

**PETITION FOR SPECIAL EXCEPTION**

TO THE ZONING COMMISSIONER OF BALTIMORE COUNTY:

The undersigned, legal owner(s) of the property situate in Baltimore County and which is described in the description and plat attached hereto and made a part hereof, hereby petition for a Special Exception under the Zoning Law and Zoning Regulations of Baltimore County, to use the herein described property for A Service Garage for Rite, Battery and Necessary Services.

Property is to be posted and advertised as prescribed by Zoning Regulations.

I, or we, agree to pay expenses of above Special Exception advertising, posting, etc., upon filing of this petition, and further agree to and are to be bound by the zoning regulations and restrictions of Baltimore County adopted pursuant to the Zoning Law for Baltimore County.

I/We do solemnly declare and affirm, under the penalties of perjury, that I/we are the legal owner(s) of the property which is the subject of this Petition.

Contract Purchaser: \_\_\_\_\_ Legal Owner(s): Merritt Boulevard Properties Partnership  
 (Type or Print Name) (Type or Print Name)  
 Signature: \_\_\_\_\_ Signature: \_\_\_\_\_  
 Address: \_\_\_\_\_ Address: Donald H. Ready, General Partner  
 (Type or Print Name) (Type or Print Name)  
 City and State: \_\_\_\_\_ City and State: \_\_\_\_\_  
 Address for Petitioner: \_\_\_\_\_ Address: 7183 Holabird Avenue  
 (Type or Print Name) (Type or Print Name)  
 City and State: \_\_\_\_\_ City and State: Baltimore, Maryland 21222  
 Name and telephone number of legal owner, contract purchaser or representative to be contacted: \_\_\_\_\_  
 Name: Donald H. Ready  
 Telephone No.: (301) 1935

ORDERED By The Zoning Commissioner of Baltimore County, this \_\_\_\_\_ 19th \_\_\_\_\_ day of \_\_\_\_\_ 1980, that the subject matter of this petition be advertised, as required by the Zoning Law of Baltimore County, in two newspapers of general circulation throughout Baltimore County, that property be posted, and that the public hearing be had before the Zoning Commissioner of Baltimore County in Room 106, County Office Building in Towson, Baltimore County, on the \_\_\_\_\_ 10th \_\_\_\_\_ day of \_\_\_\_\_ July \_\_\_\_\_, 1980, at \_\_\_\_\_ o'clock \_\_\_\_\_ P.M.

*[Signature]*  
 Zoning Commissioner of Baltimore County.

Z.C.O.-No. 1 (over)

ORDER RECEIVED FOR FILING DATE July 29, 1980

RECORDING DIVISION, BALTIMORE COUNTY DEPARTMENT OF HEALTH, 500 GERMAN HILL RD., BALTIMORE, MARYLAND 21204

8-13-X

RE: PETITION FOR SPECIAL EXCEPTION : BEFORE THE ZONING COMMISSIONER  
 Beginning 422.6' E of Merritt Blvd.,  
 2071.95' S of German Hill Rd.,  
 12th District : OF BALTIMORE COUNTY

MERRITT BOULEVARD PROPERTIES PARTNERSHIP, Petitioner : Case No. 81-13-X

**ORDER TO ENTER APPEARANCE**

Mr. Commissioner:

Pursuant to the authority contained in Section 524.1 of the Baltimore County Charter, I hereby enter my appearance in this proceeding. You are requested to notify me of any hearing date or dates which may be now or hereafter designated therefore, and of the passage of any preliminary or final Order in connection therewith.

*[Signature]* Peter Max Zimmerman, Deputy People's Counsel  
*[Signature]* John W. Hession, III, People's Counsel for Baltimore County, Rm. 223, Court House, Towson, Maryland 21204, 494-2188

I HEREBY CERTIFY that on this 20th day of June, 1980, a copy of the foregoing Order was mailed to Donald H. Ready, General Partner, Merritt Boulevard Properties Partnership, 7183 Holabird Avenue, Baltimore, Maryland 21222, Petitioner.

*[Signature]* John W. Hession, III  
 John W. Hession, III

**BALTIMORE COUNTY  
 ZONING PLANS  
 ADVISORY COMMITTEE**



**PETITION AND SITE PLAN  
 EVALUATION COMMENTS**

BALTIMORE COUNTY OFFICE OF PLANNING & ZONING  
 TOWSON, MARYLAND 21204  
 494-3211

JOHN D. SEYFFERT  
 DIRECTOR

July 2, 1980

Mr. William Hammond, Zoning Commissioner  
 Zoning Advisory Committee  
 Office of Planning and Zoning  
 Baltimore County Office Building  
 Towson, Maryland 21204

Dear Mr. Hammond:

Comments on Item #221, Zoning Advisory Committee Meeting, May 20, 1980, are as follows:

Property Owner: Merritt Boulevard Properties Partnership  
 Location: 422.6' E. Merritt Boulevard Properties Partnership  
 Location: 422.6' E. Merritt Blvd 2071.95' S. German Hill Road  
 Acres: 0.172  
 District: 12th

This office has reviewed the subject petition and offers the following comment. These comments are not intended to indicate the appropriateness of the zoning in question, but are to assure that all parties are made aware of plans or problems with regard to development plans that may have a bearing on this petition.

This plan has been reviewed and there are no site-planning factors requiring comment.

Very truly yours,

*[Signature]*  
 John L. Wimbley  
 Planner III  
 Current Planning and Development

BALTIMORE COUNTY DEPARTMENT OF HEALTH  
 TOWSON, MARYLAND 21204  
 DONALD J. ROOP, M.D., M.P.H.  
 DEPUTY STATE & COUNTY HEALTH OFFICER

July 9, 1980

Mr. William E. Hammond, Zoning Commissioner  
 Office of Planning and Zoning  
 County Office Building  
 Towson, Maryland 21204

Dear Mr. Hammond:

Comments on Item #221, Zoning Advisory Committee Meeting of May 20, 1980, are as follows:

Property Owner: Merritt Boulevard Properties Partnership  
 Location: 422.6' E. Merritt Blvd. 2071.95' S. German Hill Rd.  
 Existing Zoning: B.L.  
 Proposed Zoning: Special Exception for a service garage.  
 Acres: 0.172  
 District: 12th

Metropolitan water and sewer are available.

If lubrication work and oil changes are performed at this location, revised plans must be submitted showing method providing for the elimination of waste oil in accordance with Water Resources Administration requirements.

Very truly yours,

*[Signature]*  
 Ian J. Forrest, Director  
 BUREAU OF ENVIRONMENTAL SERVICES

IJF/mw

BALTIMORE COUNTY FIRE DEPARTMENT  
 TOWSON, MARYLAND 21204  
 825-7310  
 PAUL H. REINCKE  
 CHIEF

Mr. William Hammond  
 Zoning Commissioner  
 Office of Planning and Zoning  
 Baltimore County Office Building  
 Towson, Maryland 21204

Attention: Nick Commodari, Chairman  
 Zoning Plans Advisory Committee

Re: Property Owner: Merritt Boulevard Properties Partnership  
 Location: 422.6' E Merritt Blvd. 2071.95' S German Hill Road  
 Item No: 221 Zoning Agenda: Meeting of May 20, 1980

Gentlemen:

Pursuant to your request, the referenced property has been surveyed by this Bureau and the comments below marked with an "x" are applicable and required to be corrected or incorporated into the final plans for the property.

- ( ) 1. Fire hydrants for the referenced property are required and shall be located at intervals of \_\_\_\_\_ feet along an approved road in accordance with Baltimore County Standards as published by the Department of Public Works.
- ( ) 2. A second means of vehicle access is required for the site.
- ( ) 3. The vehicle dead end condition shown at \_\_\_\_\_ EXCEEDS the maximum allowed by the Fire Department.
- ( ) 4. The site shall be made to comply with all applicable parts of the Fire Prevention Code prior to occupancy or beginning of operations.
- ( ) 5. The buildings and structures existing or proposed on the site shall comply with all applicable requirements of the National Fire Protection Association Standard No. 101 "Life Safety Code", 1976 Edition prior to occupancy.
- ( ) 6. Site plans are approved as drawn.
- ( ) 7. The Fire Prevention Bureau has no comments, at this time.

REVIEWER: *[Signature]* Noted and Approved: *[Signature]*  
 Planning Group Fire Prevention Bureau  
 Special Inspection Division

Mr. Donald H. Ready  
 7183 Holabird Avenue  
 Baltimore, Maryland 21222

George William Stephens, Jr.  
 and Assoc., Inc.  
 303 Allegheny Ave.  
 Towson, Md. 21204

**BALTIMORE COUNTY OFFICE OF PLANNING & ZONING**

County Office Building  
 111 W. Chesapeake Avenue  
 Towson, Maryland 21204

Your Petition has been received and accepted for filing this \_\_\_\_\_ day of \_\_\_\_\_ 1980.

*[Signature]*  
 WILLIAM E. HAMMOND  
 Zoning Commissioner

Petitioner: Donald H. Ready  
 Reviewed by: *[Signature]*  
 Nicholas B. Commodari  
 Chairman, Zoning Plans  
 Advisory Committee

**BALTIMORE COUNTY ZONING PLANS ADVISORY COMMITTEE**

June 27, 1980

CITY OFFICE BLDG.  
 W. Chesapeake Ave.  
 Towson, Maryland 21204

Mr. Donald H. Ready  
 7183 Holabird Avenue  
 Baltimore, Maryland 21222

Chairman

MEMBERS

Chairman

Members

Members

Members

Members

Members

Members

Members

Members

Members

Members

Members

Members

Members

Members

Members

Members

Members

Members

Members

Members

Members

RE: Item No. 221  
 Petitioner - Merritt Boulevard  
 Properties Partnership  
 Special Exception Petition

Dear Mr. Ready:

The Zoning Plans Advisory Committee has reviewed the plans submitted with the above referenced petition. The following comments are not intended to indicate the appropriateness of the zoning, action requested, but to assure that all parties are made aware of plans or problems with regard to the development plans that may have a bearing on this case. The Director of Planning may file a written report with the Zoning Commissioner with recommendations as to the suitability of the requested zoning.

In view of the fact that you propose to convert the rear portion of an existing retail building to a service garage operation, this Special Exception is required. In view of the fact that you contacted Mr. Ted Burnham and discussed his comment from the Department of Permits and Licenses and felt that there would be no problem in satisfying said comment, this hearing was scheduled.

Enclosed are all comments submitted to this office from the committee members at this time. The remaining members felt that no comment was warranted. This petition was accepted for filing on the date of the enclosed certificate and a hearing scheduled accordingly.

Very truly yours,

*[Signature]*  
 NICHOLAS B. COMMODARI  
 Chairman  
 Zoning Plans Advisory Committee

NBC:hk

Enclosures

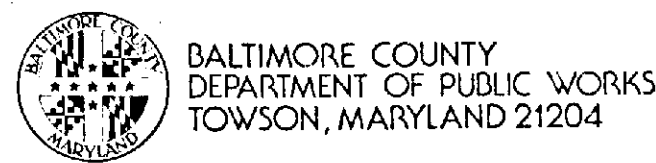
cc: George William Stephens, Jr.  
 and Assoc., Inc.  
 303 Allegheny Ave.  
 Towson, Md. 21204

Pursuant to the advertisement, posting of property, and public hearing on the Petition and it appearing that by reason of the requirements of Section 502.1 of the Baltimore County Zoning Regulations having been met and the health, safety, and general welfare of the community not being adversely affected, the special exception for a service garage for tire, battery, and accessory service should be granted.

Therefore, IT IS ORDERED by the Deputy Zoning Commissioner of Baltimore County, this 22nd of July 1980, that the herein Petition for Special Exception for a service garage, in accordance with the site plan dated April 22, 1980, should be and the same is hereby GRANTED, from and after the date of this Order, subject, however, to the following restrictions:

- No vehicles may be stored, equipped for operation, repaired, kept for remuneration, hire or sale, except for the installation of tires, batteries, and automotive accessories purchased at retail from the premises and inclusive of any incidental and/or accessory service in conjunction with said items.
- No fire hazardous equipment shall be used or maintained on the subject property.
- Approval of the aforementioned site plan by the Department of Public Works and the Office of Planning and Zoning.

*Jan M. H. Jung*  
Deputy Zoning Commissioner of Baltimore County



HARRY J. PISTEL, P.E.  
DIRECTOR  
Mr. William E. Hammond  
Zoning Commissioner  
County Office Building  
Towson, Maryland 21204

E-W Key Sheet  
9 SE 22 Pos. Sheet  
SE 3 F Topo  
103 Tax Map

June 19, 1980

Re: Item #221 (1979-1980)  
Property Owner: Merritt Boulevard Properties Partnership  
422.6' E. Merritt Blvd. 2071.95' S. German Hill Rd.  
Existing Zoning: B.L.  
Proposed Zoning: Special Exception for a service garage.  
Acres: 0.172 District: 12th

Dear Mr. Hammond:

The following comments are furnished in regard to the plat submitted to this office for review by the Zoning Advisory Committee in connection with the subject item.

General:

This site is a portion of Lot Two of the plat "Resubdivision of Laurelwood", recorded O.T.G. 31, Folio 56.

Baltimore County highway and utility improvements exist and are not directly involved.

Development of this property through stripping, grading and stabilization could result in a sediment pollution problem, damaging private and public holdings downstream of the property. A grading permit is, therefore, necessary for all grading, including the stripping of top soil.

The Petitioner must provide necessary drainage facilities (temporary or permanent) to prevent creating any nuisances or damages to adjacent properties, especially by the concentration of surface waters. Correction of any problem which may result, due to improper grading or improper installation of drainage facilities, would be the full responsibility of the Petitioner.

This office has no further comment in regard to the plan submitted for Zoning Advisory Committee review in connection with this Item 221 (1979-1980).

Very truly yours,

*Ellsworth N. Diver*  
ELLSWORTH N. DIVER, P.E.  
Chief, Bureau of Engineering

END:EAM:FWR:ss

cc: J. Wimbley



STEPHEN E. COLLINS  
DIRECTOR

June 12, 1980

Mr. William Hammond  
Zoning Commissioner  
County Office Building  
Towson, Maryland 21204

Item No. 221 - ZAC - May 20, 1980  
Property Owner: Merritt Boulevard Properties Partnership  
Location: 422.6' E. Merritt Blvd. 2071.95' S German Hill Rd.  
Existing Zoning: B.L.  
Proposed Zoning: Special Exception for a service garage.

Acres: 0.172  
District: 12th

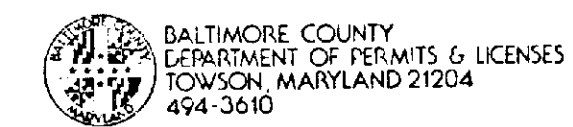
Dear Mr. Hammond:

No traffic problems are anticipated by the requested Special Exception for a service garage.

Very truly yours,

*Michael S. Flanigan*  
Michael S. Flanigan  
Engineer Associate II

MSF/hmd



TED ZALESKI, JR.  
DIRECTOR

June 2, 1980

Mr. William E. Hammond, Zoning Commissioner  
Office of Planning and Zoning  
County Office Building  
Towson, Maryland 21204

Dear Mr. Hammond:

Comments on Item #221 Zoning Advisory Committee Meeting, May 20, 1980 are as follows:

Property Owner: Merritt Boulevard Properties Partnership  
Location: 422.6' E Merritt Blvd. 2071.95' S German Hill Road  
Existing Zoning: B.L.  
Proposed Zoning: Special Exception for a service garage.

Acres: 0.172  
District: 12th

The items checked below are applicable:

- All structures shall conform to the Baltimore County Building Code 1978, the State of Maryland Code for the Handicapped and Aged, and other applicable Codes.
- A building permit shall be required before beginning construction.
- Residential: Three sets of construction drawings are required to file a permit application. Architect/Engineer seal is/are not required.
- Commercial: Three sets of construction drawings with a Maryland Registered Architect or Engineer shall be required to file a permit application.
- In wood frame construction an exterior wall erected within 6' 0" of an adjacent lot line shall be of one hour fire resistive construction, no openings permitted within 3' 0" of lot line. A minimum 8" masonry firewall is required if construction is on the lot line.
- Requested variance conflicts with the Baltimore County Building Code, Section 10.
- A charge of occupancy shall be applied for, along with an alteration permit application, and three required sets of drawings indicating h.w. the structure will meet the Code requirements for the proposed change. Drawings may require a professional seal.
- Before this office can comment on the above structure, please have the owner, thru the services of a Registered in Maryland Architect or Engineer certify to this office, that the structure for which a proposed change in use is proposed can comply with the height/area requirements of Table 305 and the required construction classification of Table 210. As it appears it may not be able to be constructed this close to a property line.

NOTE: These comments reflect only on the information provided by the drawing submitted to the office of Planning and Zoning and are not intended to be construed as the full extent of any permit. If desired additional information may be obtained by visiting Room #122 (Plans Review) at 111 West Chesapeake Avenue, Towson.

Very truly yours,  
*Charles E. Sarban*  
Charles E. Sarban, Chief  
Plans Review

CEB:rrj

ORDER RECEIVED FOR FILING

DATE *July 22, 1980*  
BY *John P. Slawick*  
ADMINISTRATIVE ASSISTANT

BALTIMORE COUNTY PUBLIC SCHOOLS

Robert Y. Dubel, Superintendent Towson, Maryland - 21204

Date: May 15, 1980

Mr. William E. Hammond  
Zoning Commissioner  
Baltimore County Office Building  
1111 West Chesapeake Avenue  
Towson, Maryland 21204

Z.A.C. Meeting of: May 20, 1980

RE: Item No: 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230  
Property Owner:  
Location:  
Present Zoning:  
Proposed Zoning:

District:  
No. Acres:

Dear Mr. Hammond:

All of the above have no bearing on student population.

Very truly yours,  
*Wm. Nick Petrovich*  
Wm. Nick Petrovich, Assistant  
Department of Planning

WNP/bp

PETITION FOR SPECIAL EXCEPTION

12th District

ZONING: Petition for Special Exception for Service Garage  
LOCATION: Beginning 422.6 feet East of Merritt Boulevard, 2071.95 feet South of German Hill Road  
DATE & TIME: Thursday, July 10, 1980 at 1:30 P.M.  
PUBLIC HEARING: Room 106, County Office Building, 111 W. Chesapeake Avenue, Towson, Maryland

The Zoning Commissioner of Baltimore County, by authority of the Zoning Act and Regulations of Baltimore County, will hold a public hearing:

Petition for Special Exception for a Service Garage for tire, battery and accessory service

All that parcel of land in the Twelfth District of Baltimore County

Being the property of Merritt Boulevard Properties Partnership, as shown on plat plan filed with the Zoning Department

Hearing Date: Thursday, July 10, 1980 at 1:30 P.M.  
Public Hearing: Room 106, County Office Building, 111 W. Chesapeake Avenue, Towson, Maryland

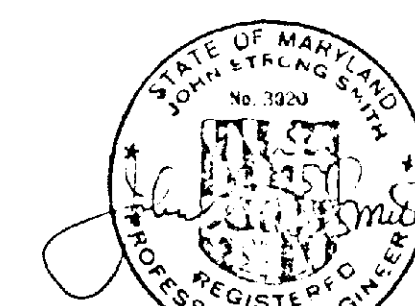
BY ORDER OF  
WILLIAM E. HAMMOND  
ZONING COMMISSIONER  
OF BALTIMORE COUNTY

FROM THE OFFICE OF  
GEORGE WILLIAM STEPHENS, JR. & ASSOCIATES, INC.  
ENGINEERS  
303 ALLEGHENY AVENUE, TOWSON, MARYLAND 21204

Description to Accompany Zoning Petition for Special Exception for a Service Garage (Tire, Battery and Accessories) in an Existing B. L. Zone April 30, 1980

Beginning for the same at the end of the three following lines: first, measured southeasterly from the centerline intersection of Merritt Boulevard and German Hill Road, South 14°53'38" East 2041.95 feet, second, North 75°06'22" East, binding for a part on the northerly outline of Danville Square Shopping Center, in all 422.60 feet and third, South 14°53'38" East 30.00 feet; thence from said place of beginning running for four following lines: (1) North 75°06'22" East 62.4 feet, (2) South 14°53'38" East 119.9 feet, (3) South 75°06'22" West 62.4 feet and (4) North 14°53'38" West 119.9 feet to the place of beginning.

Containing 7482 Square Feet.



BALTIMORE COUNTY, MARYLAND

INTER-OFFICE CORRESPONDENCE

Mr. W. E. Hammond  
Zoning Commissioner  
TO: \_\_\_\_\_ Date: June 24, 1980  
FROM: John J. Seiffers, Director  
SUBJECT: Petition No. 21-1-12-1

Petition for Special Exception  
Beginning 422.6 feet East of Merritt Boulevard,  
2071.95 feet South of German Hill Road  
Petitioner- Merritt Boulevard Properties Partnership

Twelfth District

HEARING: Thursday, July 10, 1980 (1:30 P.M.)

The proposed use would be appropriate here. If granted, it is requested that details of landscaping, submitted to and approved by the Division of Current Planning and Development, be required.

*John D. Seiffers*  
John D. Seiffers, Director  
Office of Planning and Zoning

JDS:JGH:vc

June 11, 1980

Donald H. Ready  
Merritt Boulevard Properties Partnership  
7183 Holabird Avenue  
Baltimore, Maryland 21222

**NOTICE OF HEARING**

RE: Petition for Special Exception - Beg. 122.6' East of Merritt Blvd., 2071.95' S of German Hill Road - Case No. 80-276-X  
5/13-X

TIME: 1:30 P.M.

DATE: Thursday, July 10, 1980

PLACE: ROOM 106 COUNTY OFFICE BUILDING, 111 W. CHESAPEAKE AVENUE,

TOWSON, MARYLAND

*[Signature]*  
ZONING COMMISSIONER OF  
BALTIMORE COUNTY

BALTIMORE COUNTY  
OFFICE OF PLANNING & ZONING  
TOWSON, MARYLAND 21204  
494-3353

WILLIAM E. HAMMOND  
ZONING COMMISSIONER

June 25, 1980

Merritt Boulevard Properties Partnership  
Mr. Donald H. Ready, General Partner  
7183 Holabird Avenue  
Baltimore, Maryland 21222

RE: Petition for Special Exception  
Beg. 122.6' E Merritt Blvd.,  
2071.95' S German Hill Road  
Case No. 81-13-X

Dear Mr. Ready:

This is to advise you that \$54.00 is due for advertising and posting of the above-property.

Please make check payable to Baltimore County, Maryland and remit to Sondra Jones, Room 113, County Office Building, Towson, Maryland 21204, before the hearing.

Very truly yours,

*[Signature]*  
WILLIAM E. HAMMOND  
Zoning Commissioner

WEH:ej

Mr. William E. Hammond  
Zoning Commissioner  
Room 109, County Office Building  
Towson, Maryland 21204

RE: Case No. 81-13-X  
Building Permit Application  
No.  
12<sup>th</sup> Election District

Dear Mr. Hammond:

We, the undersigned, being the owner of the above mentioned property and the applicant for the above referenced building permit, do hereby acknowledge that we are fully aware of your Order being subject to a thirty (30) day appeal period, but wish to go ahead with the construction of improvements on the property prior to the expiration of said appeal period.

We hereby relieve our builder, Baltimore County Maryland and you from any liability or responsibility in this matter and agree to assume any and all financial responsibility for any consequences which might arise during the appeal period if an appeal is filed after construction has begun.

Very truly yours,

By *[Signature]* MERITT BOULEVARD Prop. Part.  
General Partner

04/7/80

10 June 1980

Baltimore County  
Plans Review  
111 W. Chesapeake Avenue  
Towson, Maryland 21204

ATTN: Mr. Ted Burnham

RE: Danville Square Shopping Center  
Request for Occupancy Change

Dear Ted:

A request has been made to the zoning commission of Baltimore County to allow approximately 3,000 square feet of storage area of the referenced shopping center to be used for servicing of automobiles.

This is to certify that said area of vehicle servicing will be separated from adjacent occupancies by a three-hour fire wall, and further that the minimum requirement of 30 feet for set-backs and fire separations will be maintained.

Very truly yours,

*[Signature]*  
Richard J. Carroll, P. E.  
President

RJC/clw

OK  
CER  
File in  
#221 (80)

Eh 9

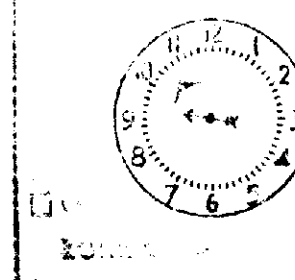
DONALD H. READY  
MERRITT BOULEVARD  
7183 HOLABIRD AVE.  
TOWSON, MD. 21222  
494-3353

ANGLO R. D'ANNA  
CORNER R. D'ANNA  
R. J. COE  
788 HOLLAND AVENUE  
BALTIMORE, MD. 21204  
361-288-1000  
361-288-1000

**Danville Square**

A PROJECT OF  
MERRITT BOULEVARD  
PROPERTY PARTNERSHIP

MAY 16 1980



May 16, 1980

Mr. William E. Hammond  
Zoning Commissioner  
County Office Building  
Towson, Maryland 21204

Re: Petition for Special Exception  
Item No. 221  
Use of a portion of retail space  
for a service garage  
Danville Square Shopping Center  
Merritt Boulevard, Dundalk, Maryland

Dear Sir:

The referenced matter must be resolved by July 10th in order to complete the construction of the alterations required and stay within the time frame outlined in a lease agreement. I realize that your schedule is very full, but I am hereby requesting that you utilize whatever flexibility and innovative procedures that you have available to you to expedite the date by which this matter is heard. I ask this special treatment for the following reasons.

In this difficult economic period where many retailers are dropping by the wayside because of inflation, etc., we have come up with a strong viable tenant for space in this shopping center which otherwise would be lying fallow. Vacant space creates no employment, no retail sales and depresses real estate, as you know, which reduces the overall tax basis of the County. This tenant has several places around the County where they can expand with their internal cash flow. If they don't get into operation in Dundalk by a certain date, they will simply go somewhere else.

It seems to me, then, that it is not unreasonable that a respectable tax-paying constituent, who has created a great deal of wealth in real estate in this County, to ask for cooperation from an administrative body of the County Government so that a great deal of sales and employment is not lost to us and to the County.

BALTIMORE COUNTY  
OFFICE OF PLANNING & ZONING  
TOWSON, MARYLAND 21204  
494-3353

WILLIAM E. HAMMOND  
ZONING COMMISSIONER

August 15, 1980

John O. Hennegan, Esquire  
1301 Merritt Boulevard  
Dundalk, Maryland 21222

RE: Petition for Special Exception  
Beginning 422.6' E of Merritt Blvd.,  
2071.95' S of German Hill Rd. -  
12th Election District  
Merritt Blvd. Properties Partnership -  
Petitioner  
NO. 81-13-X (Item No. 221)

Dear Mr. Hennegan:

This letter is in response to your request for clarification of the Order signed July 22, 1980, relating to the above referred case.

The terms "automotive accessories... and/or accessory service" are intended to include: the installation of automotive parts and accessories; the replacement of tires and batteries; and the service of brake systems, exhaust systems, cooling and air conditioning systems, mufflers, tail pipes, shock absorbers, tune-ups and wheel alignments; with all of the aforementioned work making use of parts purchased at retail from the subject property. However, the Order is not intended to allow the removal of engine heads and engine work, transmission work, greasing and oil changing, filling of gasoline and diesel fuel, car washing, welding, paint and body work of any kind, and the use of acetylene or other burning tools.

If further explanation or additional information is required, please feel free to contact me.

Very truly yours,

*[Signature]*  
JEAN M. H. JUNG  
Deputy Zoning Commissioner

JMHJ/mc

BALTIMORE COUNTY  
OFFICE OF PLANNING & ZONING  
TOWSON, MARYLAND 21204  
494-3353

WILLIAM E. HAMMOND  
ZONING COMMISSIONER

July 22, 1980

John O. Hennegan, Esquire  
1301 Merritt Boulevard  
Dundalk, Maryland 21222

RE: Petition for Special Exception  
Beginning 422.6' E of Merritt Blvd., 2071.95'  
S of German Hill Rd. - 12th Election District  
Merritt Blvd. Properties Partnership -  
Petitioner  
NO. 81-13-X (Item No. 221)

Dear Mr. Hennegan:

I have this date passed my Order in the above captioned matter in accordance with the attached.

Very truly yours,

*[Signature]*  
JEAN M. H. JUNG  
Deputy Zoning Commissioner

JMHJ/mc

Attachments

cc: John W. Hessian, III, Esquire  
People's Counsel

Mr. William E. Hammond  
May 15, 1980  
Page Two

Please let me hear from you if there is anything that you feel you can do to help.

Best wishes.

Very truly yours,

Merritt Boulevard Property Partnership

*[Signature]*  
Donald H. Ready  
General Partner

DHR:egk

BALTIMORE COUNTY OFFICE OF PLANNING & ZONING

County Office Building  
111 W. Chesapeake Avenue  
Towson, Maryland 21204

Your Petition has been received this 6th day of May, 1980

Filing Fee \$50.00 Received:  Check

Cash

Other

Submitted by William E. Hammond  
William E. Hammond, Zoning Commissioner

Petitioner Donald H. Ready Submitted by Donald H. Ready

Petitioner's Attorney John Little Reviewed by John Little

\*This is not to be interpreted as acceptance of the Petition for assignment of a hearing date.

FUNCTION	Wall Map		Original		Duplicate		Tracing		200 Sheet	
	date	by	date	by	date	by	date	by	date	by
Descriptions checked and outline plotted on map										
Petition number added to outline										
Denied										
Granted by ZC, BA, CC, CA										
Reviewed by: <u>MLD</u>	Revised Plans: Change in outline or description <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No				Map # _____					
Previous case: <u>73-117-X</u>										

PETITION FOR SPECIAL EXCEPTION

12th District  
ZONING: Petition for Special Exception for Service Garage  
LOCATION: Beginning 422.8 feet East of Merritt Boulevard, 2071.96 feet South of Gorman St Road.  
DATE & TIME: Thursday, July 10, 1980 at 1:30 P.M.  
PUBLIC HEARING: Room 106, County Office Building, 111 W. Chesapeake Avenue, Towson, Maryland  
The Zoning Commissioner of Baltimore County, by authority of the Zoning Act and Regulations of Baltimore County, will hold a public hearing.  
Petition for Special Exception for a Service Garage for tire, battery and accessory service.  
All that parcel of land in the Twelfth District of Baltimore County containing 1.42 acres of land and the three following lines: first, the easterly line of Merritt Boulevard and Gorman Hill Road, South 14° 53' 38" East 3000 feet; second, North 79° 06' 22" East 1153 feet; and third, the westerly line of Danville Square Shopping Center, in all 422.8 feet and 1153 feet. The proposed building to be located on the northerly portion of the parcel of land containing 1.42 acres of land and the three following lines: first, the easterly line of Merritt Boulevard and Gorman Hill Road, South 14° 53' 38" East 3000 feet; second, North 79° 06' 22" East 1153 feet; and third, the westerly line of Danville Square Shopping Center, in all 422.8 feet and 1153 feet. The proposed building to be located on the northerly portion of the parcel of land containing 1.42 acres of land and the three following lines: first, the easterly line of Merritt Boulevard and Gorman Hill Road, South 14° 53' 38" East 3000 feet; second, North 79° 06' 22" East 1153 feet; and third, the westerly line of Danville Square Shopping Center, in all 422.8 feet and 1153 feet. The proposed building to be located on the northerly portion of the parcel of land containing 1.42 acres of land and the three following lines: first, the easterly line of Merritt Boulevard and Gorman Hill Road, South 14° 53' 38" East 3000 feet; second, North 79° 06' 22" East 1153 feet; and third, the westerly line of Danville Square Shopping Center, in all 422.8 feet and 1153 feet.

DUPLICATE CERTIFICATE OF PUBLICATION

TOWSON, MD., \_\_\_\_\_, 1980  
THIS IS TO CERTIFY, that the annexed advertisement was published in THE JEFFERSONIAN, a weekly newspaper printed and published in Towson, Baltimore County, Md., once in \_\_\_\_\_ of \_\_\_\_\_ successive weeks before the \_\_\_\_\_ day of \_\_\_\_\_, 1980, the first publication appearing on the \_\_\_\_\_ day of \_\_\_\_\_, 1980.  
THE JEFFERSONIAN,  
L. Frank Swanson  
Manager.  
Cost of Advertisement, \$ 71.00

CERTIFICATE OF PUBLICATION

OFFICE OF  
**Dundalk Eagle**  
38 N. Dundalk Ave.  
Dundalk, Md. 21222  
June 19, 1980  
THIS IS TO CERTIFY, that the annexed advertisement of William E. Hammond, zoning commissioner of Baltimore County in that part of Baltimore County known as Merritt Blvd. Prop. was inserted in **The Dundalk Eagle** a weekly newspaper published in Baltimore County, Maryland, once a week for \_\_\_\_\_ successive weeks before the \_\_\_\_\_ day of June, 1980; that is to say, the same was inserted in the issue of \_\_\_\_\_ June 19, 1980  
Kimbel Publication, Inc.  
Publisher.  
By Kimbell

CERTIFICATE OF POSTING

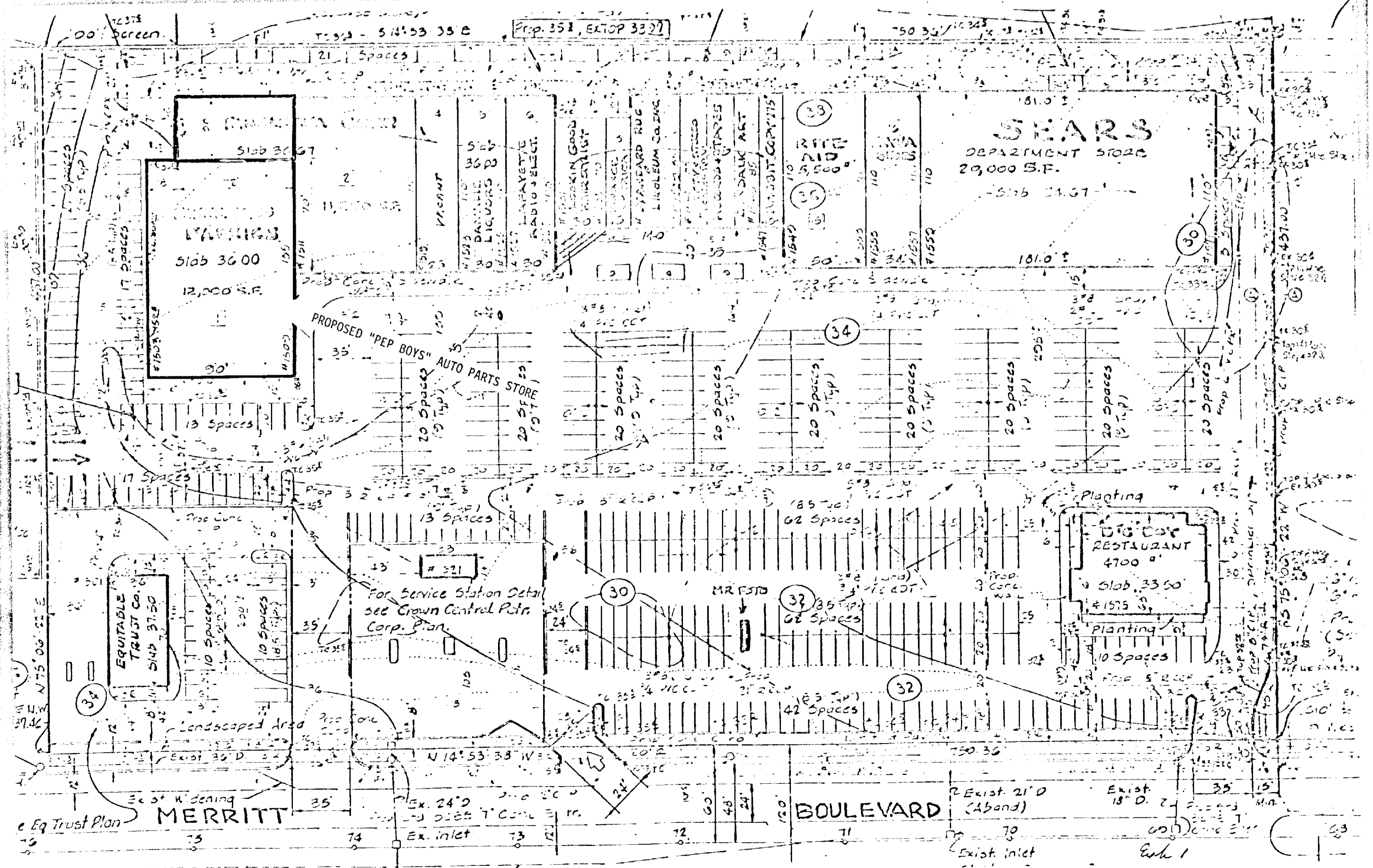
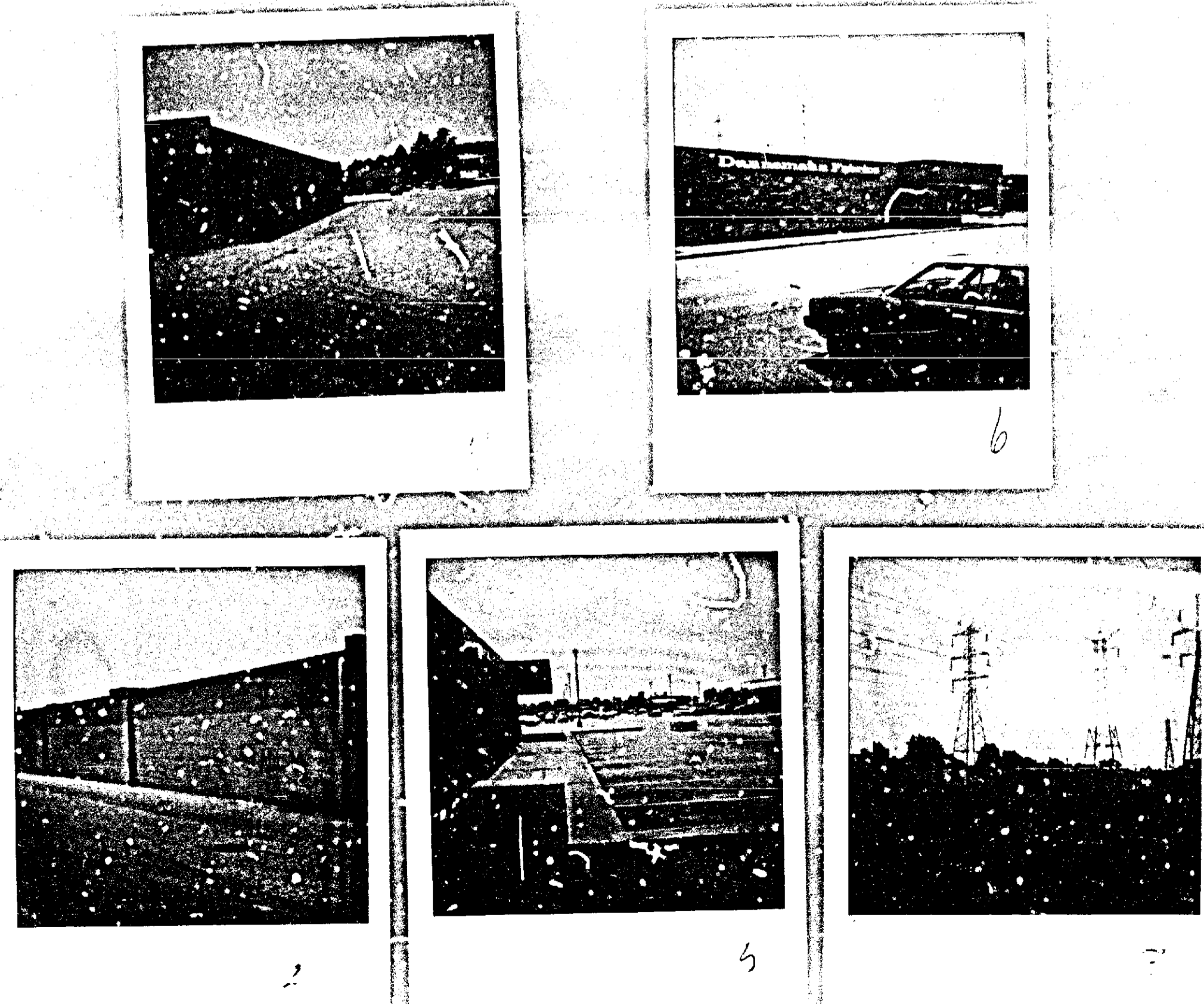
ZONING DEPARTMENT OF BALTIMORE COUNTY  
Towson, Maryland  
District: 12 Date of Posting: 6/21/80  
Posted for: Petition for Special Exception  
Petitioner: Merritt Blvd. Properties Partnership  
Location of property: Prop. 422.8 E. Merritt Blvd., 2071.96 S. Gorman Hill Rd.  
Location of Signs: front of Merritt Blvd. at entrance next to existing garage  
Remarks: \_\_\_\_\_  
Posted by: Sean Coleman Date of return: 6/27/80  
Number of Signs: 1

BALTIMORE COUNTY, MARYLAND  
OFFICE OF FINANCE - REVENUE DIVISION  
MISCELLANEOUS CASH RECEIPT  
No. 088877  
DATE: June 11, 1980 ACCOUNT: 01-662  
AMOUNT: \$50.00  
RECEIVED FROM: Donald H. Ready  
FOR: Filing Fee for Case No. 81-13-X  
VALIDATION OR SIGNATURE OF CASHIER

BALTIMORE COUNTY, MARYLAND  
OFFICE OF FINANCE - REVENUE DIVISION  
MISCELLANEOUS CASH RECEIPT  
No. 089637  
DATE: July 11, 1980 ACCOUNT: 01-662  
AMOUNT: \$16.25  
RECEIVED FROM: White, Mindol, Clarke & Hill  
FOR: Advertising and Posting for Case No. 81-11-X  
VALIDATION OR SIGNATURE OF CASHIER

BALTIMORE COUNTY, MARYLAND  
OFFICE OF FINANCE - REVENUE DIVISION  
MISCELLANEOUS CASH RECEIPT  
No. 089635  
DATE: July 11, 1980 ACCOUNT: 01-662  
AMOUNT: \$51.00  
RECEIVED FROM: Danville Square  
FOR: Advertising and Posting for Case No. 81-13-X  
VALIDATION OR SIGNATURE OF CASHIER

**Dundalk Eagle**  
38 N. Dundalk Avenue 288-060  
Dundalk, Maryland 21222  
Dundalk, Md. June 19, 1980  
Baltimore County, Md.  
Office of Central Services  
Suite 414, Courthouse  
471 South Ave.  
Towson, Md. 21284



ADVERTISING 1.00 per square column  
1.00 - 1977 - 1979 - 1980 - 1981 - 1982  
Petition for special exception Merritt Blvd. Prop. in Baltimore County.  
1980 June 19, 1980 - 1981 June 19, 1980  
Certificate of publication attached - copy cert. and bill sent to owner

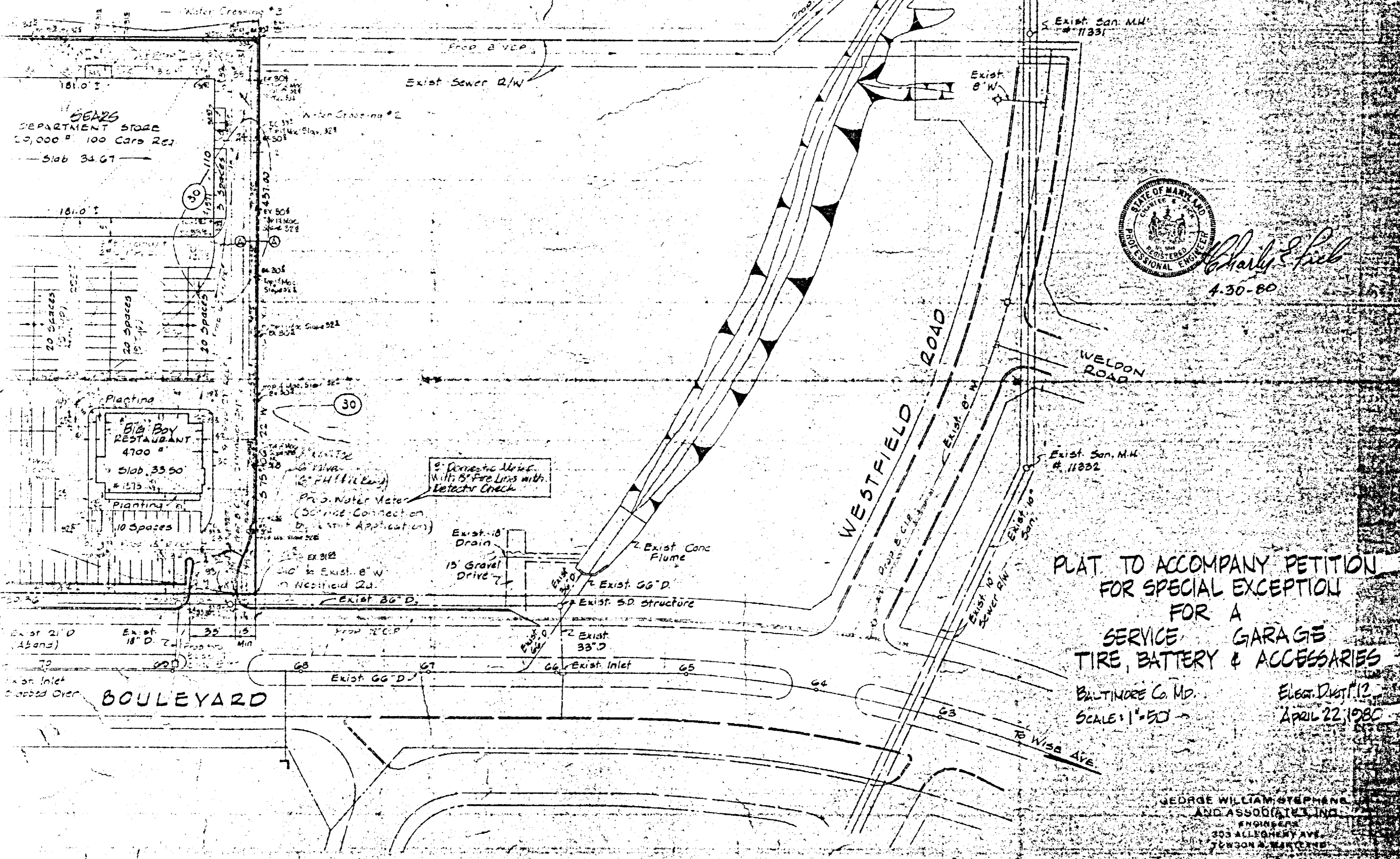
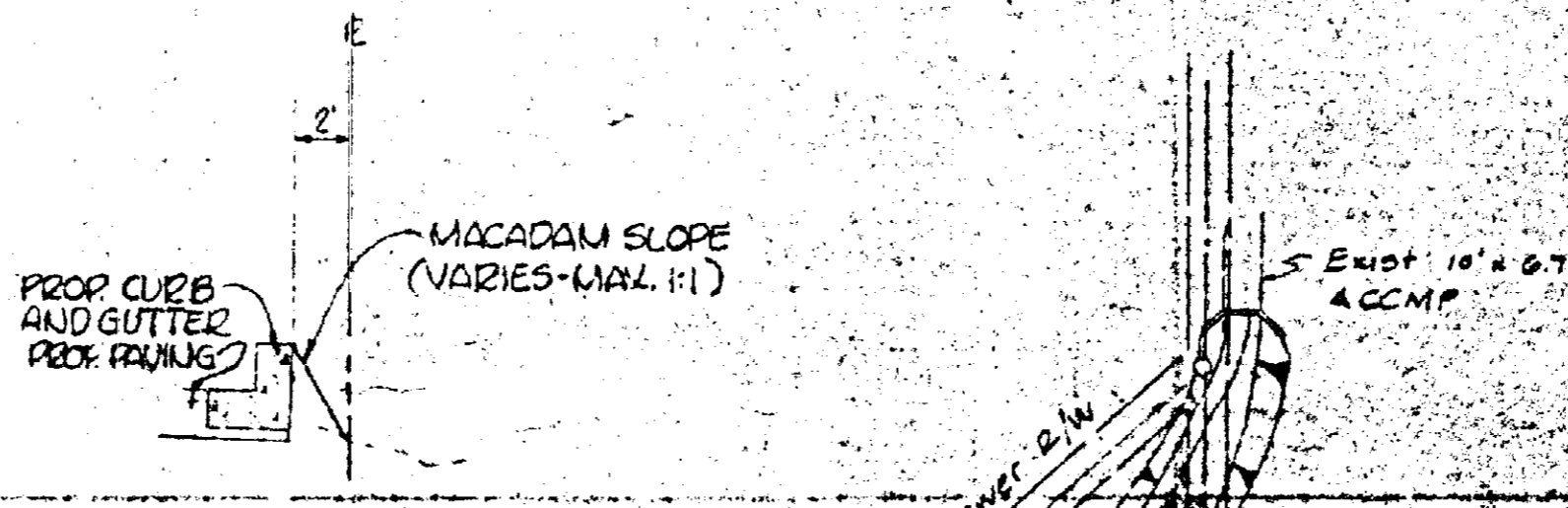
### GENERAL NOTES

346	Spaces
11	"
9	"
24	"
8	Spaces
468	Spaces
409	Spaces
Direction	

- Building Numbers Correspond with Mechanical Plans # M-1, M-2, & M-3
- Standard S.C.D.E. 7 Concrete Entrances by permit application.
- Proposed Water Main in Service Drive at the rear of the building to have a uniform cover of 5'-0"; Water Main in other areas to have a minimum of 3'-0" of Cover.
- Proposed Sanitary Sewers, Water Mains & Storm Drain Materials, and Construction, shall be in accordance with the Baltimore County Standards.
- Limit of Sanitary Sewer & Water House Connections to be 5' from building. Tie in at this point to be made by Plumber.
- All Water Services 1/2" or greater to be Cast Iron; less than 1/2" to be Copper Tubing.
- Limit of general Contractor's work to be the outline of Equitable Trust site and to the sidewalk around restaurant building; but to include offset curb and paving in Merritt Boulevard.
- Roof Drain downspout connections in rear of Buildings to be made as shown in detail on sheet 2 of 3.
- Electric layout as shown taken from c plan prepared by others.
- Valve on Fire Hydrant lead shall be tied to main line tee or w/kt with two (2) 3/4" diameter threaded steel rods and nuts as directed by the engineer.

REVISION 5/11/78 LOWERED BLDG. FROM 36.2 TO 36.22 BLD. RAISED 0.2' ON EAST SIDE 2' IN FRONT TO AGREE LOWERED TOP OF 12" T.G. TILES ADJUSTED ELEVATIONS 88.94, 85.76, 83.11 TO AGREE ADDED CONTOUR 85.11 IN FRONT OF BLDG. 10-15.  
 ADDED EXISTING GRD. @ 13.12. LOWERED S.W. CORNER BLDG. 97.50 WALL 0.67' TO ALLOW FOR FACE DOOR. POSURE (DOOR READY).  
 ADDED EX. GRD. & ALONG T.R. SET TO 0. OF MACADAM SLOPE & ADJUSTED GRADINGS TO AGREE.  
 ADDED DETAIL SECTION A-A.  
 REMOVED RETAINING WALL IN REAR OF BLDG. & ADDED REVERSE-SLOPE CYCLE GUTTER ALONG E. PL. AND REMOVED LANDSCAPE STEIR.  
 REVISION 5/11/78 CHANGED CURB LOCATION, BACK OF CURB 1' OFF EAST PROPERTY LINE.

Ac ±  
 752 Ac ±  
 Gross  
 (Spec. Exc.)  
 (H.A.P.)  
 HANDICAP SPACE



STATE OF MARYLAND  
 PROFESSIONAL ENGINEER  
 Charles E. Lieb  
 4-30-80

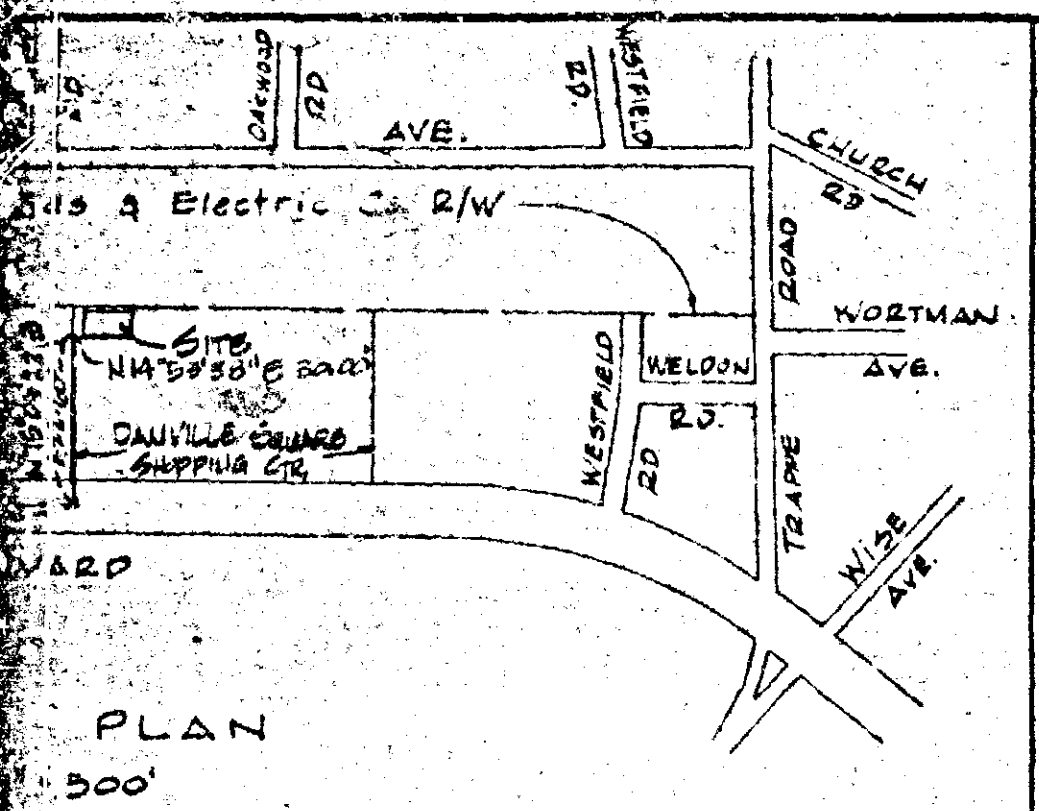
PLAT TO ACCOMPANY PETITION FOR SPECIAL EXCEPTION FOR A SERVICE GARAGE TIRE, BATTERY & ACCESSORIES  
 BALTIMORE CO. MD.  
 SCALE: 1"=50'  
 ELEV. DIST. 12  
 APRIL 22, 1980

OWNER  
 HERRITT BLDG. PROPERTIES PARTNERSHIP  
 7185 HOLLABIRD AVE  
 BALTIMORE, CO. MARYLAND

DANVILLE SQUARE SHOPPING CENTER  
 MERRITT BOULEVARD  
 BALTIMORE COUNTY, MARYLAND

GEORGE WILLIAM STEPHENS  
 AND ASSOCIATES, INC.  
 ENGINEERS  
 333 ALLEGHENY AVE.  
 TOWSON, MARYLAND

Sheet #11
Drawn: D.F.S.
Scale: 1"=20'
Revised: _____
Date: _____
Drawing: _____



**PARKING DATA**

- 1 Retail Stores 1 3/4" @ 1/200" 340 Spaces
  - 2 Service Garage 3/20" @ 1/300 11
  - 3 Automotive Service Station 0
  - 4 Restaurant Area 4700" @ 1/50" 24
  - 5 Drive-in Bank 2520" @ 1/500" 6 Spaces
- Minimum Parking Space 8.5 x 18 Total Required 400 Spaces  
 Total Provided 400 Spaces
- 6 Indicates Light Standard 10' High & Direction
  - 7 Surface to be macadam Paved.

**AREA OF SITE - 7.52 Ac. ±**

- 1 Area of Site to be Landscaped 0.5 x 7.62 Ac. = .375 Ac. or 16,200" Required. Landscaped Area provided = 10,250 sq. ft.
- 2 Landscaping will consist of shrubbery & Grass.

**SANITARY SEWER DESIGN DATA**

BUILDING NO	FIXTURE UNITS
2-D, 11-A, G	18 1/2
10	8 (104)
15	17
17	21
BANK	4 1/2
SERVICE STATION	12
RESTAURANT	26
<b>TOTAL FIXTURE UNITS = 335</b>	

**OVERALL SITE DATA**

Existing Zoning = B.L.  
 Area of Tract = 7.52 Ac.  
 Parking Data - See Above

**SERVICE GARAGE SITE DATA (Spec. Ex.)**

Site Area = 7,481.70 sq. ft.  
 Building Area = 3,120 sq. ft.  
 Parking Required = 3,120 x 200 = 104 (use 110)  
 Parking Furnished = 11 spaces (includes 1 Handicap Space)

**GENERAL NOTES**

- 1 Building Numbers Correspond with Mechanical Plans # M-1, M-2, & M-3
- 2 Standard B.C.B.T. Concrete Entrances by permit application.
- 3 Proposed Water Main in Service Drive at the rear of the building to have a uniform cover of 5.0'. Water Main in other areas to have a minimum of 3.0' of Cover.
- 4 Proposed Sanitary Sewers, Water Mains & Storm Drain Materials, and Construction, shall be in accordance with the Baltimore County Standards.
- 5 Limit of Sanitary Sewer & Water House Connections to be 5' from building. Tie in at this point to be made by Plumber.
- 6 All Water Services 1 1/2" or greater to be Cast Iron, less than 1 1/2" to be Copper Tubing.
- 7 Limit of general Contractor's work to be the outline of Equitable Trust site and to the sidewalk around restaurant building; but to include off-site curb and paving in Merritt Boulevard.
- 8 Roof Drain downspout connections in rear of buildings to be made as shown in detail on sheet 2 of 3.
- 9 Electric layout as shown taken from a plan prepared by others.
- 10 Valve on Fire Hydrant lead shall be tied to main line ice or outlet with 1/2" (1) 3/4" diameter threaded steel nuts and nuts as directed by the Engineer.

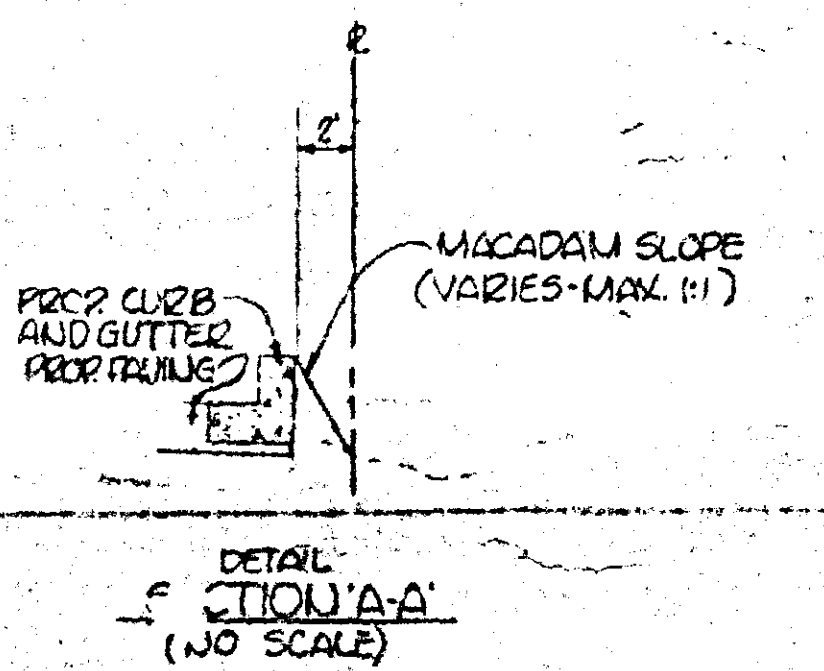
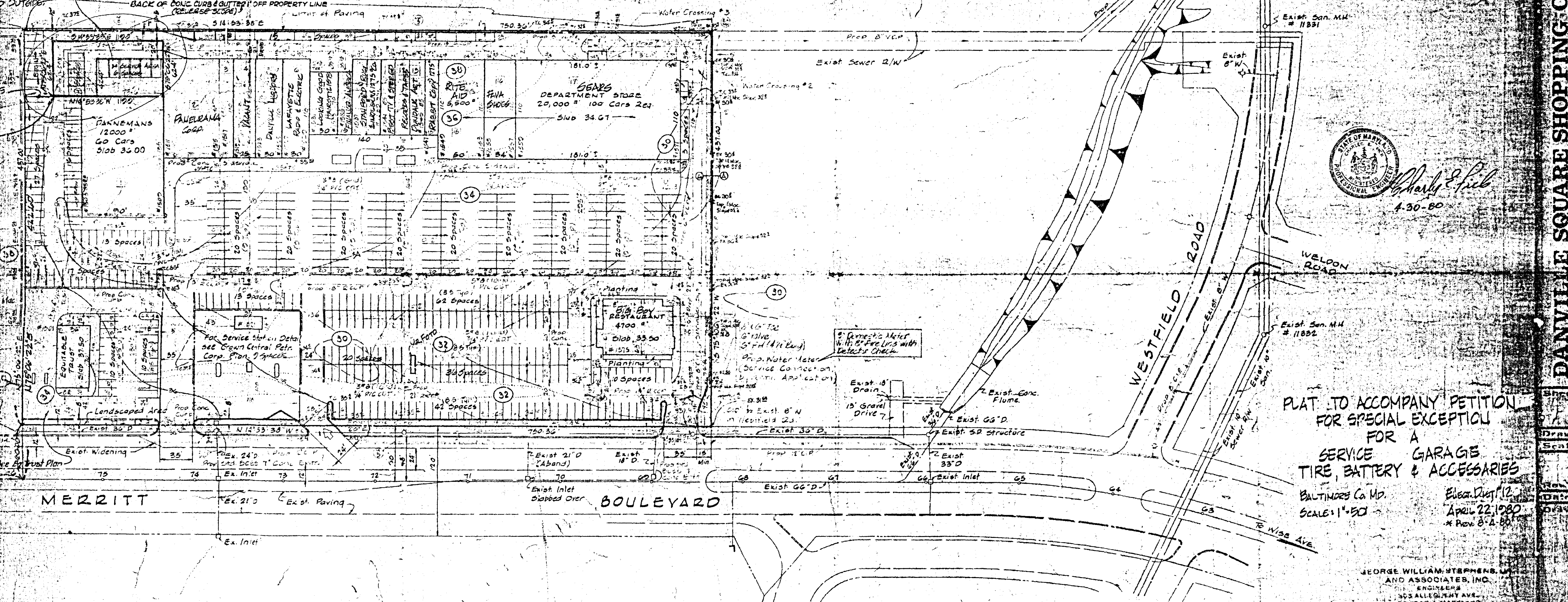
**Special Exception Restrictions**

- 1. No vehicles may be stored, equipped, repaired, or repaired, except for the installation of tires, batteries, and accessories, accessories, or parts from the premises, and mechanics, and/or necessary services in conjunction with said items.
- 2. All fire hose/pump equipment shall be used or maintained on the subject property.

REVISION 5/17/78 LOWERED CURB FROM 2.0' TO 1.5' ALL ALONG EAST SIDE AND FRONT IN AREAS LOWERED TOP OF CURB TO 1.5' IN AREAS OUTDOORS 25, 24, 23, 22, 21 TO AREAS ADDED COURSE 25 IN FRONT OF BLDG 10-15.  
 ADDED EXISTING 8" @ 12' LOWERED 2" V. CURVE BLDG. #17.5 WALL 0.67' TO ALLOW FOR FACE DOCK EX POSURE (DON READY)  
 ADDED EX. 6" @ 12' ALONG S.E. 1/2' TO 1/4' OF MACADAM SLOPE & ADJUSTED GRAVITY AS 222.  
 ADDED DETAIL SECTION 'A-A'  
 REMOVED DETAILING WALL IN REAR OF BLDG. & ADDED REVERSE-SLOPE CURB & GUTTER ALONG E. 1/2' AND REMOVED LANDSCAPE STRIP  
 REVISION 5/17/78 CHANGED CURB LOCATION, BACK OF CURB 1' OFF EAST PROPERTY LINE.

PLANS APPROVED  
 OFFICE OF PLANNING & ZONING  
 BY: [Signature]  
 DATE: 8/22/80

EXISTING BUILDING PROPOSED SERVICE GARAGE (T.B.A.)  
 FLOOR AREA = 3,120"  
 BALTIMORE GAS & ELECTRIC CO.  
 PARKING REQ. = 3,120 x 200 = 104 (USE 110)

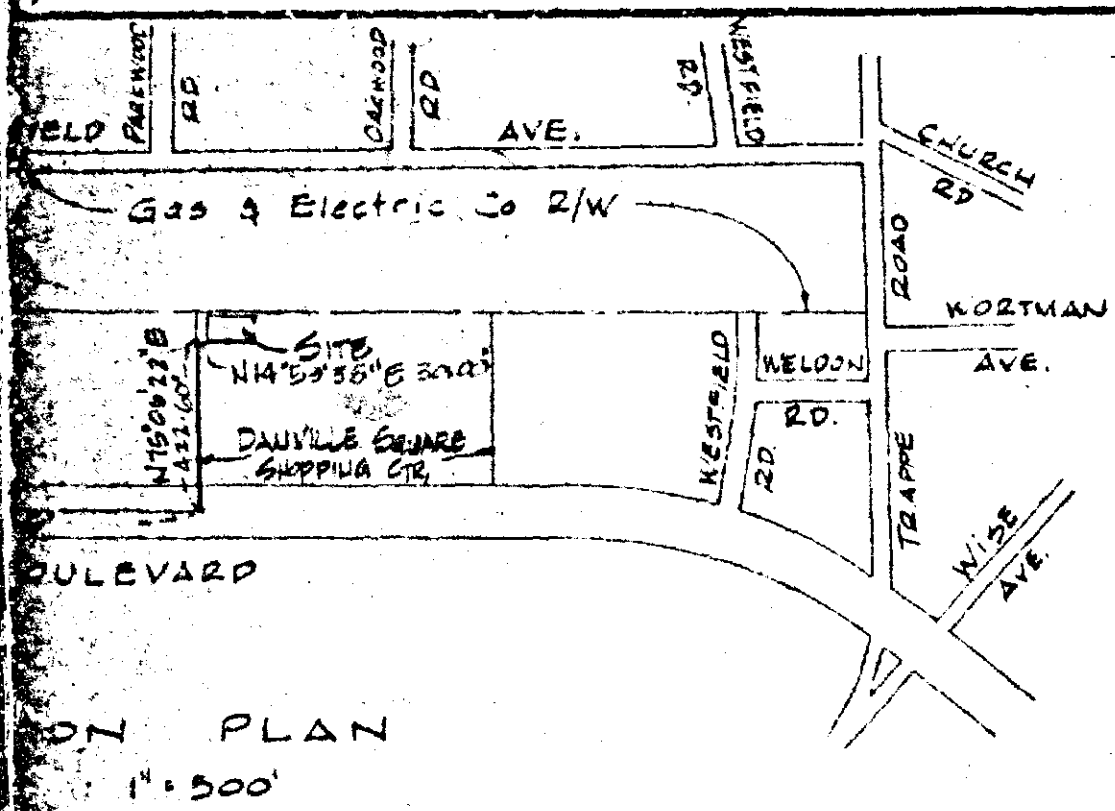


George W. Jermens  
 4-30-80

PLAT TO ACCOMPANY PETITION FOR SPECIAL EXCEPTION FOR A SERVICE GARAGE TIRE, BATTERY & ACCESSORIES  
 BALTIMORE CO. MD.  
 SCALE: 1" = 50'  
 ELEC. DIST. # 12  
 APRIL 22, 1980  
 \* Rev. 8-4-80

GEORGE WILLIAM JERMENS, INC.  
 ENGINEERS  
 353 ALLEGANY AVE.  
 TOWSON, MARYLAND

OWNER: HERRITT BLDG. PROPERTIES PARTNERSHIP  
 7183 HOLABIRD AVE.  
 BALTIMORE CO. MARYLAND  
 DANVILLE SQUARE SHOPPING CENTER  
 MERRITT BOULEVARD  
 BALTIMORE COUNTY, MARYLAND



### PARKING DATA

1 Retail Stores 60,115' @ 1/200'	346 Spaces
2 Service Garage 3,120' @ 1/300'	11 "
3 Automotive Service Station	9 "
4 Restaurant Area 4,700' @ 1/300'	24 "
5 Drive-In Bank 2,520' @ 1/300'	8 Spaces
Minimum Parking Space 8.5 x 18	468 Spaces
Total Required	408 Spaces
Total Provided	408 Spaces

6 ↓ Indicates Light Standard 10' High & Direction  
7 Surface to be Macadam Paved.

### AREA OF SITE ~ 7.52 Ac ±

1 Area of Site to be Landscaped 0.5 x 7.52 Ac = 376 Ac or 16,200' Required.  
Landscaped Area provided = 16,250 sq ft  
2 Landscaping will consist of shrubbery & Grass.

### SANITARY SEWER DESIGN DATA

BUILDING NO	FIXTURE UNITS
1	18 1/2
2, 9, 11-14, 16	8 (104)
10	17
15	21
17	41 1/2
BANK SERVICE STATION RESTAURANT	75
	26
<b>TOTAL FIXTURE UNITS = 335</b>	

### OVERALL SITE DATA

Existing Zoning = B.L.  
Area of Tract = 7.52 Ac  
Parking Data = See Above

### SERVICE GARAGE SITE DATA (Spec. Exc.)

Site Area = 7,481.76 sq ft  
Building Area = 3,120' sq ft  
Parking Required = 5,120 + 300 + 104 (see 11 p. 2)  
Parking Furnished = 11 spaces (includes 1 handicapped space)

### GENERAL NOTES

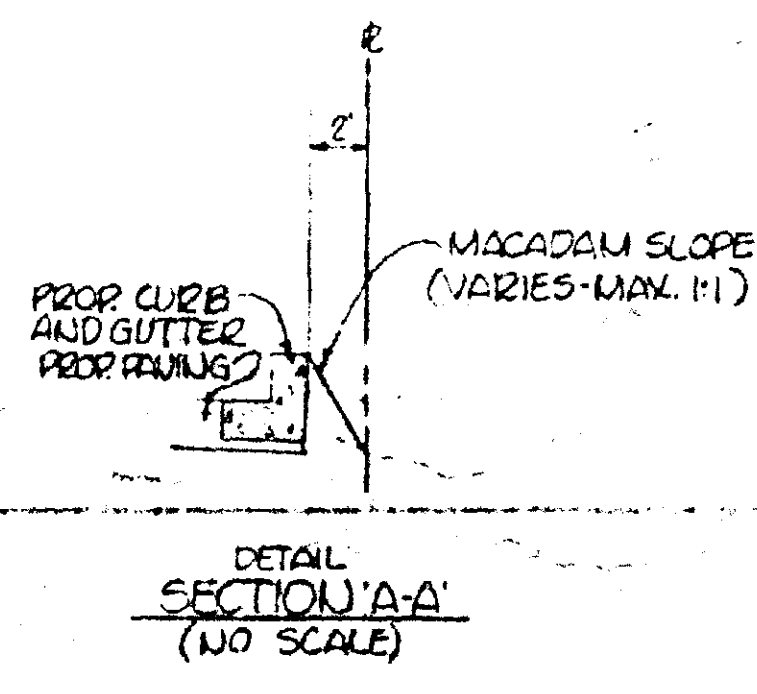
- Building Numbers Correspond with Mechanical Plans M-1, M-2, & M-3
- Standard B.C.B.E.T Concrete Entrances by permit application.
- Proposed Water Main in Service Drive at the rear of the building to have a uniform cover of 3'-0"; Water Main in other areas to have a minimum of 3'-0" of Cover.
- Proposed Sanitary Sewers, Water Mains & Storm Drain Materials, and Construction, shall be in accordance with the Baltimore County Standards.
- Limit of Sanitary Sewer & Water House Connections to be 5' from building. Tie in at this point to be made by Plumber.
- All Water Services 1 1/2" or greater to be Cast Iron; less than 1 1/2" to be Copper Tubing.
- Limit of general Contractor's work to be the outline of Equitable Trust site and to the sidewalk around restaurant building; out to include off-site curb and paving in Merritt Boulevard.
- Roof Drain downspout connections in rear of Buildings to be made as shown in detail on sheet 2 of 3.
- Electric layout as shown taken from a plan prepared by others.
- Kins on Fire Hydrant lead shall be tied to main line (see a detail with the 1) 3/4" diameter threaded steel nuts and nuts as directed by the engineer.

### Special Exception Restrictions

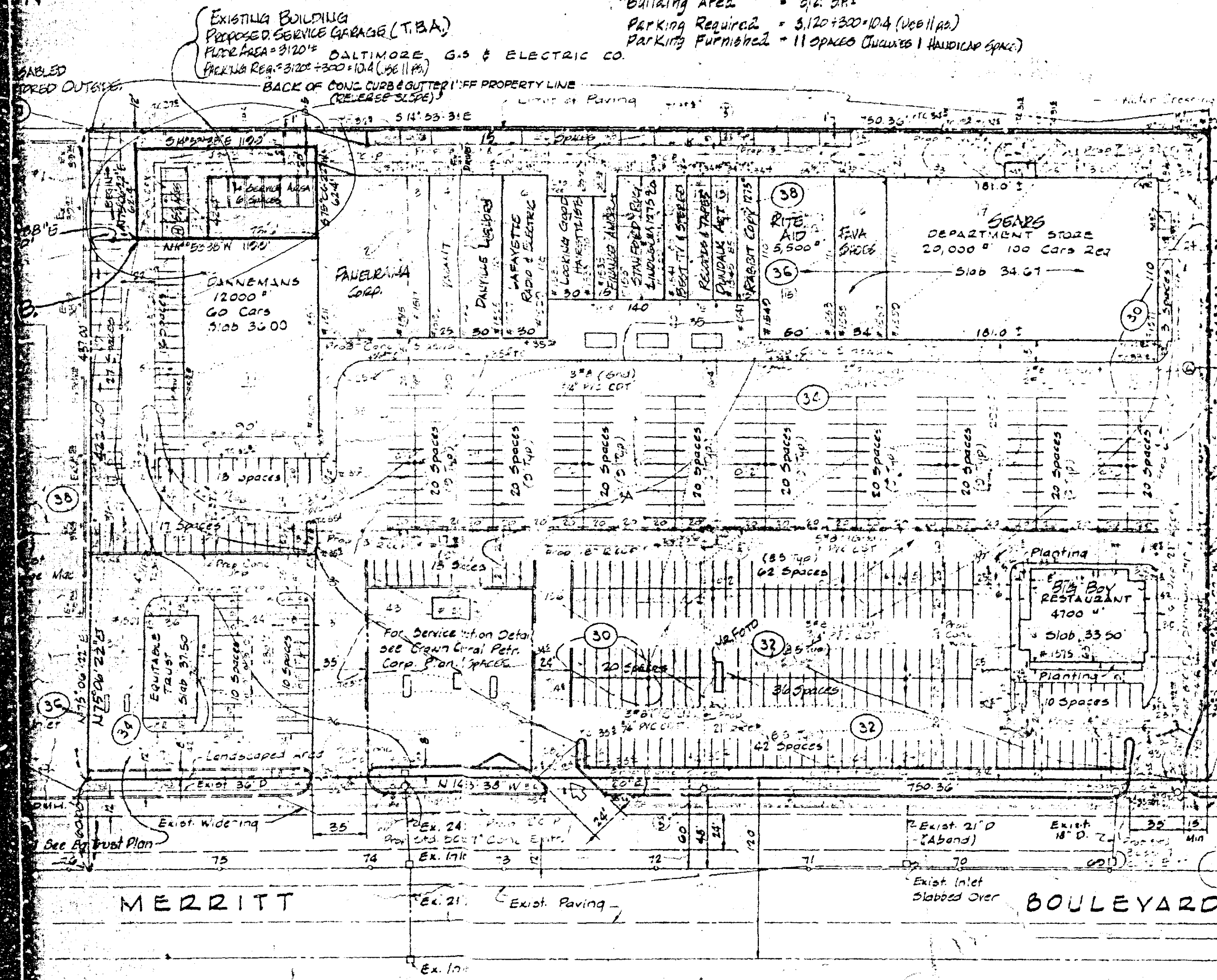
- No vehicles may be stored, equipped for operation, repaired, kept for consumption, hire or sale, except for the installation of tires, batteries, and automotive accessories purchased at retail from the premises and lock-up of any mechanical and/or necessary service in conjunction with said items.
- No fire hazardous equipment shall be used or maintained on the subject property.

REVISION 5/17/72 LOWERED CURB FROM 30" TO 26". ALSO ADJUSTED GRADE INSIDE AND OUT TO AGREE. LOWERED TOP OF T-5, T-6, T-1, T-5, ADJUSTED GUTTERS 23, 24, 25, 26, 27 TO AGREE. ADDED CURBING 55' IL FRONT OF BLDG. 10-15.  
ADDED EXISTING BED @ U.I.P.  
LOWERED S.W. CORNER BLDG. 17, 18. WALL 0.67' TO ALLOW FOR FACE DECK EXPOSURE (DO NOT REMOVE).  
ADDED EX. ARG. & ARG. S. & SET TO 1" OF MACADAM SLOPE & ADJUSTED GRADE TO AGREE.  
ADDED DETAIL SECTION 'A-A'  
REMOVED RETAINING WALL IN REAR OF BLDGS. & ADDED REVERSE SLOPE CURB & GUTTER ALONG E. P. AND REMOVED 3" LANDSCAPE STRIP.  
REVISION 5/17/72 CHANGED CURB LOCATION. BACK OF CURB 1' OFF EAST PROPERTY LINE.

PLANS APPROVED  
OFFICE OF PLANNING & ZONING  
BY: [Signature]  
DATE: 8/22/80  
ZONING COMMISSIONER I



AND IN



WESTFIELD ROAD

MERRITT BOULEVARD

PLAT TO ACCOMPANY PETITION FOR SPECIAL EXCEPTION FOR A SERVICE GARAGE TIRE, BATTERY & ACCESSORIES

BALTIMORE CO. MD.  
SCALE: 1" = 50'

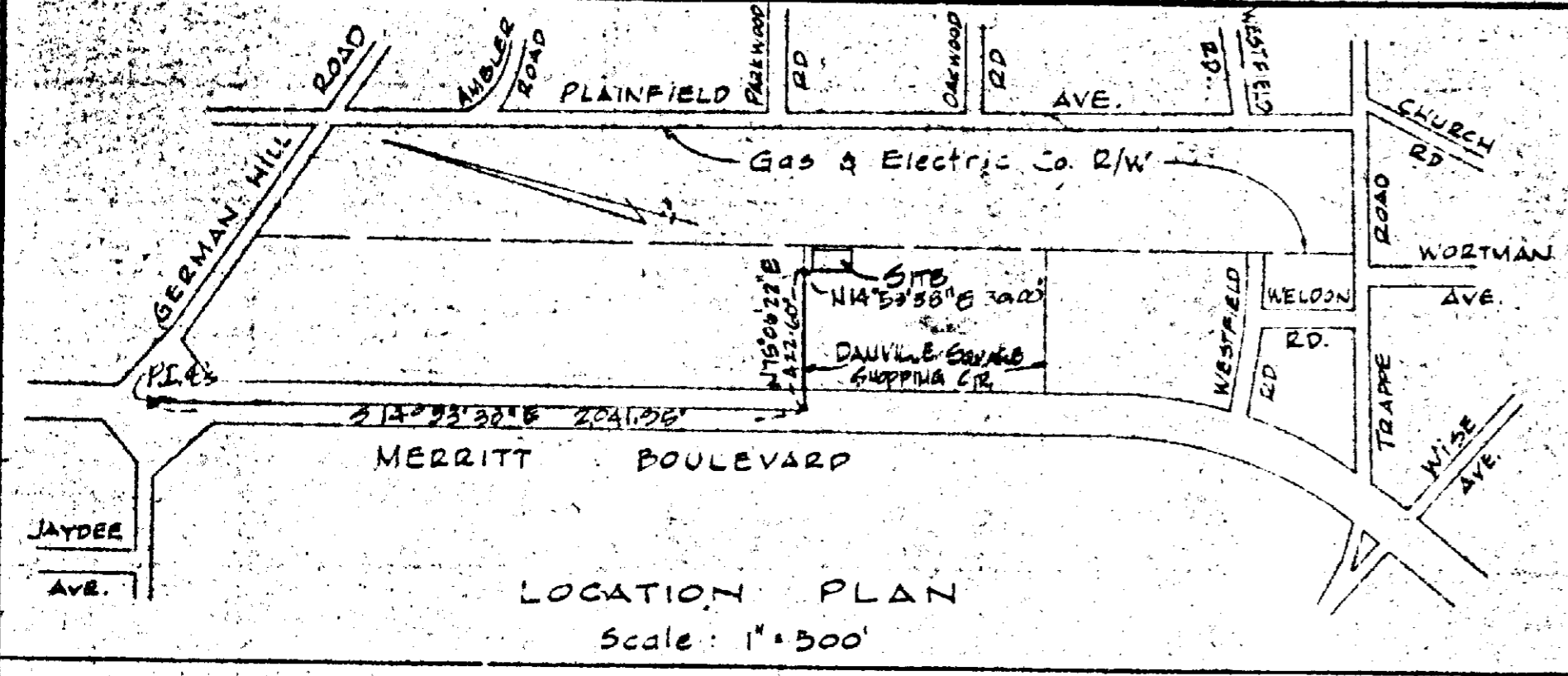
Elect. Dist. # 12  
APRIL 22, 1980  
\* Rev. 8-A-80

MICROFILMED

GEORGE WILLIAM STEPHENS AND ASSOCIATES, INC.  
ARCHITECTS  
323 ALLEGHENY AVE.  
BOWSON A. MARYLAND

OWNER: HERRITT BLDG PROPERTIES PARTNERSHIP  
 7183 HOLABIRD AVE  
 BALTIMORE CO. MARYLAND  
 DANVILLE SQUARE SHOPPING CENTER  
 MERRITT BOULEVARD  
 BALTIMORE COUNTY, MARYLAND

Sheet Title	
Drawn by	
Scale	1" = 50'
Revised Date	
Drawing	



### PARKING DATA

1 Retail Store 6,115' @ 1/200"	346 Spaces
2 Service Garage 3,120' @ 1/300"	11
3 Automotive Service Station	0
4 Restaurant Area 4,700' @ 1/150"	24
5 Drive-In Bank 7,520' @ 1/300"	8 Spaces
Minimum Parking Spcs 0.5 x 13	Total Required 409 Spaces
	Total Provided 409 Spaces

### GENERAL NOTES

- Building Numbers Correspond with Mechanical Plans M-1, 2, & 3.
- Standard C.C.B.E. Concrete Entrances by permit application.
- Proposed Water Main in Service Drive at the rear of the building to have a uniform cover of 3.0'. Water Main in other areas to have a minimum 3.0' of cover.
- Proposed Sanitary Sewers, Water Mains, & Storm Drain Materials, and Construction, shall be in accordance with the Baltimore County Standards.
- Limit of Sanitary Sewer & Water House Connection to be 5' from building. Tie in at this point to be made by Plumber.
- All water services 1 1/2" or greater to be Cast Iron; less than 1 1/2" to be Copper Tubing.
- Limit of general Contractor's work to be the outline of Equitable Trust site and to the sidewalk around restaurant building; but to include offsite curb and paving in Merritt Boulevard.
- Roof Drain downspout connections in rear of buildings to be made as shown in detail on sheet " of 3.
- Electric layout as shown taken from " of 3 prepared by other.
- Valve on Fire Hydrant lead shall be tied to main line tee or outlet with two (2) 3/4" diameter threaded steel rods and nuts as directed by the engineer.

### AREA OF SITE - 7.52 Ac :

- Area of Site to be Landscaped .05 x 7.52 Ac. = .375 Ac. or 16,200' Required. Landscaped Area provided = 16,250 sq ft.
- Landscaping will consist of shrubbery & Grass.

### OVERALL SITE DATA

Existing Zoning = B.L.  
 Area of Tract = 7.52 Ac  
 Parking Data = See Above

### SERVICE GARAGE SITE DATA (Spec. Exc.)

Site Area = 7,481.76 sq ft  
 Building Area = 3,120 sq ft  
 Parking Required = 3,120 + 300 = 104 (see 11 pg)  
 Parking Furnished = 11 spaces (includes 1 handicap space)

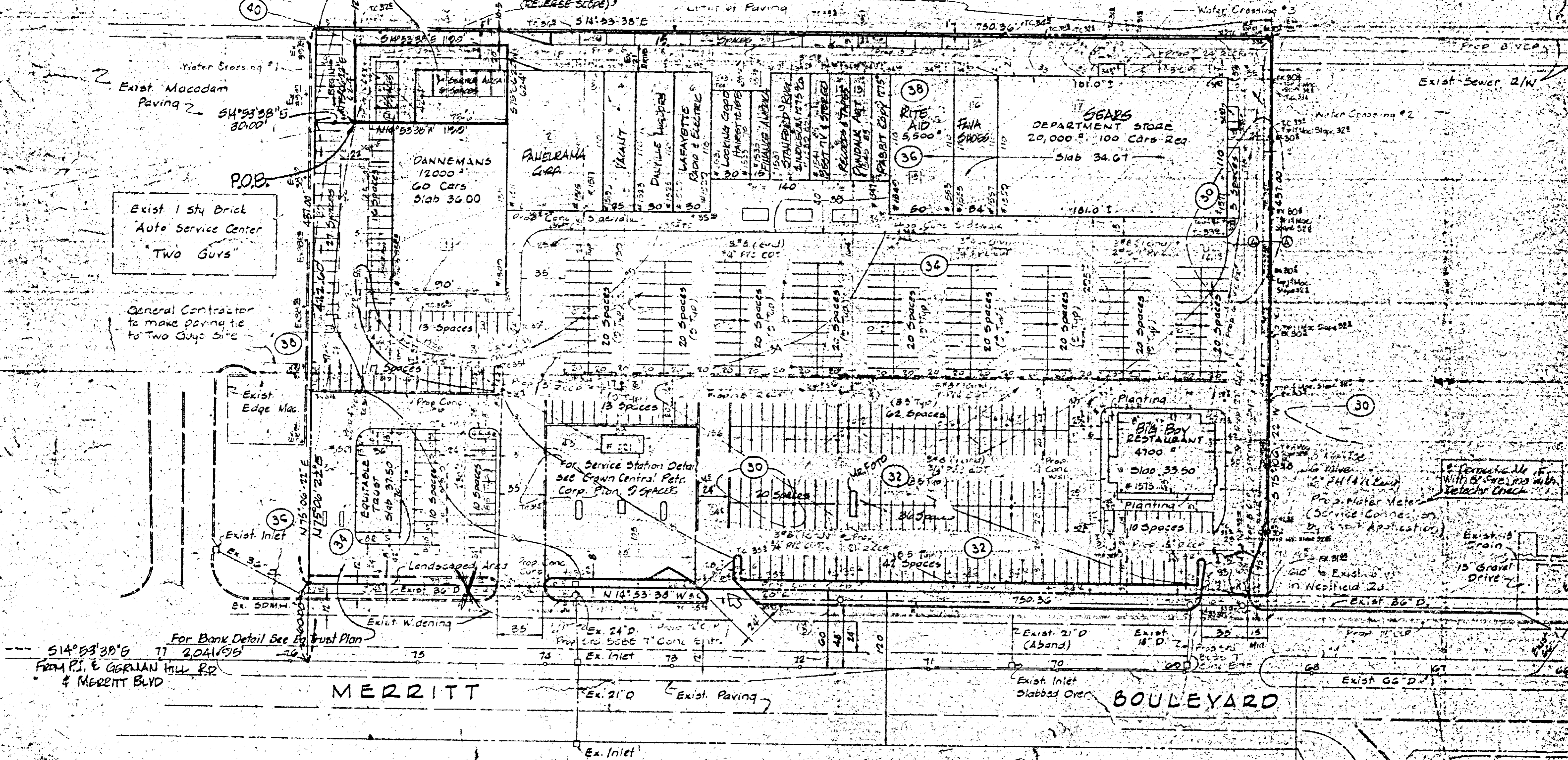
### SANITARY SEWER DESIGN DATA

BUILDING NO	FIXTURE UNITS
1	18 1/2
2-9, 11-14, 16	8 (104)
10	17
15	21
17	41 1/2
BANK	12
SERVICE STATION	25
RESTAURANT	26
<b>TOTAL FIXTURE UNITS = 335</b>	

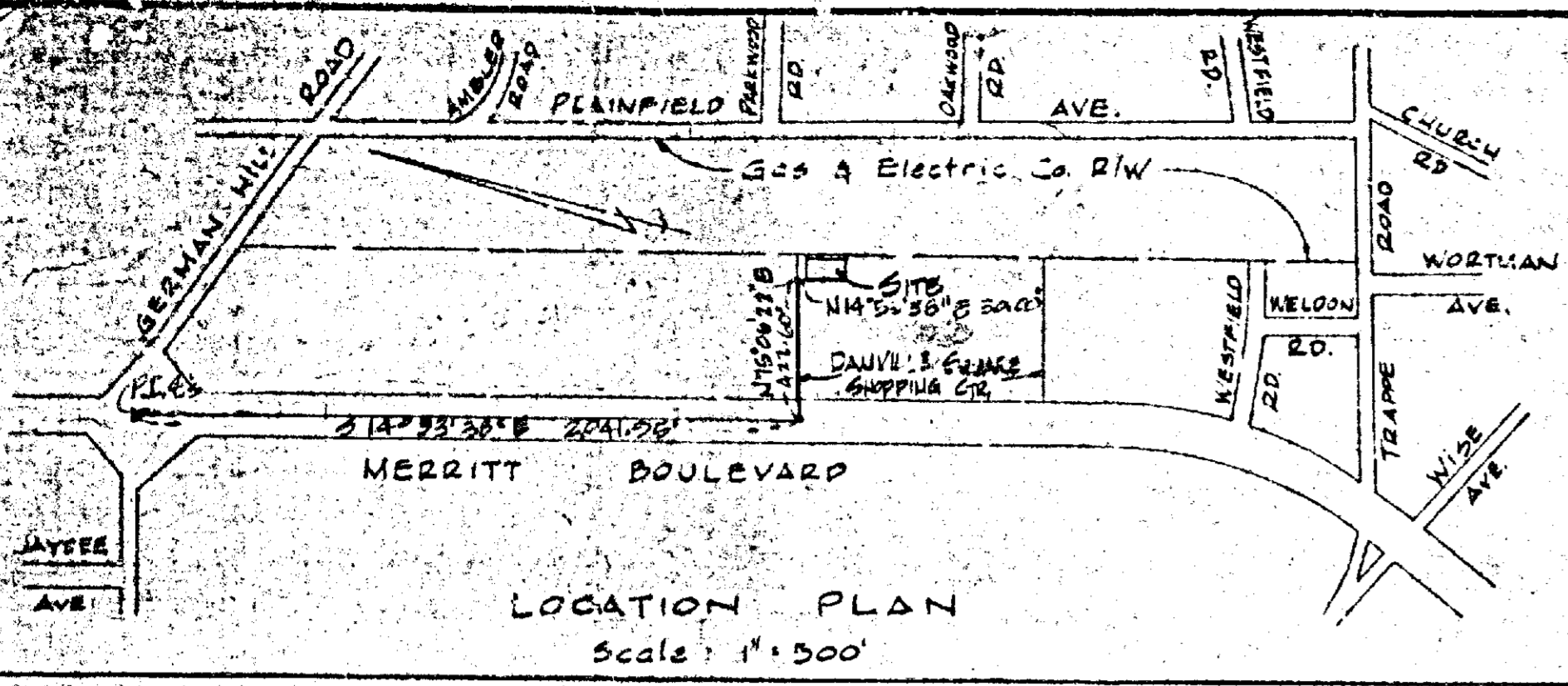
### ONSITE CURB AND PAVING SECTION

NOTE:  
 NO DAMAGED OR DISABLED VEHICLES TO BE STORED OUTSIDE

EXISTING BUILDING PROPOSED SERVICE GARAGE (T.B.A.)  
 FLOOR AREA = 3,120' ±  
 PERIMETER = 3,120' ± = 570' ± (see 11 pg)  
 BACK OF CONC CURB & BUTTER 1' OFF PROPERTY LINE (REVERSE SLOPE)







### PARKING DATA

- Retail Stores 6,115' @ 1/200' = 34 1/2 Spaces
  - Service Garage 3,120' @ 1/500' = 11 Spaces
  - Automotive Service Station = 9 Spaces
  - Restaurant Area 4,700' @ 1/50' = 94 Spaces
  - Drive-In Bank 2,520' @ 1/500' = 8 Spaces
- Minimum Parking Space 8.5 x 18 Total Required 468 Spaces  
Total Provided 428 Spaces
- 6 ↓ Indicates Light Standard 10' High & Direction  
7 Surface to be macadam Paved.

### GENERAL NOTES

- Building Numbers Correspond with Mechanical Plans \* M-1, M-2, & M-3
- Standard B.C.D.E.T. Cans, etc Entrances by permit application.
- Proposed Water Main in Service Drive at the rear of the building to have a uniform cover of 3'-0"; Water Main in other areas to have a minimum of 3'-0" of Cover.
- Proposed Sanitary Sewers, Water Mains & Storm Drain Materials, and Construction, shall be in accordance with the Baltimore County Standards.
- Limit of Sanitary Sewer & Water House Connections to be 5' from building. Tie in at this point to be made by Plumber.
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- Electric layout as shown taken from plan prepared by others.
- Valve on Fire Hydrant lead shall be tied to main line ice or outlet with the (2) 1/4" diameter threaded steel rods and nuts as directed by the engineer.

### Special Exception Restrictions

- No vehicles may be stored, equipped for operation, repaired, kept for repair, for hire or sale, except for the installation of tires, batteries, and automotive accessories purchased at retail from the premises and inclusive of any incidental labor necessary service in conjunction with said items.
- All fire hazardous equipment shall be used or maintained on this tract property.

REVISIONS: 5/12/80 FROM 5/3/80 TO 5/3/80  
 1. ADDED EXISTING 8" W/LL 0.67 TO ALLOW FOR PRESSURE (DO NOT READ)  
 2. ADDED EX. 32" & 42" DIA. 15' OF MACADAM SLOPE & ALLUS AGREE  
 3. ADDED DETAIL SECTION REMOVED RETAINING WALLS & ADDED REINFORCED GUTTER ALONG E. 12' AND E. LANDSCAPE STRIP  
 4. REVISION 5/12/80 CHANGE LOCATION, BACK OF CURB EAST PROPERTY LINE

### AREA OF SITE ~ 7.52 Ac. ±

- Area of Site to be Landscaped 0.5 x 7.52 Ac. = .375 Ac. or 10,200' Required. Landscaped Area provided = 10,250 sq. ft.
- Landscaping will consist of shrubbery & Grass.

### OVERALL SITE DATA

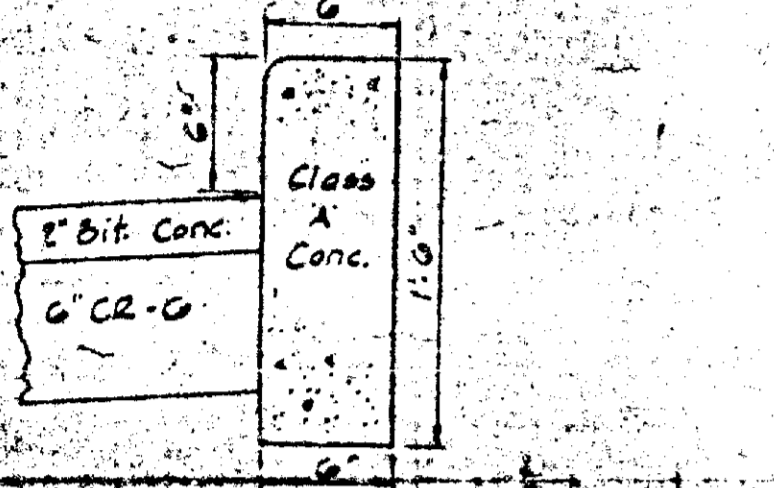
Existing Zoning = B.L.  
 Area of Tract = 7.52 Ac.  
 Parking Data = See Above

### SERVICE GARAGE SITE DATA (Spec. Exc.)

Site Area = 7,481.76 sq. ft.  
 Building Area = 3,120 sq. ft.  
 Parking Required = 3,120 ÷ 500 = 6.24 (Use 11 sp.)  
 Parking Furnished = 11 Spaces (Includes 1 handicap space)

### SANITARY SEWER DESIGN DATA

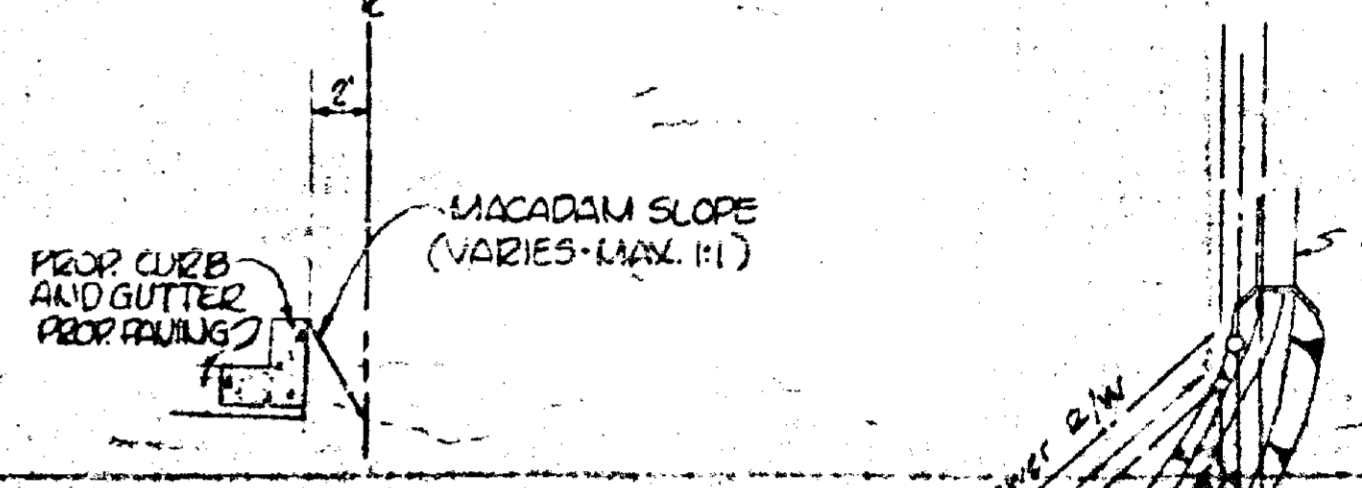
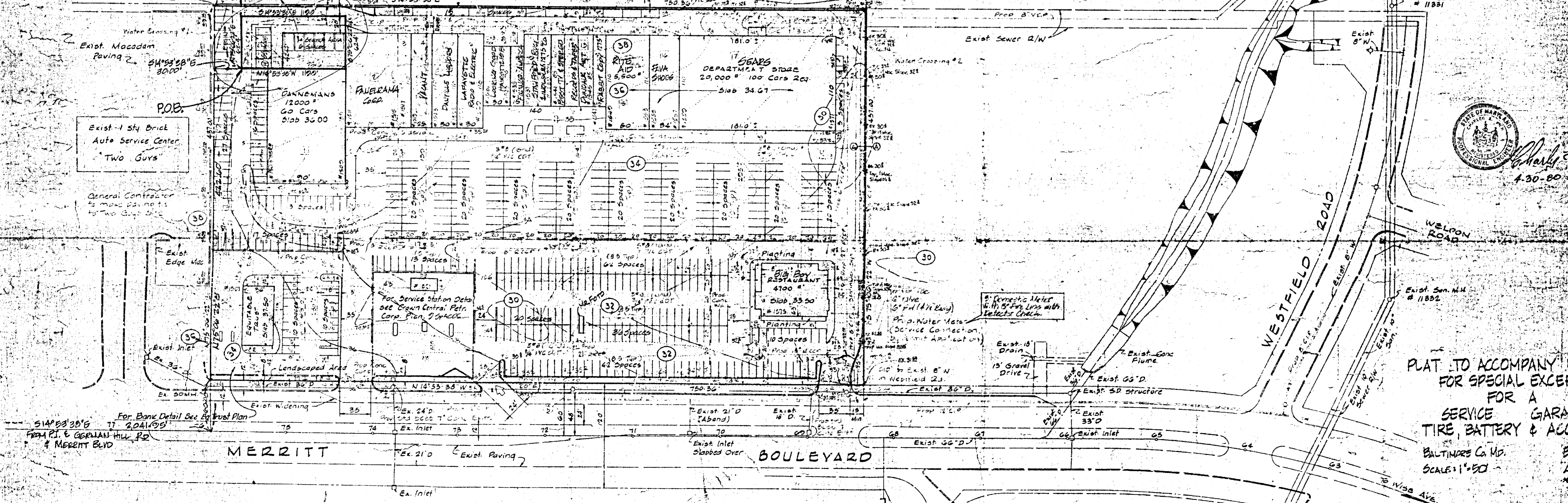
BUILDING NO.	FIXTURE UNITS
1	18 1/2
2, 3, 11-14, 6	8 (104)
10	17
13	21
17	41 1/2
BANK	18
SERVICE STATION	15
RESTAURANT	66
TOTAL FIXTURE UNITS = 335	



### ON-SITE CURB AND PAVING SECTION

NOTE: NO DAMAGED OR DISABLED VEHICLES TO BE STORED OUTSIDE.

EXISTING BUILDING PROPOSED SERVICE GARAGE (T.B.A.)  
 FLOOR AREA = 3,120' BALTIMORE GAS & ELECTRIC CO.  
 PERMITS REQ. = 3,120 ÷ 500 = 6.24 (USE 11 SP.)  
 BACK OF CONC. CURB & GUTTER 11' OFF PROPERTY LINE (REVERSE SLOPE)



PLAT TO ACCOMPANY PET FOR SPECIAL EXCEPTION FOR A SERVICE GARAGE, TIRE, BATTERY & ACCESSORIES  
 BALTIMORE CO. MD.  
 SCALE: 1" = 50'

GEORGE WILLIAM, P.E.  
 AND ASSOCIATES, INC.  
 ENGINEERS  
 303 ALLEGHENY AVE.  
 TOWSON, MARYLAND

