

Pursuant to the advertisement, posting of property, and public hearing on the petition and it appearing that by reason of the requirements of Sections 248.4.b and 502.1 of the Baltimore County Zoning Regulations having been met and the health, safety, and general welfare of the community not being adversely affected, the special exception should be granted.

Therefore, IT IS ORDERED by the Deputy Zoning Commissioner of Baltimore County, this 24th day of February, 1983, that the Petition for Special Exception for a motel ("homotel") in a M.L.R. (Manufacturing Light, Restricted) Zone, in accordance with the site plan prepared by George William Stephens, Jr. and Associates, Inc., revised January 11, 1983, and marked Petitioner's Exhibit 3, is hereby GRANTED, from and after the date of this Order, subject, however, to the following restrictions:

1. Each room/suite shall have a separate outside entrance facing the atrium.
2. The atrium shall be maintained as an outdoor relaxation and/or recreational area; shall be landscaped with trees and plants and may include a pond, fountain, pool, etc.; and shall be covered by glass skylights for the sole purpose of protecting guests from the weather.
3. Approval of the aforementioned site plan by the Department of Public Works and the Office of Planning and Zoning, including a detailed landscaping plan, with particular emphasis on the atrium and the tennis court area, required for approval by the Current Planning and Development Division.

Jan M. H. Jung
Deputy Zoning Commissioner of
Baltimore County

Pursuant to the advertisement, posting of property, and public hearing on the petition and it appearing that strict compliance with the Baltimore County Zoning Regulations would result in practical difficulty and unreasonable hardship upon the Petitioner(s) and the granting of the variance(s) requested will not adversely affect the health, safety, and general welfare of the community, the variance(s) should ~~be~~ not be granted.

Therefore, IT IS ORDERED by the Deputy Zoning Commissioner of Baltimore County, this 24th day of February, 1983, that the Petition for Variance(s) to permit 357 parking spaces in lieu of the required 406 spaces; a floor area ratio of 0.63 in lieu of the limitation of 0.60; a side yard setback of 40 feet in lieu of the required 50 feet for the proposed building; and a front yard setback of 8 feet in lieu of the required 50 feet, a rear yard setback of 8 feet in lieu of the required 40 feet, and a side yard setback of 25 feet in lieu of the required 30 feet for the proposed tennis courts, in accordance with Petitioner's Exhibit 3, is hereby GRANTED, from and after the date of this Order, subject, however, to the terms, provisions, and conditions contained in the accompanying Special Exception Order.

Jan M. H. Jung
Deputy Zoning Commissioner of
Baltimore County

Pursuant to the advertisement, posting of property, and public hearing on the petition and it appearing that by reason of the following finding of facts that to ~~approve~~ approve a business sign for the proposed commercial use in a M.L.R. (Manufacturing Light, Restricted) Zone to be located on the southwest wall of the proposed structure would be in strict harmony with the spirit and intent of the Baltimore County Zoning Regulations and would not adversely affect the health, safety, and general welfare of the community, and, therefore,

IT IS ORDERED by the Deputy Zoning Commissioner of Baltimore County, this 24th day of February, 1983, that a business sign for the proposed commercial use in a M.L.R. Zone to be located on the southwest wall of the proposed structure, in accordance with Petitioner's Exhibit 3, is approved and, as such, the Petition for Special Hearing is hereby GRANTED, from and after the date of this Order, subject, however, to the following restrictions:

1. The proposed sign shall be limited to 200 square feet and shall be indicated on the site development plans required by Section 252 of the Baltimore County Zoning Regulations.
2. No free-standing or additional identification signs shall be permitted on the site.

Approval of Petitioner's Exhibit 3, as required in the accompanying Special Exception Order.

Jan M. H. Jung
Deputy Zoning Commissioner of
Baltimore County



BALTIMORE COUNTY
DEPARTMENT OF PUBLIC WORKS
TOWSON, MARYLAND 21204

January 27, 1983

HARRY J. PISTEL, P.E.
DIRECTOR

Mr. William E. Hammond
Zoning Commissioner
County Office Building
Towson, Maryland 21204

Re: Item #121 (1982-1983)
Property Owner: McCormick Properties, Inc.
N/W corner Shawan Rd. and International Cir.
Acres: 5.705 District: 8th

Dear Mr. Hammond:

The following comments are furnished in regard to the plan submitted to this office for review by the Zoning Advisory Committee in connection with the subject item.

General:

Baltimore County highway and utility improvements exist or are secured by Public Works Agreement 88104, executed in conjunction with the development of Shawan Center at Hunt Valley (formerly "Hunt Valley - Business Community - Section Six"), of which this property is Lot 2.

The Baltimore-Harrisburg Expressway (I-83), including the Shawan Road Interchange is a State road; therefore, all improvements, intersections, entrances and drainage requirements as they affect the road come under the jurisdiction of the Maryland State Highway Administration. Any utility construction within the State Road right-of-way will be subject to the standards, specifications and approval of the State in addition to those of Baltimore County.

The entrance locations are also subject to the approval of the Baltimore County Department of Traffic Engineering.

This office has no further comment in regard to the plan submitted for Zoning Advisory Committee review in connection with this Item 121 (1982-1983).

Very truly yours,

Robert A. Morton
ROBERT A. MORTON, P.E., Chief
Bureau of Public Services

RAM:EAM:FWH:SS

V-NE Key Sheet
73 NW 9 & 10 Pos. Sheets
NW 19 C Topo
42 Tax Map



Lowell R. Brubaker
Secretary
M. S. Calisher
Administrator

January 5, 1983

Mr. William Hammond
Zoning Commissioner
County Office Building
Towson, Maryland 21204

Attention: Mr. N. Commodari

Re: ZAC Meeting of Dec. 21, 1982
ITEM: #121.
Property Owner: McCormick Properties, Inc.
Location: NW/Cor. Shawan Road and International Circle @ I-83 NB ramp.
Existing Zoning: M.L.R.
Proposed Zoning: Special Exception for a Motel.
Special Hearing for a sign to be located on the southwest wall of the proposed structure. Variance to permit 365 parking spaces in lieu of the required 406 spaces, to permit a floor area of 0.63 in lieu of the limitation of 0.60, to permit setbacks (tennis court) of 8' for the front and rear yards in lieu of the required 40' and side yard setback of 25' in lieu of the required 30'.
Acres: 5.705
District: 8th

Dear Mr. Hammond:

The State Highway Administration - Bureau of Engineering Access Permits has forwarded the site plan to the District #4 Traffic Engineer for review and comment.

My telephone number is (301) 659-1350

Teleprinter for Impaired Hearing or Speech
363-7505 Baltimore Metro - 585-0451 D.C. Metro - 1-800-485-0882 Statewide Toll Free
P.O. Box 717 / 707 North Calvert St., Baltimore, Maryland 21203 - 0717

Mr. W. Hammond

-2-

January 5, 1983

Upon completion of his review, additional comments will be forthcoming.

Very truly yours,

Charles Lee
Charles Lee, Chief
Bureau of Engineering
Access Permits

CL:GW:maw

By: George Wittman

cc: Mr. J. Wimbley



Maryland Department of Transportation
State Highway Administration

Lowell R. Brubaker
Secretary
M. S. Calisher
Administrator

January 31, 1983

Mr. William Hammond
Zoning Commissioner
County Office Building
Towson, Maryland 21204

Attention: Mr. N. Commodari

Re: ZAC Meeting of Dec. 21, 1982
ITEM: #121.
Property Owner: McCormick Properties, Inc.
Location: NW/Cor. Shawan Road and International Circle @ I-83 NB ramp.
Existing Zoning: M.L.R.
Proposed Zoning: Special Exception for a Motel.
Special Hearing for a sign to be located on the southwest wall of the proposed structure. Variance to permit 365 parking spaces in lieu of the required 406 spaces, to permit a floor area of 0.63 in lieu of the limitation of 0.60, to permit setbacks (tennis court) of 8' for the front and rear yards in lieu of the required 40' and side yard setback of 25' in lieu of the required 30'.
Acres: 5.705
District: 8th

Dear Mr. Hammond:

The State Highway Administration - Bureau of Engineering Access Permits and District #4 Traffic Engineer have reviewed the revised site plan of January 11, 1983 and comments are as follows.

My telephone number is (301) 659-1350

Teleprinter for Impaired Hearing or Speech
363-7505 Baltimore Metro - 585-0451 D.C. Metro - 1-800-485-0882 Statewide Toll Free
P.O. Box 717 / 707 North Calvert St., Baltimore, Maryland 21203 - 0717

Mr. W. Hammond

-2-

January 31, 1983

The District #4 Traffic Engineer recommends that International Drive be cul-de-sac and not intersect with Shawan Road, the existing crossover from the E.B.L. of Shawan Road be closed and all E.B.L. traffic be directed to McCormick Drive.

In addition the State Highway Administration will require the plan to be revised to show the northernmost lane of the west bound lane of Shawan Road between McCormick Drive and ramp "E" be designated and extended as a thru lane from the gore area of ramp "E" westward to the existing W.B.L. ramp east of the I-83 interchange.

It is requested all approvals be held until the plan is reviewed prior to a hearing.

Very truly yours,

Charles Lee
Charles Lee, Chief
Bureau of Engineering
Access Permits

CL:GW:maw

By: George Wittman

cc: Mr. J. Ogle
Mr. H. McCullough
Mr. R. Morton
Mr. S. Flamm
Mr. R. Moore
Ms. S. Caplan
G.W. Stephens & Assoc.

BALTIMORE COUNTY ZONING PLANS ADVISORY COMMITTEE

February 8, 1983

John B. Howard, Esquire
210 Allegheny Avenue
P.O. Box 5517
Towson, Maryland 21204

RE: Item No. 121 - Case No. 83-178-XSPHA
Petitioner - McCormick Properties, Inc.
Special Exception, Variance and
Special Hearing

Dear Mr. Howard:

Enclosed please find addendum comments for the
above referenced case.

Very truly yours,

NICHOLAS B. COMMODARI
Chairman
Zoning Plans Advisory Committee

NBC:bsc

Enclosure

cc: George W. Stephens, Jr. & Assoc.
303 Allegheny Avenue
Towson, Maryland 21204



Maryland Department of Transportation

State Highway Administration

Lowell K. Bricker
Secretary
M. S. Calhoun
Administrator

February 4, 1983

Mr. William Hammond
Zoning Commissioner
County Office Bldg.
Towson, Maryland 21204

Attention: Mr. N. Commodari

Dear Mr. Hammond:

Mr. Max Weiner, representing McCormick Properties, Inc., contacted the writer this date relative to my letter of January 31, 1983 to you concerning a special exception for a motel to be located in the north-west corner of Shawan Road and International Circle. Mr. Weiner indicated that they are willing to cooperate with the State Highway Administration in arriving at a solution to the problems associated with the intersection of International Drive onto Shawan Road.

The matter of access from the property(ies) on the north side of Shawan Road between I-83 and York Road has been a subject of discussion for several years. If you are in need of additional information, Mr. George Wittman of this office will be glad to assist you.

CL:vrđ

cc: Mr. J. Ogle
Mr. H. McCullough
Mr. R. Horton
Mr. S. Flomens
Mr. R. Moore
Mr. S. Caplan
G.W. Stephens & Assoc.

My telephone number is (301) 659-1350
Mr. M. Weiner
363-1-55 Baltimore Metro - 585-0451 D.C. Metro - 1-800-482-5082 Statewide Toll Free
P.O. Box 7171 707 North Calvert St. Baltimore, Maryland 21203-0717

Very truly yours,

Charles Lee, Chief
Bureau of Engineering
Access Permits



BALTIMORE COUNTY
OFFICE OF PLANNING AND ZONING
TOWSON, MARYLAND 21204
494-3511

Norman E. Gerber
DIRECTOR

January 18, 1983

Mr. William E. Hammond, Zoning Commissioner
Zoning Advisory Committee
Office of Planning and Zoning
Baltimore County Office Building
Towson, Maryland 21204

Dear Mr. Hammond:

Comments on Item # 121, Zoning Advisory Committee Meeting, December 21, 1982,
are as follows:

Property Owner: McCormick Properties, Inc.
Location: NW corner Shawan Road and International Circle
Acres: 5.705
District: 8th

This office has reviewed the subject petition and offers the following comments. These comments are not intended to indicate the appropriateness of the zoning in question, but are to assure that all parties are made aware of plans or problems with regard to development plans that may have a bearing on this petition.

Landscaping details should be submitted at the time of building permit application.

Sincerely yours,

John L. Wimbley
John L. Wimbley
Planner III
Current Planning and Development

JLW:rh



BALTIMORE COUNTY
DEPARTMENT OF TRAFFIC ENGINEERING
TOWSON, MARYLAND 21204
494-3550

Stephen E. Collins
DIRECTOR

January 25, 1983

Mr. William Hammond
Zoning Commissioner
County Office Building
Towson, Maryland 21204

ZAC - December 21, 1982
Item Nos. 117, 118, 119, 121, 122, 124, 125.

Dear Mr. Hammond:

The Department of Traffic Engineering has no comments
for item numbers 117, 118, 119, 121, 122, 124, and 125.

Michael S. Flanagan
Traffic Engineer Associate II

MSF/cem

BALTIMORE COUNTY DEPARTMENT OF HEALTH

Zoning Commissioner
Office of Planning and Zoning
County Office Building
Towson, Maryland 21204

Zoning Item # 121, Zoning Advisory Committee Meeting of Dec. 21, 1982

Property Owner: McCormick Properties, Inc.

Location: NW Cor. Shawan Rd. & International Circle, District 8

Water Supply: Public Sewage Disposal: Public

COMMENTS ARE AS FOLLOWS:

- (X) Prior to approval of a Building Permit for construction, renovation and/or installation of equipment for any existing or proposed food service facility, complete plans and specifications must be submitted to the Plans Review Section, Environmental Support Services, for final review and approval.
- (X) Prior to new installation/s of fuel burning equipment, the owner should contact the Division of Air Pollution Control, 494-3775, to obtain requirements for such installation/s before work begins.
- () A permit to construct from the Division of Air Pollution Control is required for such items as spray int processes, underground gasoline storage tank/s (5,000 gallons or more) and any other equipment or process which exhausts into the atmosphere.
- (X) A permit to construct from the Division of Air Pollution Control is required for any charbroiler operation which has a total cooking surface area of five (5) square feet or more.
- () Prior to approval of a Building Permit Application for renovations to existing or construction of new health care facilities, complete plans and specifications of the building, food service area and type of equipment to be used for the food service operation must be submitted to the Plans Review and Approval Section, Division of Engineering and Maintenance, State Department of Health and Mental Hygiene for review and approval.
- (X) Prior to any new construction or substantial alteration of public swimming pool, wading pool, bathhouse, saunas, whirlpools, hot tubs, water and sewerage facilities or other appurtenances pertaining to health and safety two (2) copies of plans and specifications must be submitted to the Baltimore County Department of Health for review and approval. For more complete information, contact the Recreational Hygiene Section, Division of Environmental Support Services.
- () Prior to approval for a nursery school, owner or applicant must comply with all Baltimore County regulations. For more complete information, contact the Division of Maternal and Child Health.
- () If lubrication work and oil changes are performed at this location, the method providing for the elimination of waste oil must be in accordance with Water Resources Administration requirements.

88 20 1082 (1)

Zoning Item # 121
Page 2

- () Any existing underground storage tanks containing gasoline, waste oil, solvents, etc., must have the contents removed by a licensed hauler and either be removed from the property or properly backfilled.
- () Soil percolation tests have been conducted.
() The results are valid until _____
() Revised plans must be submitted prior to approval of the percolation tests.
- () Prior to occupancy approval, the potability of the water supply must be verified by collection of bacteriological and chemical water samples.
- () In accordance with Section 13-117 of the Baltimore County Code, the water well yield test
() shall be valid until _____
() is not acceptable and must be retested. This must be accomplished prior to conveyance of property or approval of Building Permit Applications.
- () All roads and parking areas should be surfaced with a dustless, bonding material.
- () No health hazards are anticipated.
- () Other: _____

Tan J. Forrest, Director
BUREAU OF ENVIRONMENTAL SERVICES

88 20 1080 (2)



BALTIMORE COUNTY
FIRE DEPARTMENT
TOWSON, MARYLAND 21204
625-7310

Paul H. Penck
CHIEF

January 21, 1983

Mr. William Hammond
Zoning Commissioner
Office of Planning and Zoning
Baltimore County Office Building
Towson, Maryland 21204

Attention: Nick Commodari, Chairman
Zoning Plans Advisory Committee

RE: Property Owner: McCormick Properties, Inc.

Location: NW/Cor. Shawan Road and International Circle

Item No.: 121

Zoning Agenda Meeting of December 21, 1982

Gentlemen:

Pursuant to your request, the referenced property has been surveyed by this Bureau and the comments below marked with an "X" are applicable and required to be corrected or incorporated into the final plans for the property.

- () 1. Fire hydrants for the referenced property are required and shall be located at intervals or _____ feet along an approved road in accordance with Baltimore County Standards as published by the Department of Public Works.

- () 2. A second means of vehicle access is required for the site.

- () 3. The vehicle dead end condition shown at _____

EXCEEDS the maximum allowed by the Fire Department.

- (X) 4. The site shall be made to comply with all applicable parts of the Fire Prevention Code prior to occupancy or beginning of operation. Hydrants at 300' intervals on site and tree height near building shall not obstruct aerial ladder.
- (X) 5. The buildings and structures existing or proposed on the site shall access, comply with all applicable requirements of the National Fire Protection Association Standard No. 101 "Life Safety Code", 1976 Edition prior to occupancy.

- () 6. Site plans are approved, as drawn.

- () 7. The Fire Prevention Bureau has no comments, at this time.

REVIEWED BY: [Signature]
Planning Group
Special Inspection Division

JK/ab/cn



BALTIMORE COUNTY
DEPARTMENT OF PERMITS & LICENSES
TOWSON, MARYLAND 21204
494-3600

TED LAUSKI JR.
DIRECTOR

Mr. William E. Hammond, Zoning Commissioner
Office of Planning and Zoning
County Office Building
Towson, Maryland 21204

Dear Mr. Hammond:

Comments on Item # 121 Zoning Advisory Committee Meeting
are as follows:

Property Owner: McCormick Properties, Inc.
Location: NW/Cor. Shawan Road and International Circle
District: 8th

Proposed Building: Special Exception for a Motel. Special Hearing for a sign to be located on the southeast wall of the proposed structure. Variance to permit 365 parking spaces in lieu of the required 408 spaces, to permit a floor area of 0.65 in lieu of the limitation of 0.60, to permit setbacks (terrace court) of 8' for the front and rear yards in lieu of the required 40' and side yard setback of 25' in lieu of the required 30'.

All structures shall conform to the Baltimore County Building Code 1981/ Council Bill 1-88 State of Maryland Code for the Building and Access and other applicable Code.

- 1. A building and other miscellaneous permits shall be required before beginning construction.

- 2. Residential: Three sets of construction drawings are required to file a permit application. Architect/Engineer seal is not required.

- 3. Commercial: Three sets of construction drawings with a Maryland Registered Architect or Engineer shall be required to file a permit application.

- 4. An exterior wall covered within 6'0" of an adjacent lot line shall be of one hour fire resistant construction, as required within 3'-0" of lot lines. A fireproof is required if construction is on the lot line. See Table 101, Line 2, Section 101 and Table 102.

- 5. Proposed variance conflicts with the Baltimore County Building Code, Section 101.

- 6. A change of occupancy shall be applied for, along with an attention permit application, and three required sets of drawings indicating how the structure will meet the Code requirements for the proposed change. Drawings may require a professional seal.

- 7. Before this office can comment on the above structure, please have the owner, have the services of a Registered in Maryland Architect or Engineer certify to this office, that, the structure for which a proposed change in use is proposed con comply with the height/area requirements of Table 305 and the required construction classification of Table 101.

- 8. Comments: Show handicapped parking, curb cuts, building access, signs, ramps, etc., on plans. Building shall comply to the high rise and atrium requirements of the Baltimore County Building Code as amended by Bill # 4-82.

NOTE: These comments reflect only on the information provided by the drawings submitted to the office of Planning and Zoning and are not intended to be construed as the full extent of any permit.
If desired, additional information may be obtained by visiting Item #121 (Plans Review) at 111 West Chesapeake Ave., 21204.

Very truly yours,

Charles E. Dunham, Chief
Plans Review

CEB:cm
JEB:CL-2

BALTIMORE COUNTY ZONING PLANS ADVISORY COMMITTEE

February 3, 1983

RE: Item No. 121 - Case No. 83-178-XSPHA
Petitioner - McCormick Properties, Inc.
Special Exception, Variance and
Special Hearing

Dear Mr. Howard:

Enclosed please find addendum comments for the
above referenced case.

Very truly yours,

Nicholas B. Commodari
NICHOLAS B. COMMODARI
Chairman
Zoning Plans Advisory Committee

NBC:bsc

Enclosure

cc: George W. Stephens, Jr. & Assoc.
303 Allegheny Avenue
Towson, Md. 21204

BALTIMORE COUNTY
DEPARTMENT OF PERMITS & LICENSES
TOWSON, MARYLAND 21204
410-3300

TED ZALESKI JR.
DIRECTOR
Dr. William E. Hammond, Zoning Commissioner
Office of Planning and Zoning
County Office Building
Towson, Maryland 21204

February 2, 1983

Dear Mr. Hammond: 'Revised'
Comments on Item # 121 Zoning Advisory Committee Meeting January 25, 1983
are as follows:

Property Owner: McCormick Properties, Inc.
Location: NW/Cor. Shawan Road and International Circle
Building Number:
Proposed Building:

Areas:
Remarks:

The items checked below are applicable:

X A. All structures shall conform to the Baltimore County Building Code 1981/
Council Bill 1-82 State of Maryland Code for the Building and Code
and other applicable Code.

X B. A building and other miscellaneous permits shall be required before beginning
construction.

C. Residential: Three sets of construction drawings are required to file a permit
application. Architect/Engineer seal is/is not required.

X D. Commercial: Three sets of construction drawings with a Maryland Registered
Architect or Engineer shall be required to file a permit application.

E. An exterior wall erected within 6'0" of an adjacent lot line shall be of one hour
fire resistant construction, no openings permitted within 3'0" of lot lines. A
firewall is required if construction is on the lot line, see Table 101, Item 1,
Section 1007 and Table 1005.

F. Suggested various conflicts with the Baltimore County Building Code,
Section 1005.

G. A change of occupancy shall be applied for, along with an occupancy permit
application, and three required sets of drawings indicating how the structure
will meet the Code requirements for the proposed change. Drawings may require
a professional seal.

H. Before this office can comment on the above structure, please have the owner, then
the services of a Registered in Maryland Architect or Engineer certify to this
office, that the structure for which a proposed change in use is proposed can
comply with the height/area requirements of Table 1005 and the required construction
classification of Table 101.

X I. Comments: Please be aware, Section 629.0 was correlated with the State Highway
Lease and was amended by Bill #4-82. Additionally, Section 631 was also amended
by adding Section 631.3.3, as it pertains to atriums. It is recommended the
designers touch base with this Department in the early stages of design to
ascertain if there are any conflicting or possibly problem areas of code needing
clarification. If confirmed, additional information may be obtained by visiting Room #122
(Phone Room) at 111 West Chesapeake Ave., 21204. (494-3987)

Very truly yours,

Charles E. Burman
Charles E. Burman, Chief
Planning Review

CEB:rrj
FORM 01-82

BALTIMORE COUNTY, MARYLAND

INTER-OFFICE CORRESPONDENCE

Nicholas B. Commodari,
Zoning Advisory Committee
TO: Sharon M. Caplan, Economic Assistant,
FROM: Economic Development Commission

Date: December 28, 1982

SUBJECT: Item #121 - Property Owner: McCormick Properties, Inc.

Location: NW/Cor. Shawan Road and International Circle
Existing Zoning: M.L.R.

Proposed Zoning: Special Exception for a motel. Special Hearing for a
sign to be located on the southwest wall of the proposed structure.
Variance to permit 365 parking spaces in lieu of the required 406 spaces,
to permit a floor area of 0.45 in lieu of the limitation of 0.40, to permit
setbacks (tennis court) of 8' for the front and rear yards in lieu of the
required 40' and side yard setback of 25' in lieu of the required 30'.

The Economic Development Commission has been working with Granada Royale in
an effort to find a suitable site for their proposed motel. In recognition of Baltimore
County's desire to foster healthy economic growth, we request the zoning officer to
evaluate their request in the best interest of industrial expansion.

Due to contract deadlines and contingencies on the part of Granada Royale and McCormick
Properties, it is urged that you give prompt consideration in your decision on the
company's request.

The Economic Development Commission is supportive of this needed addition to our
area both in terms of new jobs and increased tax base. We appreciate your cooperation
in scheduling this matter as soon as possible.

Sharon M. Caplan
SHARON M. CAPLAN
Economic Assistant

S/MC/sb

BALTIMORE COUNTY, MARYLAND

INTER-OFFICE CORRESPONDENCE

William E. Hammond
Zoning Commissioner
TO: Norman E. Gerber
FROM: Director of Planning and Zoning
Zoning Petition No. 83-178-SXpha
SUBJECT: McCormick Properties, Inc.

Date: January 21, 1983

A motel is an excellent use for the subject site. If granted, it is
requested that the order be conditioned to require a detailed land-
scaping plan, submitted to and approved by the Division of Current
Planning and Development.

Norman E. Gerber
Norman E. Gerber
Director of Planning and Zoning

NEG:JGH:dme

BALTIMORE COUNTY PUBLIC SCHOOLS

Robert Y. Dubel, Superintendent

Towson, Maryland - 21204

Date: January 4, 1983

Mr. William E. Hammond
Zoning Commissioner
Baltimore County Office Building
1111 West Chesapeake Avenue
Towson, Maryland 21204

Z.A.C. Meeting of: December 21, 1982

Re: Item No: 117, 118, 119, 120, 121, 122, 123, 124, 125
Property Owner:
Location:
Present Zoning:
Proposed Zoning:

District:
No. Acres:

Dear Mr. Hammond:

All of the above have no bearing on student population.

Very truly yours,

Mr. Nick Petrovich
Mr. Nick Petrovich, Assistant
Department of Planning

WMP/bp

KIDDE CONSULTANTS, INC.

Subsidiary of Kidde, Inc.

Cable: KIDDENGR
Telex: 87763

1020 Cromwell Bridge Road
Baltimore, Maryland 21204
(301) 321-5500

Direct Dial Number

321-5545

February 10, 1983

John B. Howard, Esquire
210 Allegheny Avenue
P.O. Box 5517
Towson, MD 21204

Dear Mr. Howard:

Subject: Midtex Hospitality Hotel
Our Job Order No. 01-83029

In accordance with your request, I have completed a traffic
analysis of the proposed project. The results of that
analysis are attached. In summary, the proposed development
would not add undue congestion to the transportation system
nor create an unsafe condition for motorists.

With regard to the parking requirements, the industry standard
would be one per motel room. A review of adjacent subdivi-
sion standards and other literature would indicate that the
provision of 365 parking spaces would be more than adequate
for this facility. 365 per 111/83 plat.

If you have any questions, please do not hesitate to contact
me.

Very truly yours,

David G. Mongan
David G. Mongan, P.E.
Vice President

11

Attachment

PETITIONER'S
EXHIBIT 6

CONSULTING ENGINEERS

TRAFFIC ANALYSIS FOR PROPOSED MOTEL
AT LOT 2
SHAWAN CENTER AT HUNT VALLEY

The proposed motel will consist of 225 rooms with a total
restaurant lounge and kitchen facility totaling 5,864 square
feet, with retail space of 483 square feet and with 5,324
square feet of meeting room space. The proposed motel is
located on Lot 2 in Shawan Center. Access would be
provided off of International Circle. International Circle
has access to both McCormick Road extended and to Inter-
national Drive. Major access is then provided to Shawan
Road and to Interstate 83. Shawan Road is a major arterial
highway providing access and circulation for the entire
Hunt Valley Shawan Center Business Community.

The current traffic volume on both McCormick Road extended
and International Circle is extremely light due to the lack
of development along both of these roadways. Shawan Road
carries approximately 35 to 40 thousand vehicles per day.
Currently there are no intersections within this traffic
shed that are classified by Baltimore County as either
Level of Service 'E' or 'F'.

The proposed motel would generate approximately 2,326 trips
(total both directions) in a given day. During the A.M.
peak period, approximately 7 to 8 or 8 to 9, 200 trips total
would be generated to and from the facility and during the
P.M. peak hour 4 to 5 or 5 to 6, approximately 165 trips
would be generated. This small number of additional trips
when added to the existing traffic and the additional traffic
that would be generated by the two office facilities currently
under construction in Shawan Center will not adversely impact
any of the surrounding streets. Both the intersection at
International Drive and Shawan Road and the intersection of
McCormick Road and Shawan Road will continue to operate at
their current level of service. The current zoning for the

subject property permits the development of office based on
the current zoning and FAR area ratio, approximately
163,000 square feet of office space could be developed. If
this space were developed, total traffic from the site would
be approximately 2,200 vehicles per day, with A.M. and
P.M. peak hour volumes exceeding 340.
Thus, the impact of that type of development on peak
hour traffic is much more intense than traffic from the proposed
motel. Therefore, from a traffic standpoint, the development
of a motel/office site would not adversely impact the current
traffic patterns or present any unsafe conditions to the
motorists. In fact, the development at this lower intensity
would reduce the ultimate traffic potential from this particular
site.

The parking requirements for the proposed motel in accordance
with Baltimore County regulations would be 406 spaces. This
appears to be an extremely excessive number and does not take
into consideration the synergistic effect of the motel with the
restaurant/lounge/meeting room areas. Typically, an industry
standard for required parking spaces would be one per room for
a total of 225 rooms. References for these industry standards
are the Highway Research Bulletin No. 19, the Traffic Quarterly,
the ENO Foundation Report entitled "Zoning, Parking and
Traffic", and the Parking Principals - Special Report 125 from
the Highway Research Board. Additional references relating one
per room are the Institute of Transportation Engineers Handbook
and the Wilbur Smith Publication entitled "Parking". Also,
adjacent subdivisions such as Anne Arundel, Howard and Montgomery
Counties have requirements that would place the total parking
required for the facility well below the proposed 365. In
particular, Anne Arundel County would be approximately 280,
Howard County 310, Montgomery County 337. Facilities of this nature
should not be treated as individual components, i.e., motel room,
a separate restaurant/lounge, a separate retail, or a separate
meeting room. These facilities have a definite inter-relationship
within this type of facility and are used by the patrons of the motel
and are primarily for the benefit of the patrons of the motel.

Moreover, the restaurant will only be open to motel patrons during the A.M. period. The small meeting rooms are not designed for large conferences plus there are no banquet facilities provided. Data from other similar facilities indicate that a ratio of 1.1 parking spaces per room is an acceptable standard. The proposed ratio of 365 spaces to 225 rooms or 1.59 is more than adequate for this type of facility. Therefore, from a parking standpoint the provision of 365 spaces would be more than sufficient for the proposed motel and would not create a condition that would lead to congestion on nearby streets or adjacent parking facilities.

DAVID G. MORGAN, P.E.

EDUCATION Master of Science, Civil Engineering - 1976
University of Maryland
Bachelor of Science, Civil Engineering - 1971
University of Maryland

REGISTRATION Professional Engineer - MD

PROFESSIONAL AFFILIATIONS Institute of Traffic Engineers
American Society of Civil Engineers
Highway Research Board
Chi Epsilon, Honorary Civil Engineering
Fraternity
National Society of Professional Engineers
Maryland Society of Professional Engineers
International Municipal Signal Association, Inc.
American Public Works Association

EXPERIENCE Mr. Morgan is Vice President and Chief of the Transportation Division, where he supervises the study and design of highway, rail, and other transportation-related projects. Included in the work under his direction are the rehabilitation of 18 miles of Annapolis's Northwest Corridor Rail Line; development for a master plan for Baltimore's Masonville Marine Terminal; the roads and access for Molebird Industrial Park in Baltimore; and the dualization of 8 miles of Maryland Route 210.

Mr. Morgan is presently working on the Harford County Resource Recovery Facility in Harford County Maryland and is the assistant Project Manager. The work on the project includes waste stream analyses, environmental assessments, site evaluation and footprint planning of the project.

Since joining Kiddle in 1973, Mr. Morgan's responsibilities have involved a wide range of activities encompassing transportation planning studies, traffic impact studies, traffic engineering, signalization design, and highway design.

EXHIBIT 5

FROM THE OFFICE OF
GEORGE WILLIAM STEPHENS, JR. & ASSOCIATES, INC.
(ENGINEERS)
501 ALLEGHENY AVENUE, TOWSON, MARYLAND 21204

Description to Accompany Zoning Requests For
Special Exception For Motel in M.L.R. Zone
Variance of Parking Requirements
Variance of Floor Area Ratio
Variance of Setbacks
And A Special Hearing For a Sign In a M.L.R. Site Development
Lot #2 - Shawan Center @ Hunt Valley
5.705 Acres ±

December 1, 1982
Revised January 11, 1983

Beginning for the same at a point designated No. 53 as shown on a plat entitled Shawan Center at Hunt Valley dated September 29, 1981 and recorded among the plat records of Baltimore County in Plat Book E.B.K., Jr. No. 48, folio 64, said point being distant North 40° 22' 50" West 91 feet more or less from the centerline intersection of International Drive 70 feet wide and Shawan Road, running thence and traversing the entire outline of Lot #2 as shown on the aforementioned plat. Containing 5.705 Acres ±.

(NOTE: This description is for zoning purposes only and is not intended for conveyance of land.)



Revised 1-11-83
#121

PETITION FOR SPECIAL EXCEPTION, SPECIAL HEARING AND VARIANCES
8th Election District

ZONING: Petition for Special Exception, Special Hearing and Variances

LOCATION: North west corner of Shawan Road and International Drive

DATE & TIME: Thursday, February 10, 1983 at 10:45 A.M.

PUBLIC HEARING: Room 106, County Office Building, 111 W. Chesapeake Avenue, Towson, Maryland

The Zoning Commissioner of Baltimore County, by authority of the Zoning Act and Regulations of Baltimore County, will hold a public hearing:

Petition for Special Exception for a motel (homotel) in an M.L.R. zone pursuant to Section 248.4b; Special Hearing under Section 500.7 of the Baltimore County Zoning Regulations, to determine whether or not the Zoning Commissioner and/or Deputy Zoning Commissioner should approve the sign to be located on the southwest wall of the proposed structure, in the manner detailed on the accompanying plat, as an appropriate business sign for the proposed commercial use in an M.L.R. zone in accordance with Section 252; and Variances to permit 357 parking spaces in lieu of the required 406, to permit a floor area ratio of 0.65 in lieu of the limitation of 0.60, to permit setbacks (tennis court) of 8 ft. for the front and rear yards in lieu of the required 50 ft. and 40 ft., respectively, and 25 ft. for the side yard in lieu of the required 30 ft. and a side yard of 40 ft. for the proposed building in lieu of the required 50 ft.

The Zoning Regulation to be excepted as follows:
Section 409.2 - parking required for a motel and other commercial uses
Section 250.5 - maximum floor area ratio in an M.L.R. zone
Sections 250.1, 2 and 3 - front, side and rear yard setbacks in an M.L.R. zone

All that parcel of land in the Eighth District of Baltimore County

Being the property of McCormick Properties, Inc., as shown on plat plan filed with the Zoning Department.

Hearing Date: Thursday, February 10, 1983 at 10:45 A.M.
Public Hearing: Room 106, County Office Building, 111 W. Chesapeake Avenue, Towson, Maryland

BY ORDER OF
WILLIAM E. HAMMOND
ZONING COMMISSIONER
OF BALTIMORE COUNTY

LAW OFFICES
COOK, HOWARD, DOWNES & TRACY
210 ALLEGHENY AVENUE
P.O. BOX 5517
TOWSON, MARYLAND 21204

February 17, 1983

HAND DELIVERED

Mrs. Jean M. Jung
Deputy Zoning Commissioner
County Office Building
111 West Chesapeake Avenue
Towson, Maryland 21204

Re: Item No. 121
Case No. 83-178-XSPHA
Petitioner: McCormick Properties, Inc.
Contract Purchaser: Midtex Hospitality, Inc.

Dear Mrs. Jung:

I did not deem it appropriate to advise at the time of the hearing this past Thursday, February 10, of the very severe time limitations confronting Midtex Hospitality, Inc. in this matter.

The Agreements between McCormick Properties, Inc. and Midtex impose, for valid reasons, an obligation upon Midtex to determine within the next few weeks whether it should proceed with the project. Based upon the encouragement and receptiveness of Baltimore County, Midtex has, to date, made a very substantial commitment in an effort to locate here. The forthcoming decision, however, involves an enormous financial obligation which, needless to say, cannot be prudently incurred in the face of uncertainties.

I am, of course, personally aware of the current severe demands upon your office; however, I have no alternative other than to most respectfully request that, if at all possible, Midtex be informed of your decision with respect to the zoning issues during the first week of March.

Thank you very much for your careful and thorough consideration of this matter.

McCormick Properties, Inc.

February 8, 1983

Mr. William Hammond
Zoning Commissioner
Baltimore County
Towson, Maryland

RE: ITEM NO. 121, CASE NO. 83-178-XSPHA
SPECIAL EXCEPTION, VARIANCE PETITIONER -
McCORMICK PROPERTIES, INC. AND SPECIAL HEARING

Dear Mr. Hammond:

McCormick Properties, Inc. ("McCormick") has received correspondence from Mr. Charles Lee of the State Highway Administration (the "State") advising the Zoning Commission of several conditions and recommendations that the State District #4 Traffic Engineer has made. These conditions and recommendations do not appear to be relevant to the matters before the Zoning Commission for the referenced zoning hearing.

McCormick has, over the course of the past year, been involved in several discussions with authorities from Baltimore County and the State Highway Administration regarding improvements to Shawan Road. A Public Works Agreement was executed between McCormick and Baltimore County on September 9, 1981, at which time McCormick became obligated to make certain improvements to the Baltimore County roadway system, and the Shawan Road system in the vicinity of the Shawan Center business development. McCormick, of course, continues to recognize its obligations under this Public Works Agreement; however, more recent State requests appear to exceed and alter the scope of this Public Works Agreement.

At the present time, McCormick is involved in on-going discussions with Baltimore County and the State regarding further definition of the scope of improvements to be required for the Shawan Road-International Drive system. At a meeting held at the State Highway Administration on September 10, 1982, the State

Page 2
Mrs. Jean M. Jung
February 17, 1983

Kind regards.

Sincerely,

John B. Howard

JBH:ecd
cc: Mr. B. Melvin Cole
cc: Ms. Sharon M. Caplan
cc: Mr. John B. Holmes, II
cc: Mr. Raphael D. Silver

Mr. William Hammond
Page 2
February 8, 1983

representatives indicated that a further traffic study would be conducted by Mr. Hicks of the State at which time the State could be more certain of its requirements.

In the meantime, since there appears to be differences of opinion between the traffic engineers of the State and Baltimore County, McCormick has employed the consulting firm of Kiddle Consultants, Inc. to do further traffic studies in this area. It is the intention of McCormick to present the results of this traffic study, as well as a proposal for improvements to Shawan Road, to Baltimore County. Baltimore County may then conduct further discussions with the State to arrive at a final mutual solution.

In light of the above, McCormick believes that Mr. Lee's letter for the State addresses the resolution of the Shawan Road-International Drive system which will be concluded by McCormick, the State and Baltimore County. The letter does not address the zoning and special exception matters in the referenced petition. The matters at hand in the referenced Zoning Petition involve the use of a parcel of land within Shawan Center at Hunt Valley. Because of the continuing dialogue and mutual cooperation displayed by McCormick, Baltimore County and the State, it is requested that your office not delay rendering a decision in this zoning variance and special exception request.

Very truly yours,

J. Richard Uhlig
J. Richard Uhlig
Vice President, Development &
Operations

JRH/cid

cc: John Howard, Esquire



BALTIMORE COUNTY
OFFICE OF PLANNING & ZONING
TOWSON, MARYLAND 21204
494-3353

WILLIAM E. HAMMOND
ZONING COMMISSIONER

February 24, 1983

John B. Howard, Esquire
212 Allegheny Avenue
P.O. Box 5517
Towson, Maryland 21204

RE: Petitions for Special Exception, Special Hearing, and Variance
NW/Corner of Shawan Road and International Drive - 8th Election District
McCormick Properties, Inc. - Petitioner
NO. 83-178-XSPHA (Item No. 121)

Dear Mr. Howard:

I have this date passed my Orders in the above referenced matter in accordance with the attached.

Very truly yours,

John M.H. Jung
JEAN M.H. JUNG
Deputy Zoning Commissioner

JMHJ/srl

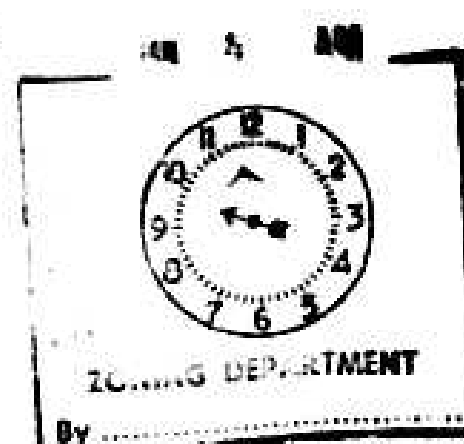
Attachments

cc: John W. Hessian, III, Esquire
People's Counsel

LAW OFFICES
COOK, HOWARD, DOWNES & TRACY
210 ALLEGHENY AVENUE
P.O. BOX 5517
TOWSON, MARYLAND 21204

JAMES H. COOK
JOHN B. HOWARD
DAVID D. DOWNES
DANIEL D. TRACY, JR.
JOHN H. ZINE, III
JOSEPH C. RICH, JR.
HENRY B. RICK, JR.
HERBERT R. O'CONNOR, III
THOMAS L. HUDSON
FRANK A. LAFAUCY, JR.
C. CAREY DEELY, JR.
H. KING HILL, III
LAURENCE MACLURE, JR.
ROBERT A. HOFFMAN

January 4, 1983



HAND DELIVERED

Nicholas B. Commodari
Zoning Plans Advisory Committee
111 West Chesapeake Avenue
County Office Building
Towson, Maryland 21204

Re: Petitions of MiddeX Hospitality, Inc.,
Contract Purchaser for Special
Exception, etc.
Lot 2, Shawan Center
Item No. 121

Dear Mr. Commodari:

I understand that you have had discussions with the Office of Economic Development for Baltimore County regarding the need for an expedited hearing date in the above matter.

My purpose in writing is to respectfully request a hearing date during mid-February 1983. Rather severe time limitations, due to a number of factors, have been imposed by the contractual arrangements between MiddeX and the seller of the property, McCormick Properties, Inc.

Thank you very much for your assistance and cooperation in this matter.

Kind regards,

Sincerely,

John B. Howard
John B. Howard

JBH:ecd

cc: Mr. James D. Lucas, Jr.
cc: Ms. Sharon M. Caplan
cc: Mr. Raphael D. Silver
cc: Mr. Andrew J. Leopold

BALTIMORE COUNTY, MARYLAND

INTER-OFFICE CORRESPONDENCE

Donald P. Butchinson
County Executive
James D. Lucas, Jr., Director
FROM: Economic Development Commission
SUBJECT: Granada Royale

Date: December 22, 1982

On December 21st you met with Ray Silver and Andrew Leopold of Granada Royale, Jack Holmes of McCormick Properties, John Howard of Cook, Howard, Downes & Tracy, and me in regard to their proposed new Granada Royale hotel in Shawan Center at Shawan Road, I-83.

This new project is for a 25-room hotel that will create over 100 new jobs. They desire to start construction by mid 1983. We have been instrumental in finding the site for Granada Royale, and you were supportive of the project as it was presented by Mr. Silver. The contract with McCormick requires zoning issues to be resolved by April 1st.

The following issues were discussed and need to be resolved. I am summarizing some of your reactions:

1. Scheduling a hearing date for a special exception for a motel on MLR property.

-- You offered to talk to the Zoning Commissioner to set a date as soon as possible and to advise the Zoning Office of the Administration's support.

-- The case must be heard by February 1st to meet all of the deadlines to move forward with the project.

2. Working towards revising our existing zoning laws permitting hotel/motel development as a matter of right in industrial zones.

-- The Office of Planning will be recommending changes in the wording of our zoning laws to allow this to take place. However, Granada Royale must still proceed with the petitions for special exceptions because of their deadlines and needs for other variances.

-- You will probably be asking for changes in the F.A.A. requirements for hotels/motels when this language is presented to the Planning Board.

-- You indicated the Planning Office was attempting to have this before the County Council in March, 1983.

Mr. James E. Dyer
Zoning Administrator
County Office Building
Towson, Maryland 21204

Dear Mr. Dyer,

You will recall our discussion of August 30, 1982 pertaining to some proposed, minor changes in the Site Plan for the Granada Royale Hotel which has been granted a Special Exception, Floor Area Ratio Variance and Setback Variance.

The changes are the following:

1. A minor relocation of the service entrance.
2. Relocation of the service entrance screening wall.
3. The addition of an enclosure to house the generator and transformer at the southeast corner of the building. A 6 foot high wall will enclose these facilities.

Enclosed are a print of the Site Plan showing the revisions dated September 23, 1982 and a print of the Zoning Plat.

It is my interpretation that these changes are consistent with the spirit and intent of the Zoning Order.

Please indicate your confirmation below. Let me know if you need additional information.

Best Regards,
GEORGE WILLIAM STEPHENS, JR.
AND ASSOCIATES, INC.

George W. Stephens, Jr.
J. Strong Smith, P.E. (RIP)

JSS:hlp
cc: Mr. John Mallick

The Changes Shown on the September 23, 1982 Site Plan are consistent with the Zoning Order, subject to there being no increase in parking requirements due to expansion of restaurant floor area or an additional room.

James E. Dyer
JAMES E. DYER, Zoning Supervisor
Baltimore County Office of Planning & Zoning

- 2 -

3. Understanding the issues involved in this special exception petition.

-- Is this a motel use, as a hotel is not allowed in the MLR zone? The burden of proof is on Granada Royale when they testify. However, since our zoning laws have not been updated in their entirety in over 20 years, it was explained that the Office of Planning will be undertaking this objective. Our definition of a motel is somewhat archaic in these times.

-- A sign is needed on the building and is asked for in their petition as it is not allowed under our zoning laws.

-- F.A.R. ratio of .65 in lieu of .60.

-- Parking for 365 spaces instead of 406.

-- Setbacks of 8-feet for front and rear instead of 40-feet; side for 25-feet instead of 30-feet.

With your support we will continue to aid and coordinate Granada Royale's efforts to locate in Baltimore County.

JDL:jet

cc: B. Melvin Cole

Jim
JAMES D. LUCAS, JR.

Mr. James E. Dyer
Zoning Administrator
County Office Building
Towson, Maryland 21204

Dear Mr. Dyer,

You will recall our discussion of August 30, 1982 pertaining to some proposed, minor changes in the Site Plan for the Granada Royale Hotel which has been granted a Special Exception, Floor Area Ratio Variance and Setback Variance.

The changes are the following:

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Best Regards,
GEORGE WILLIAM STEPHENS, JR.
AND ASSOCIATES, INC.

George W. Stephens, Jr.
J. Strong Smith, P.E. (RIP)

JSS:hlp
cc: Mr. John Mallick

The Changes Shown on the September 23, 1982 Site Plan are consistent with the Zoning Order

James E. Dyer

*See Revised
copy
Attached*

BALTIMORE COUNTY, MARYLAND

INTER-OFFICE CORRESPONDENCE

James D. Lucas, Jr., Director,
Economic Development Commission
TO: Sharon M. Caplan,
Economic Assistant
FROM: Granada Royale's Special
SUBJECT: Exception Hearing

Date: December 28, 1982

The following schedule must be adhered to if Granada Royale is to have an answer on their special exception for a motel at Shawan and I-83 by April.

- 1) The property was inspected the week of December 20th. Normally the Zoning Advisory Committee meets on the Friday after this inspection. However, since each Friday following the 20th is a holiday, the first available time a meeting can be scheduled is Friday, January 7th.
- 2) The Zoning Advisory Committee must meet by January 7th. This date has not been confirmed and Nick Commodari must be asked to adhere to this date if the remaining schedule is to be followed.
- 3) After this committee meeting, all members of the committee send in their comments which are submitted as part of the record to the Zoning Commissioner or his deputy at the hearing. Committee members must be asked to submit comments ASAP by Mr. Commodari.
- 4) A date for the hearing can be set after this meeting. If there are many unresolved issues, Mr. Commodari can wait to set the date until he has all comments. Otherwise, he can set the date while members of the committee are still sending in their comments.
- 5) A hearing date must be set for February 15th or earlier. I have spoken to Nick and he said a realistic date is the end of February, but an earlier date is possible with everyone's cooperation.
- 6) If the case is heard by February 15th, an opinion is needed between March 7th-15th from the Commissioner. This is necessary as a 30 day appeal process must also be taken into consideration.
- 7) This 30 day appeal process would be over April 7th-15th depending on when the Commissioner issued his opinion.

Realistically by April 15th, Granada Royale would know if they could build a motel at this location. This would mean their contract could be executed in April, meeting their contract deadline and the County would be demonstrating our support by adhering to a realistic schedule.

Sharon M. Caplan
SHARON M. CAPLAN
Economic Assistant

SMC/sb

RE: Petition for Special Exception for a motel in an MLR zone
Variance of Parking Requirements
Variance of Floor Area Ratio
Variance of Setbacks (Tennis Court)
Special Hearing for a Sign in an MLR Site Development
Lot Number 2, Shawan Center at Hunt Valley
MIDDEX HOSPITALITY, INC.
Petitioner

BEFORE THE ZONING COMMISSIONER OF BALTIMORE COUNTY
No. 83-178-XSPHA

MEMORANDUM IN SUPPORT OF PETITIONS FOR SPECIAL EXCEPTION, VARIANCES, AND SPECIAL HEARING

This Memorandum is filed by MiddeX Hospitality Inc. (the "Petitioner"), contract purchaser of the subject property, by its attorneys, John B. Howard and Cook, Howard, Downes & Tracy, and will be limited to the following questions:

QUESTIONS PRESENTED

- I. Is a building for the accommodation of transient guests, where each room has a separate outside entrance to an atrium, a motel for purposes of a special exception in an MLR zone pursuant to Section 248.4b of the Baltimore County Zoning Regulations?
- II. Is allowance of a 200 square foot sign in conjunction with a motel in an MLR zone reasonable in light of Section 413.2 of the Baltimore County Zoning Regulations, which makes no provisions for signs in an MLR zone?

ARGUMENT

I.

A BUILDING FOR TRANSIENT GUESTS WHERE EACH ROOM OPENS INTO AN ATRIUM IS INCLUDED IN THE DEFINITION OF A MOTEL FOR PURPOSES OF A SPECIAL EXCEPTION, PURSUANT TO SECTION 248.4(b) OF THE BALTIMORE COUNTY ZONING REGULATIONS.

The purposes of the MLR zone are set forth in Section 247 of the Baltimore County Zoning Regulations (B.C.Z.R., Bill Number 56, 1961):

"To permit grouping of high types of industrial plants in industrial subdivisions in locations with convenient access to expressways or other primary motorways so as to minimize the use of residential streets; to fill special locational needs of certain types of light industry; to permit planned dispersal of industrial employment centers so as to be conveniently and satisfactorily related to residential communities; and as transitional bands between residential or institutional areas and ML or MH zones.

As support for those industries in the MLR zone, the regulations provide for certain commercial uses pursuant to Section 248.4(b) B.C.Z.R. Certain requirements must be met to allow these commercial uses in an MLR zone and are as follows:

1) the use must be within an MLR zone which is part of a contiguous area of twenty-five acres or more of industrial zoning; 2) the specific use proposed is demonstrably an appropriate service to industries existing, planned or normally to be expected to locate therein; and 3) the combined tract area developed for one or more of these service commercial uses occupies no more than fifteen percent of the MLR tract in which they are located.

Petitioner seeks a special exception for a "motel" in an MLR zone, a permitted commercial use under Section 248.4(b) B.C.Z.R. In Section 101 B.C.Z.R., a motel is defined as:

"buildings for the accommodation of transient guests, chiefly motorists, containing guest rooms for rent, each of which has a separate outside entrance."

The building which Petitioner proposes to construct meets this statutory definition of a motel. In Landay v. Board of Zoning Appeals, 173 Md. 460 (1928) the court found in construing zoning regulations that:

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"Such ordinances are in derogation of the common law right to so use private property as to realize its highest utility, and while they should be liberally construed to accomplish their plain purpose and intent, they should not be extended by implication to cases not clearly within the scope of the purpose and intent manifested in their language. Monument Garage Corp. v. Levy, 266 N.Y. 333, 194 N.E. 848." (Emphasis added), Id. at 466.

Further, zoning restrictions are in derogation of common law and should be strictly construed, while exemptions are to be construed in favor of the property owner. Rathkopf, The Law of Zoning and Planning, Vol. 1, §9.02, 4th Ed. (1956).

In 1955, when Section 248.4(b) B.C.Z.R. was adopted by Baltimore County, the purpose and intent of a special exception for a motel was to provide accommodations for those people conducting business in the contiguous industrial areas. While that purpose and intent has not changed, the mode by which motel accommodations are provided has changed dramatically in the last twenty-five years.

A review of the structure contemplated by Petitioner reveals that it is a motel within the clear purpose and intent of the special exception for a motel in an MLR zone. In this case, each room has a separate outside entrance into an atrium which has all the attributes of "outside." In fact, the proposed structure has two exteriors, the covered atrium and the environment surrounding the structure itself. With regard to the individual rooms, the "outside" is the atrium, while the environment is exterior to the entire structure.

The atrium is covered by glass skylights to protect the guests from the elements. Additionally, each room opens onto a balcony within the atrium in contrast to a hotel, where rooms exit on both sides into an interior hallway, thus eliminating the separate entrance "effect". In fact, having a

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legislature was to allow certain commercial uses in an MLR zone. It is unclear, however, whether any sign may be erected in conjunction with that commercial use. Such an omission by the legislature would require that the "real intent" prevail over the "literal intent" of the statute; the literal intent being that no sign would be allowed. It is sometimes necessary, under unusual circumstances, to look to the spirit and purpose of an enactment. Cearfoss v. State, 42 Md. 403 (1865); cited in Amalgamated Cas. Ins. Co. v. Helms, supra, at 535 - 536.

It is not likely that a legislative body would provide for a commercial use in an MLR zone, without allowing for a sign in conjunction thereto. Such an obvious omission would require that the real intent of the zoning regulations be effectuated. A reasonable interpretation of that intent would allow signs for commercial uses in MLR zones to be governed by the sign for other industrial zones. By such an interpretation, all parts of the regulations are in harmony and consistent with the general object and scope of the zoning regulations. Cloverfields MF. v. Seabreeze Prop., 280 Md. 382 (1977). Moreover, in Bur v. Schwarten, 264 NW 2d. 721 (1978), the Court found that the courts:

"cannot impose greater restrictions on the use of the land than the ordinance requires, and where the ordinance is silent, the interpretation allowing for the greater use of the land must be followed since zoning ordinances are in derogation of common law and are to be construed in favor of the free use of private property." Id. at 724;

See also Gino's v. Baltimore City, 250 Md. 621, 642 - 643 (1968), where the Court held that zoning ordinances are in derogation of the common law and should be strictly construed and further, the ordinances should not be extended by

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single row of rooms opening onto a balcony, is typical of a motel according to architectural standards. By the same token, a hotel is typically "double-loaded", i.e. rooms on both sides of an internal corridor.

The view from the balcony into the atrium will be a landscaped setting. There will be trees, plants and a pond. It will have all of the beauty of the outdoors, while the guests may enjoy the landscape in comfort. If it were not for the skylights, the atrium would be a courtyard, and completely exposed to the forces of nature. The problems in exposing the atrium are obvious and need not be discussed here.

To view the entrance into the atrium as a "separate entrance" to the outside would be a reasonable interpretation of motel by modern standards; "outside" does not necessarily imply that the entrance must be on the exterior of the building. "Outside" is defined by the Random House College Dictionary, Revised Edition, 1980, as "the external aspect or appearance" (Emphasis added). It is the intent of Petitioner to make the atrium as close to an "outdoor" courtyard as possible, while still providing an atmosphere essential to its patrons' comfort.

Where the phraseology of a statute has a doubtful meaning, the court examines the legislative intent so as to determine the objectives and purposes of the enactment and the consequences resulting from one meaning rather than another. Md. Medical Service v. Carver, 238 Md. 466, 478 (1965). Each room in petitioner's proposed structure opens to the "outside" in accordance with the intent of the zoning regulation. To the extent there is any ambiguity or uncertainty in whether the proposed structure meets the definition of motel it must be decided in favor of the property owner. Krubby v. Hammond, 68

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implication to cases not clearly within the scope of the purpose and intent of the regulation.

To disallow a sign for a commercial use in an MLR zone would be a clear extension by implication of a restriction not clearly within the scope of the purpose and intent of the zoning regulations. Thus, a sign in conjunction with the motel proposed by Petitioner should be allowed in accordance with the rules of construction governing zoning regulations in Maryland.

Finally, an interpretation of the regulation which would disallow a sign would render the regulation void as offending the Constitution. In Grayned v. City of Rockford, 408 U.S. 104, 108-109 (1972) the Court stated:

"It is a basic principle of due process that an enactment is void for vagueness if its prohibitions are not clearly defined.... [I]f we must insist that laws give the person of ordinary intelligence a reasonable opportunity to know what is prohibited so that he may act accordingly."

Since there is no prohibition to be found in the regulation, an interpretation that one exists may well render that regulation void-for-vagueness.

CONCLUSION

The Petitioner's proposed structure clearly falls within the intent and purpose of the special exceptions for motels in MLR zones. Petitioner, thereby, respectfully requests a special exception for a motel be granted. Further, it would be unreasonable to find that where such a commercial use is allowed, no sign could be erected, and, therefore, Petitioner requests that a 200 square foot sign be allowed in conjunction with the proposed structure.

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Aris. 17, 198 P.2d 134; City of Little Rock v. Williams, 206 Ark. 661, 177 S.W.2d. 924; Rathkopf, The Law of Zoning and Planning, Vol. 1, Section 9.03, 4th ed. (1956). Thus, the proposed structure is within the definition of a "motel" for purposes of a special exception in an MLR zone.

Petitioner, therefore, respectfully requests that the special exception for a motel in an MLR zone be granted. The proposed use should not be denied due to strict construction of an absolute and rigid definition of motel. A reasonable interpretation of the definition encompasses the proposed use, and the intent of the regulation is furthered.

II.

A TWO-HUNDRED SQUARE FOOT SIGN SHOULD BE ALLOWED IN CONJUNCTION WITH A MOTEL IN AN MLR ZONE.

The Baltimore County Zoning Regulations contain no mention of signs that may be used in an MLR zone. Section 413.2(f) B.C.Z.R. states: "Other business signs (not exceeding three on any premises) may be used if limited to a total area of one-hundred square feet in business zones, and two hundred square feet in ML and MH zones." It would be unreasonable to construe this regulation to exclude any sign whatsoever for a commercial use in an MLR zone, where a commercial use is permitted.

The zoning regulation should be liberally construed to accomplish its plain purpose and intent. Landay v. Board of Zoning Appeals, 173 Md. 460 (1928). A reasonable construction of the regulations for signs would indicate that signs in MLR zones should be governed by the provisions for signs in industrial zones. MLR zones, as transitional bands between residential and industrial zones, are more closely akin to ML and MH rather than business zones. It can, therefore, be

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Respectfully submitted,


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Towson, Maryland 21204
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Attorneys for the Petitioner

reasoned that since commercial uses may exist by way of special exceptions in MLR zones, the clear purpose and intent of these regulations was to allow for signs in light of such uses. To disallow a sign would be an unreasonable construction of the regulation, and would be inconsistent with its plain purpose and intent. The only alternative would eliminate all signs in MLR zones, since the 100 square foot requirement applies only to business zones.

In Howell v. State, 278 Md. 389 (1976), the Court summarized the rules of statutory construction in Maryland as follows:

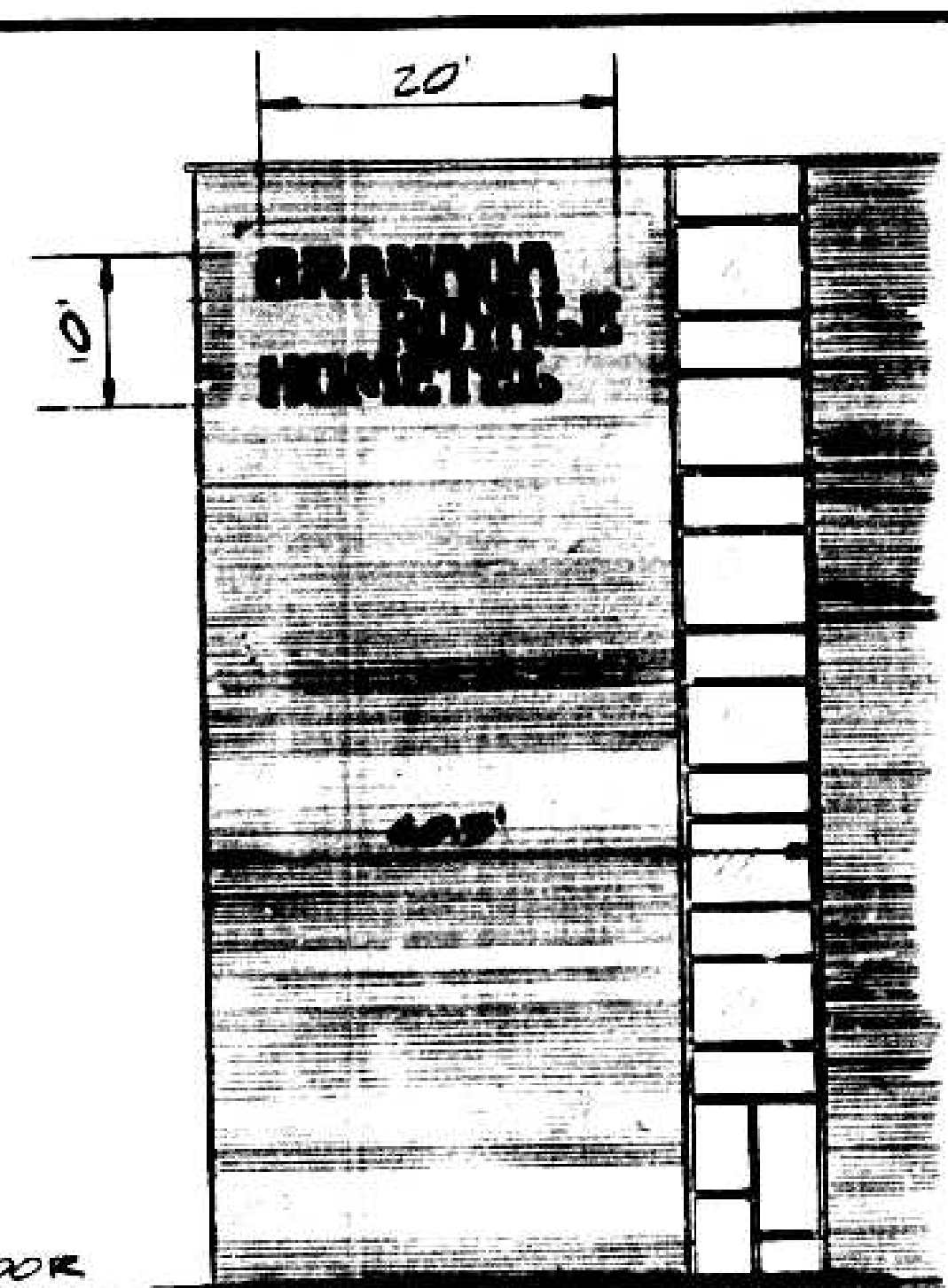
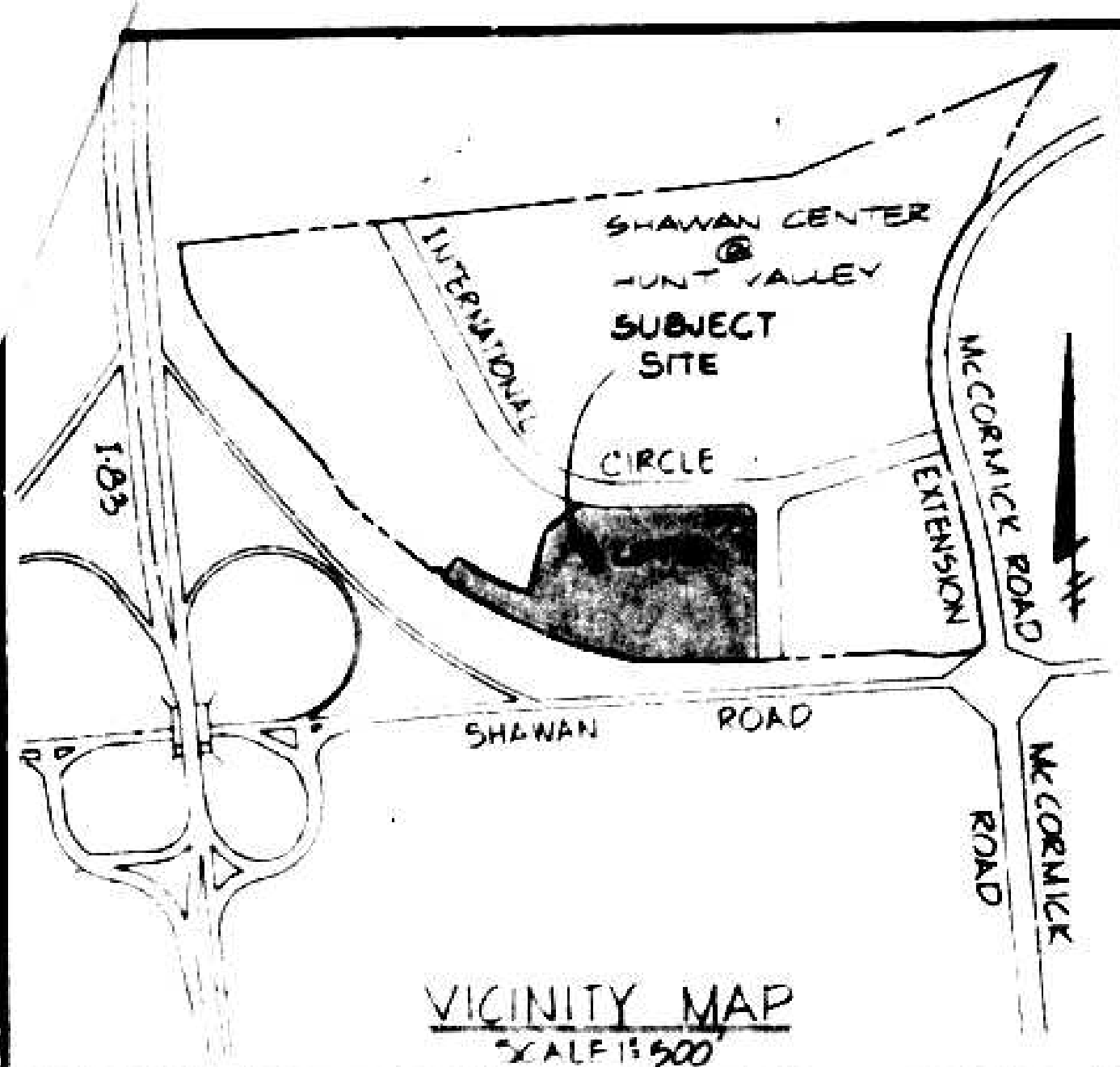
"the rules for statutory construction in Maryland are well known: that in ascertaining the intention of the General Assembly all parts of the statute are to be read together to find the intention as to any one part; all parts are to be reconciled and harmonized if possible; if there is no clear indication to the contrary and it is reasonably possible, a statute is to be read so that ... word, clause, sentence, or phrase shall be rendered surplusage, superfluous, meaningless, or nugatory; and the cardinal rule of statutory construction is to ascertain and carry out the real legislative intent and in ascertaining that intent the court considers the language of an enactment in its natural and ordinary signification." Id. at 392

Further, in Amalgamated Cas. Ins. Co. v. Helms, 239 Md. 529 (1965), the Court, citing Chief Judge Harbury in Clark v. Tauxe, 127 Md. 195 stated:

"That the rule that real intent must prevail over literal intent is adopted only when the literal words of the statute say something that the legislature could not possibly have meant." 239 Md. at 535-536.

These rules of construction are applicable to the provisions of the Baltimore County Zoning Regulations interpreted in this case. See Prince Georges County v. Bahrami, 33 Md. App. 644, 655 (1976). In construing the regulations as a whole, it is obvious that the intent of the

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PARKING TABULATION:

RESTAURANT 2000 SF, LOUNGE 1500 SF, KITCHEN 2000 SF	110
TOTAL OF 5500 SF @ 1 SP/50 SF	110
MEETING ROOM 5324 SF / OCCUPANCY @ 1 SEAT/150 SF = 355 SEATS	160
PARKING REQ'D @ 1 SP/50 SEATS	160
RETAIL SPACE 400 SF @ 1 SP/200 SF	20
SLEEPING ROOMS @ 1 SP/ROOM	225
TOTAL PARKING REQUIRED	405
TOTAL PARKING PROVIDED	365
SPACES 40' X 10' TYP, 24' ALLEYS	
INCLUDES 9 SPACES FOR THE HANDICAPPED (12' X 10' TYP)	

LOT 6 "SHAWAN CENTER @ HUNT VALLEY" EHK JE 40/64
 EX. ZONING - MLR / PRESENT USE - VACANT
 LOT 7
 EX. ZONING - MLR / PRESENT USE - VACANT
INTERNATIONAL CIRCLE

SITE DATA

- 1) AREA OF SITE = 5.705 ACRES
- 2) EX. ZONING = MLR
- 3) PRESENT USE = VACANT
- 4) PUBLIC WATER AND S. WER EX. ST
- 5) PROPOSED USE = MOTEL

1ST LEVEL

RETAIL AREA	~ 400 SF
REST, LOUNGE, KITCH.	~ 5000 SF
AREA	~ 5324 SF
MEETINGS AREA	~ 5324 SF
RECEPTION POOL	~ 20,329 SF
TOTAL 1ST LEVEL	~ 32,000 SF

2ND THRU 6TH FLOOR

20,700 S.F. / FLOOR	~ 144,900 SF
TOTAL FLOOR AREA	~ 176,900 SF

FLOOR AREA, RATIO

GROSS AREA = 5.705 ACRES (240,510 SF) + (125.32' x 317.33' x 300.64' (30)) = 272,600 SF

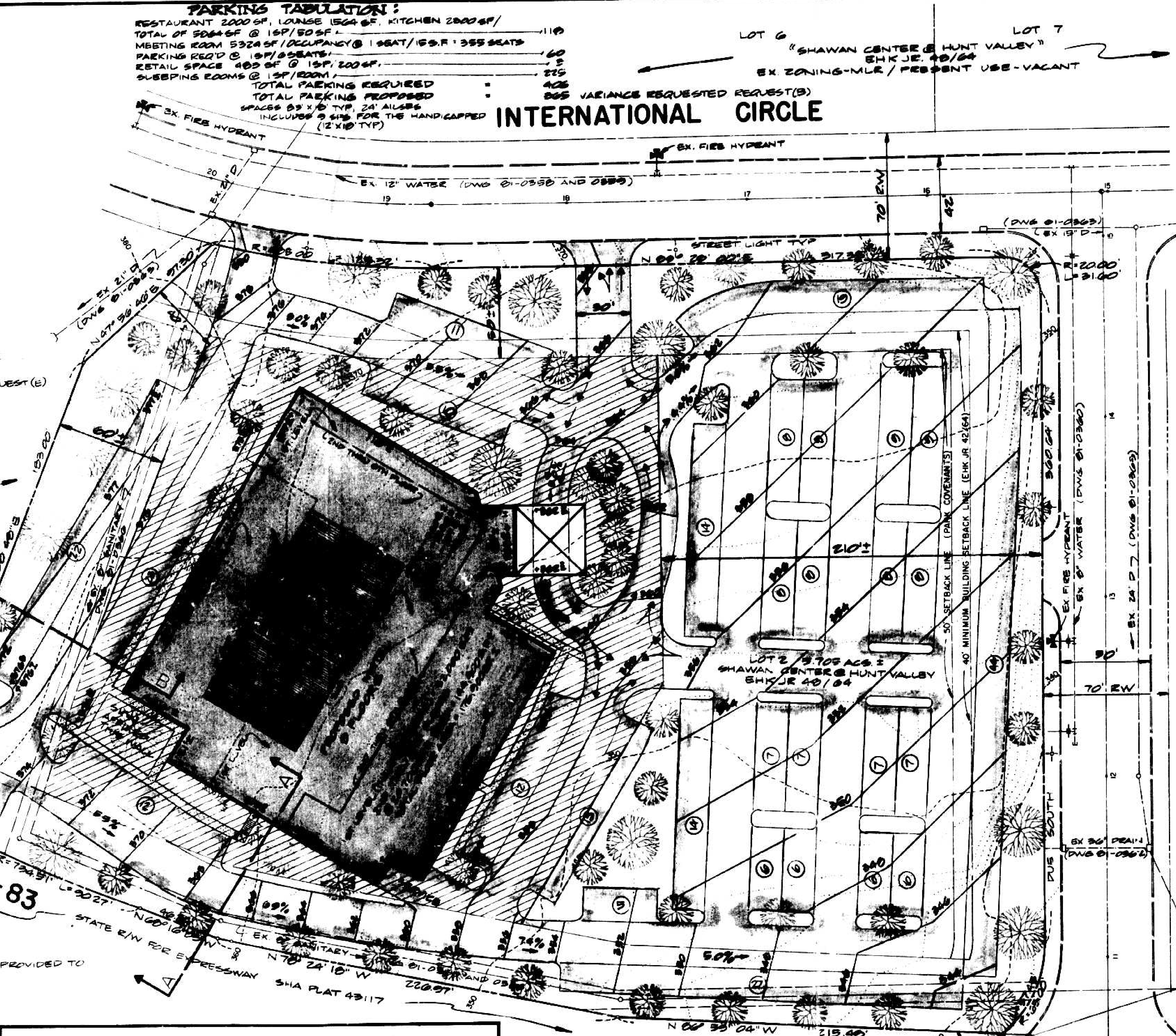
FLOOR AREA RATIO = 176,900 SF / 272,600 SF = .65 VARIANCE REQUEST (C)

7) A SPECIAL HEARING IS REQUESTED FOR APPROVAL OF THE 200 SF SIGN DETAILED HEREON SEE REQUEST (E)

8) PAVING SHALL BE A DURABLE, DUST FREE SURFACE AS DETERMINED BY SOILS ENGINEER

9) LIGHTING SHALL BE ERCTED AS TO NOT REFLECT RAYS INTO RESIDENTIAL AREAS.

10) BUILDING ENVELOPE SHOWN HEREON IS INTENDED TO INDICATE THE EXTREMITIES TO WHICH THE BLDGS MAY BE POSITIONED. SINCE SIZE AND SHAPE OF THE BUILDING ARE GENERALLY AS SHOWN HEREON THE ENVELOPE IS PROVIDED TO ALLOW FLEXIBILITY IN SITING OF THE BLDGS, AS WELL AS TO ALLOW INCORPORATION OF POSSIBLE ARCHITECTURAL CHANGES. PARKING REQUIREMENTS (AS ESTABLISHED) WILL BE INTEGRATED INTO ANY CHANGE.



INTERNATIONAL DRIVE

LOT 1 "SHAWAN CENTER @ HUNT VALLEY" EHK JE 40/64
 EX. ZONING - MLR / PRESENT USE - OFFICES

PLAT TO ACCOMPANY ZONING PETITION REQUESTS FOR:

- SPECIAL EXCEPTION FOR MOTEL IN A MLR ZONE
- VARIANCE OF PARKING REQUIREMENTS
- VARIANCE OF FLOOR AREA RATIO
- VARIANCE OF SETBACKS (TENNIS COURT)
- AND A SPECIAL HEARING FOR A SIGN IN A MLR SITE DEVELOPMENT

LOT 2 "SHAWAN CENTER @ HUNT VALLEY"

BALTO CO, MD
 SCALE 1"=30'

ELECT. DISTRICT NO. 8
 DECEMBER 1, 1992

SUMMARY OF PETITION REQUESTS

- (A) SPECIAL EXCEPTION TO ALLOW MOTEL IN AN EX. MLR ZONE AS PER SECTION 240.4.D (BCZR)
- (B) A VARIANCE TO PERMIT 365 SPACES IN LIEU OF 405 AS REQUIRED BY SECTION 400.2 (BCZR)
- (C) A VARIANCE TO PERMIT A FLOOR AREA OF 0.65 IN LIEU OF THE 0.60 LIMITATION AS PER SECTION 230.5 (BCZR)
- (D) VARIANCE OF SETBACKS (TENNIS COURT) TO PERMIT A FRONT YARD OF 0' IN LIEU OF THE REQ 40' (SECT 230.1), TO PERMIT A REAR YARD OF 0' IN LIEU OF THE REQ 40' (SECT 230.3), AND TO PERMIT A SIDE YARD OF 25' IN LIEU OF REQ 30' (SECT 230.2)
- (E) A SPECIAL HEARING FOR APPROVAL OF 200 SF SIGN AS DETAILED ON THIS PLAT.

CONTRACT PURCHASER AND PETITIONER

MIDDEX HOSPITALITY, INC.
 600 MADISON AVENUE
 NEW YORK, NEW YORK 10022
 (212) 355-0200

ENGINEERS

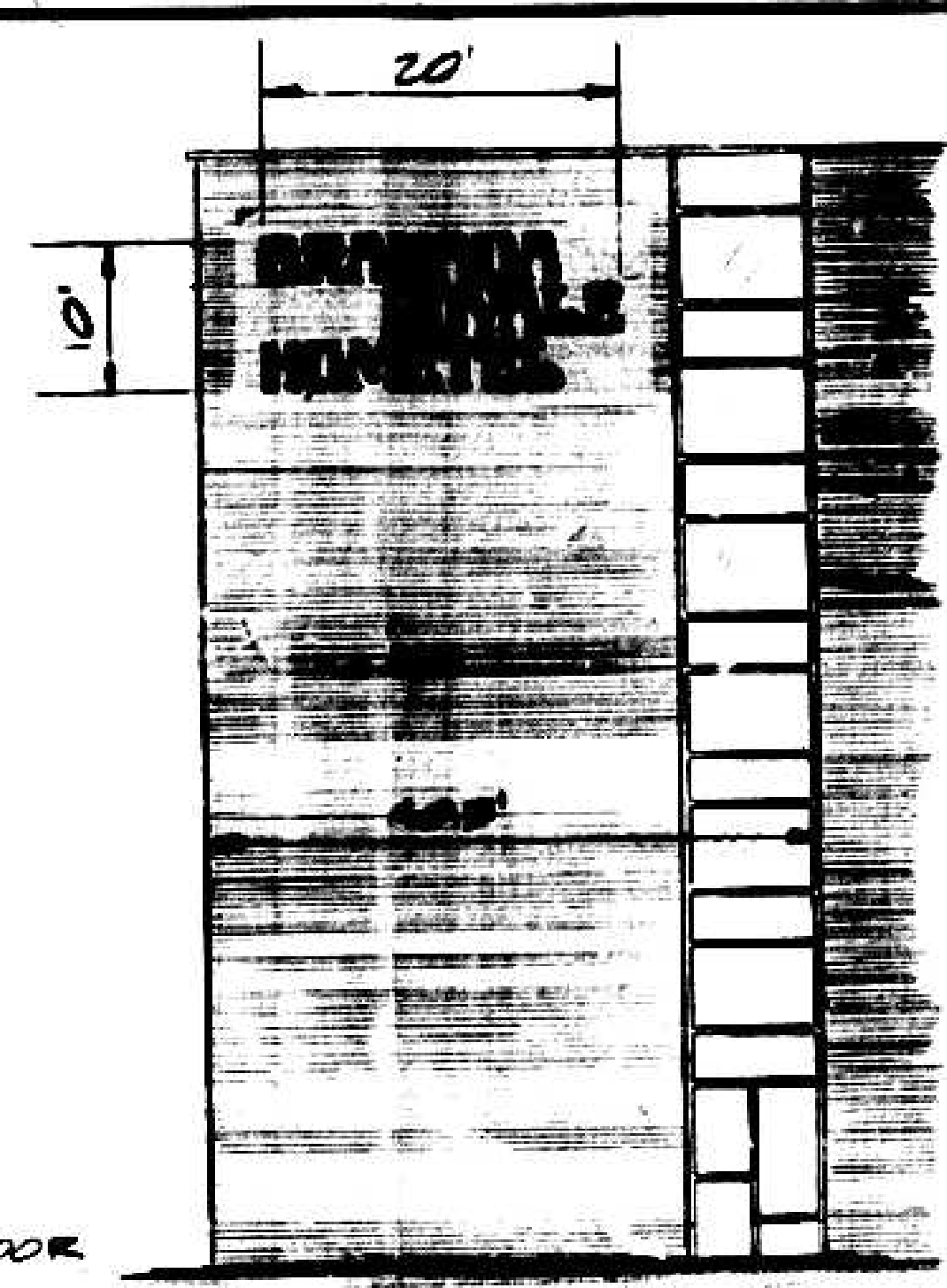
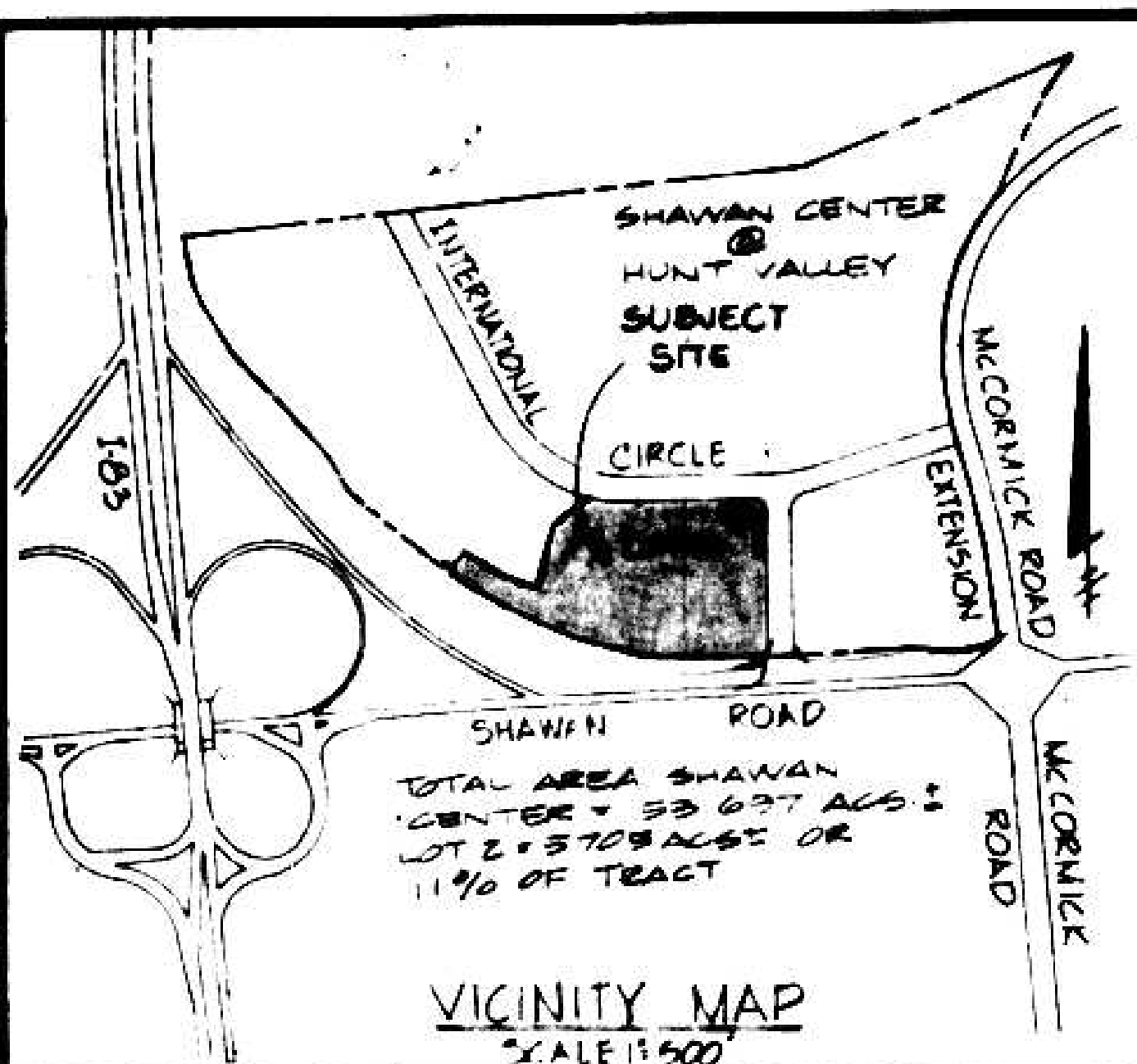
GEORGE WILLIAM STEPHENS JR. AND ASSOCIATES INC.
 303 ALLEGHENY AVE. TOWSON, MD. 21204
 (301) 825-8120

SHAWAN ROAD

STATS R/W FOR EXPRESSWAY SHA PLAT 43117

BEGIN

PI E'S OF SHAWAN ROAD & INTERNATIONAL DRIVE



PARKING TABULATION:

RESTAURANT 2000 SF, LOUNGE 1500 SF, KITCHEN 2000 SF	110
TOTAL OF 5500 SF @ 1 SF/50 SEAT	110
MEETING ROOM 5324 SF @ OCCUPANCY @ 1 SEAT/150 SF = 355 SEATS	60
PARKING REQ'D @ 1 SF/50 SEATS	12
RETAIL SPACE 400 SF @ 1 SF/200 SF	2
SLEEPING ROOMS @ 1 SF/ROOM	225
TOTAL PARKING REQUIRED	209
TOTAL PARKING PROVIDED	357
VARIANCE REQUESTED REQUEST(B)	
SPACES 8' X 12' TYP. 24' ALLEYS	
INCLUDES 5 SPACES FOR THE HANDICAPPED (12' X 20' TYP)	

INTERNATIONAL CIRCLE

LOT 6 "SHAWAN CENTER @ HUNT VALLEY" EHK JE 40/84
EX. ZONING - MLR / PRESENT USE - VACANT

LOT 7 "SHAWAN CENTER @ HUNT VALLEY" EHK JE 40/84
EX. ZONING - MLR / PRESENT USE - VACANT

SITE DATA

- 1) AREA OF SITE = 5.705 ACES
- 2) EX. ZONING - MLR
- 3) PRESENT USE - VACANT
- 4) PUBLIC WATER AND SEWER EXIST.
- 5) PROPOSED USE - MOTEL

1ST LEVEL

RETAIL AREA	~ 400 SF
REST., LOUNGE, KITCH.	~ 5500 SF
MEETING AREA	~ 5324 SF
RECEPTION, POOL, ...	~ 20,000 SF
TOTAL 1ST LEVEL	~ 32,000 SF

2ND THRU 6TH FLOOR

20,700 S.F. / FLOOR	~ 144,900 SF
TOTAL FLOOR AREA	~ 176,900 SF

FLOOR AREA RATIO

GROSS AREA = 5.705 ACES (240,310 SF) + (125.32 + 317.33 + 360.64) (30) = 272,000 SF

FLOOR AREA RATIO = 176,900 SF / 272,000 SF = 65% VARIANCE REQUEST (C)

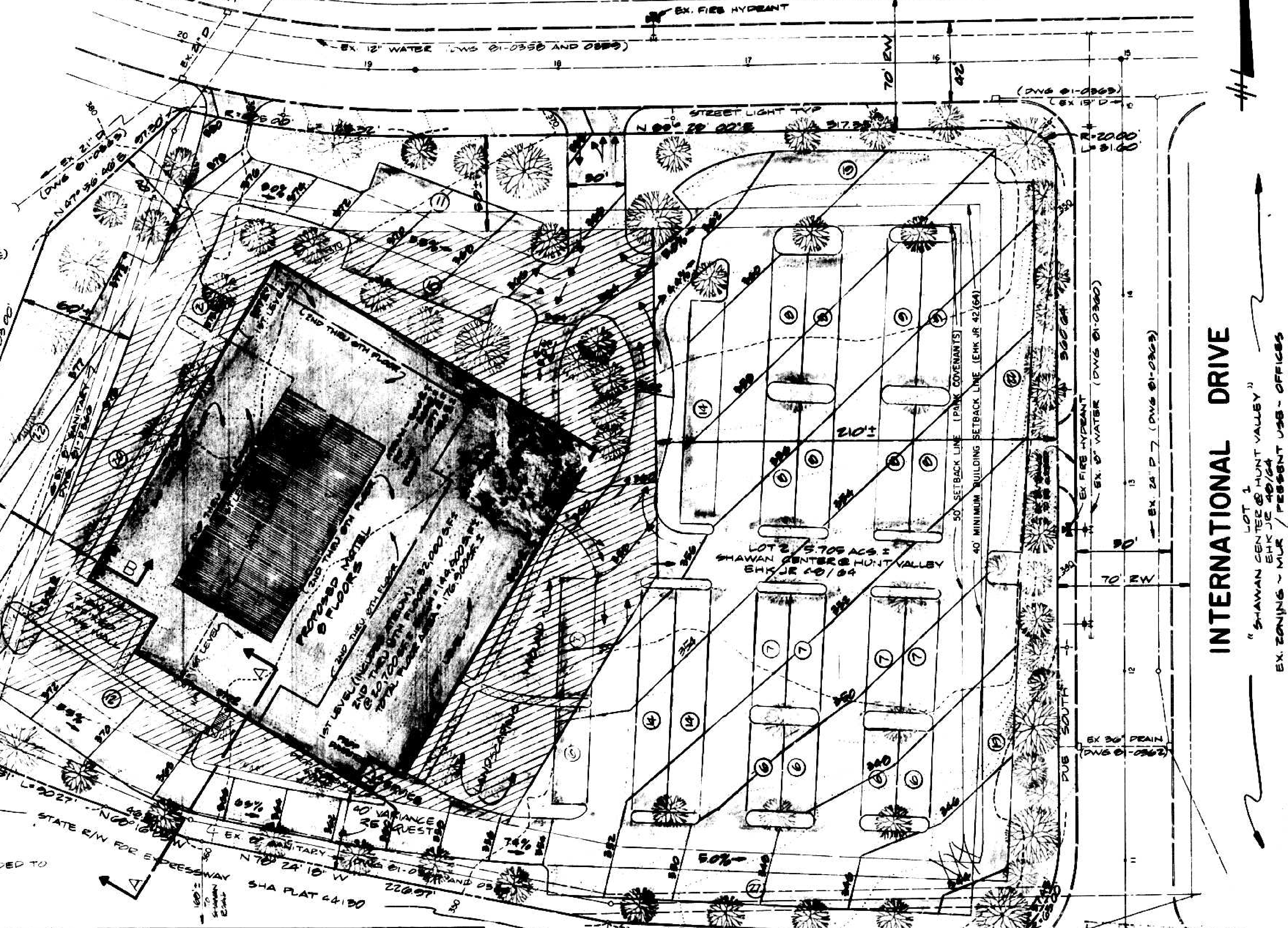
7) A SPECIAL HEARING IS REQUESTED FOR APPROVAL OF THE 200 SF SIGN DETAILED HEREON. SEE REQUEST (E)

8) PAVING SHALL BE A DURABLE, DUST FREE SURFACE AS DETERMINED BY SOILS ENGINEER

9) LIGHTING SHALL BE DIRECTED AS TO NOT REFLECT RAYS INTO RESIDENTIAL AREAS.

10) BUILDING ENVELOPE SHOWN HEREON IS INTENDED TO INDICATE THE EXTREMITIES TO WHICH THE BLDG MAY BE POSITIONED. SINCE SIZE AND SHAPE OF THE BUILDING ARE GENERALLY AS SHOWN HEREON, THE ENVELOPE IS PROVIDED TO ALLOW FLEXIBILITY IN SITING OF THE BLDG, AS WELL AS TO ALLOW INCORPORATION OF POSSIBLE ARCHITECTURAL CHANGES. PARKING REQUIREMENTS (AS ESTABLISHED) WILL BE INTEGRATED INTO ANY CHANGE.

11) 4% OF 'SHAWAN CENTER' REMAINS FOR COMMERCIAL USE AS DEFINED UNDER SECT 2404.B



PLAT TO ACCOMPANY ZONING PETITION REQUESTS FOR:

- SPECIAL EXCEPTION FOR MOTEL IN A MLR ZONE
- VARIANCE OF PARKING REQUIREMENTS
- VARIANCE OF FLOOR AREA RATIO
- VARIANCE OF SETBACKS
- AND A SPECIAL HEARING FOR A SIGN IN A MLR SITE DEVELOPMENT

LOT 2
"SHAWAN CENTER @ HUNT VALLEY"

BLK 2 DIST. NO. 8
DECEMBER 1, 1982
REV. JAN 11, 1988
PER EAC COMMENTS

SUMMARY OF PETITION REQUESTS

- (A) SPECIAL EXCEPTION TO ALLOW MOTEL IN AN EX. MLR ZONE AS PER SECTION 2404.B (BCCR)
- (B) A VARIANCE TO PERMIT 357 SPACES IN LIEU OF 406 AS REQUIRED BY SECTION 400.2 (BCCR)
- (C) A VARIANCE TO PERMIT A FLOOR AREA OF 0.65 IN LIEU OF THE 0.60 LIMITATION AS PER SECTION 250.5 (BCCR)
- (D) VARIANCE OF SETBACKS (TENNIS COURT) TO PERMIT A FRONT YARD OF 0' IN LIEU OF THE REQ 50' (SECT 250.1), TO PERMIT A REAR YARD OF 0' IN LIEU OF THE REQ 40' (SECT 250.3), AND TO PERMIT A SIDE YARD OF 25' IN LIEU OF REQ 30' (SECT 250.2). VARIANCE OF SETBACKS (PRAP BLDG) TO PERMIT A SIDE YARD OF 40' IN LIEU OF THE REQUIRED 50' (SECT 250.2)
- (E) A SPECIAL HEARING FOR APPROVAL OF 200 SF SIGN AS DETAILED ON THIS PLAT.

CONTRACT PURCHASER AND PETITIONER:
MIDDEX HOSPITALITY, INC.
800 MADISON AVENUE
NEW YORK, NEW YORK 10022
(212) 355-0200

ENGINEERS:
GEORGE WILLIAM STEPHENS JR. AND ASSOCIATES INC.
303 ALLEGHENY AVE. TOWSON, MD. 21204
(301) 223-0120

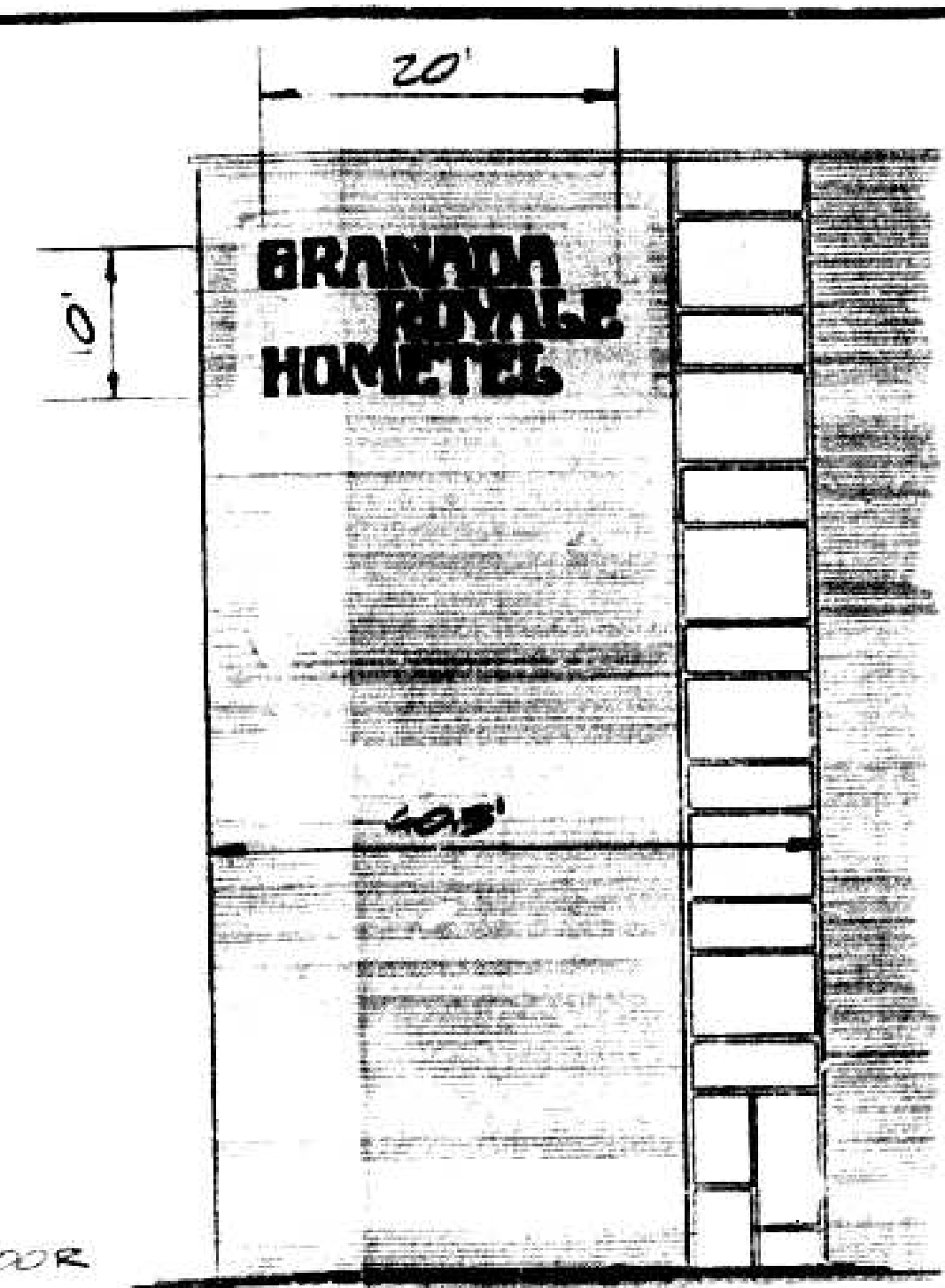
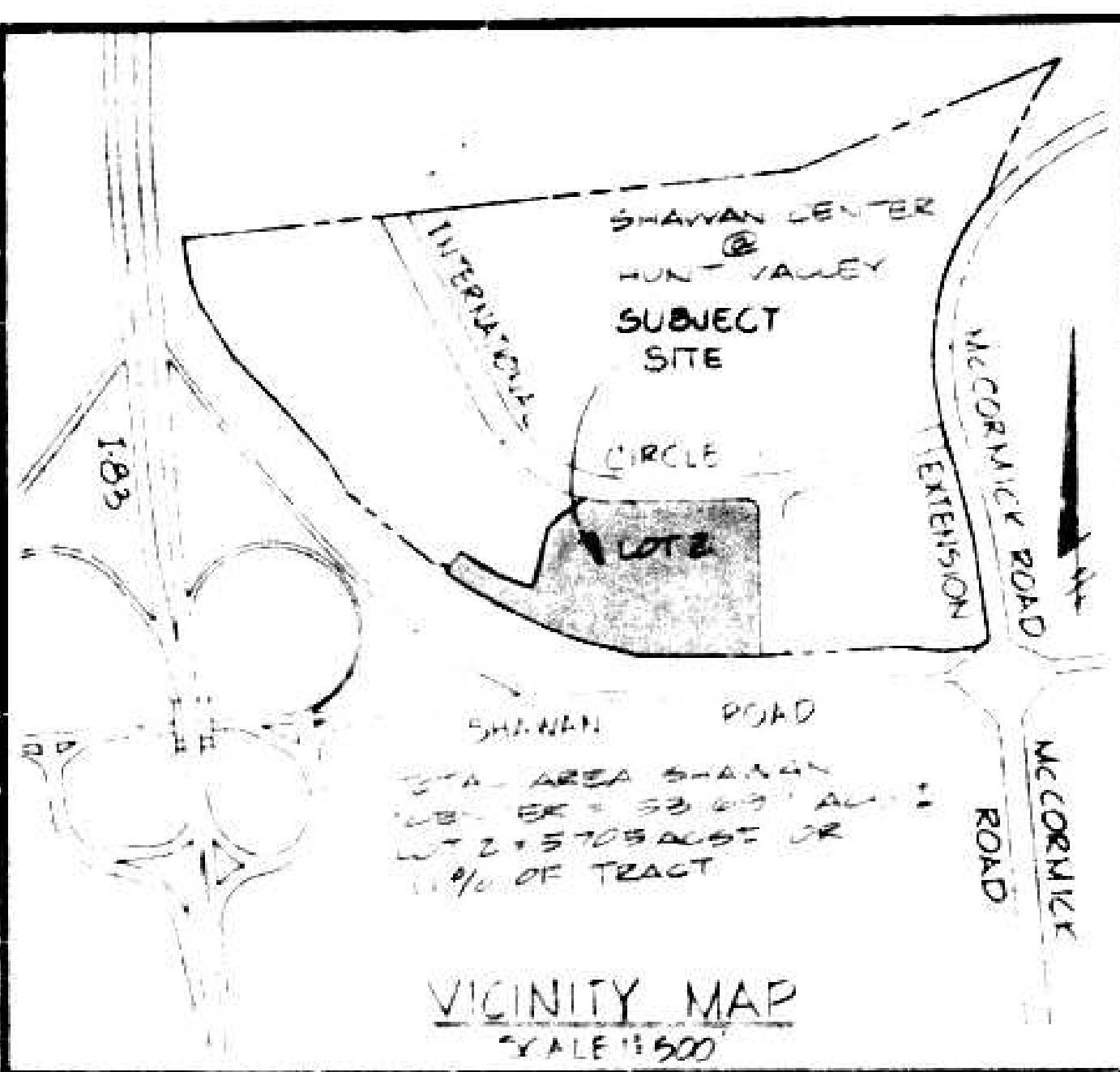
EXHIBIT 3

SHAWAN ROAD

INTERNATIONAL DRIVE

STATE R/W FOR EXPRESSWAY
SHA PLAT 44130

BEGIN



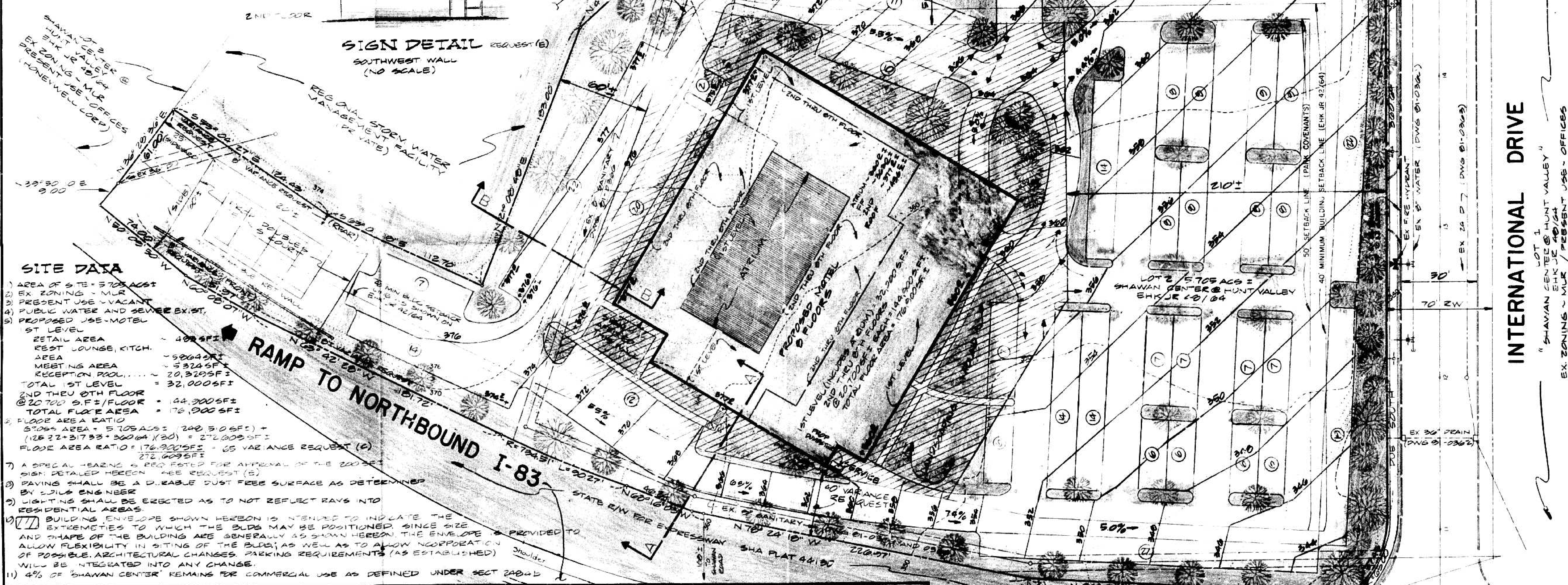
PARKING TABULATION:

RESTAURANT 2000 SF, LOUNGE 1500 SF, KITCHEN 2000 SF	110
TOTAL OF 5000 SF @ 1 SP/50 SF	100
MEETING ROOM 5324 SF @ OCCUPANCY 3 SEAT/35 SF = 355 SEATS	160
PARKING REQ'D @ 1 SP/6 SEATS	59
RETAIL SPACE 400 SF @ 1 SP/200 SF	2
SLEEPING ROOMS @ 1 SP/ROOM	275
TOTAL PARKING REQUIRED	406
TOTAL PARKING PROVIDED	357
SPACES 85' X 10' TYP, 24' ALLEYS	
INCLUDES 9 SPACES FOR THE HAND CAPPED (2' X 10' TYP)	

LOT 6 "SHAWAN CENTER @ HUNT VALLEY" EHK JE 40/64
EX ZONING - MLR / PERCENT USE - VACANT

LOT 7 "SHAWAN CENTER @ HUNT VALLEY" EHK JE 40/64
EX ZONING - MLR / PERCENT USE - VACANT

357 VARIANCE REQUESTED REQUEST (B)



- SITE DATA**
- 1) AREA OF SITE = 5705 ACRES
 - 2) EX ZONING - MLR
 - 3) PRESENT USE - VACANT
 - 4) PUBLIC WATER AND SEWER EXIST
 - 5) PROPOSED USE - MOTEL
 - 6) 1ST LEVEL
RETAIL AREA ~ 400 SF
REST LOUNGE, KITCH. ~ 5000 SF
MEETING AREA ~ 5324 SF
RECEPTION POOL ~ 20,329 SF
TOTAL 1ST LEVEL ~ 32,000 SF
2ND THRU 6TH FLOOR ~ 144,900 SF
TOTAL FLOOR AREA ~ 176,900 SF
 - 7) FLOOR AREA RATIO
5705 ACRES = 240,306 SF
(12.22 + 317.33 + 300.64) / 20 = 272.003 SF
FLOOR AREA RATIO = 176,900 SF / 65 VARIANCE REQUEST (C) = 272.003 SF
 - 8) A SPECIAL HEARING IS REQUIRED FOR APPROVAL OF THE 200 SF SIGN DETAILED HEREON - SEE REQUEST (B)
 - 9) PAVING SHALL BE A DRAINABLE DUST FREE SURFACE AS DETERMINED BY CIVIL ENGINEER
 - 10) LIGHTING SHALL BE ERRECTED AS TO NOT REFLECT RAYS INTO RESIDENTIAL AREAS
 - 11) BUILDING ENVELOPE SHOWN HEREON IS INTENDED TO INDICATE THE EXTREMITIES TO WHICH THE BLDGS MAY BE POSITIONED. SINCE SIZE AND SHAPE OF THE BUILDING ARE GENERALLY AS SHOWN HEREON, THE ENVELOPE IS PROVIDED TO ALLOW FLEXIBILITY IN SITING OF THE BLDGS, AS WELL AS TO ALLOW INCORPORATION OF POSSIBLE ARCHITECTURAL CHANGES. PARKING REQUIREMENTS (AS ESTABLISHED) WILL BE INTEGRATED INTO ANY CHANGE.
 - 12) 4% OF "SHAWAN CENTER" REMAINS FOR COMMERCIAL USE AS DEFINED UNDER SECT 240-4-5

- SUMMARY OF PETITION REQUESTS**
- (A) SPECIAL EXCEPTION TO ALLOW MOTEL IN AN MLR ZONE AS PER SECTION 240-4-5 (B) (2)
 - (B) A VARIANCE TO PERMIT 357 SPACES IN LIEU OF 406 AS REQUIRED BY SECTION 400-2 (B) (2)
 - (C) A VARIANCE TO PERMIT A FLOOR AREA OF 176,900 SF IN LIEU OF THE 144,900 SF LIMITATION AS PER SECTION 250-5 (B) (2)
 - (D) VARIANCE TO PERMIT A FRONT YARD SETBACK OF 20' TO PERMIT A REAR YARD OF 20' (SEE REQUEST (B) FOR DETAILS)
 - (E) A SPECIAL HEARING FOR APPROVAL OF 200 SF SIGN AS DETAILED ON THIS PLAN

CONTRACT PURCHASER AND PETITIONER

MIDDEXX HOSPITALITY INC.
800 MADISON AVENUE
NEW YORK, NEW YORK 10022
(212) 355-0200

ENGINEERS

GEORGE WILLIAM STEPHENS JR. AND ASSOCIATES INC.
303 ALLEGHENY AVE. TOWSON, MD. 21204
761-2050

STATE R/W FOR EXPRESSWAY
SHA PLAT 44130

SHAWAN ROAD

LOT 2 "SHAWAN CENTER @ HUNT VALLEY" EHK JE 40/64
EX ZONING - MLR / PERCENT USE - VACANT

LOT 3 "SHAWAN CENTER @ HUNT VALLEY" EHK JE 40/64
EX ZONING - MLR / PERCENT USE - VACANT

LOT 4 "SHAWAN CENTER @ HUNT VALLEY" EHK JE 40/64
EX ZONING - MLR / PERCENT USE - VACANT

LOT 5 "SHAWAN CENTER @ HUNT VALLEY" EHK JE 40/64
EX ZONING - MLR / PERCENT USE - VACANT

LOT 6 "SHAWAN CENTER @ HUNT VALLEY" EHK JE 40/64
EX ZONING - MLR / PERCENT USE - VACANT

LOT 7 "SHAWAN CENTER @ HUNT VALLEY" EHK JE 40/64
EX ZONING - MLR / PERCENT USE - VACANT

LOT 8 "SHAWAN CENTER @ HUNT VALLEY" EHK JE 40/64
EX ZONING - MLR / PERCENT USE - VACANT

LOT 9 "SHAWAN CENTER @ HUNT VALLEY" EHK JE 40/64
EX ZONING - MLR / PERCENT USE - VACANT

LOT 10 "SHAWAN CENTER @ HUNT VALLEY" EHK JE 40/64
EX ZONING - MLR / PERCENT USE - VACANT

LOT 11 "SHAWAN CENTER @ HUNT VALLEY" EHK JE 40/64
EX ZONING - MLR / PERCENT USE - VACANT

LOT 12 "SHAWAN CENTER @ HUNT VALLEY" EHK JE 40/64
EX ZONING - MLR / PERCENT USE - VACANT

LOT 13 "SHAWAN CENTER @ HUNT VALLEY" EHK JE 40/64
EX ZONING - MLR / PERCENT USE - VACANT

LOT 14 "SHAWAN CENTER @ HUNT VALLEY" EHK JE 40/64
EX ZONING - MLR / PERCENT USE - VACANT

LOT 15 "SHAWAN CENTER @ HUNT VALLEY" EHK JE 40/64
EX ZONING - MLR / PERCENT USE - VACANT

LOT 16 "SHAWAN CENTER @ HUNT VALLEY" EHK JE 40/64
EX ZONING - MLR / PERCENT USE - VACANT

LOT 17 "SHAWAN CENTER @ HUNT VALLEY" EHK JE 40/64
EX ZONING - MLR / PERCENT USE - VACANT

LOT 18 "SHAWAN CENTER @ HUNT VALLEY" EHK JE 40/64
EX ZONING - MLR / PERCENT USE - VACANT

LOT 19 "SHAWAN CENTER @ HUNT VALLEY" EHK JE 40/64
EX ZONING - MLR / PERCENT USE - VACANT

LOT 20 "SHAWAN CENTER @ HUNT VALLEY" EHK JE 40/64
EX ZONING - MLR / PERCENT USE - VACANT

LOT 21 "SHAWAN CENTER @ HUNT VALLEY" EHK JE 40/64
EX ZONING - MLR / PERCENT USE - VACANT

LOT 22 "SHAWAN CENTER @ HUNT VALLEY" EHK JE 40/64
EX ZONING - MLR / PERCENT USE - VACANT

LOT 23 "SHAWAN CENTER @ HUNT VALLEY" EHK JE 40/64
EX ZONING - MLR / PERCENT USE - VACANT

LOT 24 "SHAWAN CENTER @ HUNT VALLEY" EHK JE 40/64
EX ZONING - MLR / PERCENT USE - VACANT

LOT 25 "SHAWAN CENTER @ HUNT VALLEY" EHK JE 40/64
EX ZONING - MLR / PERCENT USE - VACANT

LOT 26 "SHAWAN CENTER @ HUNT VALLEY" EHK JE 40/64
EX ZONING - MLR / PERCENT USE - VACANT

LOT 27 "SHAWAN CENTER @ HUNT VALLEY" EHK JE 40/64
EX ZONING - MLR / PERCENT USE - VACANT

LOT 28 "SHAWAN CENTER @ HUNT VALLEY" EHK JE 40/64
EX ZONING - MLR / PERCENT USE - VACANT

LOT 29 "SHAWAN CENTER @ HUNT VALLEY" EHK JE 40/64
EX ZONING - MLR / PERCENT USE - VACANT

LOT 30 "SHAWAN CENTER @ HUNT VALLEY" EHK JE 40/64
EX ZONING - MLR / PERCENT USE - VACANT

LOT 31 "SHAWAN CENTER @ HUNT VALLEY" EHK JE 40/64
EX ZONING - MLR / PERCENT USE - VACANT

LOT 32 "SHAWAN CENTER @ HUNT VALLEY" EHK JE 40/64
EX ZONING - MLR / PERCENT USE - VACANT

LOT 33 "SHAWAN CENTER @ HUNT VALLEY" EHK JE 40/64
EX ZONING - MLR / PERCENT USE - VACANT

LOT 34 "SHAWAN CENTER @ HUNT VALLEY" EHK JE 40/64
EX ZONING - MLR / PERCENT USE - VACANT

LOT 35 "SHAWAN CENTER @ HUNT VALLEY" EHK JE 40/64
EX ZONING - MLR / PERCENT USE - VACANT

LOT 36 "SHAWAN CENTER @ HUNT VALLEY" EHK JE 40/64
EX ZONING - MLR / PERCENT USE - VACANT

LOT 37 "SHAWAN CENTER @ HUNT VALLEY" EHK JE 40/64
EX ZONING - MLR / PERCENT USE - VACANT

LOT 38 "SHAWAN CENTER @ HUNT VALLEY" EHK JE 40/64
EX ZONING - MLR / PERCENT USE - VACANT

LOT 39 "SHAWAN CENTER @ HUNT VALLEY" EHK JE 40/64
EX ZONING - MLR / PERCENT USE - VACANT

LOT 40 "SHAWAN CENTER @ HUNT VALLEY" EHK JE 40/64
EX ZONING - MLR / PERCENT USE - VACANT

LOT 41 "SHAWAN CENTER @ HUNT VALLEY" EHK JE 40/64
EX ZONING - MLR / PERCENT USE - VACANT

LOT 42 "SHAWAN CENTER @ HUNT VALLEY" EHK JE 40/64
EX ZONING - MLR / PERCENT USE - VACANT

LOT 43 "SHAWAN CENTER @ HUNT VALLEY" EHK JE 40/64
EX ZONING - MLR / PERCENT USE - VACANT

LOT 44 "SHAWAN CENTER @ HUNT VALLEY" EHK JE 40/64
EX ZONING - MLR / PERCENT USE - VACANT

LOT 45 "SHAWAN CENTER @ HUNT VALLEY" EHK JE 40/64
EX ZONING - MLR / PERCENT USE - VACANT

LOT 46 "SHAWAN CENTER @ HUNT VALLEY" EHK JE 40/64
EX ZONING - MLR / PERCENT USE - VACANT

LOT 47 "SHAWAN CENTER @ HUNT VALLEY" EHK JE 40/64
EX ZONING - MLR / PERCENT USE - VACANT

LOT 48 "SHAWAN CENTER @ HUNT VALLEY" EHK JE 40/64
EX ZONING - MLR / PERCENT USE - VACANT

LOT 49 "SHAWAN CENTER @ HUNT VALLEY" EHK JE 40/64
EX ZONING - MLR / PERCENT USE - VACANT

LOT 50 "SHAWAN CENTER @ HUNT VALLEY" EHK JE 40/64
EX ZONING - MLR / PERCENT USE - VACANT

LOT 51 "SHAWAN CENTER @ HUNT VALLEY" EHK JE 40/64
EX ZONING - MLR / PERCENT USE - VACANT

LOT 52 "SHAWAN CENTER @ HUNT VALLEY" EHK JE 40/64
EX ZONING - MLR / PERCENT USE - VACANT

LOT 53 "SHAWAN CENTER @ HUNT VALLEY" EHK JE 40/64
EX ZONING - MLR / PERCENT USE - VACANT

LOT 54 "SHAWAN CENTER @ HUNT VALLEY" EHK JE 40/64
EX ZONING - MLR / PERCENT USE - VACANT

LOT 55 "SHAWAN CENTER @ HUNT VALLEY" EHK JE 40/64
EX ZONING - MLR / PERCENT USE - VACANT

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LOT 58 "SHAWAN CENTER @ HUNT VALLEY" EHK JE 40/64
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LOT 59 "SHAWAN CENTER @ HUNT VALLEY" EHK JE 40/64
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LOT 60 "SHAWAN CENTER @ HUNT VALLEY" EHK JE 40/64
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LOT 61 "SHAWAN CENTER @ HUNT VALLEY" EHK JE 40/64
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LOT 63 "SHAWAN CENTER @ HUNT VALLEY" EHK JE 40/64
EX ZONING - MLR / PERCENT USE - VACANT

LOT 64 "SHAWAN CENTER @ HUNT VALLEY" EHK JE 40/64
EX ZONING - MLR / PERCENT USE - VACANT

LOT 65 "SHAWAN CENTER @ HUNT VALLEY" EHK JE 40/64
EX ZONING - MLR / PERCENT USE - VACANT

LOT 66 "SHAWAN CENTER @ HUNT VALLEY" EHK JE 40/64
EX ZONING - MLR / PERCENT USE - VACANT

LOT 67 "SHAWAN CENTER @ HUNT VALLEY" EHK JE 40/64
EX ZONING - MLR / PERCENT USE - VACANT

LOT 68 "SHAWAN CENTER @ HUNT VALLEY" EHK JE 40/64
EX ZONING - MLR / PERCENT USE - VACANT

LOT 69 "SHAWAN CENTER @ HUNT VALLEY" EHK JE 40/64
EX ZONING - MLR / PERCENT USE - VACANT

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LOT 72 "SHAWAN CENTER @ HUNT VALLEY" EHK JE 40/64
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LOT 73 "SHAWAN CENTER @ HUNT VALLEY" EHK JE 40/64
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LOT 74 "SHAWAN CENTER @ HUNT VALLEY" EHK JE 40/64
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LOT 85 "SHAWAN CENTER @ HUNT VALLEY" EHK JE 40/64
EX ZONING - MLR / PERCENT USE - VACANT

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EX ZONING - MLR / PERCENT USE - VACANT

LOT 87 "SHAWAN CENTER @ HUNT VALLEY" EHK JE 40/64
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LOT 88 "SHAWAN CENTER @ HUNT VALLEY" EHK JE 40/64
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LOT 89 "SHAWAN CENTER @ HUNT VALLEY" EHK JE 40/64
EX ZONING - MLR / PERCENT USE - VACANT

LOT 90 "SHAWAN CENTER @ HUNT VALLEY" EHK JE 40/64
EX ZONING - MLR / PERCENT USE - VACANT

LOT 91 "SHAWAN CENTER @ HUNT VALLEY" EHK JE 40/64
EX ZONING - MLR / PERCENT USE - VACANT

LOT 92 "SHAWAN CENTER @ HUNT VALLEY" EHK JE 40/64
EX ZONING - MLR / PERCENT USE - VACANT

LOT 93 "SHAWAN CENTER @ HUNT VALLEY" EHK JE 40/64
EX ZONING - MLR / PERCENT USE - VACANT

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EX ZONING - MLR / PERCENT USE - VACANT

LOT 95 "SHAWAN CENTER @ HUNT VALLEY" EHK JE 40/64
EX ZONING - MLR / PERCENT USE - VACANT

LOT 96 "SHAWAN CENTER @ HUNT VALLEY" EHK JE 40/64
EX ZONING - MLR / PERCENT USE - VACANT

LOT 97 "SHAWAN CENTER @ HUNT VALLEY" EHK JE 40/64
EX ZONING - MLR / PERCENT USE - VACANT

LOT 98 "SHAWAN CENTER @ HUNT VALLEY" EHK JE 40/64
EX ZONING - MLR / PERCENT USE - VACANT

LOT 99 "SHAWAN CENTER @ HUNT VALLEY" EHK JE 40/64
EX ZONING - MLR / PERCENT USE - VACANT

LOT 100 "SHAWAN CENTER @ HUNT VALLEY" EHK JE 40/64
EX ZONING - MLR / PERCENT USE - VACANT

PLAT TO ACCOMPANY ZONING PETITION REQUESTS FOR:

SPECIAL EXCEPTION FOR MOTEL IN A MLR ZONE

VARIANCE OF PARKING REQUIREMENTS

VARIANCE OF FLOOR AREA RATIO

VARIANCE OF SETBACKS

AND A

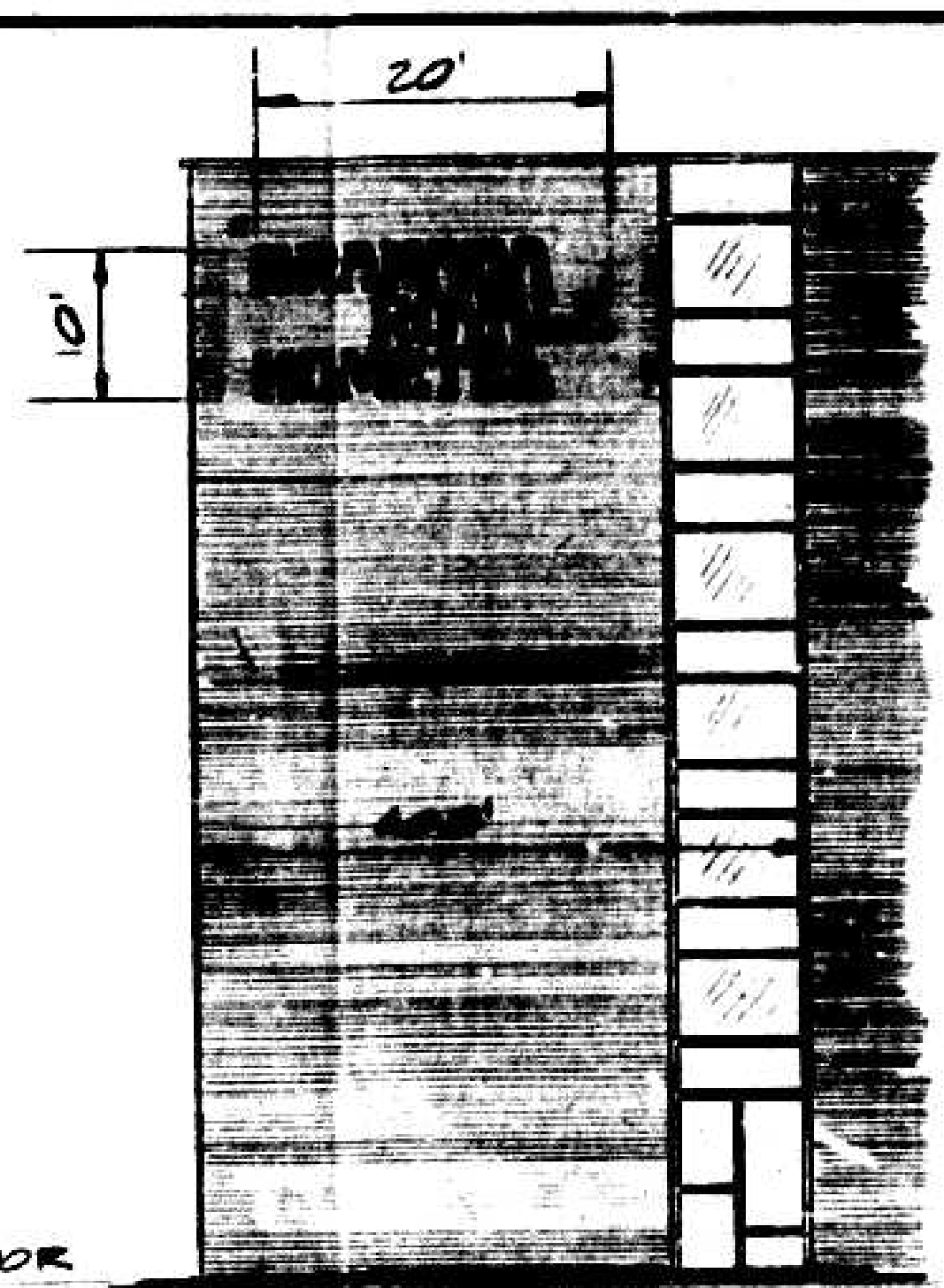
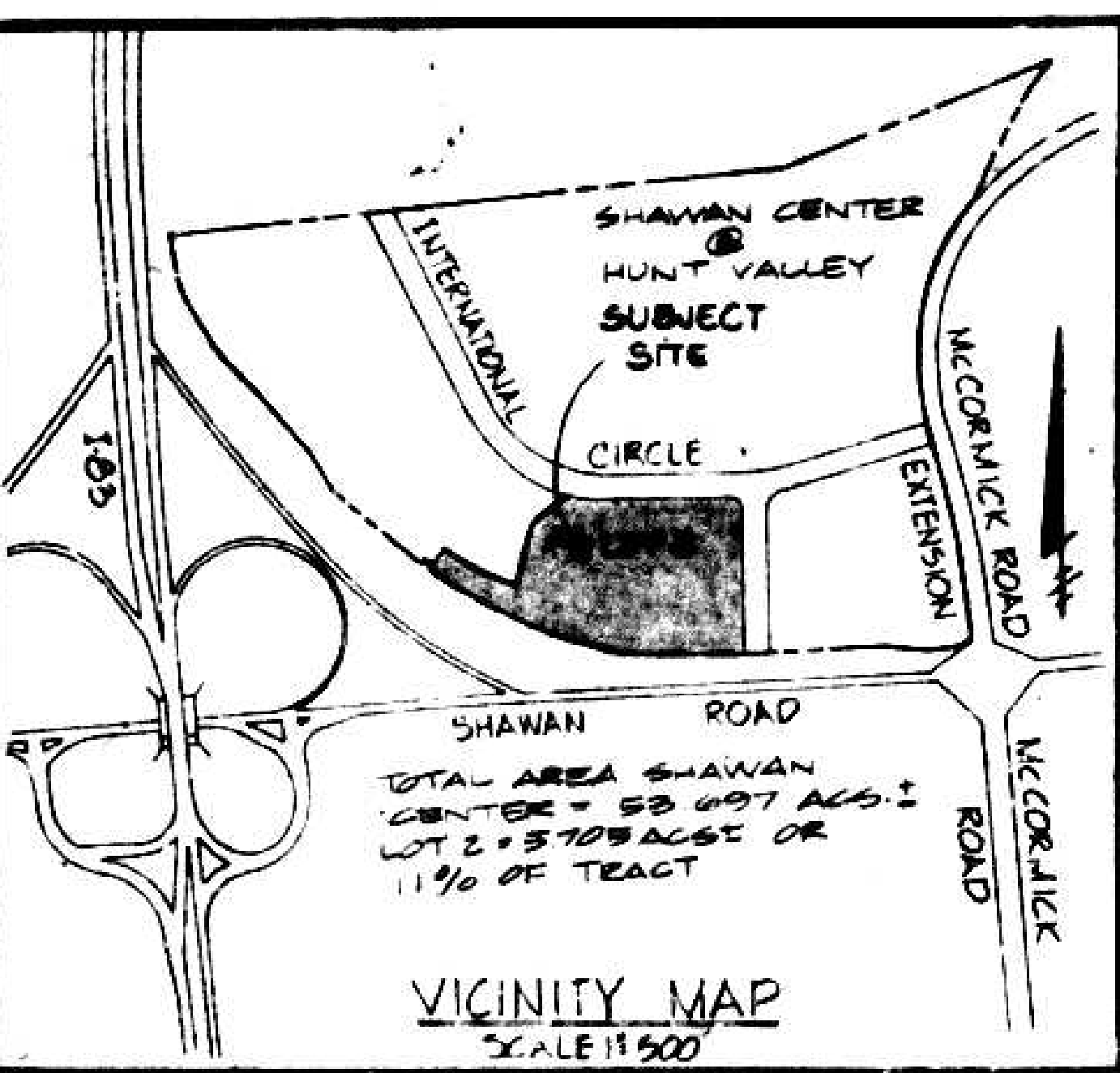
SPECIAL HEARING FOR A SIGN IN A MLR SITE DEVELOPMENT

LOT 2
"SHAWAN CENTER @ HUNT VALLEY"

ELECT DISTRICT NO. 00
DECEMBER 1, 1992

REV. JAN 11, 1993
PER ZAC COMMENTS

BALTO CO. MD
SCALE 1"=30'



PARKING TABULATION:

RESTAURANT 2000 SF, LOUNGE 1000 SF, KITCHEN 2000 SF	110
TOTAL OF 5000 SF @ 100/500 SF	110
MEETING ROOM 5524 SF / OCCUPANCY 1 SEAT/100 SF	55
PARKING REQ'D @ 100/500 SF	165
RETAIL SPACE 400 SF @ 100/200 SF	20
SLEEPING ROOMS @ 100/100 SF	215
TOTAL PARKING REQUIRED	405
TOTAL PARKING PROVIDED	405
SPACES 8' X 10' TYP. 24' ALLEYS	
INCLUDES 9 SPACES FOR THE HANDICAPPED (12' X 10' TYP.)	

LOT 6 "SHAWAN CENTER @ HUNT VALLEY"
SHK JE. 10/84
EX. ZONING - MLR / PRESENT USE - VACANT

LOT 7

INTERNATIONAL CIRCLE

SIGN DETAIL REQUEST (E)
SOUTHWEST WALL (NO SCALE)

SITE DATA

- 1) AREA OF SITE = 5.705 AC. ±
- 2) EX. ZONING - MLR
- 3) PRESENT USE - VACANT
- 4) PUBLIC WATER AND SEWER EXIST.
- 5) PROPOSED USE - MOTEL

1ST LEVEL

RETAIL AREA
REST., LOUNGE, KITCH.
AREA
MEETING AREA
RECEPTION, POOL, ...
TOTAL 1ST LEVEL
2ND THRU 6TH FLOOR
20,700 S.F. ± / FLOOR = 144,900 S.F. ±
TOTAL FLOOR AREA = 176,900 S.F. ±

FLOOR AREA RATIO
5.705 AC. ± = 240,510 S.F. ±
(128,524 S.F. ± + 56,064 S.F. ±) = 272,000 S.F. ±
FLOOR AREA RATIO = 176,900 S.F. ± = 65 VARIANCE REQUEST (C)
272,000 S.F. ±

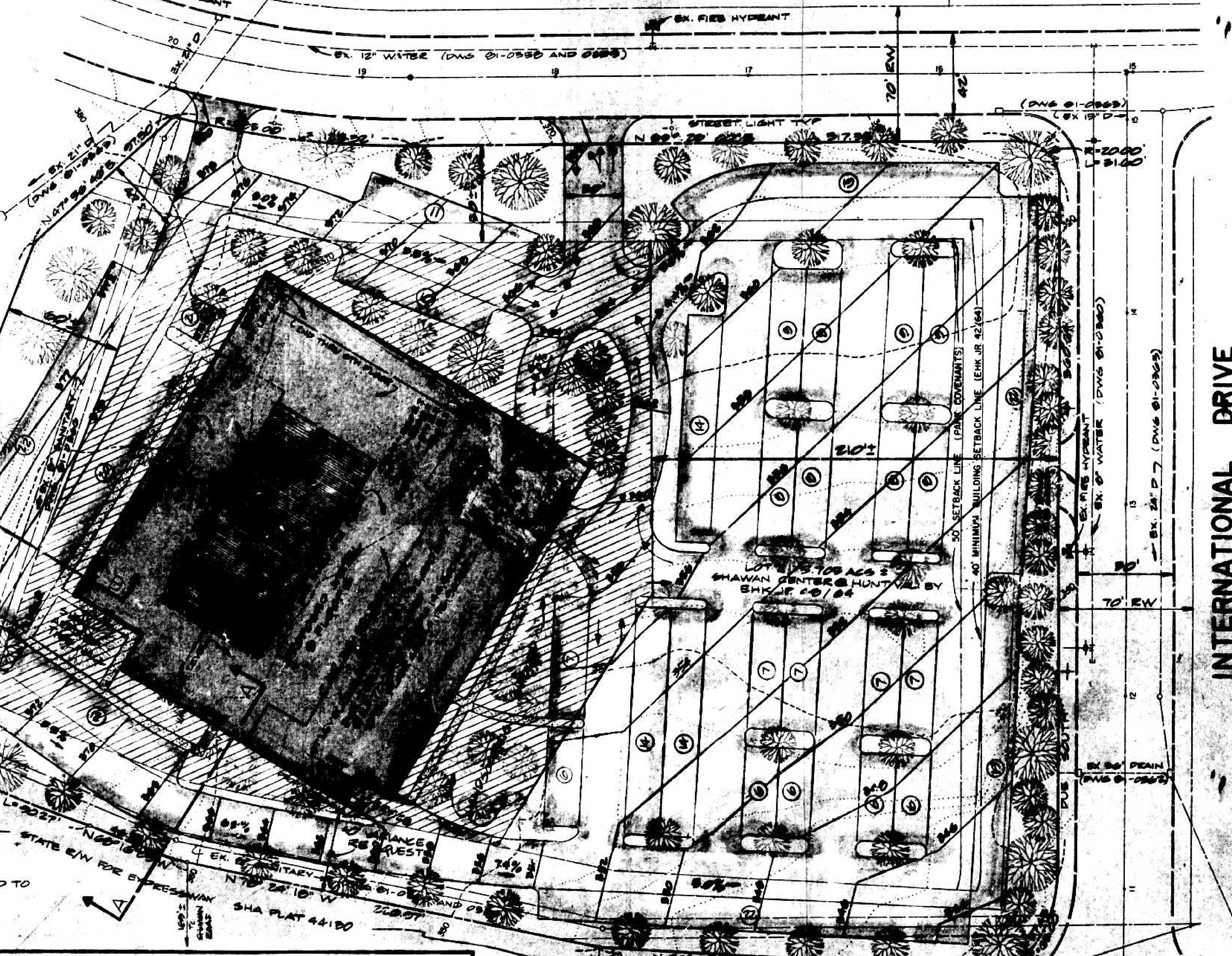
7) A SPECIAL HEARING IS REQUESTED FOR APPROVAL OF THE 200 SF ± SIGN DETAILED HEREON. SEE REQUEST (E)

8) PAVING SHALL BE A DURABLE, DUST FREE SURFACE AS DETERMINED BY SOILS ENGINEER.

9) LIGHTING SHALL BE ERRECTED AS TO NOT REFLECT RAYS INTO RESIDENTIAL AREAS.

10) BUILDING ENVELOPE SHOWN HEREON IS INTENDED TO INDICATE THE EXTREMITIES TO WHICH THE BLDG MAY BE POSITIONED. SINCE SIZE AND SHAPE OF THE BUILDING ARE GENERALLY AS SHOWN HEREON, THE ENVELOPE IS PROVIDED TO ALLOW FLEXIBILITY IN SITING OF THE BLDG, AS WELL AS, TO ALLOW INCORPORATION OF POSSIBLE ARCHITECTURAL CHANGES. PARKING REQUIREMENTS (AS ESTABLISHED) WILL BE INTEGRATED INTO ANY CHANGES.

11) 4% OF "SHAWAN CENTER" REMAINS FOR COMMERCIAL USE AS DEFINED UNDER SECT. 240.5



PLAT TO ACCOMPANY ZONING PETITION REQUESTS FOR:

SPECIAL EXCEPTION FOR MOTEL IN A MLR ZONE

VARIANCE OF PARKING REQUIREMENTS

VARIANCE OF FLOOR AREA RATIO

VARIANCE OF SETBACKS

AND A

SPECIAL HEARING FOR A SIGN IN A MLR SITE DEVELOPMENT

LOT 2

"SHAWAN CENTER @ HUNT VALLEY"

BLD TO GO, MD
SCALE: 1"=50'

SUBJECT DISTRICT NO. 8
DECEMBER 1, 1992
REV. JAN 11, 1993
FOR SAG COMMENTS

SUMMARY OF PETITION REQUESTS

- (A) SPECIAL EXCEPTION TO ALLOW MOTEL IN AN EX. MLR ZONE AS PER SECTION 240.4 (B) (C) (R)
- (B) A VARIANCE TO PERMIT 857 SPACES IN LIEU OF 406 AS REQUIRED BY SECTION 405.2 (B) (C) (R)
- (C) A VARIANCE TO PERMIT A FLOOR AREA OF 0.65 IN LIEU OF THE 0.50 LIMITATION AS PER SECTION 230.5 (B) (C) (R)
- (D) VARIANCE OF SETBACKS (TENNIS COURT) TO PERMIT A FRONT YARD OF 0' IN LIEU OF THE REQ 30' (SECT. 230.1), TO PERMIT A REAR YARD OF 0' IN LIEU OF THE REQ 40' (SECT. 230.3), AND TO PERMIT A SIDE YARD OF 75' IN LIEU OF REQ 30' (SECT. 230.2) VARIANCE OF SETBACKS (PROP BLDG) TO PERMIT A SIDE YARD OF 40' IN LIEU OF THE REQ REQ 50' (SECT. 230.2)
- (E) A SPECIAL HEARING FOR APPROVAL OF 200 SF ± SIGN AS DETAILED ON THIS PLAT.

CONTRACT PURCHASER AND PETITIONER

MIDDESEX HOSPITALITY, INC.
600 MADISON AVENUE
NEW YORK, NEW YORK 10022
(212) 358-0200

ENGINEERS

GEORGE WILLIAM STEPHENS JR. AND ASSOCIATES INC.
363 ALLEGHENY AVE. TOWSON, MD. 21204
(301) 825-0120

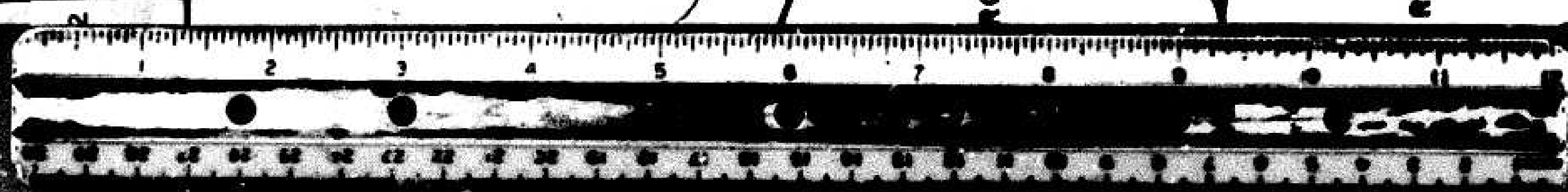
STATE R/W FOR EXPRESSWAY
SHA PLAT 44-180

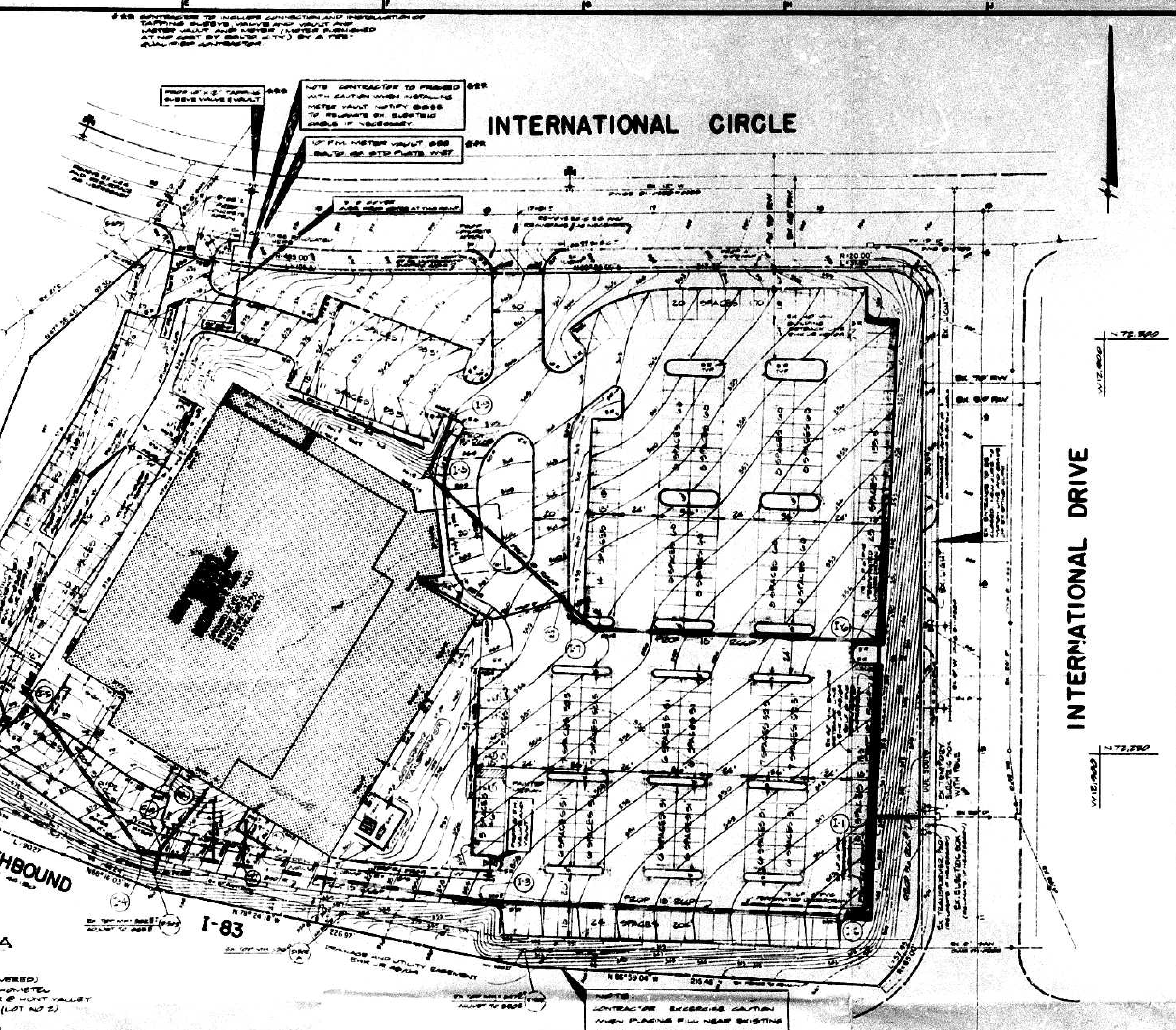
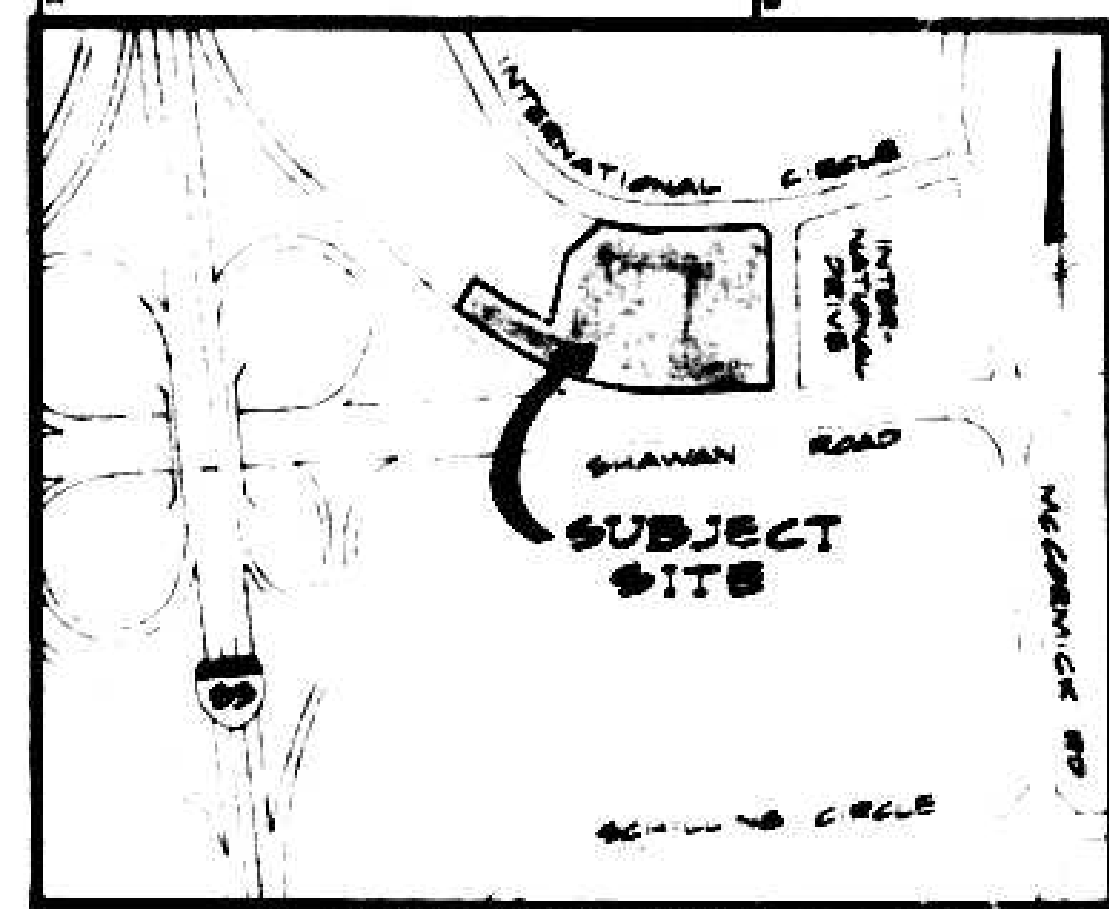
SHAWAN ROAD

INTERNATIONAL DRIVE

PI & S OF SHAWAN ROAD & INTERNATIONAL DRIVE

LOT 1 "SHAWAN CENTER @ HUNT VALLEY"
SHK JE. 10/84
EX. ZONING - MLR / PRESENT USE - OFFICES

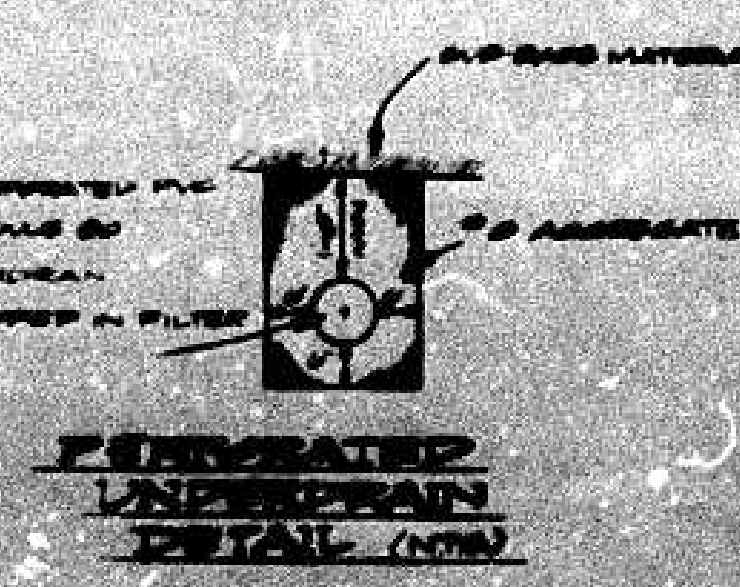
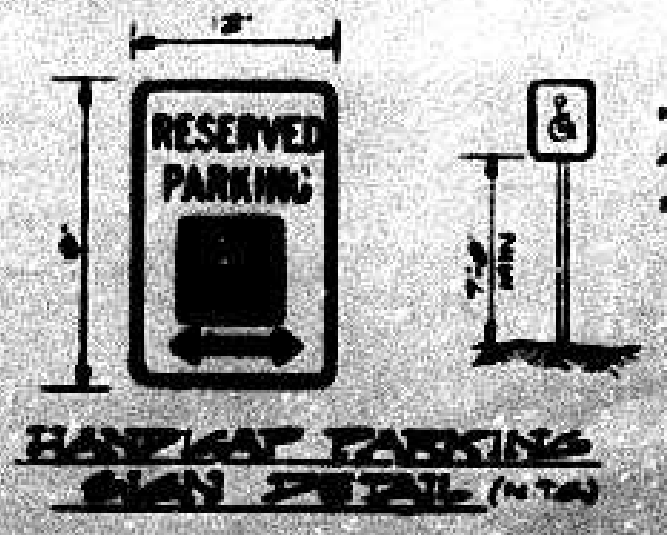
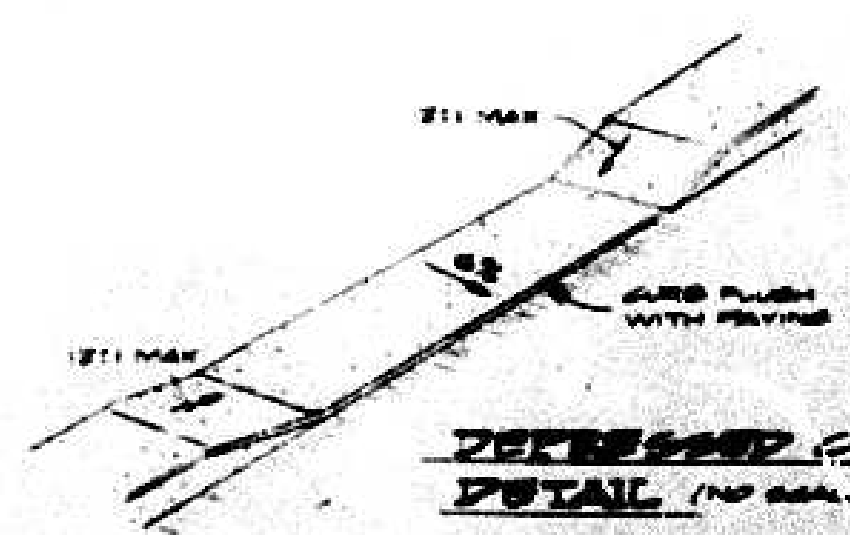




- ### GENERAL NOTES
- THE CONTRACTOR SHALL VERIFY THE PROJECT LOCATION AND DETERMINE IF ANY EXISTING UTILITIES ARE TO BE REMOVED OR RELOCATED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
 - ALL UTILITIES SHALL BE DEEPENED TO A MINIMUM DEPTH OF 48 INCHES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
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SITE DATA

AREA OF SITE	3.702 ACRES
EXISTING UTILITIES	SEE PLAN
PROPOSED USE	GRANADA ROYALE HOMOTEL
PLAT REFERENCE	SHAWAN CENTER @ HUNT VALLEY, MD. JR. 40/04 (LOT NO. 2)
PARKING TABULATION	
RESTAURANT, LOUNGE AND KITCHEN	110 SPACES
ROOMS	100 SPACES
NESTING	100 SPACES
AREA OF 1 OCCUPANCY (100/100)	100 SPACES
100 SEATS @ 100/100 SEAT	100 SPACES
TOTAL SPACE	100 SPACES
100 SEATS @ 100/100 SEAT	100 SPACES
100 SEATS @ 100/100 SEAT	100 SPACES
TOTAL PARKING REQUIRED	400 SPACES
TOTAL PARKING PROVIDED	357 SPACES
SEE GENERAL NOTE 10	
PARKING SPACES @ 100/100 TYP.	
HANDICAP PARKING SPACES (5 PROVIDED, 12 REQUIRED)	



- ### LEGEND
- PROPOSED CONTOURS
 - EXISTING CONTOURS
 - PROPOSED CONCRETE
 - PROPOSED PAVING
 - PROPOSED BUILDING
 - PROPOSED RETAINING WALL
 - PROPOSED STORM DRAINS
 - EXISTING STORM DRAINS
 - PROPOSED WATER
 - EXISTING WATER
 - PROPOSED SAN. SEWER
 - EXISTING SAN. SEWER
 - PROPOSED HANDICAP PARKING
 - EXISTING LIGHT
 - EXISTING CURB
 - PROPOSED CURB AND GUTTER
 - PROPOSED CURB AND GUTTER

ENGINEER:
GEORGE WILLIAM STEPHENS, JR.
AND ASSOCIATES INCORPORATED
305 ALLEGHENY AVENUE
TOWSON, MARYLAND
301-925-8120

OWNER:
MIDDEX HOSPITALITY INC.
800 MADISON AVENUE
NEW YORK, NEW YORK 10022
212-366-6200

Revision	No.	Date	By

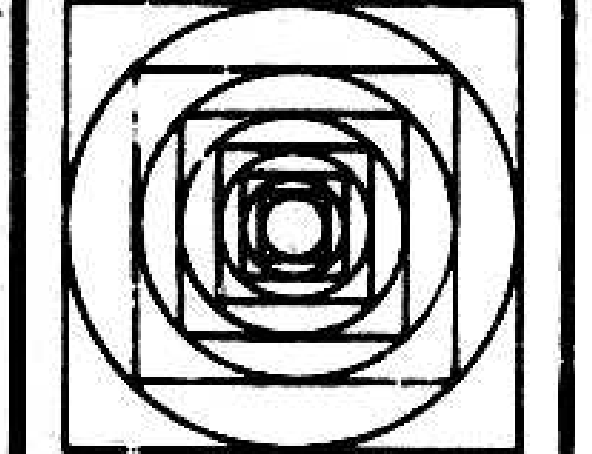
George W. Stephens & Assoc., Inc.
Consulting Civil Engineers
305 Allegheny Avenue
Towson, Maryland 21204
301/925-8120

Wesley D. Stephens
Consulting Civil Engineers
9099 Calhoun Road
Calhoun, Maryland 20717
301/796-0935

Legal and Notarized
Consulting Engineers
2125 Maryland Avenue
Baltimore, Maryland 21210
301/897-1995

Blair Cohen Perini
Consulting Engineers
2122 South Charles Street
Baltimore, Maryland 21218
301/564-0544

Meyers and D'Alco, Inc.
Architects and Planners
100 Water Street, Baltimore, MD 21202



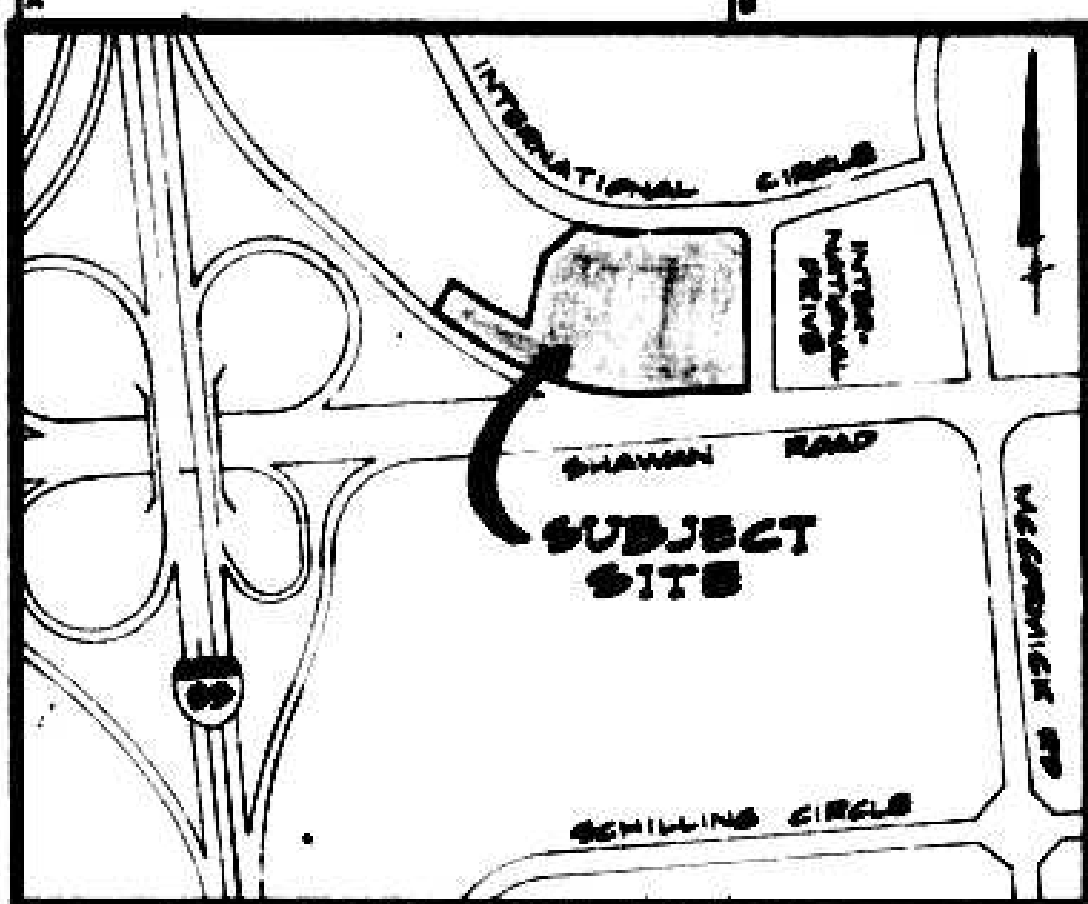
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DESIGN: JEM/TC
CHECK: JEM

GRANADA ROYALE HOMOTEL

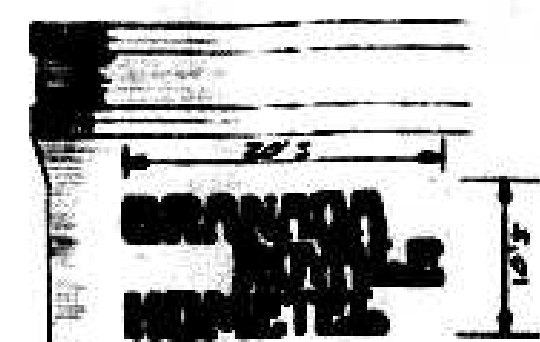
HUNT VALLEY, MARYLAND

SITE DEVELOPMENT PLAN

SEP 23, 1983



LOCATION MAP
SCALE: 1"=50'



SIGN DETAIL
(N.T.S.)
SIGN AFFIXED TO SOUTHWEST
BUILDING WALL AS SHOWN
SHOWN BY CASE 89-178-XSPHA

PLANS APPROVED
OFFICE OF PLANNING & ZONING
BY: [Signature]
DATE: 1/11/84
BY: [Signature]
DATE: 1/11/84
C-065-04

GENERAL NOTES

- (1) THE CONTRACTOR SHALL INSPECT THE PROJECT TO DETERMINE IF ANY TREES, EX. PAVING STRUCTURES, ETC. ARE TO BE REMOVED PRIOR TO PLACING A BID ON SUCH ITEMS.
- (2) THE CONTRACTOR SHALL CLEAR THE PROJECT SITE OF ALL TREES, EX. PAVING STRUCTURES, ETC. THAT MAY INTERFERE WITH NEW CONSTRUCTION.
- (3) SUITABLE MATERIAL SHALL BE USED AS FILL AND ALL FILL SHALL BE RAISED TO A MINIMUM DEGREE OF COMPACTION OF 95% OF THE DRY UNIT WEIGHT AS DETERMINED BY ASSHES TESTS. THE LOCATION OF EXISTING UTILITIES AS SHOWN ON THIS PLAN ARE APPROXIMATE ONLY. THE CONTRACTOR SHALL LOCATE AND IDENTIFY ALL UTILITIES TO HIS OWN SATISFACTION PRIOR TO BEGINNING CONSTRUCTION.
- (4) ALL CONSTRUCTION ON THIS SITE SHALL BE IN ACCORDANCE WITH BALTIMORE COUNTY STANDARD SPECIFICATIONS AND PLANNING CODES.
- (5) ALL DISTURBED AREAS NOT BEING PAVED OR RECEIVING FULL COVERAGE SHALL BE STABILIZED IN ACCORDANCE WITH THE APPROVED EROSION CONTROL PLAN (SEE ALSO DIVISION II OF THE SPECIFICATIONS).
- (6) PAVING SECTION TO BE AS SHOWN IN SOIL ENGINEERING REPORT. (SEE) DAMAGE TO EXISTING RIGHTS OF WAY, PUBLIC ROADS OR ADJACENT PROPERTIES SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE.
- (7) THE CONTRACTOR IS TO MAINTAIN A TWO FOOT MINIMUM BENCH BEHIND ALL EXISTING CURBS AND OUTLET IN FILL AREAS.
- (8) THE CONTRACTOR SHALL NOTIFY THE GAS AND ELECTRIC COMPANY AND T.E.C. & T.E.C. COMPANY FIVE DAYS PRIOR TO BEGINNING WORK SHOWN ON THESE PLANS BY CALLING COLLECT AREA UTILITY AT 1-800-0100.
- (9) FOR DETAILS OF RAMP AND SIGN SEE THE HANDSHEPPED SEE THE MARYLAND BUILDING CODE FOR THE HANDSHEPPED AND ALSO PROPOSED WATER SHALL HAVE A MINIMUM COVER UNLESS OTHERWISE NOTED.
- (10) STORMWATER MANAGEMENT FOR THIS SITE AND ALL SHAWAN CENTER HAS BEEN PROVIDED. SEE APPROVED SWMM PLAN 104-1062-01.
- (11) REFERENCE IS DIRECTED TO ZONING CASE 89-178-XSPHA WHICH GRANTED A MOTEL AS A SPECIAL EXCEPTION IN AN MUE ZONE, PERMITTED A 45 FOOT SIDEYARD FOR THE PROPOSED BLDG., PERMITTED A FLOOR AREA RATIO OF 1.00, GRANTED A VARIANCE TO PERMIT 807 PARKING SPACES IN LIEU OF THE REQUIRED 800, AND PERMITTED A 24' OF BUSINESS SIGN.

SITE DATA

AREA OF SITE - 1.00 ACRES
EXISTING ZONING - MUE
PRESENT USE - VACANT (GRASS COVERED)
PROPOSED USE - GRANADA ROYALE HOMETEL
PLAT REFERENCE - "SHAWAN CENTER & HUNT VALLEY"
BLK JR 40/64 (LOT NO 2)

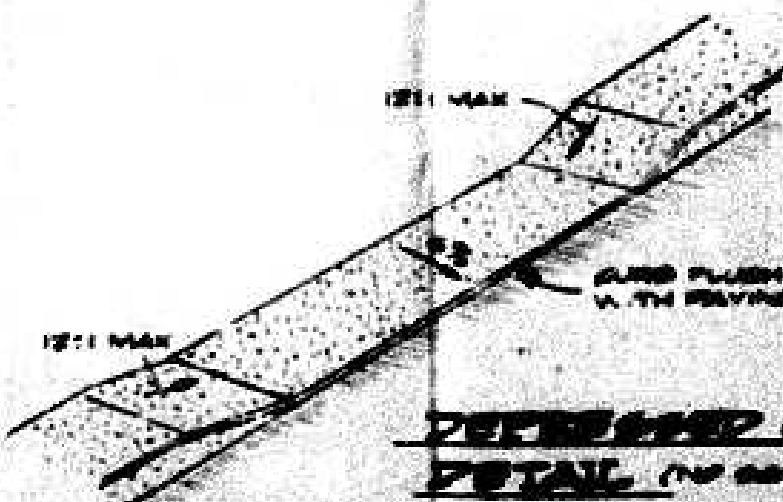
PARKING TABULATION:
RESTAURANT, LOUNGE, AND KITCHEN
8000 SF @ 100/100 SF = 110 SPS
MEETING ROOMS
8000 SF @ 100/100 SF = 60 SPS
RETAIL SPACE
4000 SF @ 100/100 SF = 50 SPS
SLEEPING ROOMS
220 ROOMS @ 100/100 SF = 220 SPS
TOTAL PARKING REQUIRED = 440 SPS
TOTAL PARKING PROVIDED = 807 SPS

GENERAL NOTE IS
PARKING SPACES 8' X 10' TYP.
HANDICAP PARKING SPS. (6 PROVIDED) 12' X 10'

ENGINEER:
GEORGE WILLIAM STEPHENS, JR.
AND ASSOCIATES INCORPORATED
303 ALLEGHENY AVENUE
TOWSON, MARYLAND
301-825-8120

OWNER
MIDDEK HOSPITALITY INC.
800 MADISON AVENUE
NEW YORK, NEW YORK 10022
212 365-0200

HANDICAP PARKING
SIGN DETAIL (N.T.S.)



NOTE: 1. AND SIGN FOR THE SIGN
APPROVED TO PROVIDE THIS
SIGN IS EQUIVALENT

2. PROPOSED THE
SCHEDULE IN
UNDERGROUND
WEATHERED IN FILTER
SOUTH

PERMANENT
UNDERGROUND
DETAIL (N.T.S.)

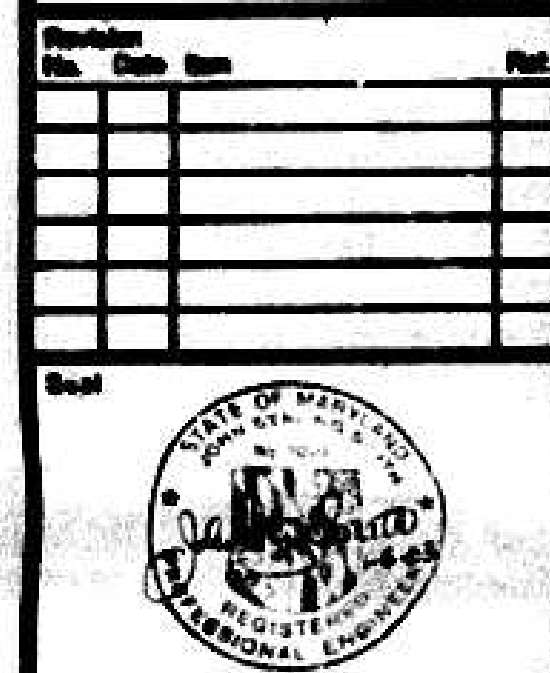
INTERNATIONAL CIRCLE

INTERNATIONAL DRIVE

SHAWAN ROAD

LEGEND

- PROPOSED COUNTRIES
- EXISTING COUNTRIES
- PROPOSED COLLECTS
- PROPOSED PAVING
- PROPOSED BUILDING
- PROPOSED RETAINING WALL
- PROPOSED OPEN DRAINS
- EXISTING OPEN DRAINS
- PROPOSED WATER
- EXISTING WATER
- PROPOSED SANITARY
- EXISTING SANITARY
- PROPOSED HANDICAP PARKING
- EXISTING LIGHT
- EXISTING CURB
- PROPOSED AND EXISTING
- PROPOSED DRIVE AND EXISTING



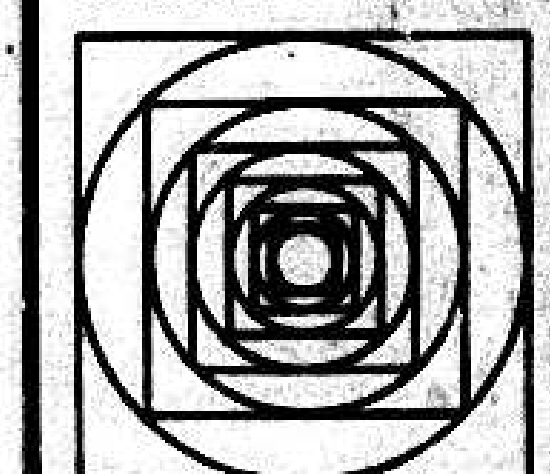
George W. Stephens & Assoc., Inc.
Consulting Civil Engineers
303 Allegheny Avenue
P.O. Box 6820
Towson, Maryland 21204
301/825-8120

David L. Stephens
Consulting Professional Engineer
4089 Gaither Road
Calverton, Maryland 20747
301/250-0951

Slings and Lathford
Consulting Mech./Elec. Engineers
2125 Maryland Avenue
Baltimore, Maryland 21218
301/971-1971

Walter G. Farnham
Consulting Landscape Architect
2222 North Charles Street
Baltimore, Maryland 21218
301/566-0566

Meyers and D'Alto, Inc.
Architects and Planners
100 West Street, Baltimore, MD 21201



DRAWN: JEM/RAB
DESIGN: JEM/T.E.
CHECK: J.C.C.

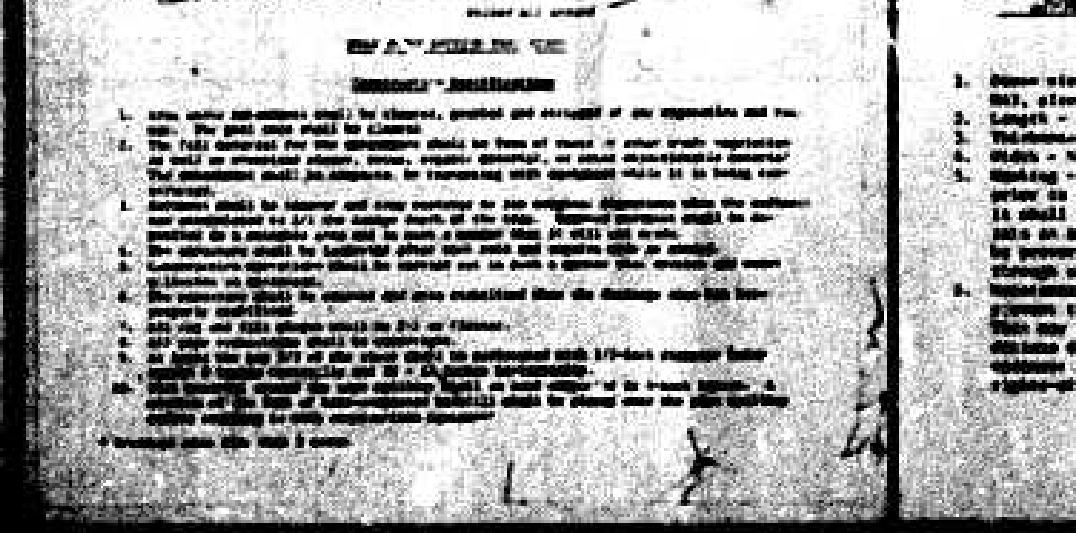
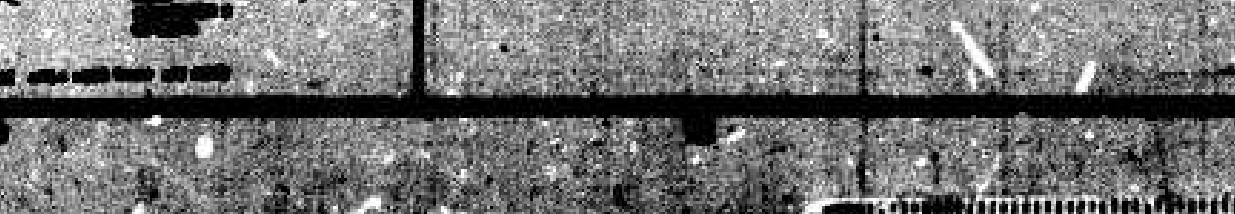
GRANADA
ROYALE
HOMETEL

HUNT VALLEY, MARYLAND

SITE
DEVELOPMENT
PLAN

Scale: 1"=50' (Horizontal)
1"=20' (Vertical)

SDP 1

[illegible]

NAME James M. Smith
 TITLE Director, E. O. 12812

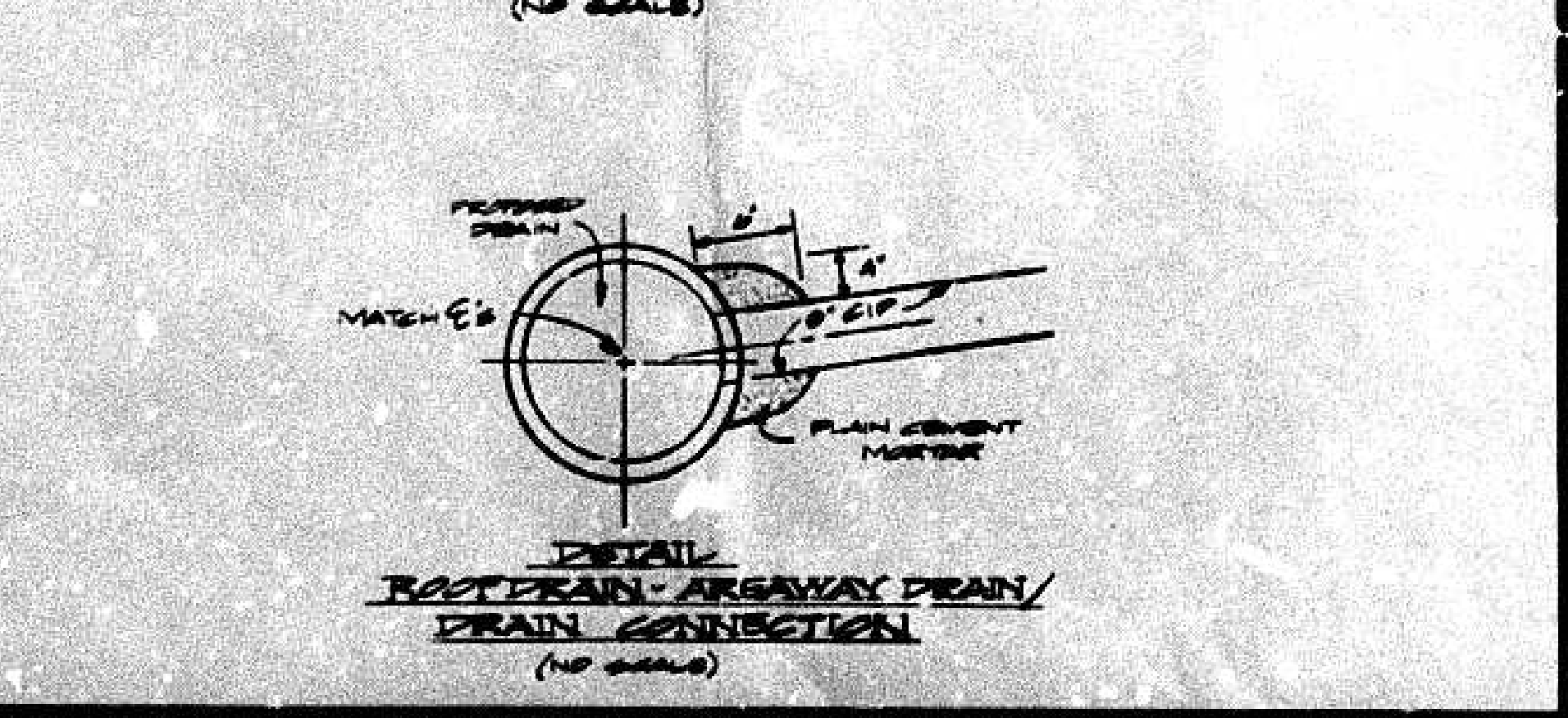
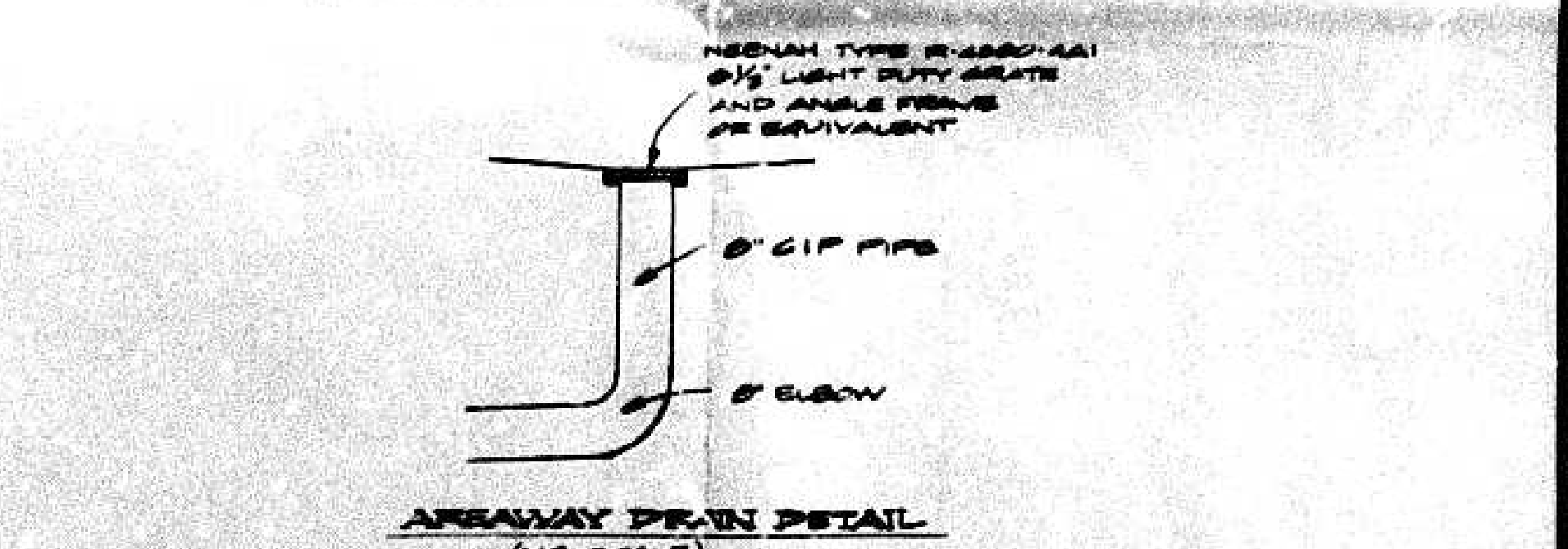
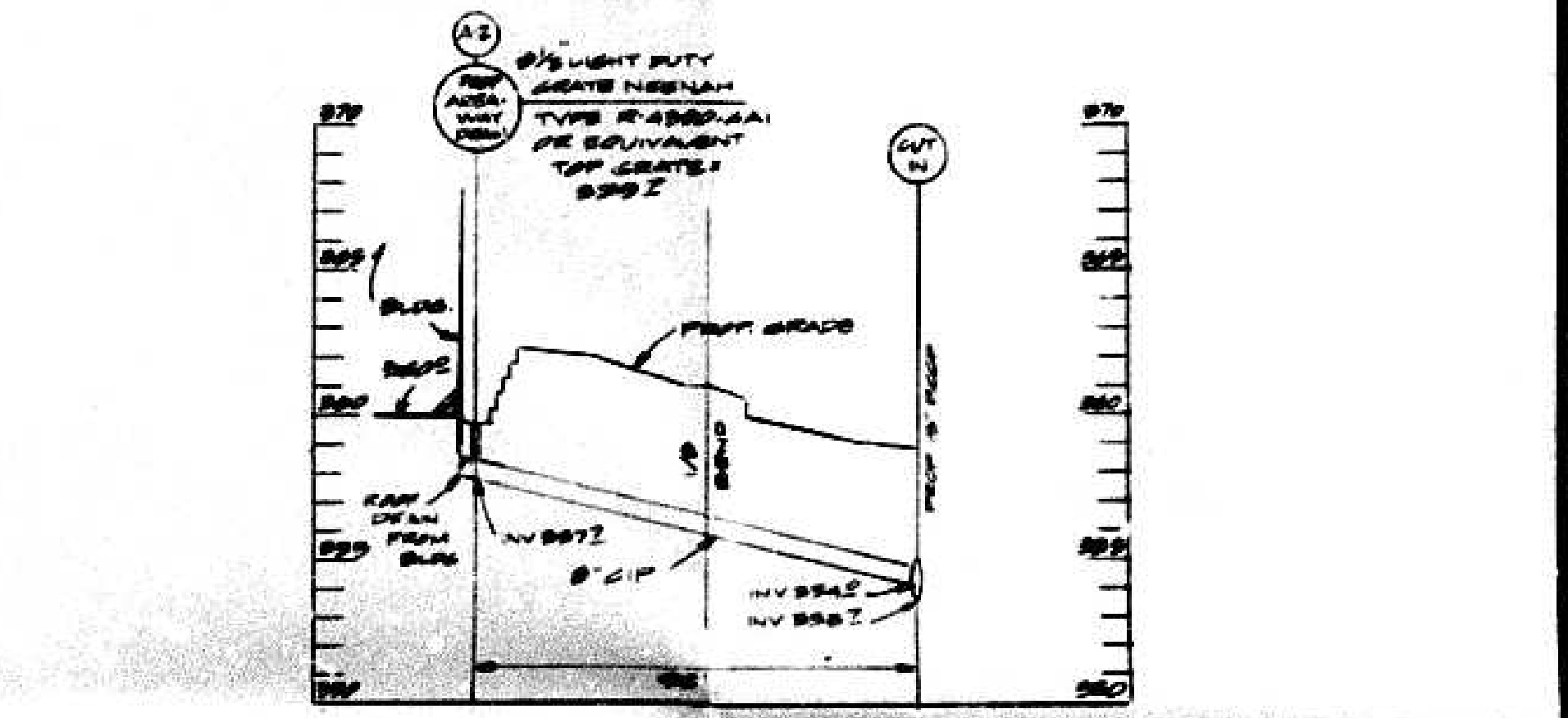
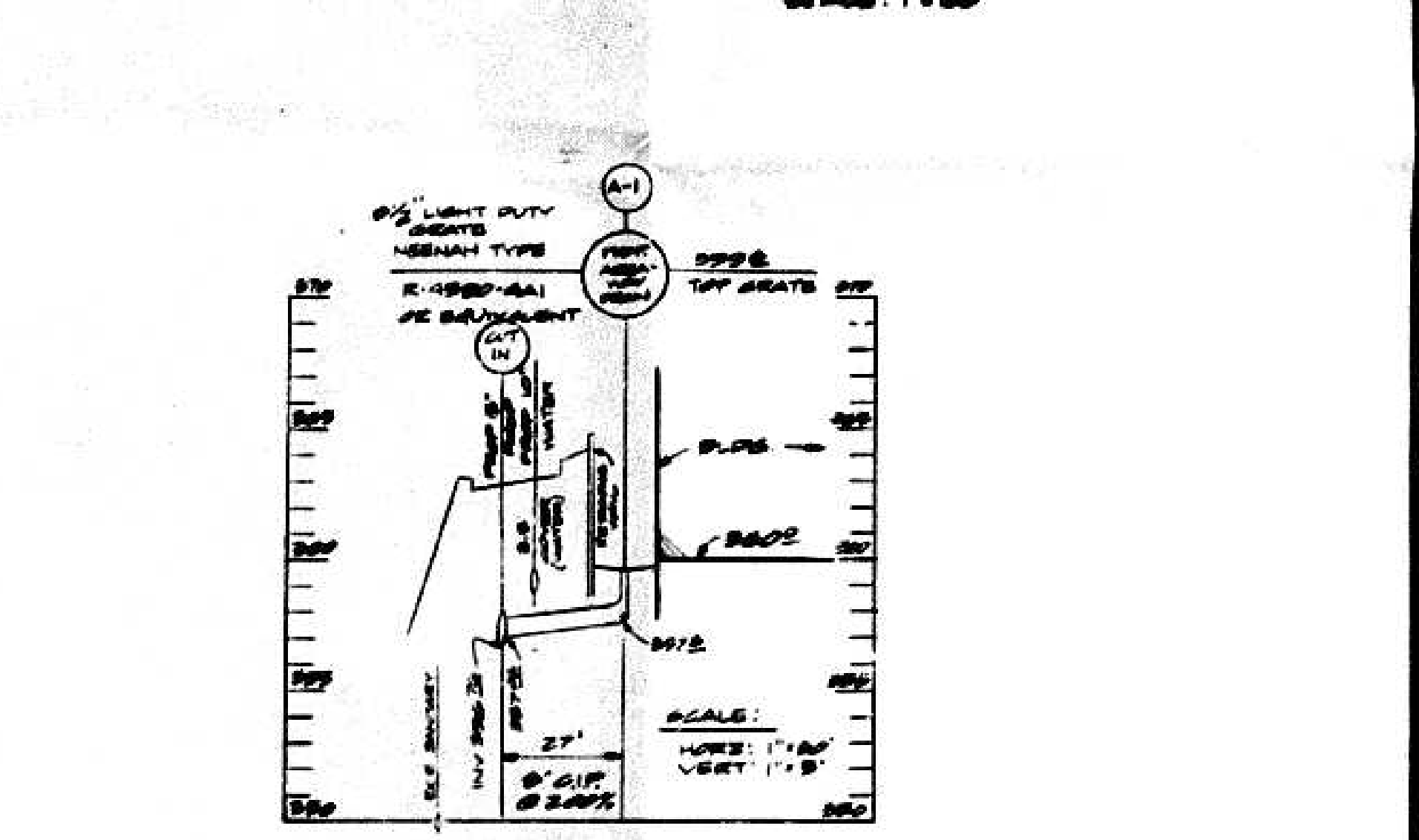
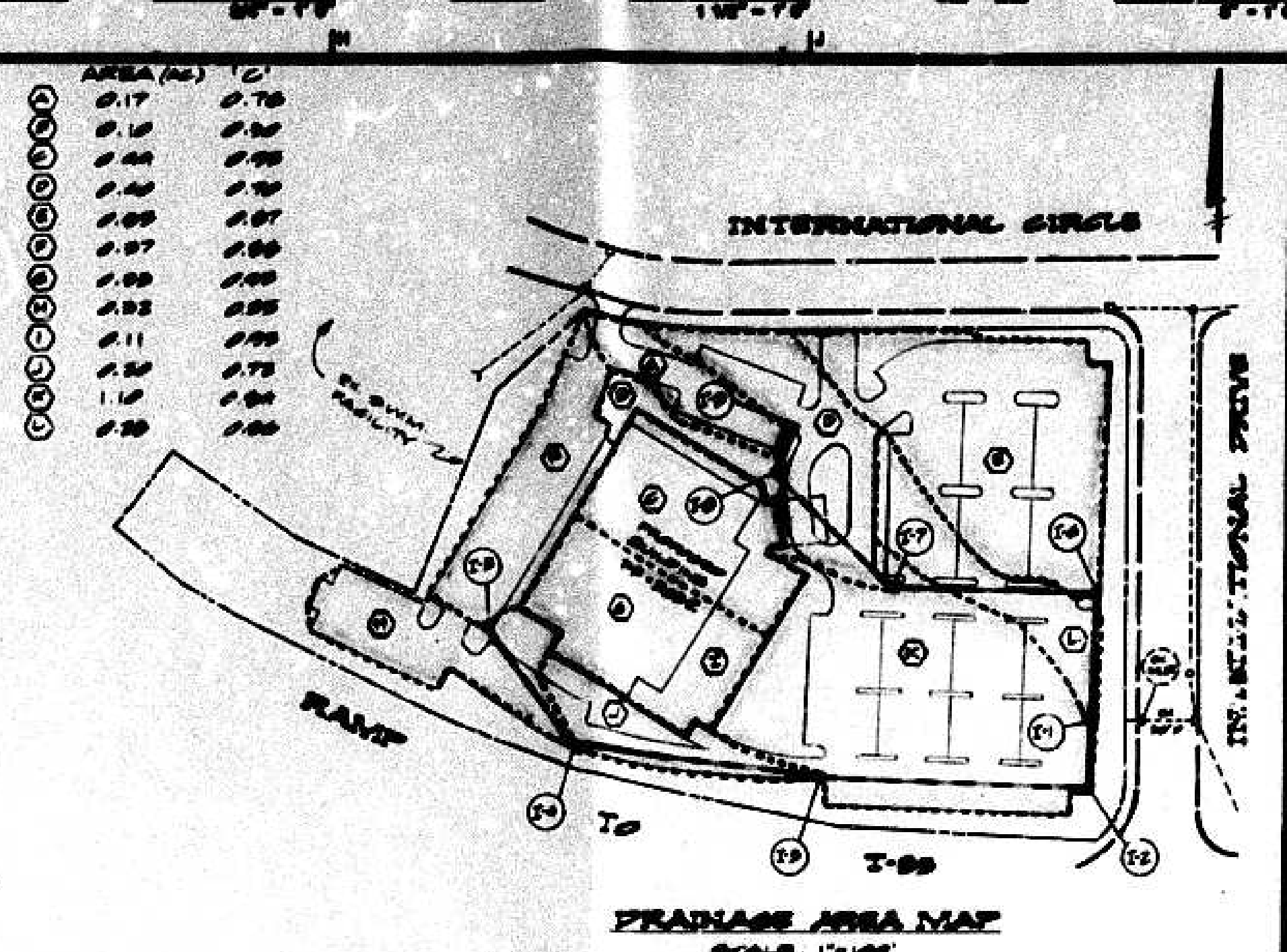
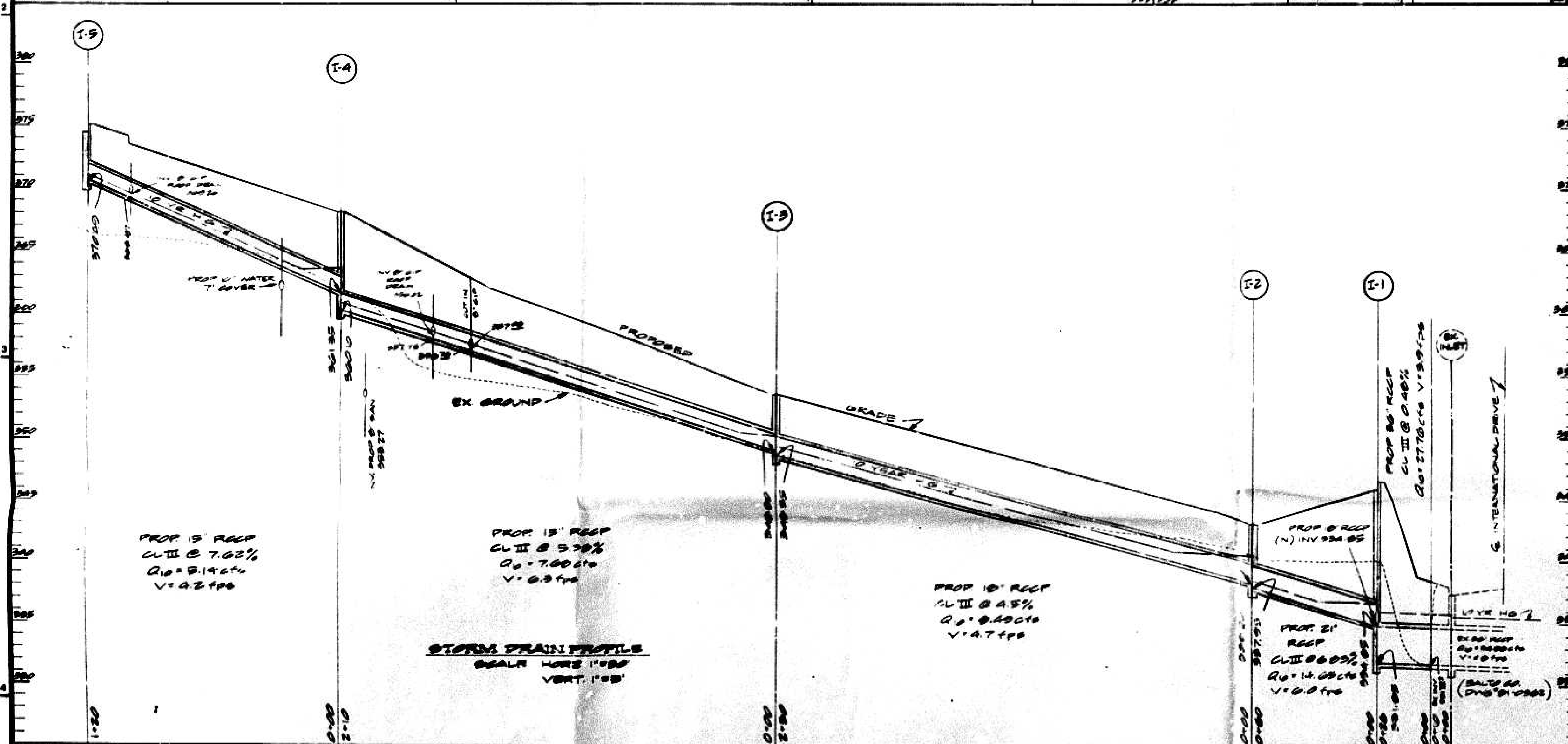
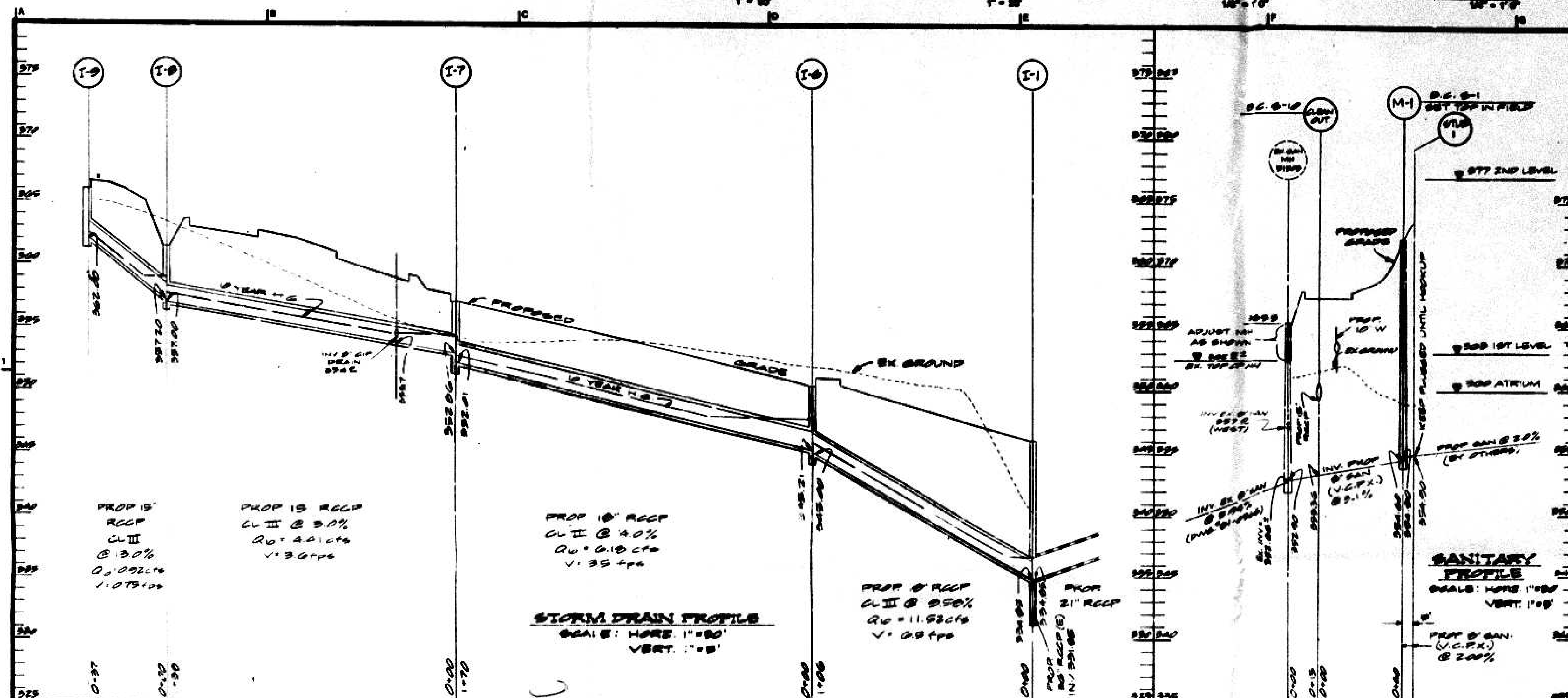
Wm. H. Hall Date Sept 26/98



SDP 3

[illegible]

SDP 3



OWNER
MIDDEXX HOSPITALITY INC.
800 MADISON AVENUE
NEW YORK, NEW YORK 10022
(212) 355-0200

ENGINEER:
GEORGE WILLIAM STEPHENS, JR.
AND ASSOCIATES INCORPORATED
303 ALLEGHENY AVENUE
TOWSON, MARYLAND
301-825-8120

INLET SCHEDULE					
NO	TYPE	Q (CFS)	INLET	TO (ELEV)	REMARKS
1-1	6" CONC.	27.70	301.00	300.61	D.C. D-2.0
1-2	20L 6" CONC.	14.05	307.05	306.65	D.C. D-2.0
1-3	6" CONC.	0.49	306.55	306.10	D.C. D-2.0
1-4	6" CONC.	7.00	302.10	300.70	D.C. D-2.0
1-5	6" CONC.	9.14	302.40	301.10	D.C. D-2.0
1-6	20L 6" CONC.	11.92	302.00	301.00	D.C. D-2.0
1-7	6" CONC.	0.10	302.01	301.60	D.C. D-2.0
1-8	Y-5	0.50	307.00	301.40	D.C. D-2.0
1-9	6" CONC.	0.22	305.00	300.67	D.C. D-2.0

1" TOP OF CURB ELEVATION 2" GRATE ELEVATION

George W. Stephens & Assoc., Inc.
Consulting Civil Engineers
303 Allegheny Avenue
Towson, Maryland 21204
301/825-8120

Roehl Designers
Consulting Structural Engineers
9045 Gaithersburg Road
Gaithersburg, Maryland 20877
301/290-0933

Siegel and Rutherford
Consulting Mech./Elec. Engineers
2125 Maryland Avenue
Baltimore, Maryland 21218
301/557-1935

Blair Gates Farrand
Consulting Landscape Architect
2722 North Charles Street
Baltimore, Maryland 21218
301/566-4344

Meyers and D'Aleo, Inc.
Architects and Planners
100 Water Street, Baltimore, MD 21202

GRANADA ROYALE HOMETEL
MOUNT VALLEY, MARYLAND

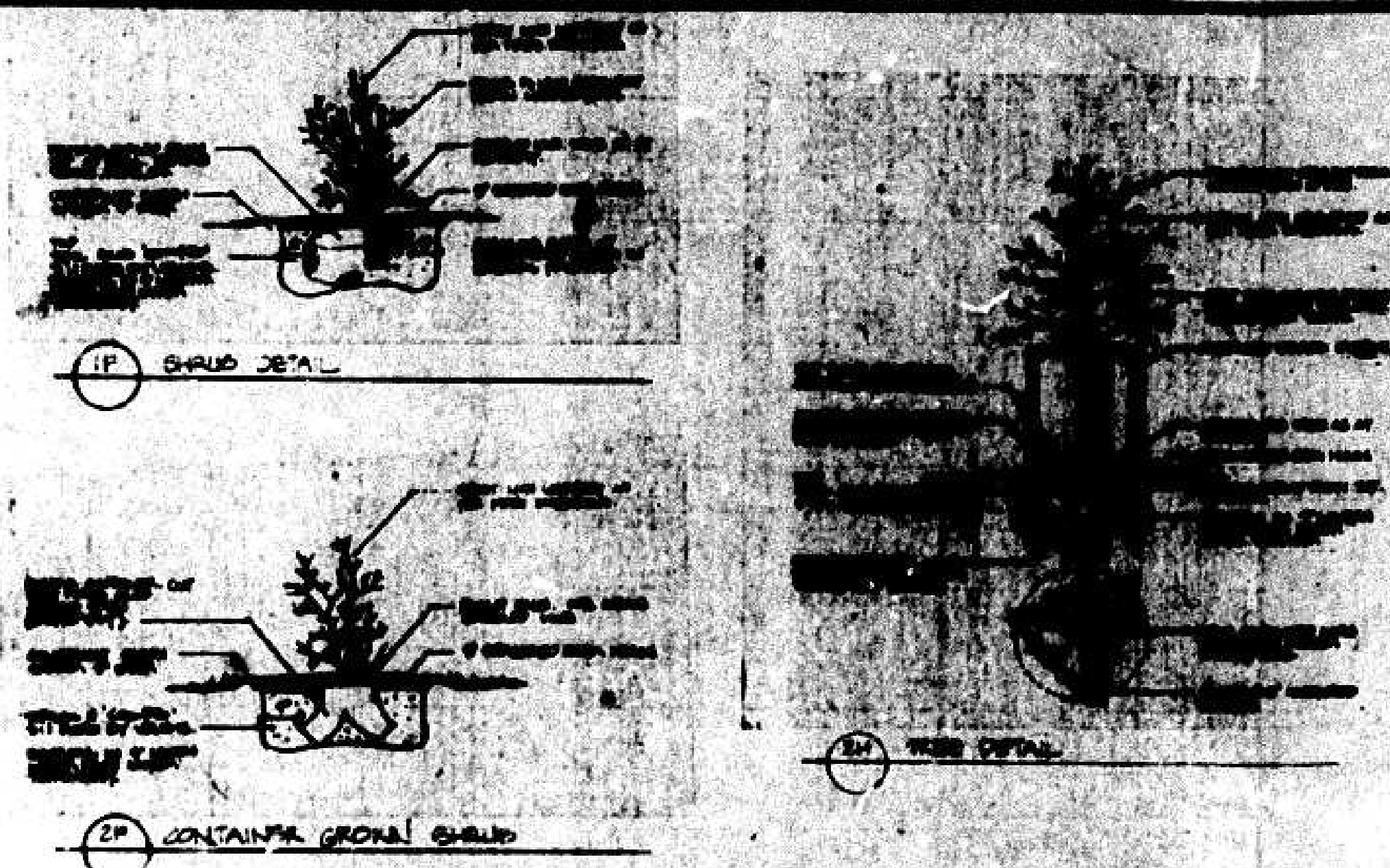
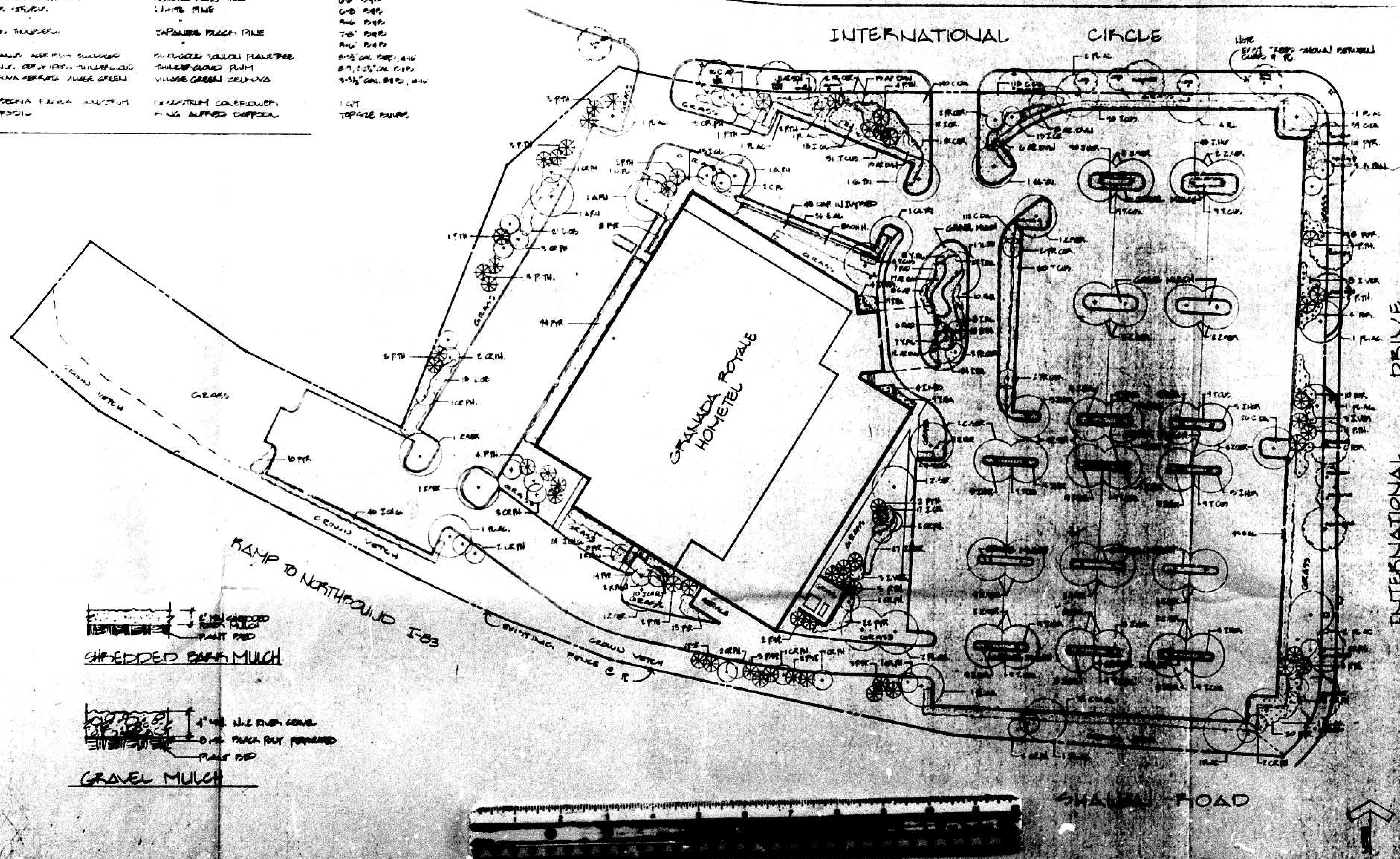
PROFILES

Project: 21204 Date: 9/2/83
Drawn: JSD Unit: Feet

SDP 2

NUMBER	APPR.	QUANTITY	POTENTIAL NAME	COMMON NAME	SIZE	PRICE	
	AR	100	71	ARIZONA BLUE WOOD	DEWAR VILLY WHITE ARIZONA	15-20"	1.50-00
	AR	100	12	ARIZONA BLUE WOOD	ROYAL ARIZONA	15-20"	1.50-00
	B	100	15	BARKER'S BARKER'S BARKER'S	BARKER'S BARKER'S BARKER'S	15-20"	1.50-00
	C	100	44	CORONADO BARKER'S BARKER'S	CORONADO BARKER'S BARKER'S	15-20"	1.50-00
	C	100	45	CORONADO BARKER'S BARKER'S	CORONADO BARKER'S BARKER'S	15-20"	1.50-00
	P	100	50	PORPHYRIA BARKER'S BARKER'S	PORPHYRIA BARKER'S BARKER'S	15-20"	1.50-00
	E	100	81	ELM BARKER'S BARKER'S	ELM BARKER'S BARKER'S	15-20"	1.50-00
	H	100	850	HAWK BARKER'S BARKER'S	HAWK BARKER'S BARKER'S	15-20"	1.50-00
	J	100	82	JACK BARKER'S BARKER'S	JACK BARKER'S BARKER'S	15-20"	1.50-00
	J	100	63	JACK BARKER'S BARKER'S	JACK BARKER'S BARKER'S	15-20"	1.50-00
	J	100	14	JACK BARKER'S BARKER'S	JACK BARKER'S BARKER'S	15-20"	1.50-00
	J	100	61	JACK BARKER'S BARKER'S	JACK BARKER'S BARKER'S	15-20"	1.50-00
	J	100	107	JACK BARKER'S BARKER'S	JACK BARKER'S BARKER'S	15-20"	1.50-00
	L	100	59	LARK BARKER'S BARKER'S	LARK BARKER'S BARKER'S	15-20"	1.50-00
	M	100	177	MARSH BARKER'S BARKER'S	MARSH BARKER'S BARKER'S	15-20"	1.50-00
	P	100	67	PINK BARKER'S BARKER'S	PINK BARKER'S BARKER'S	15-20"	1.50-00
	T	100	507	TAN BARKER'S BARKER'S	TAN BARKER'S BARKER'S	15-20"	1.50-00
	I	100	8	IRON BARKER'S BARKER'S	IRON BARKER'S BARKER'S	15-20"	1.50-00
	Y	100	25	YELLO BARKER'S BARKER'S	YELLO BARKER'S BARKER'S	15-20"	1.50-00

Tree				
A RU	4	ACER, RUSSIAN OCTOBER, GRAY	OCTOBER, GRAY RED MAPLE	24-3' CAN. PDB, 13-15'
F RU	5	FRAX, FISH OIL	FLORIDIAN DOGWOOD	6-8' PDB
J RU	10	JUNIPER, PINES OF RUSSIA	JANUARIAN JANUARIAN	8-10' PDB, 10-15'
GA RU	5	GA. RU, THIRTY-THREE, LEMMA	GA. RU, THIRTY-THREE, LEMMA	2-3% CAN. PDB, 14-16'
P. RU	6	P. RU, THIRTY-THREE, LEMMA	P. RU, THIRTY-THREE, LEMMA	6-8' PDB
P. RU	4	P. RU, THIRTY-THREE, LEMMA	P. RU, THIRTY-THREE, LEMMA	6-8' PDB
P. RU	5	P. RU, THIRTY-THREE, LEMMA	P. RU, THIRTY-THREE, LEMMA	6-8' PDB
P. RU	10	P. RU, THIRTY-THREE, LEMMA	P. RU, THIRTY-THREE, LEMMA	6-8' PDB
P. RU	20	P. RU, THIRTY-THREE, LEMMA	P. RU, THIRTY-THREE, LEMMA	6-8' PDB
P. RU	17	P. RU, THIRTY-THREE, LEMMA	P. RU, THIRTY-THREE, LEMMA	6-8' CAN. PDB, 4-16'
P. RU	2	P. RU, THIRTY-THREE, LEMMA	P. RU, THIRTY-THREE, LEMMA	8-10' CAN. PDB, 14-16'
P. RU	35	P. RU, THIRTY-THREE, LEMMA	P. RU, THIRTY-THREE, LEMMA	2-3% CAN. PDB, 14-16'
RU	23	RU, THIRTY-THREE, LEMMA	RU, THIRTY-THREE, LEMMA	1-20'
RU	45	RU, THIRTY-THREE, LEMMA	RU, THIRTY-THREE, LEMMA	1-20'

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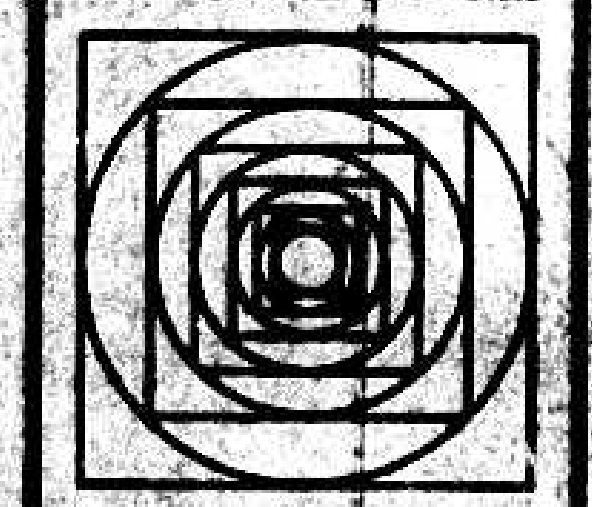
George W. Stephens & Assoc., Inc.
Communications Civil Engineers
395 Allison Avenue
P.O. Box 6002
Towson, Maryland 21204
301/282-5150

Harold Swainhouse
Communications (Structural) Engineers
7009 Oak Ridge Road
Cockeysville, Maryland 20877
301/258-0973

Stegall and Rutherford
Consulting Mech./Elec. Engineers
1705 York and Avenue
Baltimore, Maryland 21216
301/481-1925

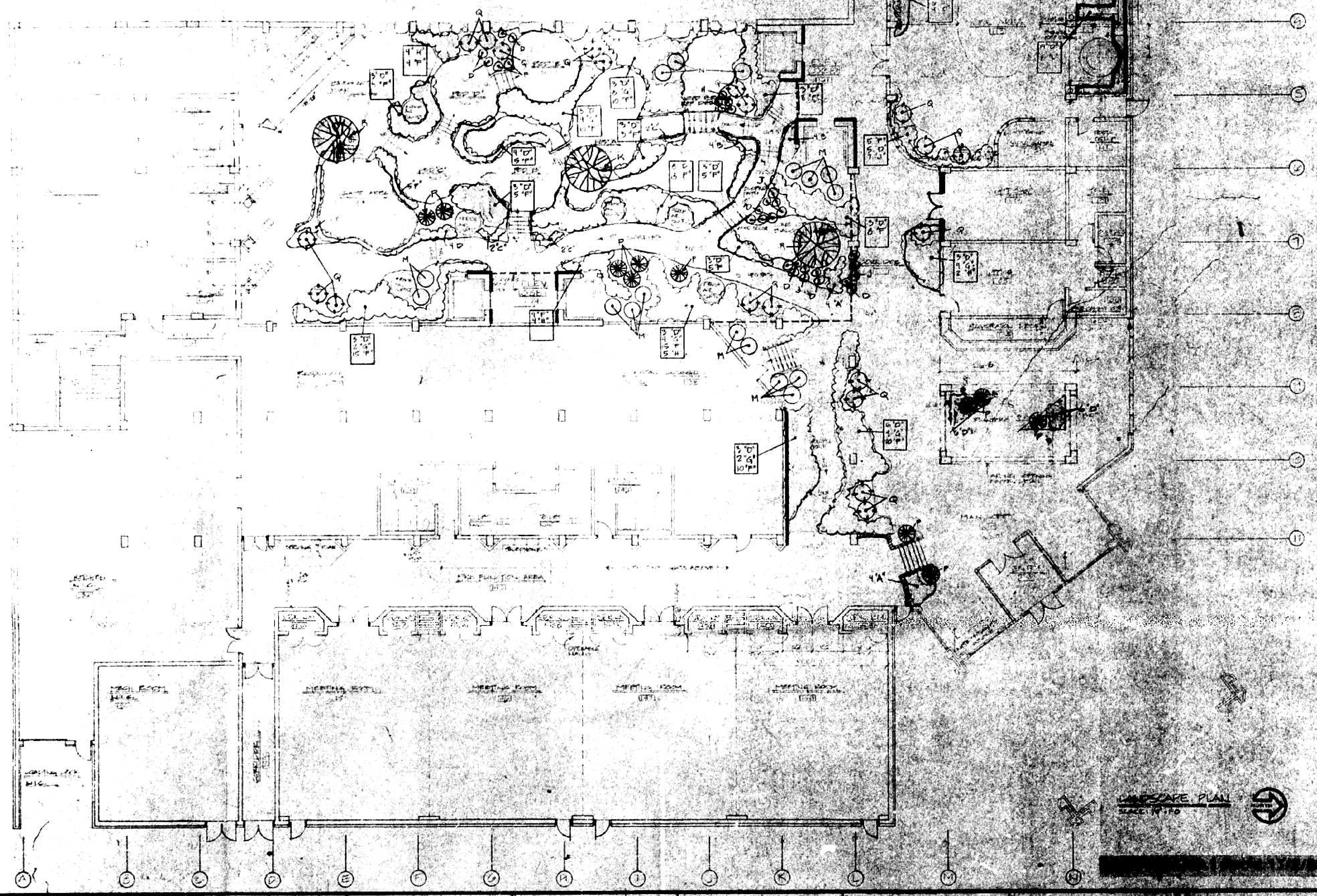
Walter Walter Stewart
Structural/Architectural Architect
2000 North
Baltimore, Maryland 21216
301/481-1925

**Meyers and D'Aleo, Inc.,
Architects and Planners**
480 Water Street, Chicago, Ill. 60602



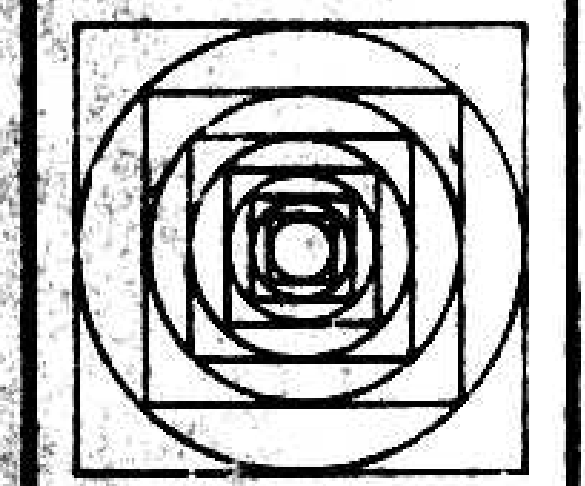
PLANTING PLAN

		POT	HEIGHT	WIDTH	
A	BOSTON FERN - NEPHROLEPIS EXALTATA	8"	18-24	12-18	GROUND COVER 3" BARK
B	ENGLISH IVY - HEDERA HELIX	8"			SEE "FLOOR FINISH PLAN" FOR AREAS OF 3" TO 8" RIVER RUN ROCKS -
C	GRAPT VIV - CISSUS RHUMIFOLIA	8"			COLOR TO BE APPROVED BY ARCHITECTURAL INTERIORS, INC.
D	GOLDEN EVERGREEN - AGLAONEMA PSEUDOBRACTEATUM	8"	20-24	14-16	ALL PLANTS SET IN NURSERY POTS SURROUNDED BY SOIL MIX
E	HURDLE - STIFFENBACHIA MACULATA	8"	20-32	20-36	OTHER AREAS PLANTS IN WALL POCKETS TYP. OF II.
F	IRONWOOD PLANT - NERPHITIS	8"	14-20		
G	SPINACH PLANT - CORDIA L. KAREN	8"	13-24		
H	MAST BUSH - BRACCAEA PRAGRANS	8"	18		
I	CERT. TREE PLANT - ASPIDISTRA ELATIOR	12"	30-40	22-32	
J	SPINELER YUCCA - YUCCA ELEPHANTIFES	12"	38		UPPER LEVEL PLANTERS - 1 "8" x 3 "10" PER PLANTER
K	HEARTY BELLA PALM - CHAMAEDOREA ELEGANS	10"	30-36		
L	SCHIEFFELER - BRASSAIA ACTINOPHYLLA	32"	18-20	60-72	
M	WAXY YELAND VINE - ARAUCARIA HETEROPHYLLA	17"	72		
N	BANDOO PALM - CHAMAEDOREA ERUMPENA	14"	72-84		
O	FISHTAIL - CARYOTA NITIS	17"	72-108		
P	FIGUS NYTIDA - FIGUS NYTIDA	36"	18-24 FEET		



Rev.	Date	By	App.
1			
2			
3			
4			
5			
6			
7			
8			
9			
10			

Mayers and D'Aleo, Inc.
Architects and Planners
400 West Street, Baltimore, MD 21202



Architectural Interiors Inc.
1102 North Third Avenue
Pittsburgh, PA 15212

GRANADA ROYALE HOTEL

HUNT VALLEY, MARYLAND

LANDSCAPE PLAN

Project	1307	Date	10-1-83
Sheet		Of	10

ID-10

PETITION FOR SPECIAL HEARING 93-178-KSPH-2

TO THE ZONING COMMISSIONER OF BALTIMORE COUNTY:

The undersigned, legal owner(s) of the property situate in Baltimore County and which is described in the description and plat attached hereto and is a part hereof, hereby petition for a Special Hearing under Section 250.7 of the Baltimore County Zoning Regulations, to determine whether or not the Zoning Commissioner and/or Deputy Zoning Commissioner should approve the sign to be located on the southwest wall of the proposed structure, in the manner detailed on the accompanying plat, as an appropriate business sign for the proposed commercial use in an M.L.R. zone in accordance with Section 252.33(b)(2).
Property is to be posted and advertised as prescribed by Zoning Regulations.

I, or we, agree to pay expenses of the above Special Hearing advertising, posting, etc., upon filing of this Petition, and further agree to and are to be bound by the zoning regulations and restrictions of Baltimore County adopted pursuant to the Zoning Law for Baltimore County.

I/We do solemnly declare and affirm, under the penalties of perjury, that I/we are the legal owner(s) of the property which is the subject of this Petition.

Contract Purchaser:

Middex Hospitality, Inc.

(Type or Print Name)

By: *[Signature]*

Signature Raphael D. Silver, Pres.

600 Madison Avenue

Address

New York, New York 10022

City and State

Attorney for Petitioner:

John B. Howard

(Type or Print Name)

[Signature]

Signature

210 Allegheny Avenue - P.O. Box 5517

Address

Towson, Maryland 21204

City and State

Attorney's Telephone No.: 301-823-4111

Legal Owner(s):

McCormick Properties, Inc.

(Type or Print Name)

By: *[Signature]*

Signature Alan P. Medinger, V.P. - Treasurer

11011 McCormick Road

Address

Hunt Valley, Maryland 21031

City and State

Name, address and phone number of legal owner, contract purchaser or representative to be contacted

John B. Howard

Address

210 Allegheny Avenue

P.O. Box 5517

Towson, Maryland 21204

City and State

Phone No.

301-823-4111

ORDERED By The Zoning Commissioner of Baltimore County, this 7th day of JANUARY, 1983, that the subject matter of this petition be advertised, as required by the Zoning Law of Baltimore County, in two newspapers of general circulation throughout Baltimore County, that property be posted, and that the public hearing be had before the Zoning Commissioner of Baltimore County in Room 106, County Office Building in Towson, Baltimore County, on the 10th day of February, 1983, at 10:45 o'clock A.M.

[Signature]
Zoning Commissioner of Baltimore County.

E.C.O.-No. 1

(over)

