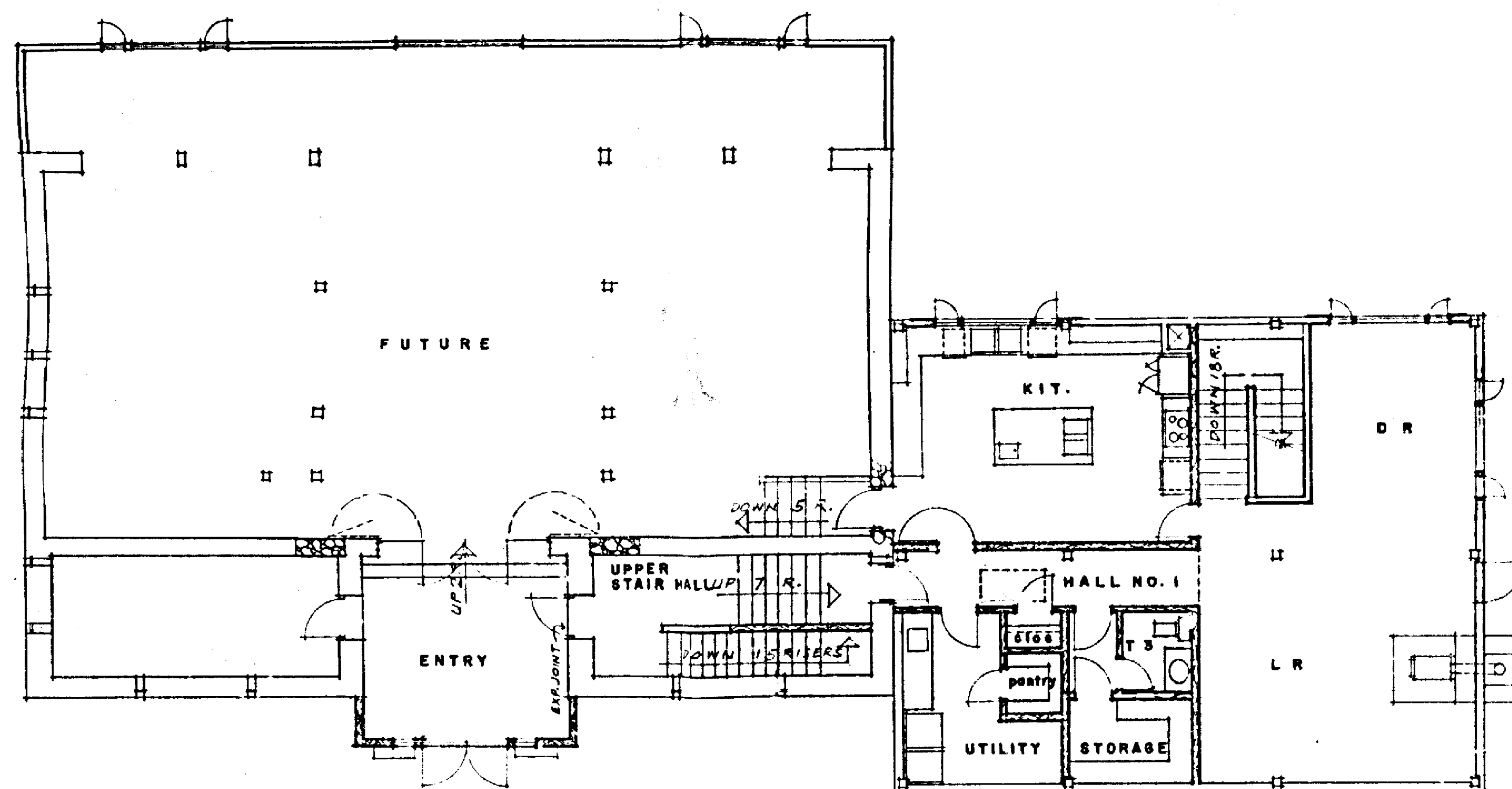
QUAKER BOTTOM
James W. McKee
Date: 1/21/71

OFFICE OF PLANNING & ZONING
APPROVED BY
Director of Planning
Date: _____
Planning Commissioner
Date: _____

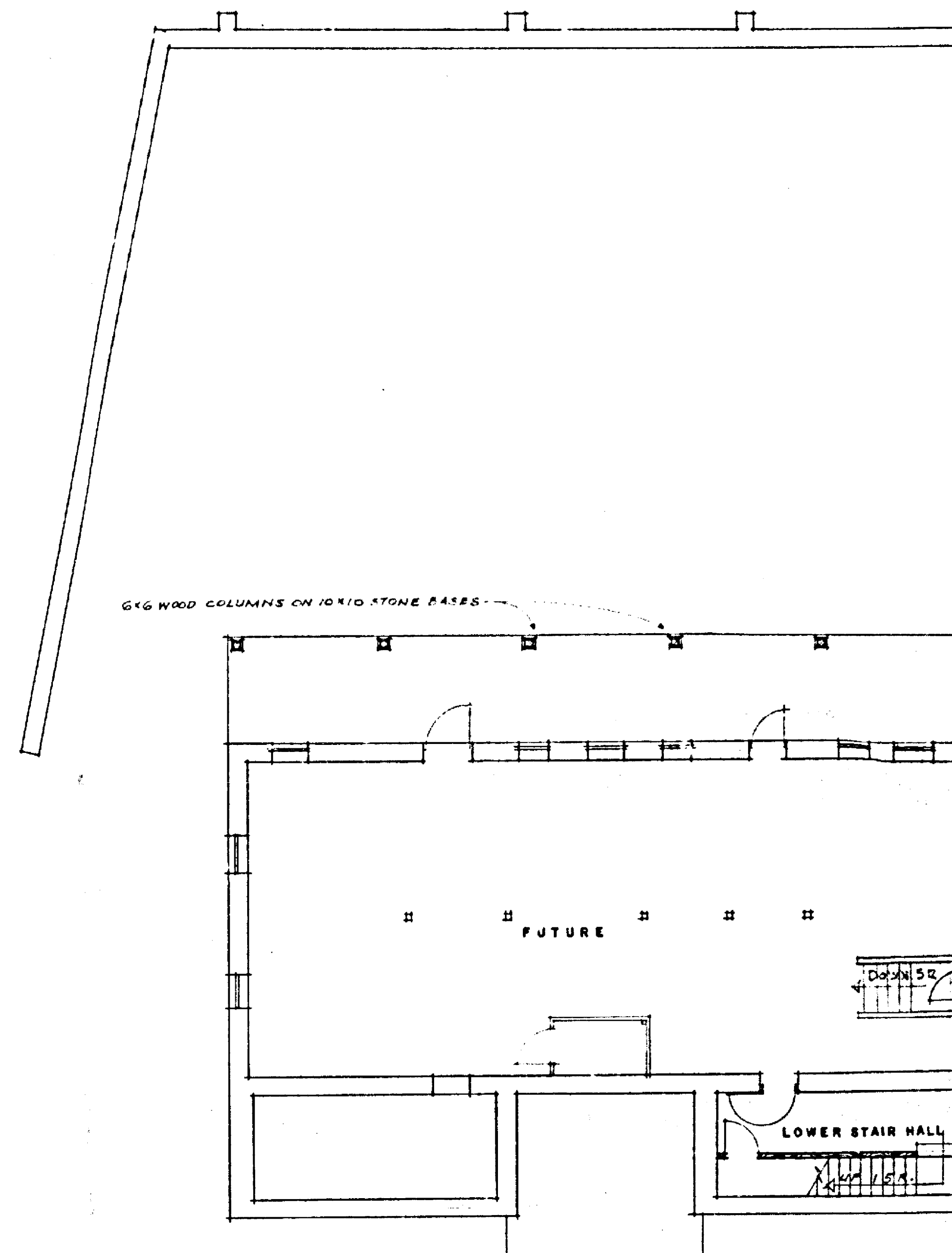
REVISIONS	
Date	Description
12-21-70	Revised per planning & zoning comments
4-1-80	First Amended



FLOOR PLAN - NEW LOFT
SCALE 1/8" = 1'-0"

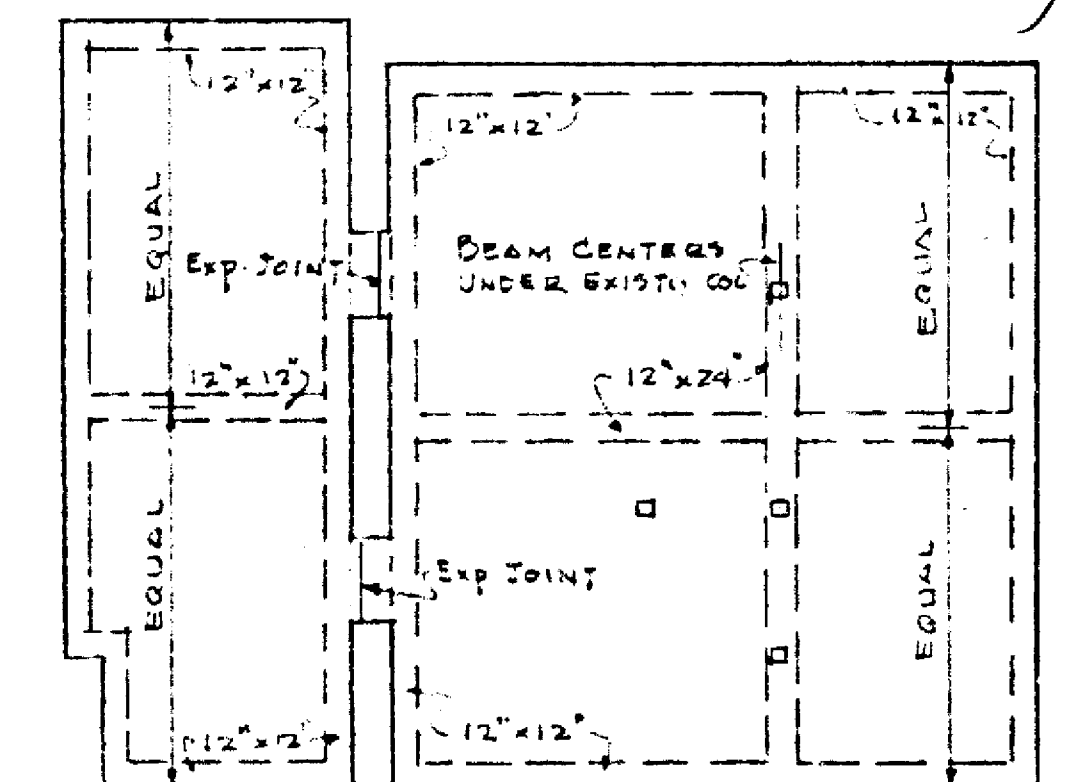


FLOOR PLAN - NEW UPPER LEVEL
SCALE 1/8" = 1'-0"

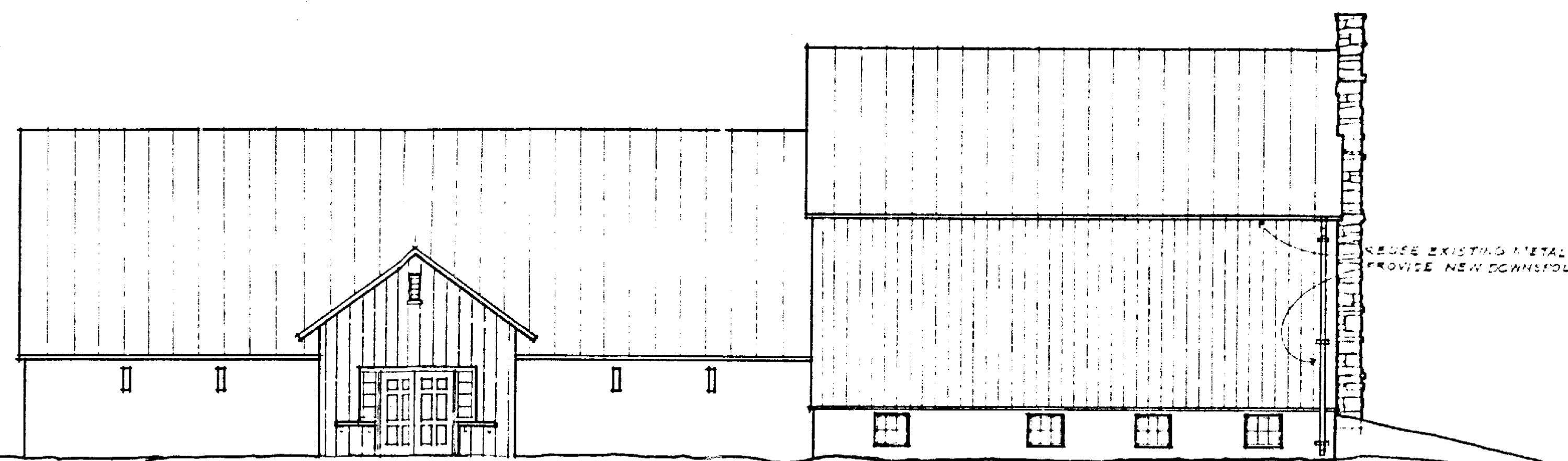


FLOOR PLAN - NEW LOWER LEVEL
SCALE 1/8" = 1'-0"

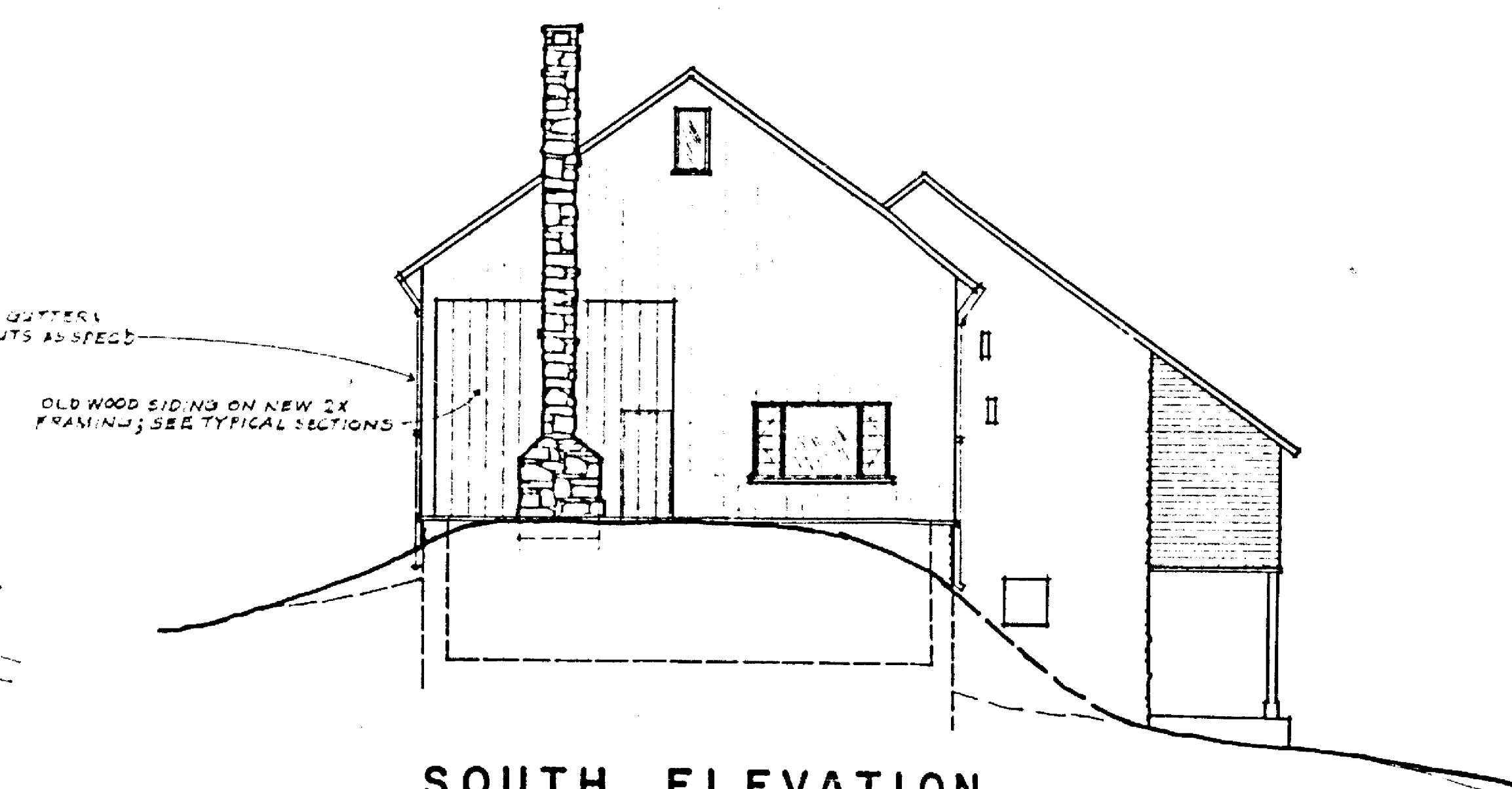
- FOUNDATION NOTES**
1. CONCRETE TO DEVELOP 3000 PSI AT 28 DAYS
 2. 4" CONC SLAB WITH #4 BARS @ 12" O.C.
 3. BEAM STEEL TO BE #6 AS SHOWN
 4. LAP BARS 35 BAR DIAMETERS
 5. USE 4-2"x2" CORNER BARS AT PERIMETER BEAM CORNERS
 6. HOOK THE ENDS OF INTERIOR BEAM STEEL INTO PERIMETER BEAMS
 7. SEE SECTIONAL DRAWING ON SHEET #4



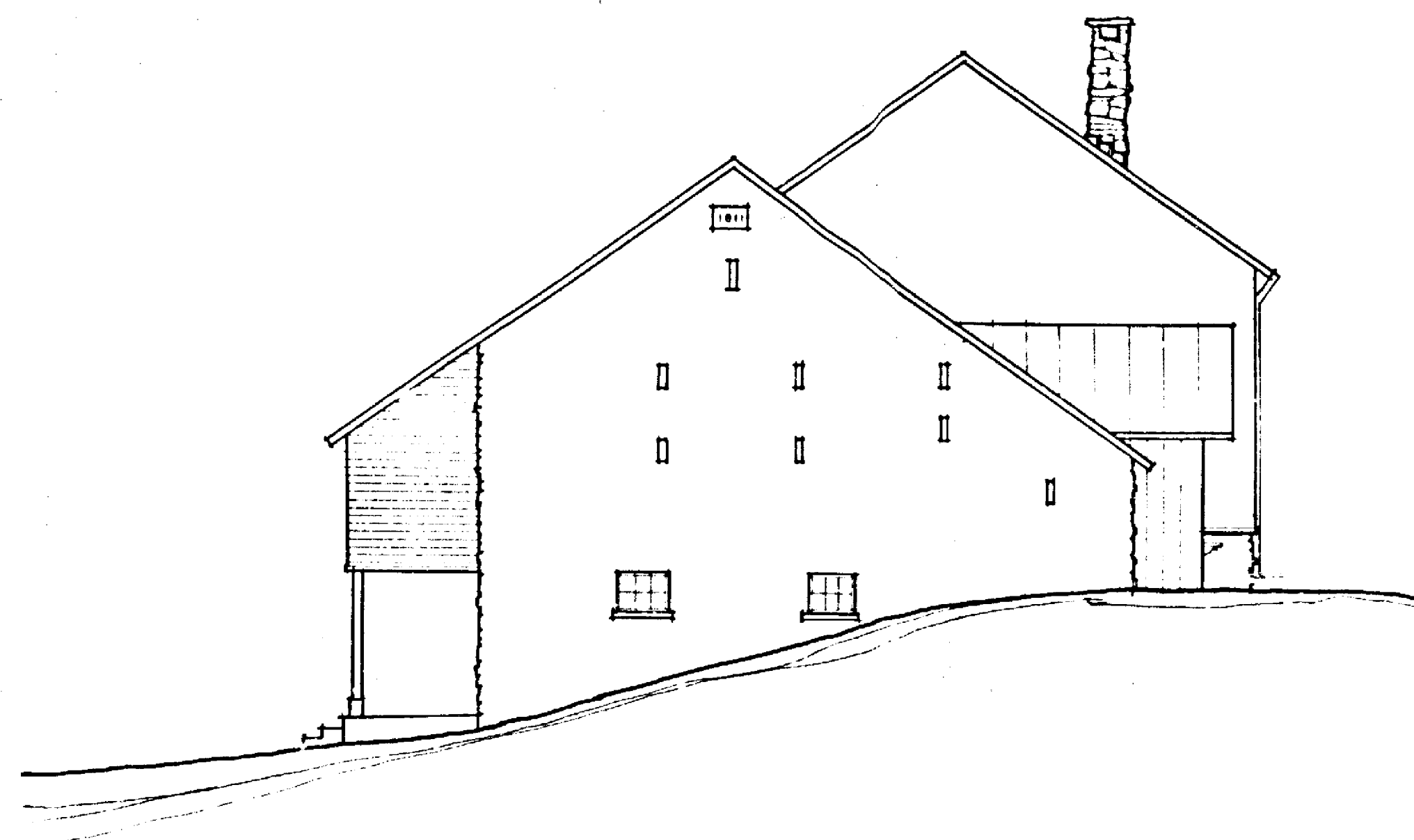
FOUNDATION PLAN
SCALE 1/8" = 1'-0"



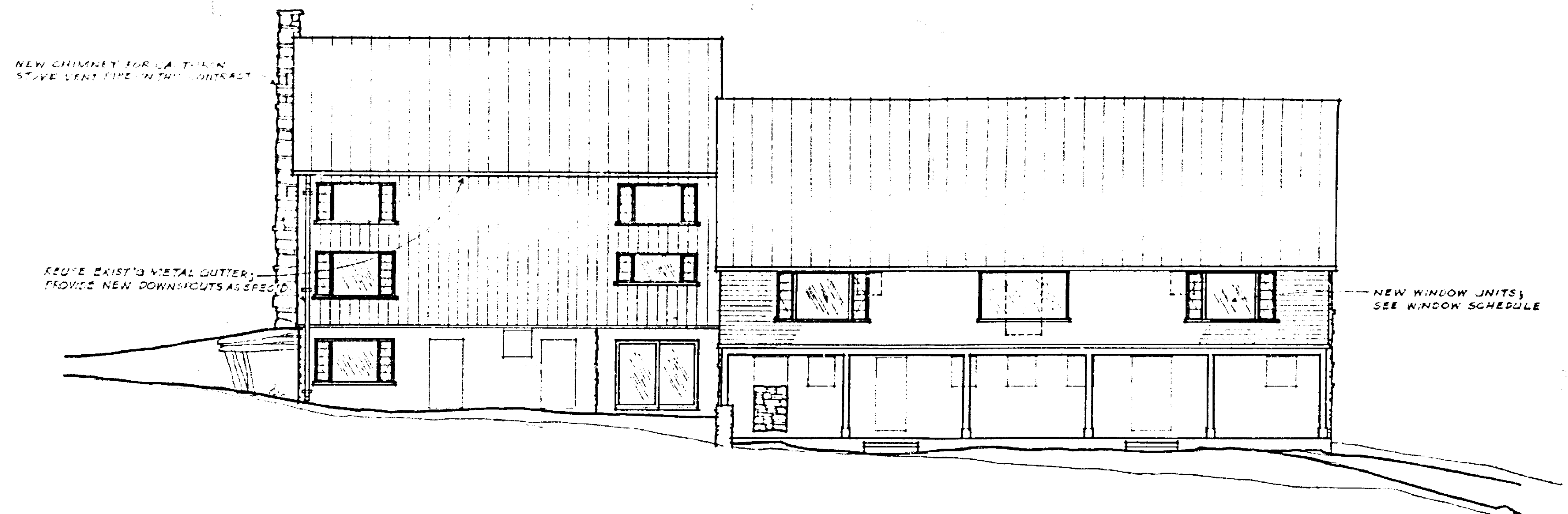
WEST ELEVATION
SCALE 1/8" = 1'-0"



SOUTH ELEVATION
SCALE 1/8" = 1'-0"



NORTH ELEVATION
SCALE 1/8" = 1'-0"



EAST ELEVATION
SCALE 1/8" = 1'-0"