

Pursuant to the advertisement, posting of property, and public hearing on the Petition and it appearing that strict compliance with the Baltimore County Zoning Regulations would result in practical difficulty and unreasonable hardship upon the Petitioner(s) and the granting of the variance(s) requested will not adversely affect the health, safety, and general welfare of the community, the variance(s) should be granted.

Therefore, IT IS ORDERED by the Zoning Commissioner of Baltimore County, this 23rd day of May, 1983, that the herein Petition for Variance(s) to permit a site area of 16,236 square feet in lieu of the required 21,384 square feet, in accordance with Petitioner's Exhibit 3, is hereby GRANTED, from and after the date of this Order, subject, however, to the terms, provisions, and conditions contained in the accompanying Special Exception Order.

Jean M. H. Jung
Deputy Zoning Commissioner of
Baltimore County

Pursuant to the advertisement, posting of property, and public hearing on the Petition and it appearing that by reason of the requirements of Section 502.1 of the Baltimore County Zoning Regulations having been met and the health, safety, and general welfare of the community not being adversely affected, the special exception should be granted.

Therefore, IT IS ORDERED by the Deputy Zoning Commissioner of Baltimore County, this 23rd day of May, 1983, that the Petition for Special Exception for a food store in combination with a gas and go operation, in accordance with the site plan prepared by Lyon Associates, Inc., revised March 21, 1983, and marked Petitioner's Exhibit 3, is hereby GRANTED, from and after the date of this Order, subject, however, to the following restrictions:

1. Any existing underground storage tank(s) containing waste oil shall have the contents removed by a licensed hauler and either be removed from the property or properly backfilled.
2. The rear and northwest side of the site shall be illuminated and said lighting shall comply with Section 405.4.B.5. of the Baltimore County Zoning Regulations.
3. Approval of the aforementioned site plan by the Department of Public Works and the Office of Planning and Zoning, as well as a detailed landscaping plan being submitted for approval by the Current Planning and Development Division.

Jean M. H. Jung
Deputy Zoning Commissioner of
Baltimore County

Pursuant to the advertisement, posting of property, and public hearing on the Petition and it appearing that by reason of the following finding of facts that to amend the site plan filed in Case No. 2988-RS to convert an existing full service station to a gas and go operation in combination with a food store and to remove Restriction 1 to allow the existing gas pumps and pump island to be located closer to Marlyn Avenue than the setback of the house on the adjoining property would be in strict harmony with the spirit and intent of the Baltimore County Zoning Regulations and will not adversely affect the health, safety, and general welfare of the community, and, therefore,

IT IS ORDERED by the Deputy Zoning Commissioner of Baltimore County, this 23rd day of May, 1983, that the amendment to the site plan filed in Case No. 2988-RS to convert an existing full service station to a gas and go operation in combination with a food store and the removal of Restriction 1 to allow the existing gas pumps and pump island to be located closer to Marlyn Avenue than the setback of the house on the adjoining property, in accordance with Petitioner's Exhibit 3, is approved and, as such, the Petition for Special Hearing is hereby GRANTED, from and after the date of this Order, subject, however, to the terms, provisions, and conditions contained in the accompanying Special Exception Order.

Jean M. H. Jung
Deputy Zoning Commissioner of
Baltimore County



BALTIMORE COUNTY
DEPARTMENT OF PUBLIC WORKS
TOWSON, MARYLAND 21204

HARRY J. PISTEL, P.E.
DIRECTOR

March 9, 1983

Mr. William E. Hammond
Zoning Commissioner
County Office Building
Towson, Maryland 21204

Re: Item #136 (1982-1983)
Property Owner: Arco Petroleum Products Co.
N/W corner Marlyn Avenue & Stemmers Run Rd.
Acreage: 0.373 District: 75th

Dear Mr. Hammond:

The following comments are furnished in regard to the plat submitted to this office for review by the Zoning Advisory Committee in connection with the subject item.

General:

Baltimore County highway and utility improvements exist. Highway construction plans indicate Stemmers Run Road and Marlyn Avenue as 60-foot rights-of-way with 36 and 42-foot closed section roadways, respectively. A fillet area for sight distance is required at their intersection.

The entrance locations are subject to approval by the Department of Traffic Engineering, and shall be constructed in accordance with Baltimore County Standards and Specifications.

Development of this property through stripping, grading and stabilization could result in a sediment pollution problem, causing private and public holdings downstream of the property. A grading permit is, therefore, necessary for all grading, including the stripping of top soil.

The Petitioner must provide necessary drainage facilities (temporary or permanent) to prevent creating any nuisances or damages to adjacent properties, especially by the concentration of surface waters. Correction of any problem which may result, due to improper grading or improper installation of drainage facilities, would be the full responsibility of the Petitioner.

This office has no further comment in regard to the plan submitted for Zoning Advisory Committee review in connection with Item 136 (1982-1983).

Very truly yours,

Robert A. Morton, P.E.
ROBERT A. MORTON, P.E., Chief
Bureau of Public Services

RAM:EAM:FW:ras
cc: M. Flanagan



BALTIMORE COUNTY
DEPARTMENT OF TRAFFIC ENGINEERING
TOWSON, MARYLAND 21204
494-3550

STEPHEN E. COLLINS
DIRECTOR

January 25, 1983

Mr. William Hammond
Zoning Commissioner
County Office Building
Towson, Maryland 21204

ZAC - January 18, 1983
Item Nos. 132, 133, 134, 135, 136, 137, 138, 139, and 140.

Dear Mr. Hammond:

The Department of Traffic Engineering has no comments for item numbers 132, 133, 134, 135, 136, 137, 138, 139, and 140.

Michael S. Flanagan
Michael S. Flanagan
Traffic Engineer Associate II

MSF/cem

Feb 15, 1983
Date

BALTIMORE COUNTY DEPARTMENT OF HEALTH

Zoning Commissioner
Office of Planning and Zoning
County Office Building
Towson, Maryland 21204

Zoning Item # 136, Zoning Advisory Committee Meeting of Jan 18, 1983

Property Owner: Arco Petroleum Products Company

Location: NW Corner Marlyn Ave. & Stemmers Run District 15

Water Supply Public Sewage disposal Public

COMMENTS ARE AS FOLLOWS:

- (X) Prior to approval of a Building Permit for construction, renovation and/or installation of equipment for any existing or proposed food service facility, complete plans and specifications must be submitted to the Plans Review Section, Environmental Support Services, for final review and approval.
- () Prior to new installation of fuel burning equipment, the owner should contact the Division of Air Pollution Control, 494-3775, to obtain requirements for such installation before work begins.
- (X) A permit to construct from the Division of Air Pollution Control is required for such items as spray paint processes, underground gasoline storage tank(s) (5,000 gallons or more) and any other equipment or process which exhausts into the atmosphere.
- () A permit to construct from the Division of Air Pollution Control is required for any chandelier operation which has a total cooking surface area of five (5) square feet or more.
- () Prior to approval of a Building Permit Application for renovations to existing or construction of new health care facilities, complete plans and specifications of the building, food service area and type of equipment to be used for the food service operation must be submitted to the Plans Review and Approval Section, Division of Engineering and Maintenance, State Department of Health and Mental Hygiene for review and approval.
- () Prior to any new construction or substantial alteration of public swimming pool, wading pool, bathhouse, saunas, whirlpools, hot tubs, water and sewerage facilities or other appurtenances pertaining to health and safety; two (2) copies of plans and specifications must be submitted to the Baltimore County Department of Health for review and approval. For more complete information, contact the Recreational Hygiene Section, Division of Environmental Support Services.
- () Prior to approval for a nursery school, owner or applicant must comply with all Baltimore County regulations. For more complete information, contact the Division of Maternal and Child Health.
- () If lubrication work and oil changes are performed at this location, the method providing for the elimination of waste oil must be in accordance with Water Resource Administration requirements.

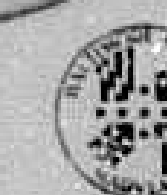
SS 20 1082 (1)

Zoning Item # 136
Page 2

- (X) Any existing underground storage tanks containing petroleum, waste oil, asbestos, etc., must have the contents removed by a licensed hauler and either be removed from the property or properly backfilled.
- () Soil percolation tests have been conducted.
{ } The results are valid until _____
{ } Revised plans must be submitted prior to approval of the percolation tests.
- () Prior to occupancy approval, the potability of the water supply must be verified by collection of bacteriological and chemical water samples.
- () In accordance with Section 13-117 of the Baltimore County Code, the water well yield test
{ } shall be valid until _____
{ } is not acceptable and must be retested. This must be accomplished prior to conveyance of property or approval of Building Permit Applications.
- () All roads and parking areas should be surfaced with a dustless, bonding material.
- () No health hazards are anticipated.
- () Others _____

John J. Foxworth, Director
BUREAU OF ENVIRONMENTAL SERVICES

SS 20 1080 (2)



BALTIMORE COUNTY
FIRE DEPARTMENT
TOWSON, MARYLAND 21204
825-7310

PAUL H. RENCKE
CHIEF

January 21, 1983

Mr. William Hammond
Zoning Commissioner
Office of Planning and Zoning
Baltimore County Office Building
Towson, Maryland 21204

Attention: Nick Commodari, Chairman
Zoning Plans Advisory Committee

RE: Property Owner: Arco Petroleum Products Company

Location: NW Corner Marlyn Avenue and Stemmers Run Road

Item No.: 136

Zoning Agenda: Meeting of January 18, 1983

Petitioner:

Pursuant to your request, the referenced property has been surveyed by this Bureau and the comments below marked with an "X" are applicable and required to be corrected or incorporated into the final plans for the property.

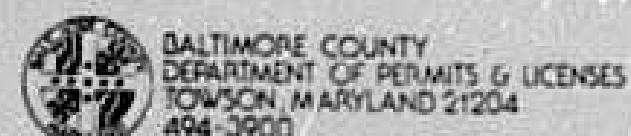
- () 1. Fire hydrants for the referenced property are required and shall be located at intervals or _____ feet along an approved road in accordance with Baltimore County Standards as published by the Department of Public Works.
- () 2. A second means of vehicle access is required for the site.
- () 3. The vehicle dead end condition shown at _____ EXCEEDS the maximum allowed by the Fire Department.
- (X) 4. The site shall be made to comply with all applicable parts of the Fire Prevention Code prior to occupancy or beginning of operation. (See Attached)
- (X) 5. The buildings and structures existing or proposed on this site shall comply with all applicable requirements of the National Fire Protection Association Standard No. 101 "Life Safety Code", 1976 Edition prior to occupancy.
- () 6. Site plans are approved, as drawn.
- () 7. The Fire Prevention Bureau has no comments, at this time.

REVIEWED BY: George M. McGonigle
Planning Group
Special Inspection Division
Noted and Approved: George M. McGonigle
Fire Prevention Bureau

JR /mb/cem

Property Owner: Arco Petroleum Products Company
Location: NW/Cor. Marlyn Avenue and Stemmers Run Road
Item No.: 136
January 21, 1983
Page two

Comment #4. All self service stations shall have at least one attendant on duty while the station is open to the public. The attendant's primary function shall be to supervise, observe and control the dispensing of class I liquids while said liquids are actually being dispensed, according to NFPA 30, Section 7-7.4.3.



TED ZALESKI, JR.
DIRECTOR
Mr. William E. Hammond, Zoning Commissioner
Office of Planning and Zoning
County Office Building
Towson, Maryland 21204

February 2, 1983

Dear Mr. Hammond:

Comments on Item # 136 Zoning Advisory Committee Meeting January 18, 1983 are as follows:

Property Owner: Arco Petroleum Products Company
Location: NW/Cor. Marlyn Avenue and Stemmers Run Road
Existing Zoning: M-1
Proposed Zoning: Special Exception for a food store in combination with a service station. Special Hearing to amend the site plan in Case #2988 to allow the conversion of an existing service station to a gas and go operation. Variance to permit a site area of 16,236 sq. ft. in lieu of the required 21,300 sq. ft. & to allow a canopy setback of 6' in lieu of the required 10'.

- The items checked below are applicable:
- X A. All structure shall conform to the Baltimore County Building Code 1981/ Council Bill H-82 State of Maryland Code for the Handicapped and Aged; and other applicable Codes.
 - X B. A building/and other miscellaneous permits shall be required before beginning construction.
 - C. Residential: Three sets of construction drawings are required to file a permit application. Architect/Engineer seal is/is not required.
 - X D. Commercial: Three sets of construction drawings with a Maryland Registered Architect or Engineer shall be required to file a permit application.
 - E. An exterior wall erected within 6'0" of an adjacent lot line shall be of one hour fire resistive construction, no openings permitted within 3'0" of lot lines. A firewall is required if construction is on the lot line. See Table 101, line 2, Section 1107 and Table 1102.
 - F. Requested variance conflicts with the Baltimore County Building Code, Section/s.
 - X G. A change of occupancy shall be applied for, along with an alteration permit application, and three required sets of drawings indicating how the structure will meet the Code requirements for the proposed change. Drawings may require a professional seal. Change from "B" to mixed uses, B and M (mercantile).
 - H. Before this office can comment on the above structure, please have the owner, thru the services of a Registered in Maryland Architect or Engineer certify to this office, that the structure for which a proposed change in use is proposed can comply with the height/area requirements of Table 505 and the required construction classification of Table 101.
 - I. Comments: Show curb cuts, handicapped signs, etc. on plans.

NOTE: These comments reflect only on the information provided by the drawings submitted to the office of Planning and Zoning and are not intended to be construed as the full extent of any permit. If desired, additional information may be obtained by visiting Room #122 (Plans Review) at 111 West Chesapeake Ave., 21204.

Very truly yours,

Charles E. Burnham
Charles E. Burnham, Chief
Plans Review

CEB:rrj
FORM 01-82

BALTIMORE COUNTY PUBLIC SCHOOLS

Robert Y. Dubel, Superintendent

Towson, Maryland - 21204

Date: January 17, 1983

Mr. William E. Hammond
Zoning Commissioner
Baltimore County Office Building
1111 West Chesapeake Avenue
Towson, Maryland 21204

Z.A.C. Meeting of: January 18, 1983

RE: Item No: 132, 133, 134, 135, 137, 138, 139, 140
Property Owner:
Location:
Present Zoning:
Proposed Zoning:

District:
No. Acres:

Dear Mr. Hammond:

All of the above have no bearing on student population.

Very truly yours,

Nick Petrovich
Mr. Nick Petrovich, Assistant
Department of Planning

WNP/bp

RECEIVED JUN 14 1983
61-7054

Mr. William E. Hammond
Zoning Commissioner
Room 109, County Office Building
Towson, Maryland 21204

RE: Case No.
Building Permit Application No.
Election District

Dear Mr. Hammond:

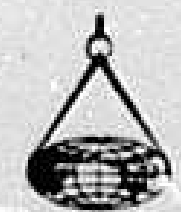
We, the undersigned, being the owner of the above mentioned property and the applicant for the above referenced building permit, do hereby acknowledge that we are fully aware of your Order being subject to a thirty (30) day appeal period, but wish to go ahead with the permit application prior to the expiration of said appeal period.

We hereby relieve our builder, Baltimore County, Maryland, and you from any liability or responsibility for any consequences which might arise during the appeal period.

Very truly yours,

Robert Sloan
Retail Facilities mgr
Atlantic Richfield Co
Philad. 19101

WHE:bac



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PETITIONER'S EXHIBIT / LYON ASSOCIATES, INC.

RESUME

ANTHONY J. CORTEAL
Director of Site Development
Project Manager
Lyon Associates, Inc.

Years experience: With This Firm 10, With Other Firms 8

Education: A.A. Maryland Institute Architectural Design
A.A. Anne Arundel Community College Land Planning
Business Management Essex Community College

Other Experience and Qualifications relevant to the proposed project:

Mr. Cortea is currently the Department Head for the Site Development Section of the Baltimore Design Office of Lyon Associates. From this position, he directs all phases of Lyon Associates' regional efforts in the disciplines of surveys, property line computations, and the preparation and processing of site development documents.

During his tenure with Lyon Associates, Mr. Cortea has been in responsible charge of the preparation of over 500 individual site development projects, ranging in size from 2500 square feet to 650 acres.

Preparation and approval of Site Development Documents, whether processed as part of a comprehensive project or a single entity, have given Mr. Cortea extensive experience in the field and has allowed for optimization of office efficiency under his direction. Mr. Cortea has repeatedly demonstrated the value of his diverse experience through successful completion of innumerable projects.

The following is a partial list of the projects for which Mr. Cortea was responsible.

- o Curtis Bay Coal Facility, Baltimore City, Maryland
- o White Flint Fashion Mall, Rockville, Maryland
- o Rash Field, Baltimore City, Maryland
- o Dundalk Community College, Maryland
- o Anne Arundel Community College
- o Winter Green, Mountain Ski Resort
- o Aberdeen Proving Grounds, Master Plan
- o BWI, Undeveloped Lands Proposal

With regard to Mr. Cortea's experience in zoning cases, the following is a list of projects within the past two years in which Mr. Cortea was directly responsible for preparing the necessary documents. Additionally, Mr. Cortea has testified as an expert witness for over 80% of the listed projects.



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LYON ASSOCIATES, INC.

RESUME

ANTHONY J. CORTEAL
Page 2

Baltimore County

Shell Oil Company 8200 Liberty Road	Setback Variance	August 3, 1982
Shell Oil Company 7100 Liberty Road	Setback Variance	January 3, 1983
Shell Oil Company Reisterstown Rd. & Rosewood	Setback Variance	November 15, 1982
Arco Petroleum York and Ashland	Special Hearing Special Exception Area Variance	March 22, 1982
Arco Petroleum York and Joppa	Special Hearing Special Exception Area Variance	March 23, 1982
Arco Petroleum Stemmers and Marlyn	Special Hearing Special Exception Area Variance	January 3, 1983
Cloverland Farms Dairy York and Ridgely	Special Hearing Special Exception Area Variance	November 29, 1982
Taco Bell Joppa and Harford	Parking and Setback Variance	August 19, 1981
Taco Bell York and Millow DRAVON HILL 115 W. LAKE AVE BALTIMORE CITY	Parking and Setback Variance SETBACK VARIANCE	MARCH 1982
Shell Oil Company 2001 Orleans St.	Conditional Use	March 26, 1982
Arco Petroleum 5920 Moravia Road	Board of Appeals to Permit Conversion	June 10, 1981
Arco Petroleum Edmondson and Swan	Conditional Use	May 5, 1981



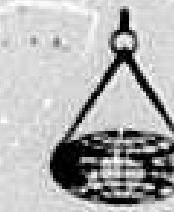
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LYON ASSOCIATES, INC.

RESUME

ANTHONY J. CORTEAL
Page 3

Apostolic Housing Corp. Valley and Homewood	Request for 22 Setback Variances	June, 1982
N. Charles General Hospital Maryland Avenue	Board of Appeals to Permit Parking Lot	August, 1982
Cycle Shop O'Donnell Street	Conditional Use	August, 1981
Safeway Stores Belair and Kenwood	Re-zoning	January, 1981
Prince George's County		
Gulf Oil U.S. 2911 Colebrook Drive	Special Exception	January 20, 1983
Gulf Oil U.S. 1348 University Blvd.	Special Exception	September 15, 1982
Taco Bell University Blvd.	Special Exception Parking Variance	June, 1982
Taco Bell Oxon Hill	Special Exception Parking Variance	June, 1982
Anne Arundel County		
Arco Petroleum Camp Meade Road	Sign and Canopy Variance	February 4, 1982
Arco Petroleum Fort Smallwood & Valley	Sign and Canopy Variance	November, 1981
Arco Petroleum Ritchie Hwy. & McKinsey	Sign and Canopy Variance	November, 1981
Howard County		
Arco Petroleum Baltimore National Pike and Center Drive	Planning Board Appeals	January 12, 1983



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LYON ASSOCIATES, INC.

RESUME

ANTHONY J. CORTEAL
Page 4

Fairfax, Virginia		
Gulf Oil U.S. 7501 Richmond Highway	Special Exception	August 1, 1982
Sogetiff Limited Lee Highway	Setback Variance	January, 1983
Taco Bell Lee Highway	Setback and Parking Variance	November, 1982
Washington, D.C.		
Gulf Oil U.S. 2200 4th Street, N.W.	Fine Arts Approval	July 13, 1982

83-746
AG - Case #22



Baltimore County Zoning Commissioner
Baltimore County Office Building
111 W. Chesapeake Avenue
Towson, Maryland 21204

Subject: Case No. 2988RS
Petition for Special Exception, Special Hearing and
Variance, Northwest Corner of Marlyn Ave. & Stemmers
Run Rd. (15th Election District)

Dear Sir:

This letter may be presented as my testimony in my absence at the
hearing scheduled for Thursday, April 21st.

I believe that in the best interests of the community this petition
should be denied. There is no need for another convenience food
store in the neighborhood. There is a Wawa on the opposite corner
which is on a large piece of property providing adequate parking
and having a management which controls the activities at its
location. There are ample marketing facilities for gasoline and
foodstuffs presently existing in the area. To add another convenience
store would only be adding to an already saturated market and
create a nuisance and problems for the immediate neighborhood.

Several years ago, the Seven-Eleven on North Marlyn Avenue was
damaged and removed. Its absence has not inconvenienced the residents
of the community but did rid us of an attractive nuisance. Convenience
stores easily become hangouts for irresponsible, inconsiderate
youths, and this we do not need.

Parking is a big problem at this location because of the medical
offices adjacent to the subject property, a bus stop on both sides
of Stemmers Run Road at this location, the limited parking in the
neighborhood, and the school activity.

Traffic problems have occurred at the existing gasoline station
during the more active business periods. To relocate pumps closer

Baltimore County Zoning Commissioner April 11, 1983

to the street would only cause waiting customers to extend into
traffic, adding to the problems of an already accident prone
intersection.

This is a residential neighborhood and it should be kept that way.

Very truly yours,

Michael W. Michalski
Michael W. Michalski

Florence A. Michalski
Florence A. Michalski

MWM/fam

ARCO Petroleum Products Company
1500 Market Street
Post Office Box 7258
Philadelphia, Pennsylvania 19101
Telephone 215 557 2000

March 14, 1983

Mr. Nick Comodari
Baltimore County
Permits Section
111 W. Chesapeake Avenue
Towson, MD 21204

Dear Mr. Comodari:

This letter acts as authority for Lyon Associates,
7131 Rutherford Road, Baltimore, MD 21207, to amend
our application (Item #136), which applies to our pro-
perty located at Stemmers Run Road and Marlyn Avenue,
Election District 15, Baltimore County, Maryland.

Sincerely,

R. B. Sloan/Hnr
R. B. Sloan

Retail Facilities Manager

RDS:hmr

PETITION FOR SPECIAL EXCEPTION, SPECIAL HEARING AND VARIANCE

15th Election District

ZONING: Petition for Special Exception, Special Hearing and Variance

LOCATION: Northwest corner of Marlyn Avenue and Stemmers Run Road

DATE & TIME: Thursday, April 21, 1983 at 10:45 A.M.

PUBLIC HEARING: Room 106, County Office Building, 111 W. Chesapeake
Avenue, Towson, Maryland

The Zoning Commissioner of Baltimore County, by authority of the Zoning Act
and Regulations of Baltimore County, will hold a public hearing:

Petition for Special Exception for a food store (less than 5,000 sq.
ft.) in combination with a service station (gas and go); Special
Hearing under Section 500.7 of the Baltimore County Zoning
Regulations, to determine whether or not the Zoning Commissioner
and/or Deputy Zoning Commissioner should approve an amendment
to the site plan in Case No. 2988RS to allow the conversion of an
existing service station to a gas and go operation in combination
with a food store and to amend Restriction No. 1 of said case to
allow the existing gas pumps and pump island to be located closer
to Marlyn Avenue than the setback of the house on the adjoining
property; and Variance to allow a site area of 16,236 sq. ft. in
lieu of the required 21,384 sq. ft.

The Zoning Regulation to be excepted as follows:
Section 405.4 (A.1 and D.8) - minimum site area required for a food store in
combination with a service station (gas and go)

All that parcel of land in the Fifteenth District of Baltimore County

Being the property of Arco Petroleum Products Company, as shown on plat plan
filed with the Zoning Department.

Hearing Date: Thursday, April 21, 1983 at 10:45 A.M.
Public Hearing: Room 106, County Office Building, 111 W. Chesapeake Avenue,
Towson, Maryland

BY ORDER OF
WILLIAM E. HAMMOND
ZONING COMMISSIONER
OF BALTIMORE COUNTY

83-746
AG - Case #22

Lead signed 4/12/83
AG - Case #22

408 Stemmers Run Road
Baltimore, Maryland 21221
April 11, 1983

Baltimore County Zoning Commissioner
Baltimore County Office Building
111 W. Chesapeake Avenue
Towson, Maryland 21204

Subject: Case No. 2988RS
Petition for Special Exception, Special Hearing and
Variance, Northwest Corner of Marlyn Ave. & Stemmers
Run Rd. (15th Election District)

Dear Sir:

This letter may be presented as my testimony in my absence at the
hearing scheduled for Thursday, April 21st.

I believe that in the best interests of the community this petition
should be denied. There is no need for another convenience food
store in the neighborhood. There is a Wawa on the opposite corner
which is on a large piece of property providing adequate parking
and having a management which controls the activities at its
location. There are ample marketing facilities for gasoline and
foodstuffs presently existing in the area. To add another convenience
store would only be adding to an already saturated market and
create a nuisance and problems for the immediate neighborhood.

Several years ago, the Seven-Eleven on North Marlyn Avenue was
damaged and removed. Its absence has not inconvenienced the residents
of the community but did rid us of an attractive nuisance. Convenience
stores easily become hangouts for irresponsible, inconsiderate
youths, and this we do not need.

Parking is a big problem at this location because of the medical
offices adjacent to the subject property, a bus stop on both sides
of Stemmers Run Road at this location, the limited parking in the
neighborhood, and the school activity.

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during the more active business periods. To relocate pumps closer

Baltimore County Zoning Commissioner April 11, 1983

to the street would only cause waiting customers to extend into
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This is a residential neighborhood and it should be kept that way.

Very truly yours,

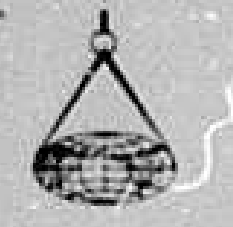
Michael W. Michalski
Michael W. Michalski

Florence A. Michalski
Florence A. Michalski

MWM/fam

April 12, 1983
The case number referenced in this
letter (2988RS) is that indicated in the
notice which appeared in the March 30, 1983
issue of the Times. The case number
indicated on the signs posted on the
subject property is 83-240-XSPHA.
Please apply the original of this letter
to the proper case.

Michael W. Michalski
Florence A. Michalski



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LYON ASSOCIATES, INC.

RE: ITEM NO. 136 - CASE NO. 83-240XSPHA

PETITIONER: ARCO PETROLEUM PRODUCTS

SPECIAL EXCEPTION, SPECIAL HEARING AND VARIANCE PETITIONS

Hearing Before the Zoning Commissioner of Baltimore County

Site: Proposed Arco Mini Market

- A) Conversion of an existing Arco Service Station to a mini market
with gas facilities.
- B) Situated at the southwest corner of Stemmers Run Road and Marlyn
Avenue in Election District No. 15.

EXHIBIT #1 New Zoning Plat

- C) Two pump islands with three dual dispensers on each. Level of
gasoline service will remain the same.
- D) Existing canopy over front island will remain.
- E) Building area will remain the same.

F) Landscaping Required = 811 SF (5K)
Landscaping Provided = 1,056 SF (6.5K)

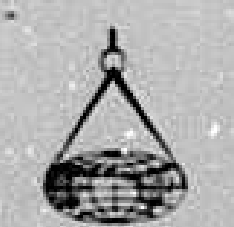
G) Parking Required = 8 spaces
Parking Provided = 8 spaces including one handicapped

EXHIBIT #2 Traffic Flow

- H) Site is currently served by four driveways, all to remain. Site
area is sufficient to allow free flow of traffic through site.
- I) Traffic safety conditions at this intersection are quite good.
Traffic flow moves through this intersection without prohibitive
delays. Records reflect only three accidents since 1980.

J) Traffic accidents for this intersection since 1980 are as follows:

- 4-4-1980 Negligent Driving - Failure to drive in designated lane.
- 12-20-1980 Failure to yield right-of-way to emergency vehicle.
- 4-2-1981 Failure to yield right-of-way.



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LYON ASSOCIATES, INC.

ITEM NO. 136 - CASE NO. 83-240XSPHA
Page 2

Based on this information with regard to existing entrances,
on-site traffic flow and the available accident reports, this
site and the automobiles entering and exiting the site impose
no traffic safety problem.

EXHIBIT #3 Area Map

- K) Surrounding land uses, zoning and road network. Large number
of service related facilities along Eastern Avenue.

EXHIBIT #4 Floor Plan

- L) Entire building will be utilized as a food store. Will be in
operation 24 hours a day with a minimum of two employees on duty
at any given time. One employee's duty will be to operate the
gasoline facilities.

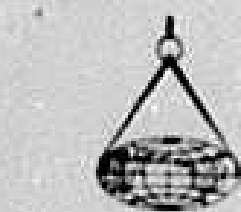
EXHIBIT #5 Elevations

- M) Typical building elevations after renovation, along with photos
of the existing building, will enable everyone concerned to see
the extent of the improvement to be made.

- N) Amendment of original hearing, Case No. 2988, regarding the
existing pump island on the Marlyn Avenue side of the property.
We do not know exactly when this situation came about but it has
been in existence since at least 1969. The island is adequately
screened from the adjoining residential property and to our
knowledge causes no adverse effects.

- O) Variance: The petition states that 15,000 S.F. is required for
the service station, plus an additional 6,384 S.F. for the food
store. This second figure is based upon multiplying the total
square footage of the building (which is 1,596 S.F.) by a factor
of 4 (BCZ Sec. 405.408). This gives us a total lot size require-
ment of 21,384 S.F. We are able to provide 16,236 S.F. as indi-
cated on the site plan.

In order to meet the lot size requirements, it would be necessary
to acquire additional property. This is not feasible since the
surrounding properties are already developed. Based on the above
mentioned constraints, this site is not developable as an Arco
Mini Market with gasoline facilities, nor any other use without
variance approval of some kind.



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LYON ASSOCIATES, INC.

ITEM NO. 136 - CASE NO. 85-240XSPHA
Page 3

The average size of conventional convenience stores are as follows:

WAWA	2,400 - 3,000 square feet
7-11	2,400 - 2,550 square feet

Based upon these figures, it appears that even if the variance is granted, that a total useable floor area would be anywhere from 30% to 45% less than its major competitors.

It is our professional opinion that the decreased lot size would not have an adverse affect on the adjacent properties and community at large.

There have been prior approvals for the reduced lot size for a food store in combination with gasoline sales in Baltimore County.

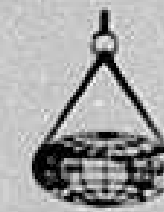
Case	83-29	9410 Harford Road	7-11
	77-109	9005 Belair Road	Arco
	82-255	York Road at Paper Mill	Arco
	83-157	York and Ridgely	Cloverland

These cases reflect a marketing trend and are indicative that existing full service stations can be converted assuming adequate lot size and the proper site engineering, so as not to negatively affect the safety, health, and welfare of the community. Furthermore, we firmly believe that this application meets the criteria as set forth in the following sections of the Baltimore County Zoning Code:

Sec.	405	Service Stations
	405.3	Findings Necessary to Grant Special Exceptions
	405.4	Standards for Individual Sites

CLOSING

The 15,000 square feet minimum lot size for service stations is predicated on the assumption that service bays are an integral part of the service station operation. In this case, service bays are excluded from the operation and; therefore, the lot size requirement is subject to a valid reduction. This argument was set forth and upheld in a previous Arco case before the Baltimore County Zoning Commissioner (#82-255 SPHA). In short, without service bays, there is no need for on-site auto storage overnight or for longer periods of time for the repair or maintenance of vehicles.



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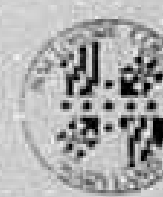
LYON ASSOCIATES, INC.

ITEM NO. 136 - CASE NO. 83-240XSPHA
Page 4

The inherent nature of the Gas-N-Go operation and the food store clearly indicates that autos would enter and exit within a relatively short time frame. Although no minimum square footage figure for Gas-N-Go operations has been established in the Zoning Regulations, one can safely assume that these types of operations do not require the amount of space as set forth, and that a reduction will not negatively affect the safety, health, and welfare of the general public. Nor would it be contradictory to the spirit and intent of the Zoning Regulations as indicated by the recent Special Exceptions granted to Cloverland, 7-Eleven and Arco as previously stated.

We thank you for your time.

Prepared by:
Lyon Associates, Inc.
Michael Kobin
Anthony J. Cortez



BALTIMORE COUNTY
OFFICE OF PLANNING & ZONING
TOWSON, MARYLAND 21204
494-3353

WILLIAM E. HAMMOND
ZONING COMMISSIONER

April 7, 1983

Arco Petroleum Products Company
c/o R. B. Sloan
1500 Market Street
Philadelphia, Pennsylvania 19101

Re: Petitions for Special Exception, Special Hearing and Variance
NW/cor. Marlyn Ave. & Stemmers Run Road
Arco Petroleum Products Company - Petitioner
Case No. 83-240-XSPHA

Dear Sir:

This is to advise you that \$89.41 is due for advertising and posting of the above property.

Please make the check payable to Baltimore County, Maryland, and remit to Arlene January, Zoning Office, Room 113, County Office Building, Towson, Maryland 21204, before the hearing.

Very truly yours,

WILLIAM E. HAMMOND
Zoning Commissioner

BALTIMORE COUNTY, MARYLAND
OFFICE OF FINANCE - REVENUE DIVISION
MISCELLANEOUS CASH RECEIPT

DATE: 4/14/83 ACCOUNT: R-01-EIS-800

AMOUNT: \$89.41

RECEIVED FROM: Lyon Associates, Inc.

FOR: Advertising + Posting Case #83-240-XSPHA

14*****004170 6150A

VALIDATION OR SIGNATURE OF CASHIER

13-220-424
#9-424

FRANK AND PATRICIA GAREY
410 STEMMERS RUN ROAD
BALTIMORE, MD. 21221

BALTIMORE COUNTY ZONING COMMISSIONER
BALTIMORE COUNTY OFFICE BUILDING
111 W. CHESAPEAKE AVE.
TOWSON, MD. 21204

SUBJECT: CASE NO. 2988RS
PETITION FOR SPECIAL EXCEPTION, SPECIAL HEARING
AND VARIANCE, NORTHWEST CORNER OF MARLYN AVE.
AND STEMMERS RUN ROAD.

TO WHOM IT MAY CONCERN: 83-240-XSPHA
ARCO PETROLEUM PRODUCTS COMPANY

THIS LETTER CONCERNS THE HEARING SCHEDULED FOR
THURSDAY APRIL 21, 1983.

WE ARE ASKING THAT THIS PETITION BE DENIED. THERE ARE MANY REASONS; HOWEVER THE MOST IMPORTANT ARE THE TRAFFIC AND PARKING SITUATION. WE HAVE HAD MANY MANY ACCIDENTS ON THE CORNER OF MARLYN AND STEMMERS RUN AND WE FEEL BY ALLOWING ANOTHER CONVENIENCE STORE WOULD ONLY CREATE MORE TRAFFIC PROBLEMS. THE PARKING SITUATION ALONE IS DEPLORABLE MAINLY BECAUSE OF THE MEDICAL OFFICES BESIDE THE SUBJECT PROPERTY AND IS SURELY TO BECOME WORSE IF THE PETITION IS APPROVED.

PLEASE CONSIDER THE FACT THAT THIS IS A RESIDENTIAL NEIGHBORHOOD AND WE WOULD LIKE VERY MUCH FOR IT TO BE KEPT THIS WAY. THANK YOU FOR YOUR TIME AND CONSIDERATION.

SINCERELY,

PATRICIA K. GAREY



March 22, 1983

Arco Petroleum Products Company
c/o R. B. Sloan
1500 Market Street
Philadelphia, Pennsylvania 19101

NOTICE OF HEARING

Re: Petitions for Special Exception, Special Hearing & Variance
NW/corner of Marlyn Avenue and Stemmers Run Road
Arco Petroleum Products Co. - Petitioner
Case No. 83-240-XSPHA

TIME: 10:45 A.M.

DATE: Thursday, April 21, 1983

PLACE: Room 106, County Office Building, 111 West

Chesapeake Avenue, Towson, Maryland

cc: Mr. Michael G. Kobin
Lyon Associates, Inc.
7131 Rutherford Road
Baltimore, Maryland 21207

BALTIMORE COUNTY, MARYLAND
OFFICE OF FINANCE - REVENUE DIVISION
MISCELLANEOUS CASH RECEIPT

DATE: 1/3/83 ACCOUNT: R-01-EIS-800

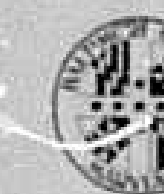
AMOUNT: 250.00

RECEIVED FROM: M. Payella

FOR: 1st fee for Arco Petroleum

14*****2500910 604A

VALIDATION OR SIGNATURE OF CASHIER



BALTIMORE COUNTY
OFFICE OF PLANNING & ZONING
TOWSON, MARYLAND 21204
494-3353

WILLIAM E. HAMMOND
ZONING COMMISSIONER

May 23, 1983

Mr. Michael G. Kobin
Lyon Associates, Inc.
7131 Rutherford Road
Baltimore, Maryland 21207

RE: Petitions for Special Exception,
Special Hearing, and Variance
NW/corner of Marlyn Ave. and
Stemmers Run Rd. - 15th Election
District
Arco Petroleum Products Co. -
Petitioner
NO. 83-240-XSPHA (Item No. 135)

Dear Mr. Kobin:

I have this date passed my Orders in the above captioned matter in accordance with the attached.

Very truly yours,

JEAN M.H. JUNG
Deputy Zoning Commissioner

JMHJ/mc

Attachments

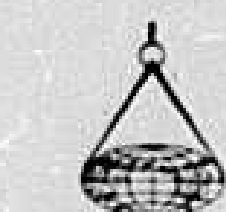
cc: Mrs. Alberta Pugh
843 Middlesex Road
Essex, Maryland 21221

Ms. Joie Duff
39 Darrow Drive
Baltimore, Maryland 21228

Mr. Walter Michaleski
408 Stemmers Run Road
Essex, Maryland 21221

John W. Hessian, III, Esquire
People's Counsel

Ms. Kathy Dunn
Essex Times
2130 Old Eastern Avenue
Baltimore, Maryland 21220



ARCHITECTURE
ENGINEERING
CONSULTING

LYON ASSOCIATES, INC.

Zoning Description

Existing Arco Service Station at
Stemmers Run Road and Marlyn Avenue
Baltimore County, Maryland

BEGINNING FOR THE SAME at a point on the Northwest intersection of Marlyn Avenue and Stemmers Run Road; thence running and binding with the Northernmost side of Marlyn Avenue South 47°24'00" West 112.03 feet; thence leaving said Right-of-Way line North 42°36'00" West 145.39 feet; thence North 47°21'00" East 110.22 feet to a point on the West side of Stemmers Run Road; thence running and binding with the Westernmost side of Stemmers Run Road South 43°45'00" East 139.73 feet; thence leaving said Right-of-Way line by a curve to the right having a chord bearing of South 32°37'50" East 5.78 feet and having a radius of 15.00 feet and an arc length of 5.81 feet to the place of beginning

Containing in all 16,236 square feet or 0.373 Ac. ±.



Philip H. Payella 1/3/83

CERTIFICATE OF POSTING ZONING DEPARTMENT OF BALTIMORE COUNTY Towson, Maryland

District: 15 Date of Posting: 4/2/83

Posted for: Arco Petroleum Products Company

Petitioner: Arco Petroleum Products Company

Location of property: NW/cor. Marlyn Ave. & Stemmers Run Rd.

Location of Signs: Arco Petroleum Products Company

Remarks: Arco Petroleum Products Company

Posted by: Arco Petroleum Products Company Date of return: 1/3/83

Number of Signs: 3

PETITION MAPPING PROGRESS SHEET

FUNCTION	Vet Map		Original		Duplicate		Tracing		200 Sheet	
	date	by	date	by	date	by	date	by	date	by
Descriptions checked and outline plotted on map										
Petition number added to outline										
Denied										
Granted by ZC, BA, CC, CA										
Reviewed by: 2/8/83										
Previous case: #2988										
Revised Plans: Change in outline or description										
Map #										

1/3/83

PETITION FOR SPECIAL EXCEPTION, SPECIAL HEARING AND VARIANCE
15th Election District

NOTING: Petition for Special Exception, Special Hearing and Variance
LOCATION: Northwest corner of Marlyn Avenue and Stemmers Run Road
DATE & TIME: Thursday, April 20, 1983 at 10:45 A.M.
PUBLIC HEARING: Room 106, County Office Building, 111 W. Chesapeake Avenue, Towson, Maryland

The Zoning Commissioner of Baltimore County, by authority of the Zoning Act and Regulations of Baltimore County, will hold a public hearing:

Petition for Special Exception for a food store (less than 5,000 sq. ft.) in combination with a service station (gas and go). Special Hearing under Section 500.7 of the Baltimore County Zoning Regulations, to determine whether or not the Zoning Commissioner and/or Deputy Zoning Commissioner should approve an amendment to the site plan in Case No. 298525 to allow the conversion of an existing service station to a gas and go operation in combination with a food store and to amend Restriction No. 1 of said case to allow the existing gas pumps and pump island to be located closer to Marlyn Avenue than the setback of the house on the adjoining property; and Variance to allow a site area of 15,236 sq. ft. in lieu of the required 21,236 sq. ft.

The Zoning Regulation to be excepted as follows:
Section 406.4 (A. 1 and D. 1) - minimum site area required for a food store in combination with a service station (gas and go)
All that parcel of land in the Fifteenth District of Baltimore County

Beginning for the same at a point on the Northwest corner of the intersection of Marlyn Avenue and Stemmers Run Road; thence running and binding with the Northwestern side of Marlyn Avenue South 47° 24' 00" West 112.03 feet; thence in S.W. and Right-of-Way line North 47° 24' 00" West 145.35 feet; thence North 47° 24' 00" East 110.22 feet to a point on the West side of Stemmers Run Road; thence running and binding with the Westernmost side of Stemmers Run Road South 47° 45' 00" East 139.73 feet; thence leaving said Right-of-Way line by a curve to the right having a chord bearing of South 32° 37' 50" East 5.78 feet and having a radius of 15.00 feet and an arc length of 5.81 feet to the place of beginning.

Containing in all 15,236 square feet or 0.373 Ac. ±.

Being the property of Arco Petroleum Products Company, as shown on plat plan filed with the Zoning Department.

Hearing Date: Thursday, April 21, 1983 at 10:45 A.M.

Public Hearing: Room 106, County Office Building, 111 W. Chesapeake Avenue, Towson, Maryland

By Order Of
WILLIAM F. HAMMOND,
Zoning Commissioner
of Baltimore County
Mar. 31

CERTIFICATE OF PUBLICATION

TOWSON, MD., March 31, 1983

THIS IS TO CERTIFY, that the annexed advertisement was published in THE JEFFERSONIAN, a weekly newspaper printed and published in Towson, Baltimore County, Md., ~~once in each of one time~~ successive weeks before the 21st day of April, 1983 the first publication appearing on the 31st day of March, 1983

THE JEFFERSONIAN,

L. Frank Smith
Manager.

Cost of Advertisement, \$.....



Petition For Special Exception, Special Hearing and Variance
15th ELECTION DISTRICT

NOTING: Petition for Special Exception, Special Hearing and Variance
LOCATION: Corner of Marlyn Ave. and Stemmers Run Rd.
DATE & TIME: Thursday, April 21, 1983 at 10:45 A.M.

PUBLIC HEARING: Room 106, County Office Building, 111 W. Chesapeake Ave., Towson, Md.

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All that parcel of land in the Fifteenth District of Baltimore County

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Containing in all 15,236 square feet or 0.373 Ac. ±.

Being the property of Arco Petroleum Products Company, as shown on plat plan filed with the Zoning Department.

Hearing Date: Thursday, April 21, 1983 at 10:45 A.M.

Public Hearing: Room 106, County Office Building, 111 W. Chesapeake Avenue, Towson, Md.

By Order Of
William F. Hammond
Zoning Commissioner
Of Baltimore County

Company, as shown on plat plan filed with the Zoning Department.

Hearing Date: Thursday, April 21, 1983 at 10:45 A.M.

Public Hearing: Room 106, County Office Building, 111 W. Chesapeake Avenue, Towson, Md.

By Order Of
William F. Hammond
Zoning Commissioner
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By Order Of
William F. Hammond
Zoning Commissioner
Of Baltimore County

Company, as shown on plat plan filed with the Zoning Department.

Hearing Date: Thursday, April 21, 1983 at 10:45 A.M.

The Times

Middle River, Md., March 31, 1983

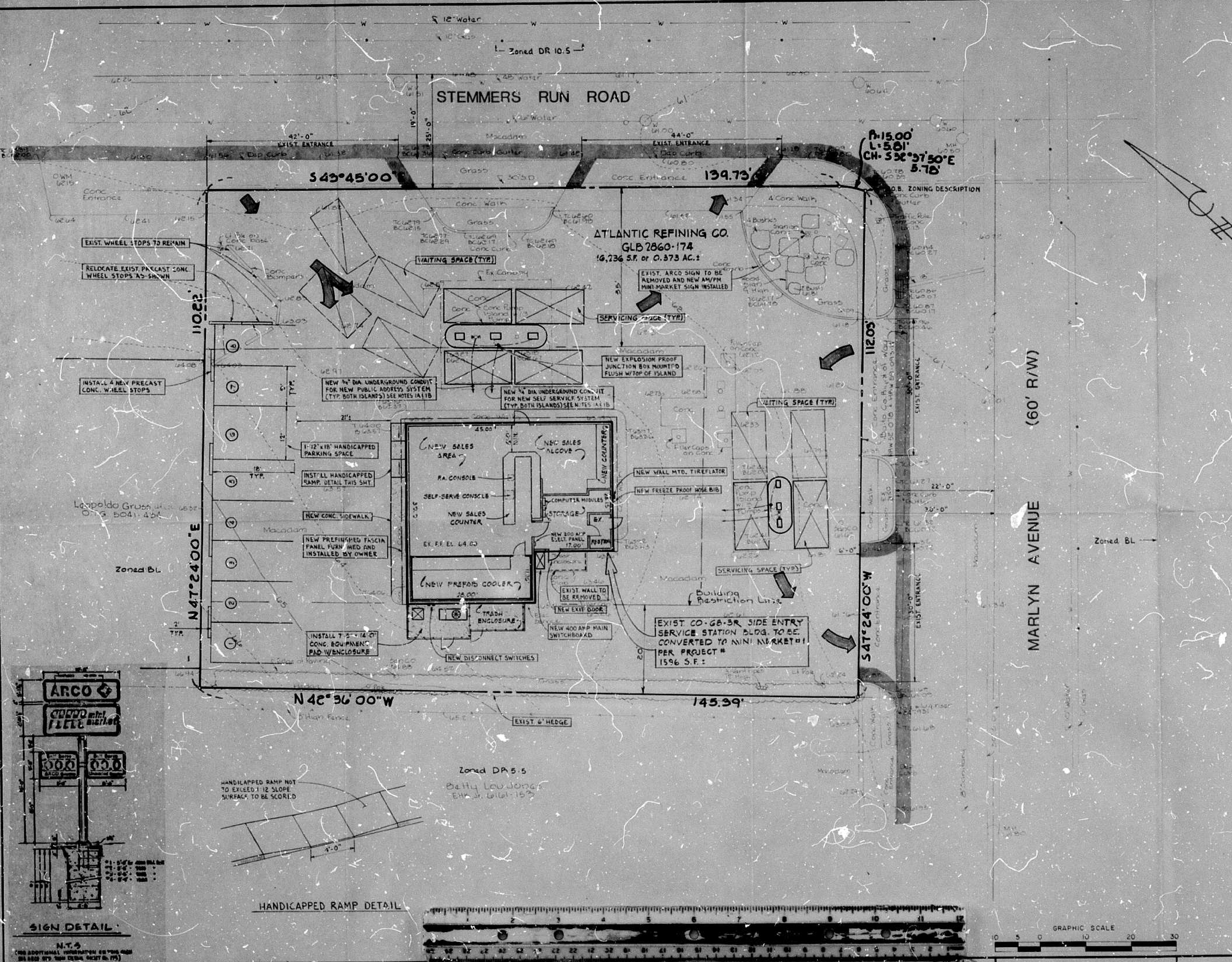
Petition
This is to Certify, That the annexed

was inserted in The Times, a newspaper printed and published in Baltimore County, once in each of one successive weeks before the 31st day of March, 1983

Charles H. [Signature]
Publisher.



PETITIONER'S
EXHIBIT 2



LOCATION MAP
Scale: 1" = 200'

- GENERAL NOTES:
- OWNER: ATLANTIC REFINING CO., 1500 MARKET STREET, PHILADELPHIA, PA. 19102, C/O JAY LONG (215) 587-2145
 - ENGINEER: LYON ASSOCIATES, INC., 7331 RUTHERFORD ROAD, BALTIMORE, MD. 21202, C/O ANTHONY J. CORTESE (410) 944-9112
 - SHEET REFERENCE: SEE 2860-174
 - COORDINATES AND BEARINGS SHOWN HEREON ARE BASED ON THE RECORDS OF RECORD.
 - ELEVATIONS SHOWN ARE BASED ON T.V. EL. 14.00.
 - UTILITIES AND OTHER OBSTRUCTIONS AS SHOWN HEREON HAVE BEEN MADE BY ACTUAL FIELD MEASUREMENTS SUPPLEMENTED BY INFORMATION OBTAINED FROM THE VARIOUS AGENCIES INVOLVED. HOWEVER, WE DO NOT GUARANTEE THE ACCURACY OR THE COMPLETENESS OF THE INFORMATION GIVEN. THE CONTRACTOR MUST VERIFY ALL SUCH INFORMATION TO HIS OWN SATISFACTION AND MUST NOTIFY THE UTILITY COMPANIES INVOLVED PRIOR TO COMMENCING WORK.
 - UTILITY COMPANIES:
CHESAPEAKE & POTOMAC TELEPHONE COMPANY, 300 ST. PAUL STREET, BALTIMORE, MARYLAND 21202
BALTIMORE GAS & ELECTRIC COMPANY, JEFFERSON & LIBERTY STREETS, BALTIMORE, MARYLAND 21202

- ZONING NOTES:
- EXISTING ZONING: BL
PROPOSED ZONING: NO CHANGE, BUT WITH SPECIAL HEARING, SPECIAL EXCEPTION, AND A VARIANCE.
SPECIAL HEARING - TO PERMIT THE CONVERSION OF AN EXISTING SERVICE STATION TO A GAS AND FOOD OPERATION.
SPECIAL EXCEPTION - SECTION 105.4 (1) TO ALLOW USE OF FOOD STORE (LESS THAN 5,000 S.F.) IN CONJUNCTION WITH SERVICE STATION.
VARIANCE - SECTION 105.4 (1) AND (2) TO ALLOW A TOTAL AREA OF 34,236 S.F. IN USE OF THE REQUIRED 21,000 S.F.
 - EXISTING USE: SERVICE STATION
PROPOSED USE: GAS AND FOOD STORE
AREA REQUIREMENTS:
MIN. LOT AREA: 10,000 S.F.
MIN. LOT WIDTH: 40'-0" (WITH TWO DECK DIFFERENCES, CAPABLE OF SERVICING FOUR CARS AT ONE TIME)
MIN. LOT DEPTH: 100'-0" (WITH TWO DECK DIFFERENCES, CAPABLE OF SERVICING TWO CARS AT ONE TIME)
TOTAL SERVICING SPACES: 4
TOTAL SERVICING BAYS: 8
TOTAL AREA REQUIRED: 8 x 1500 S.F. = 12,000 S.F.
TOTAL AREA REQUIRED: 8 x 1500 S.F. = 12,000 S.F.
TOTAL AREA REQUIRED: 8 x 1500 S.F. = 12,000 S.F.
 - ACCESS RIGHTS:
NUMBER OF DRIVEWAYS ON MAIN STREET: 2
REQUIRED DRIVEWAY: 2 x 10' x 20' = 400 S.F.
ACTUAL DRIVEWAY: 2 x 10' x 20' = 400 S.F.
 - PARKING REQUIREMENTS:
REQUIRED: 1 SPACE FOR EVERY 100 S.F. OF GROSS FLOOR AREA = 1500 / 100 = 15 SPACES
PROVIDED: 15 SPACES (INCLUDING 1 HANDICAPPED SPACE)
 - LANDSCAPING:
LANDSCAPING REQUIRED: 10% OF TOTAL LOT AREA = 3423.6 S.F.
LANDSCAPING PROVIDED: 10% OF TOTAL LOT AREA = 3423.6 S.F.
 - AREA AFFECTED BY NEW CONSTRUCTION: 217 S.F.

- CONSTRUCTION NOTES:
- A. CONTRACTOR SHALL INCLUDE IN THE BASIC PRICE THE INSTALLATION OF THE NEW SELF STORAGE AND PUBLIC ADDRESS SYSTEM WITH NEW WIRING, INCLUDING EXISTING CONDUITS.
 - B. THE NEW CONDUIT SYSTEM AS SHOWN ON THE DRAWING SHALL BE PRICED SEPARATELY. THIS SYSTEM SHALL BE INSTALLED ONLY IF EXISTING CONDUITS CANNOT BE USED.
 - C. INSTALL NEW PUBLIC ADDRESS "TALK-A-CRIME COMPANY" SYSTEM WITH NEW 400 AMP MAIN SWITCH ON CANOPY COLUMN AT 10'-0" HIGH.
 - D. REMOVE AND/OR RELOCATE ALL EXISTING SIGNS AND OTHER OBSTRUCTIONS (TREES, ETC.) THAT MAY INTERFERE WITH CONSTRUCTION, AS DETERMINED BY OWNER'S ENGINEER.
 - E. ALL NEW MASONRY WALLS TO BE KEPT TO EXISTING WHEN ADJACENT TO OPENINGS RATHER THAN "BUTTED".
 - F. INSTALL NEW TIRE LATER WITH COMPRESSOR (FURNISHED BY OWNER). SEE DRAWING C-102, DETAIL 1.
 - G. INSTALL NEW 400 AMP MAIN SWITCHBOARD WITH 100 AMP MAIN AND TWO BRANCH CIRCUIT BREAKERS. SEE DRAWING M-204 FOR SPECIFICATIONS.
 - H. INSTALL NEW CONCRETE PAD AND 5'-0" HIGH CHAIN LINK FENCE WITH WINDWOOD SLATS AND 3'-0" HIGH GATE FOR OUTDOOR EQUIPMENT. KEEP LOWER 2'-0" FROM FLOOR OPEN FOR VENTILATION.
 - I. ALL EXISTING GRAPHS AND SIGNS OF THE EXISTING BUILDING SHALL BE REMOVED.
 - J. ALTER EXISTING ELECTRICAL WIRING TO MEET NEW CONDUITING.
 - K. PROVIDE NEW 3'-0" x 7'-0" REAR EXIT DOOR WITH "SILENT WATCHMAN" ALARM SYSTEM AND BRACKET MOUNTED 10'-0" HIGH.

PETITIONER'S EXHIBIT 4

TRAFFIC FLOW

SITE PLAN

CONVERSION TO MINI MARKET
ARCO PETROLEUM PRODUCTS COMPANY
STEMMERS RUN ROAD AND MARLYN AVENUE
ELECT. DIST. 15 BALTIMORE COUNTY, MD.

DRAWING NO.
3-86-03

SHEET NO.
1 of 1

Petitioners Exhibit 4

LYON ASSOCIATES, INC.

7131 Rutherford Road, Baltimore, Maryland 21207
Telephone: 301-944-9112

REVISIONS		
NO.	DATE	DESCRIPTION
1	3-21-83	REMOVED PROP. CANOPY PER ARCO

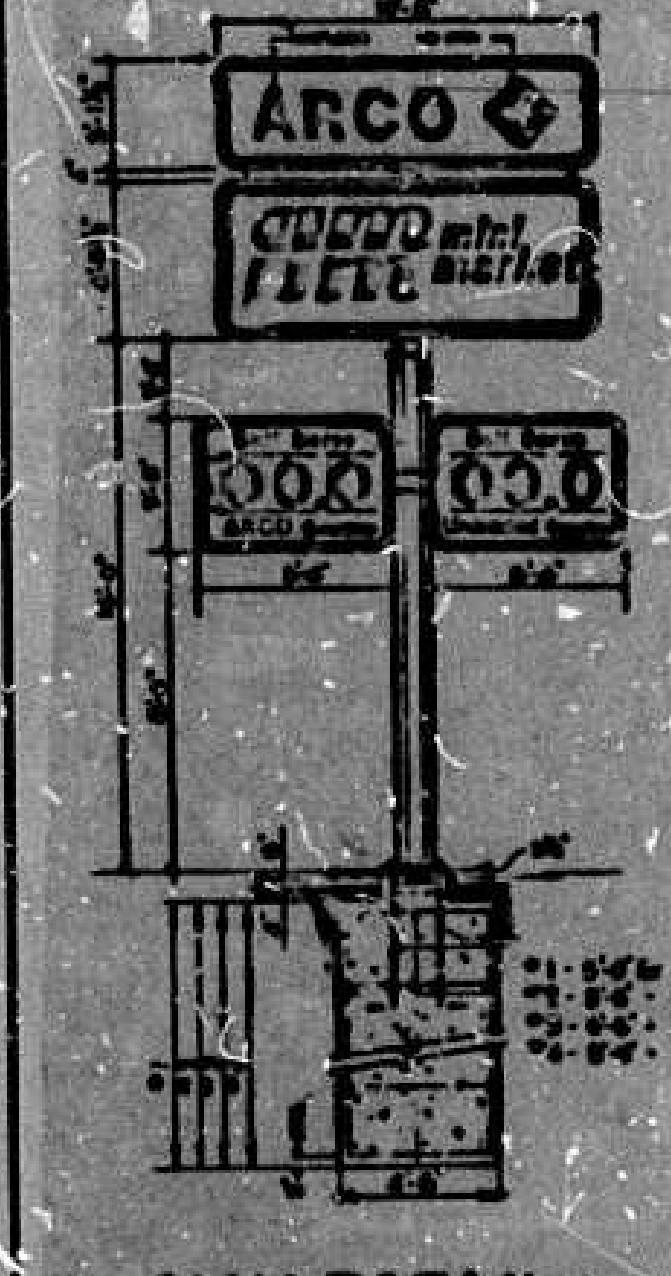
PLAN PREPARATION

DRAWN BY: J.P. OLDFHAM DATE: NOV. 17, 1982
DESIGNED BY: J.P. OLDFHAM SCALE: 1" = 10'
CHECKED BY: A.J. CORTESE

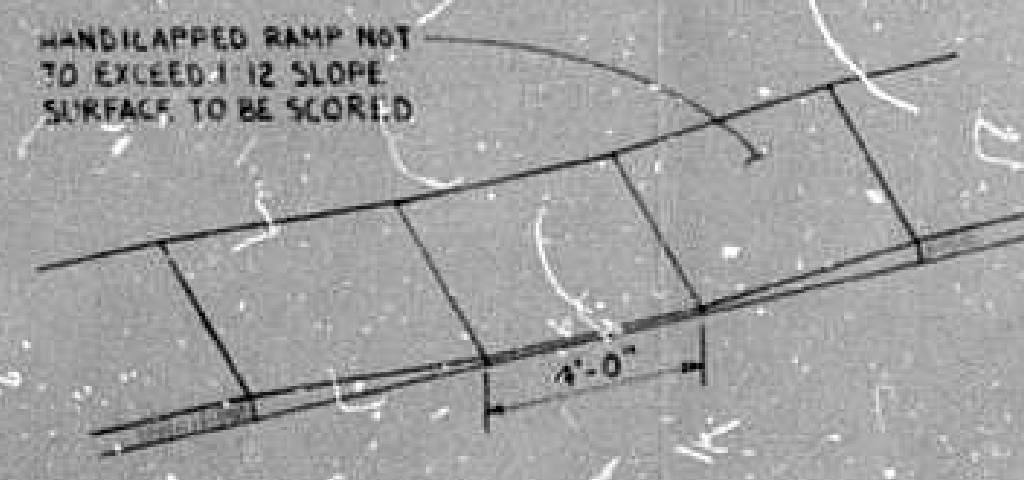
Philip A. Pizzella 1/1/83

GRAPHIC SCALE

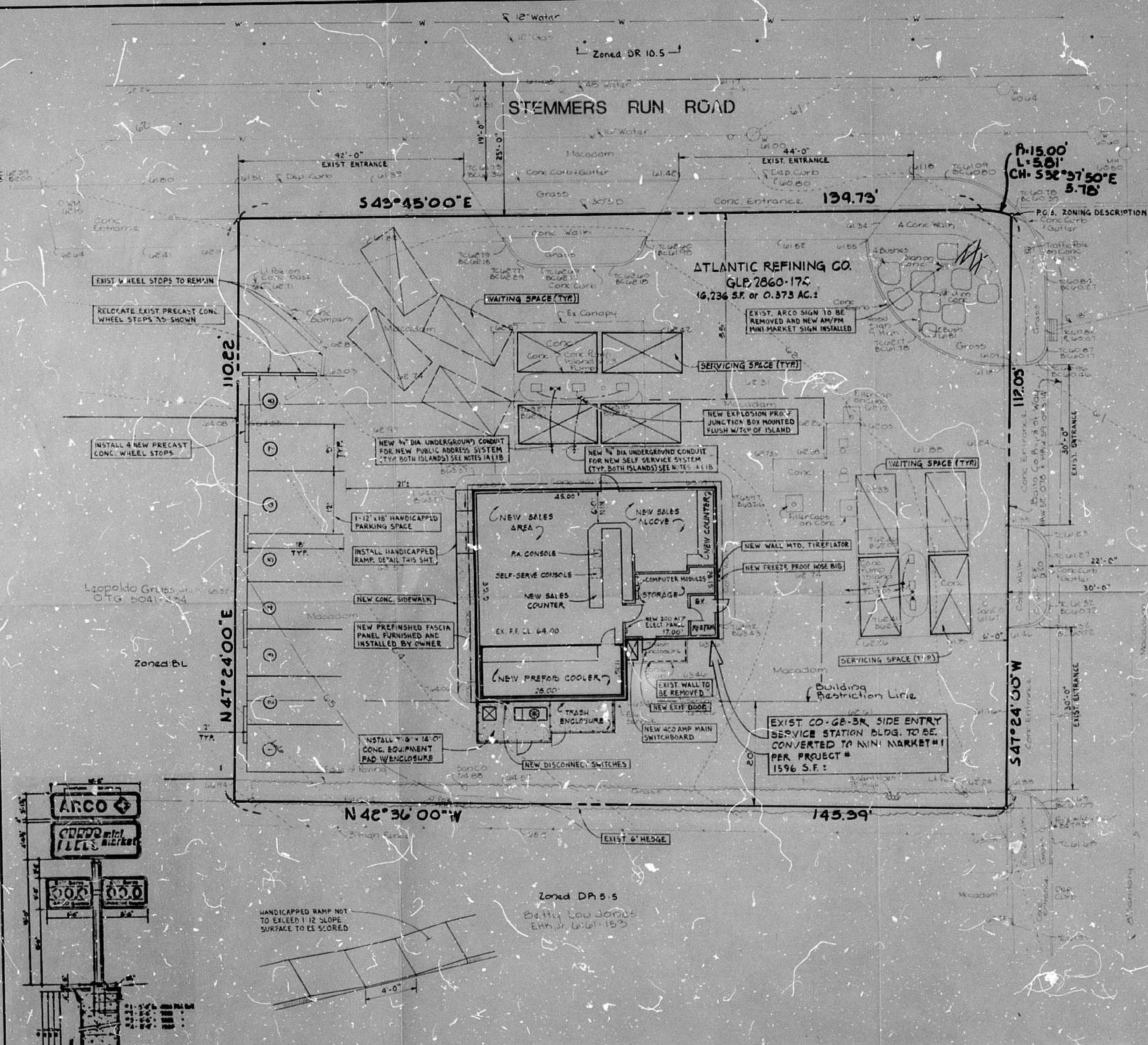
0 5 10 20 30



SIGN DETAIL



HANDICAPPED RAMP DETAIL

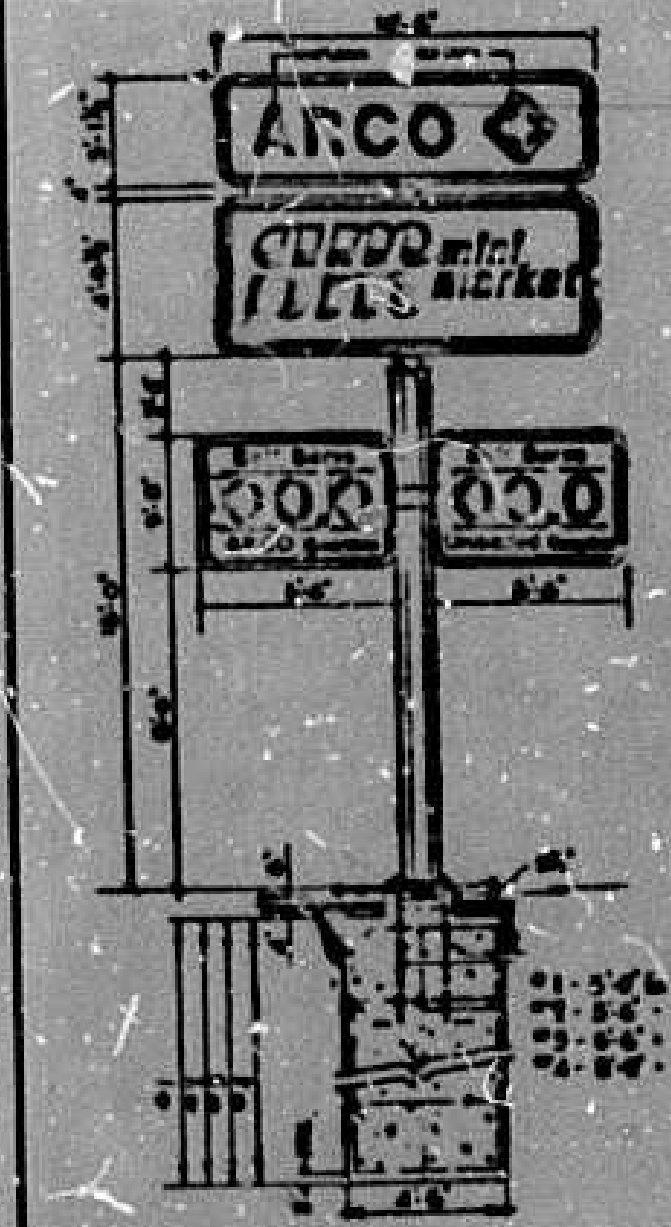


LOCATION MAP
Scale: 1"=2000'

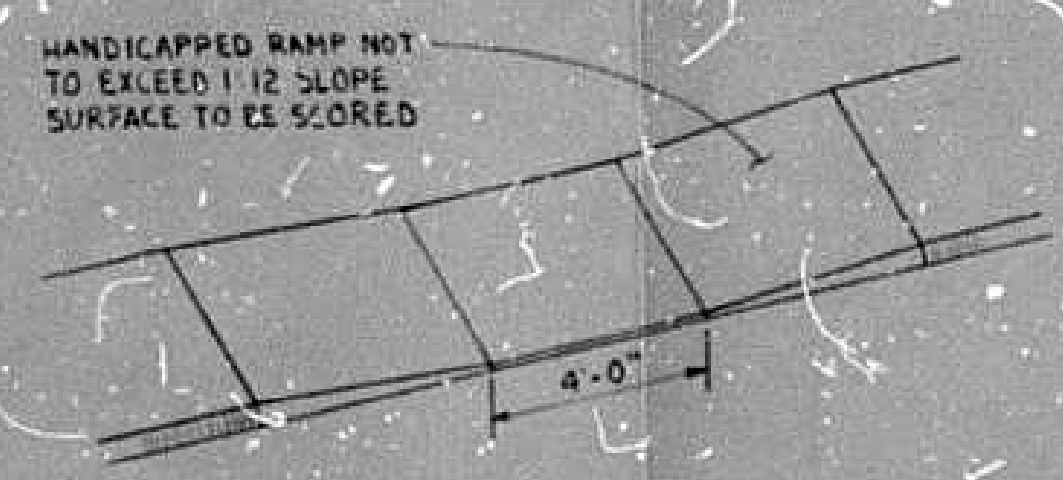
- GENERAL NOTES:**
- OWNER: ATLANTIC REFINING CO., 1500 MARKET STREET, PHILADELPHIA, PA. 19102, C/O JAY LONG (215) 587-3148
 - ENGINEER: LYON ASSOCIATES, INC., 7131 RUTHERFORD ROAD, BALTIMORE, MD. 21207, C/O ANTHONY J. CORTESE (410) 944-9112
 - DEED REFERENCE: BLR 2860-174
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 - ELEVATIONS SHOWN ARE BASED ON F.T. M. 84.00
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 - UTILITY COMPANIES:
CHESAPEAKE & POTOMAC TELEPHONE COMPANY, 320 ST. PAUL STREET, BALTIMORE, MARYLAND 21204
BALTIMORE GAS & ELECTRIC COMPANY, EXTENSION & LIBERTY STREETS, BALTIMORE, MARYLAND 21202
- ZONING NOTES:**
- EXISTING ZONING: IN PROPOSED ZONING: NO CHANGE, BUT WITH A SPECIAL HEARING, SPECIAL EXCEPTION, AND A VARIANCE.
SPECIAL HEARING: TO PERMIT THE CONVERSION OF AN EXISTING SERVICE STATION TO A GAS AND NO OPERATION.
SPECIAL EXCEPTION: SECTION 405.4 (10.1) TO ALLOW USE OF FOOD STORE (LESS THAN 5,000 S.F.) IN COMBINATION WITH SERVICE STATION.
VARIANCE: SECTION 405.4 (14.1) AND 405.4 (15.1) TO ALLOW A SIDE WALK OF 10.25M S.F. ON LOTS OF THE PREVIOUS 21,360 S.F.
 - PLANNING USE: SERVICE STATION.
PROPOSED USE: ARCO MINI-MARKET WITH GAS FACILITY.
 - AREA DISCREPANCIES:
ONE DISPENSER ISLAND WITH TWO DISPENSERS, CAPABLE OF SERVING FOUR CARS AT ONE TIME.
ONE DISPENSER ISLAND, WITH TWO DISPENSERS, CAPABLE OF SERVING TWO CARS AT ONE TIME.
TOTAL SERVICING SPACES = 4
TOTAL SERVICING RATE = 8
TOTAL SERV. ISLAND SPACES AND RATES = 4
TOTAL AREA PROVIDED = 4 x 2,000 S.F. = 8,000 S.F. (MINIMUM 11,000 S.F.)
 - ACCESSORIES:
MINIMUM NECESSARY USES: NO ADDITIONAL SQUARE FOOTAGE REQUIRED.
COMBINATION USE: FOOD STORE SALES (MINIMUM 1,000 S.F.)
TOTAL AREA PROVIDED = 11,000 S.F. + 1,000 S.F. = 12,000 S.F. (MINIMUM 11,000 S.F.)
TOTAL AREA OF TRACT = 10,250 S.F. ON 0.233 AC.
 - ACCESSORIES:
NUMBER OF DRIVEWAYS ON MARLYN STREET = 2
REQUIRED: 11' WIDE x 4' 6" DEEP = 132' S.F.
ACTUAL: 11' WIDE x 12' 6" DEEP = 158' S.F.
 - PLANNING REQUIREMENTS:
REQUIRED: 1 SPACE FOR EVERY 100 S.F. OF GROSS FLOOR AREA + 25A + 70A + 8 SPACES PROVIDED = 4 SPACES (INCLUDING 1 HANDICAPPED SPACE).
 - LANDSCAPING:
LANDSCAPING REQUIRED (100 S.F. OF TRACT) = 100 S.F. (MINIMUM 1,000 S.F.)
LANDSCAPING PROVIDED = 200A + 4 S.F. (CONSISTS OF GRASS, TREES, AND SHRUBS)
 - AREA DISTURBED BY NEW CONSTRUCTION = 177 S.F.

MARLYN AVENUE
(60' R/W)

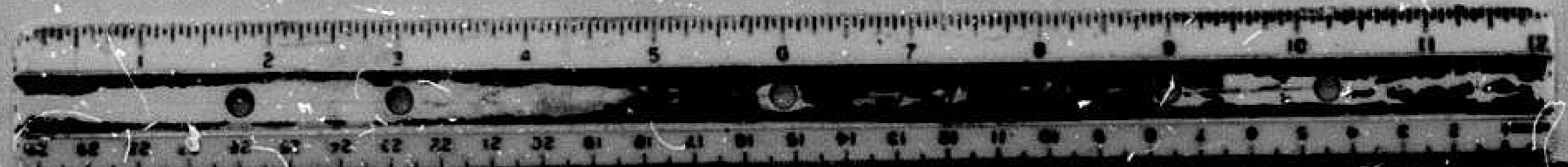
Zoned BL



SIGN DETAIL
N.T.S.
(FOR ADDITIONAL INFORMATION SEE THE MAIN SITE AREA STD. 3000 DETAIL SHEET 10.170)



HANDICAPPED RAMP DETAIL



PETITIONER'S
EXHIBIT 3

Revised Plans
3-14-83
4136

LYON ASSOCIATES, INC.
7131 Rutherford Road, Baltimore, Maryland 21207
Telephone: 301-944-9112

REVISIONS		
NO.	DATE	DESCRIPTION
1	3-21-83	REMOVED PROP. CANOPY PER ARCO

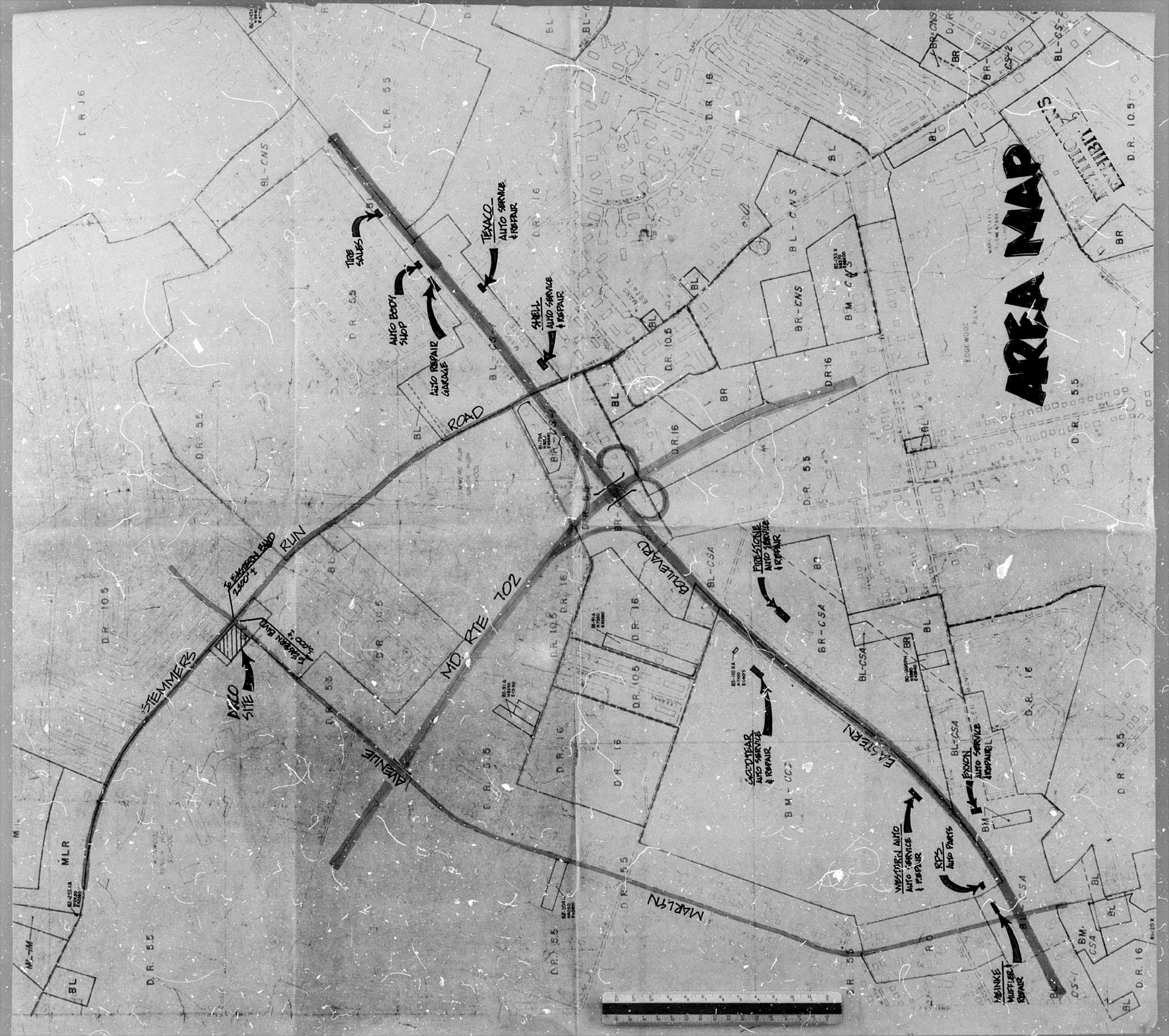
Philip A. Pizzella 1/3/83

PLAN PREPARATION		
DRAWN BY	J.P. OLDHAM	DATE NOV. 17, 1982
DESIGNED BY	J.P. OLDHAM	DATE 11-10
APPROVED BY	A.J. CORTESE	

SITE PLAN
CONVERSION TO MINI MARKET
ARCO PETROLEUM PRODUCTS COMPANY
STEMMERS RUN ROAD AND MARLYN AVENUE
ELECT. DIST. 15 BALTIMORE COUNTY, MD.

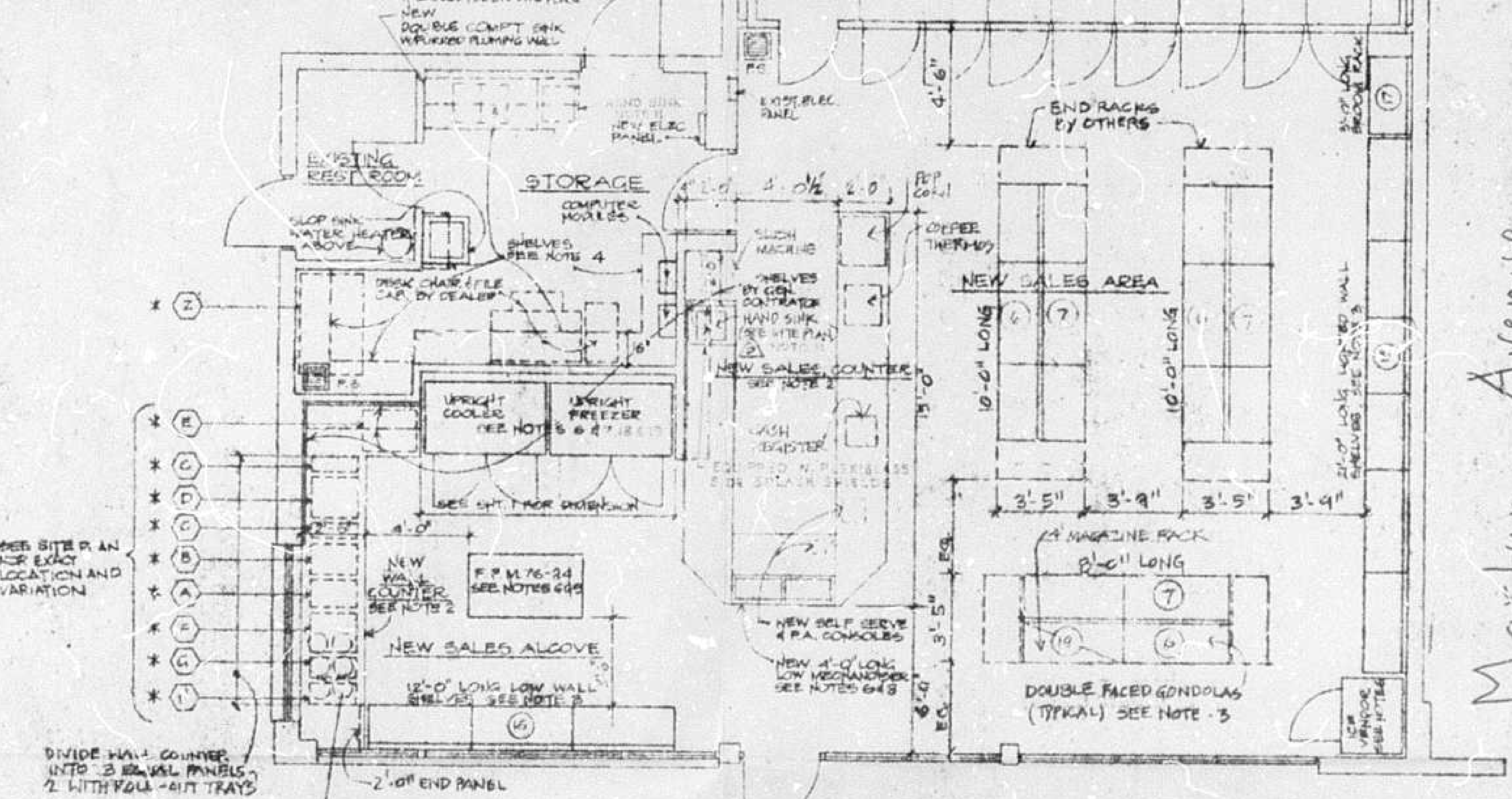
DRAWING NO.
3-86-03
SHEET NO.
1 of 1

AREA MAP



STORE FIXTURE NOTES (CONT.)

- ALL EQUIPMENT MUST MEET DESIGN STANDARDS OF THE MARYLAND STATE DEPARTMENT OF HEALTH AND MENTAL HYGIENE. AN INSPECTION OF THE EQUIPMENT AND INSTALLATION MUST BE MADE BY THIS DEPARTMENT TO DETERMINE COMPLIANCE.
- HAND SINKS TO BE EQUIPPED WITH A HOT AND COLD WATER MIXING FAUCET, SOAP, TOWEL AND WASTE RECEPTACLE.
- ONE TWO (2) COMPARTMENT SINK MUST BE SEALED IN PLACE TO THE WALL AND PROVIDED WITH AN APPROVED DETERGENT/SANITIZER PRODUCT.
- REST ROOM MUST BE PROVIDED WITH A VACUUM BREAKER.
- REST ROOM DOOR MUST HAVE A SCREENED, LOUVERED AIR INLET INSTALLED, AND BE SELF-CLOSING AND LOCKABLE. AN OPEN FRONT TOILET BRAT MUST BE PROVIDED ON THE WATERCLOSET.
- THE TWO (2) COMPARTMENT SINK MUST BE PROVIDED WITH A DRAIN LINE FROM EACH COMPARTMENT AND DRAIN SEPARATELY THROUGH AN AIR GAP TO AN INDIRECT WASTE RECEPTOR.
- ALL EXPOSED WOOD SURFACES MUST BE SEALED SO THAT NO EXPOSED WOOD EXISTS. ALL HOLES, CRACKS AND CREVICES MUST BE ELIMINATED.
- ALL EQUIPMENT MUST BE ELEVATED ABOVE THE FLOOR ON SIX (6) INCH LEGS OR CASTERS, OR BE COMPLETELY SEALED IN PLACE TO THE FLOOR FOR EASY CLEANING.
- ALL WASTE AND CONDENSATE DRAIN LINES MUST DRAIN SEPARATELY THROUGH AN AIR GAP TO AN INDIRECT WASTE RECEPTOR.
- ALL REFRIGERATION/FREEZING UNITS MUST BE EQUIPPED WITH THERMOMETERS, GRADUATED IN TWO (2) DEGREE FAHRENHEIT INTERVALS.



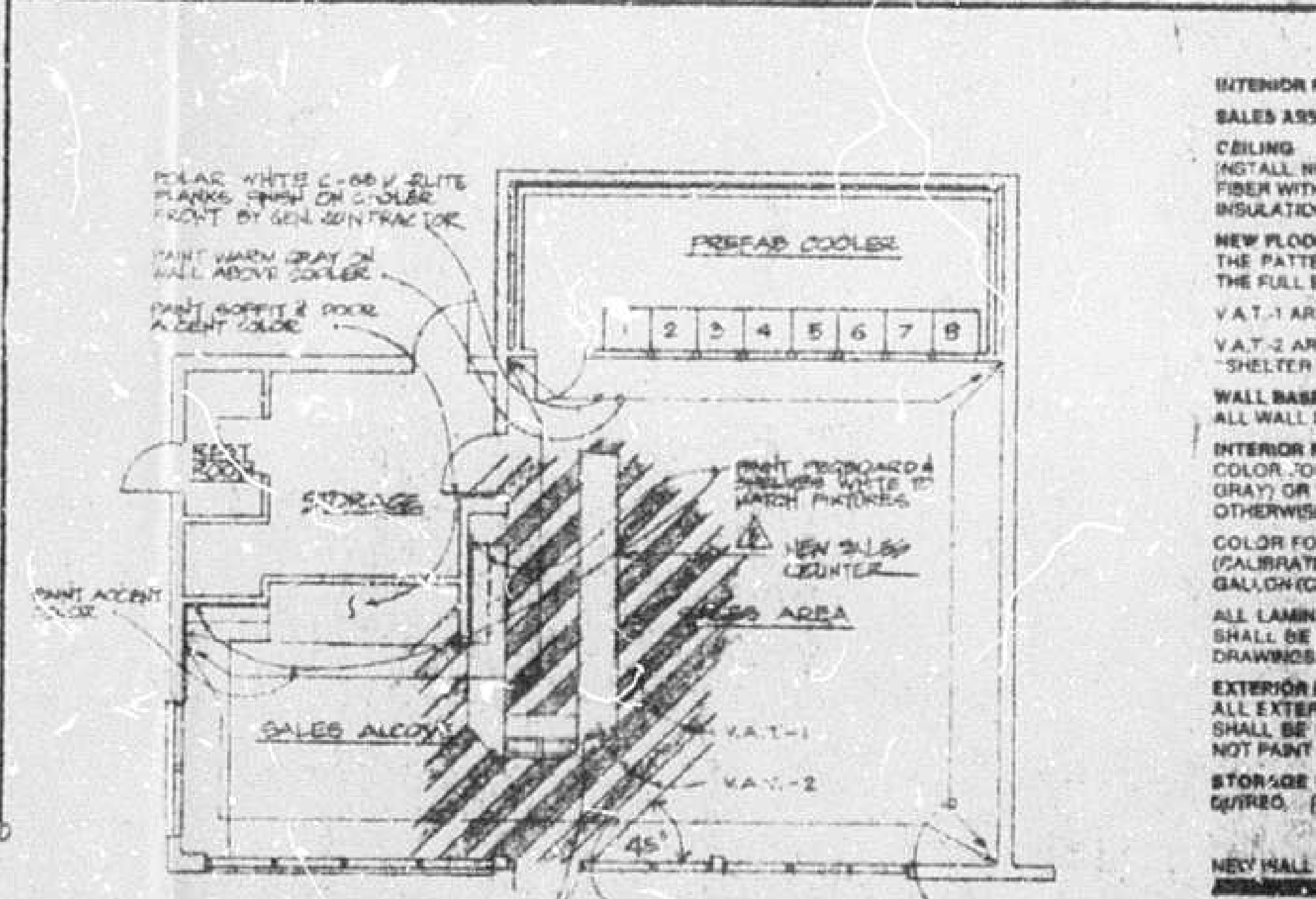
STORE FIXTURE PLAN
SCALE 1/4" = 1'-0"

STORE FIXTURE NOTES

- NEW PREFABRICATED COOLER (SIZE 3'-0" x 2'-0" x 3'-0" HIGH) SHALL BE COMPLETE WITH 1-30W x 8" WALK-IN DOOR AND 8-30W x 8" COOLER DOORS, WITH SHELVING, INCLUDING ALL INTERIOR DOOR AND SHELVING LIGHTING. MANUFACTURER SHALL MAKE FIELD MEASUREMENTS PRIOR TO FABRICATION. IN CASE OF OBSTRUCTIONS (PIPES, VENTS, VALVES, ETC.) ADJUSTMENTS SHALL BE MADE ON SIZE OF COOLER TO BE ORDERED. COOLER TO BE MOVED ACCORDINGLY. NOTIFY OWNER'S ENGINEER AND WAIT FOR HIS INSTRUCTIONS. COOLER SHALL BE ERECTED BY ITS MANUFACTURER WHO SHALL FURNISH SHOP DRAWINGS SHOWING MECHANICAL AND ELECTRICAL WORK TO BE DONE BY GENERAL CONTRACTOR.
- SALES & WALL COUNTERS TO BE FURNISHED AND INSTALLED BY GENERAL CONTRACTOR. SEE DRAWING U-278 & U-283 FOR DETAILS OF COUNTERS, SHELF, SHELFBOARD ARCHES AND DIMENSIONS NOT SHOWN.
- WALL SHELVING IN SALES AREA (EXCLUDING SHELF AND SHELFBOARD ABOVE COUNTER) AND GONDOLAS, SHALL BE FURNISHED BY OWNER AND ERECTED ON SITE BY GENERAL CONTRACTOR. THESE SHELVES AND GONDOLAS SHALL HAVE A "DEEP" BASES SEE DRAWING G-128 FOR DESCRIPTION OF SHELVING SHOWN THIS.
- CONTRACTOR SHALL FURNISH AND INSTALL 5 ROWS OF NEW ADJUSTABLE 18" DEEP x 54" THICK PLYWOOD SHELVES IN STORAGE ROOM AS SHOWN ON FLOOR PLAN. INSTALL ONLY 2 ROWS OF 12" DEEP SHELVES ABOVE DESK AND OR SINKS. SHELVES SHALL HAVE SMOOTH FINISH AND BE VARNISHED OR PAINTED BY GENERAL CONTRACTOR.
- ALL STORE FIXTURES SHALL BE MATCHING WHITE.
- FAST FOOD MODULE, ICE VENDOR, UPRIGHT & LOW MERCHANDISERS SHALL BE FURNISHED & INSTALLED BY OWNER.
- UPRIGHT MERCHANDISERS SHALL HAVE JOINDER KIT AND FRONT AND SIDE WALL EXTENSIONS UP TO 7' TOTAL HEIGHT.
- LOW FREEZER SHALL BE COMPLETE WITH 20" WIDE TOP. GENERAL CONTRACTOR SHALL FINISH TOP WITH PLASTIC LUMINATE TO MATCH ADJOINING COUNTER TOP.
- SPECIAL 24" x 12" LONG ISLAND FAST FOOD MODULE COMPLETE WITH BUILT-IN SODA CUP AND NARROW DISPENSER, RECESS ON ONE SIDE AND BRACE FOR TRAY CONTAINER. ALL EXPOSED SURFACES TO BE FINISHED WITH FORMICA 488 WHITE WITH MATTE FINISH FROM FORMICA. (SEE COLOR GRID WITH FORMICA 488 WHITE WITH MATTE FINISH FROM FORMICA. (SEE COLOR GRID AND INSTALLED BY OWNER).

- FOUNTAIN DRINK PREPARE! FOLLOWING EQUIPMENT TO BE FURNISHED AND INSTALLED BY OWNER:**
- FOUNTAIN DRINK DISPENSER
 - ICE DISPENSER
 - 2-CUP DISPENSERS
 - COFFEE MAKER
 - MICROWAVE OVEN
 - CO2 AND SYRUP TAPES
 - ICE MAKER
 - TWIN JET SPRAY
 - ICE TEA MACHINE
 - HOT CHOCOLATE MACHINE

GENERAL CONTRACTOR SHALL PROVIDE ALL ELECTRICAL FOR FLOORING. REFER TO THE ELECTRICAL PLAN THIS SHEET NO. SH-1 FOR FLOORING.



FLOOR FINISH & COLOR KEY PLAN
SCALE 1/8" = 1'-0"

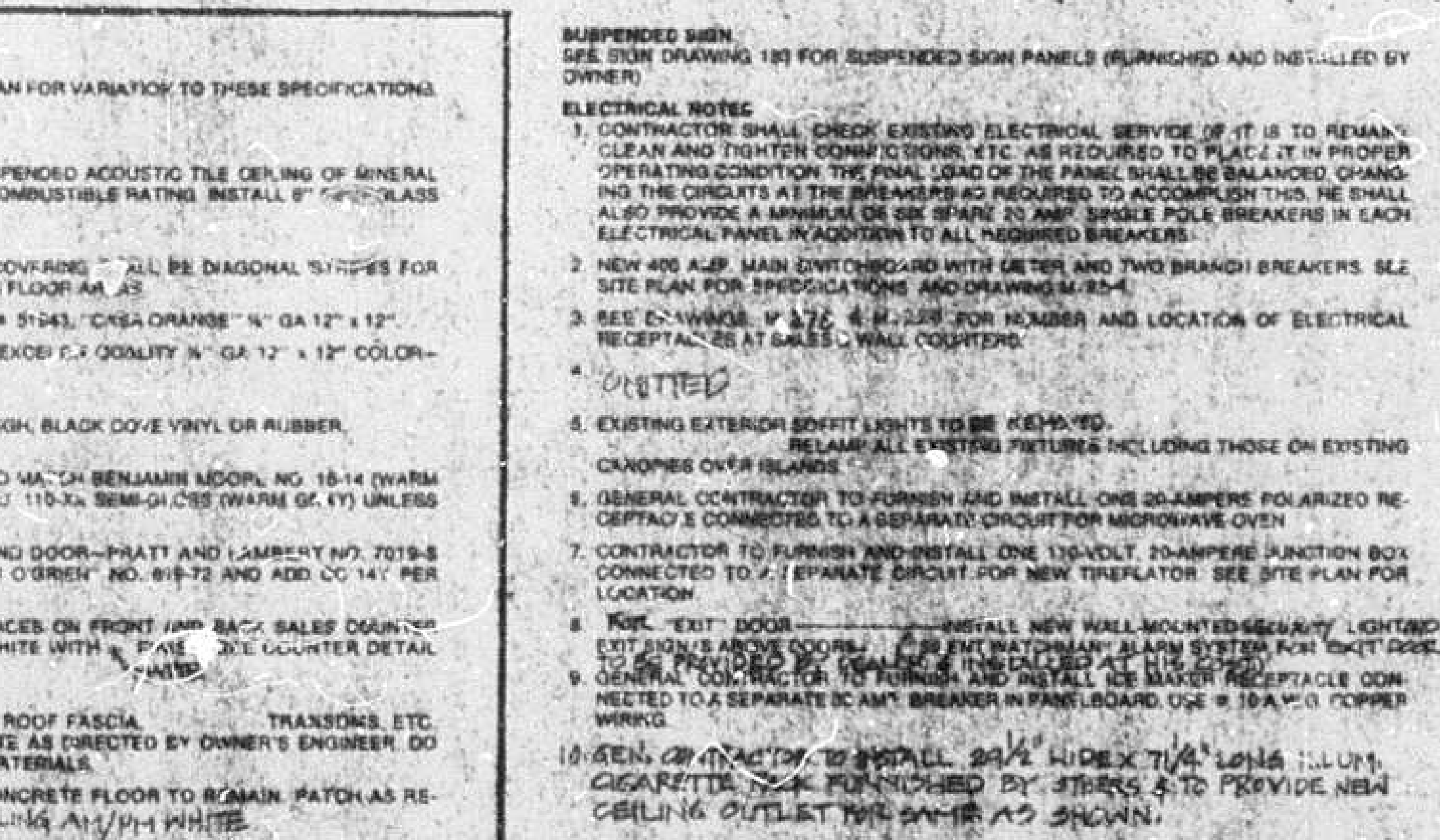
ITEM	MAKE	MODEL NO.	REMARKS
ICE VENDOR	STAR COOLER CORP.	18-28 UG	OR APPROVED EQUAL
POP CORN MACHINE	STAR MANUFACTURING	49-D	OR APPROVED EQUAL
SLUSH MACHINE	SAULT SERV.	768-B	OR APPROVED EQUAL
LOW MERCHANDISER	ELIMINATOR	MCT-4 1/2	OR APPROVED EQUAL
UPRIGHT FREEZER	JORDON	VMT-50-QH	OR APPROVED EQUAL
UPRIGHT COOLER	JORDON	VMT-50-CL	OR APPROVED EQUAL
COFFEE M. / RHE	COFFEEWARE CORP.	RCS-24	OR APPROVED EQUAL
NICKELWARE OVEN	SHARP	R-2110	OR APPROVED EQUAL
GONDOLAS	18-434-1919		OR APPROVED EQUAL
UTENSIL SINK	ALZ-22-2		OR APPROVED EQUAL
ICE MAKER	METAL MASTER-EAGLE	SCT-13W	OR APPROVED EQUAL
	FRIGIDAIRE		OR APPROVED EQUAL

INTERIOR FINISHES SEE SITE PLAN FOR VARIATION TO THESE SPECIFICATIONS.

- SALES AREA**
- CEILING**
INSTALL NEW 2" x 4" LAY-IN SUSPENDED ACOUSTIC TILE CEILING OF MINERAL FIBER WITH A CLASS "A" NON-COMBUSTIBLE RATING. INSTALL 8" GYPSUM INSULATION BATT ABOVE.
- FLOORING**
THE PATTERN OF THE FLOOR COVERING - ALL BE DIAGONAL STRIPES FOR THE FULL EXTENT OF THE SALES FLOOR AREA.
- V.A.T-1 ARMSTRONGS EXCELON - 5143, "ORCA ORANGE" 4" GA 12" x 12"
- V.A.T-2 ARMSTRONGS IMPERIAL EXCEL EXCELITY 4" GA 12" x 12" COLOR "SHELTER WHITE" 51038
- WALL BASE**
ALL WALL BASES SHALL BE 4" HIGH, BLACK DOVE VINYL OR RUBBER.
- INTERIOR PAINT**
COLOR FOR INTERIOR WALLS TO MATCH BENJAMIN MOORE NO. 16-14 (WARM GRAY) OR "FULLER O'BRIEN" NO. 110-33, SEMI-GLOSS (WARM GR. 17) UNLESS OTHERWISE NOTED.
- COLOR FOR ADJACENT WALLS AND DOOR-PRATT AND LAMBERT NO. 7019-S (CALIBRATED RED) OR "FULLER O'BRIEN" NO. 615-72 AND ADD CC 141 PER GALLON (CALIBRATED RED).
- ALL LAMINATED PLASTIC SURFACES ON FRONT AND BACK SALES COUNTERS SHALL BE FORMICA NO. 548 WHITE WITH A PAVE. SEE COUNTER DETAIL DRAWINGS.
- EXTERIOR PAINT**
ALL EXTERIOR WALLS, ROOF FASCIA, TRANSOMS, ETC. SHALL BE PAINTED AM/PM WHITE AS DIRECTED BY OWNER'S ENGINEER. DO NOT PAINT NEW PRE-FINISHED MATERIALS.
- STORAGE ROOM**-EXISTING CONCRETE FLOOR TO REMAIN. PATCH AS REQUIRED. PAINT WALL & CEILING AM/PM WHITE.
- REST ROOM** TO MATCH EXISTING.
- EXISTING REST ROOM** TO REMAIN. PAINT WALL & CEILING AM/PM WHITE.

REFLECTED CEILING & ELECTRICAL PLAN

SCALE 1/4" = 1'-0"



EXTERIOR FINISHES SEE SITE PLAN FOR VARIATION TO THESE SPECIFICATIONS.

- SALES AREA**
- CEILING**
INSTALL NEW 2" x 4" LAY-IN SUSPENDED ACOUSTIC TILE CEILING OF MINERAL FIBER WITH A CLASS "A" NON-COMBUSTIBLE RATING. INSTALL 8" GYPSUM INSULATION BATT ABOVE.
- FLOORING**
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EXTERIOR FINISHES SEE SITE PLAN FOR VARIATION TO THESE SPECIFICATIONS.

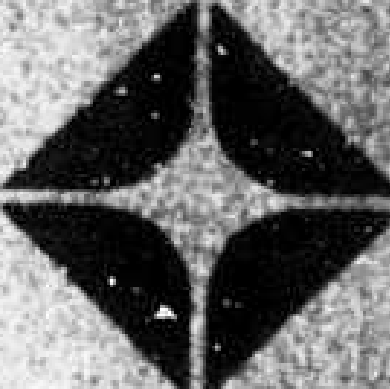
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- REST ROOM** TO MATCH EXISTING.
- EXISTING REST ROOM** TO REMAIN. PAINT WALL & CEILING AM/PM WHITE.

EXTERIOR FINISHES SEE SITE PLAN FOR VARIATION TO THESE SPECIFICATIONS.

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- EXISTING REST ROOM** TO REMAIN. PAINT WALL & CEILING AM/PM WHITE.



ARCO Petroleum Products Company
Division of Atlantic Richfield Company
Design & Engineering
515 South Flower St., Los Angeles, CA 90071

CONVERSION, MINI MARKET
EXHIBIT 6
PETITIONER'S EXHIBIT 6
MICROFILMED

DATE	REVISIONS
11/25/83	REVISED & UPDATED
11/25/83	REVISED & UPDATED
11/25/83	REVISED & UPDATED

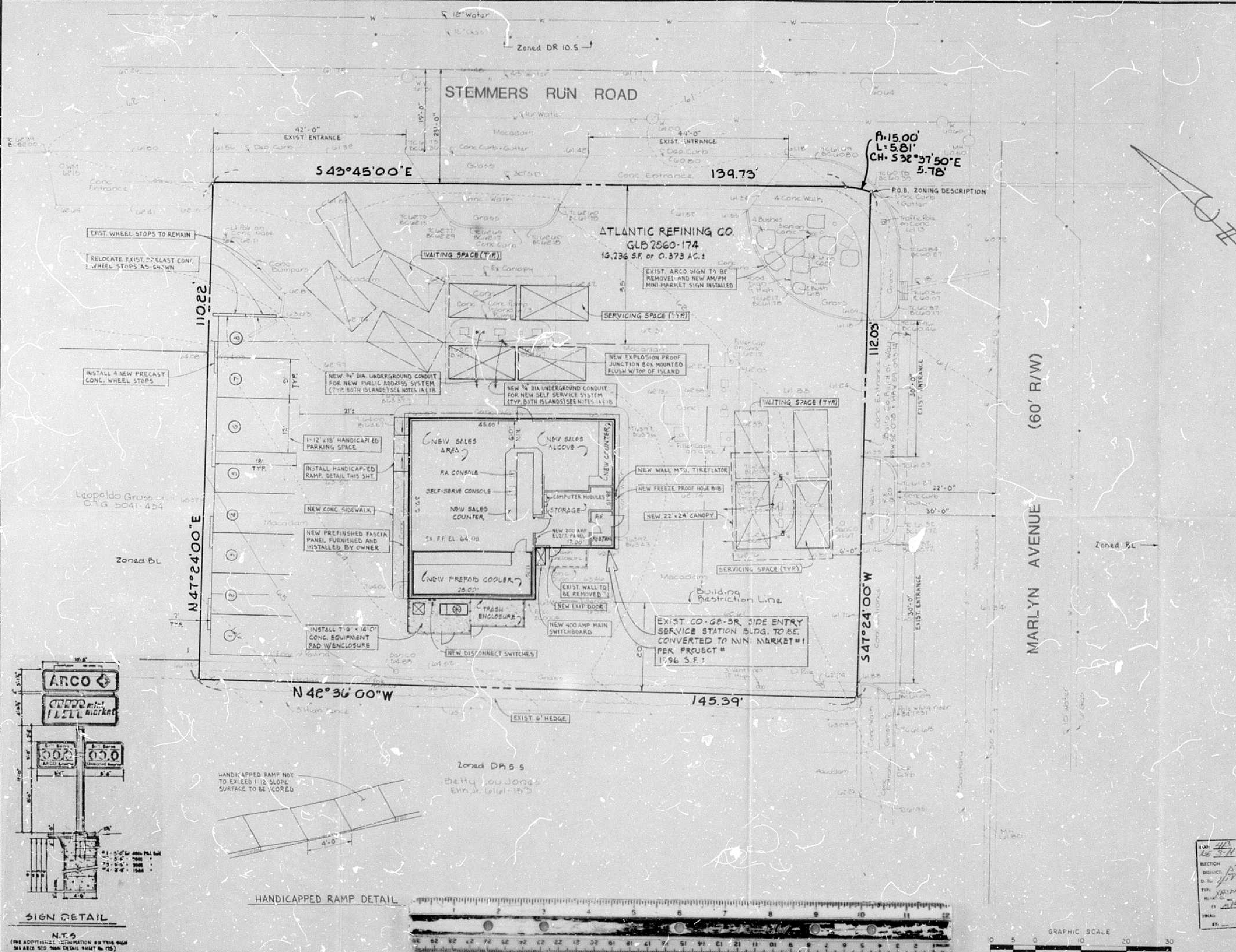


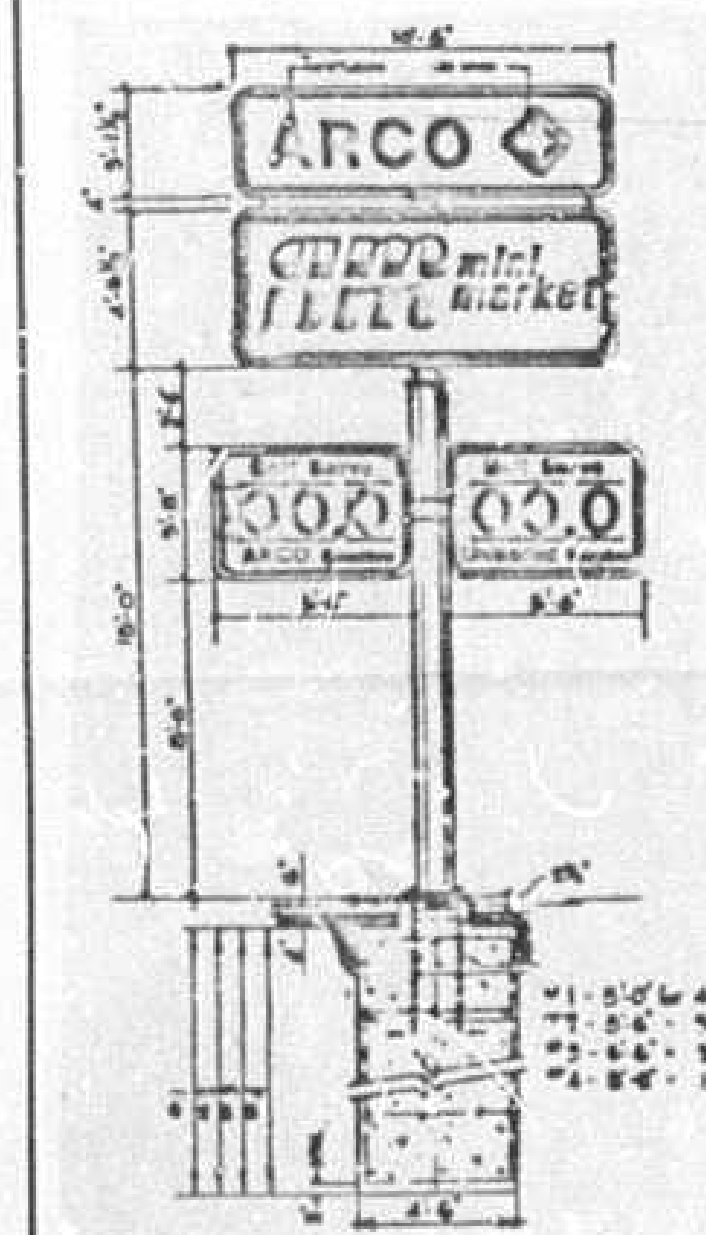
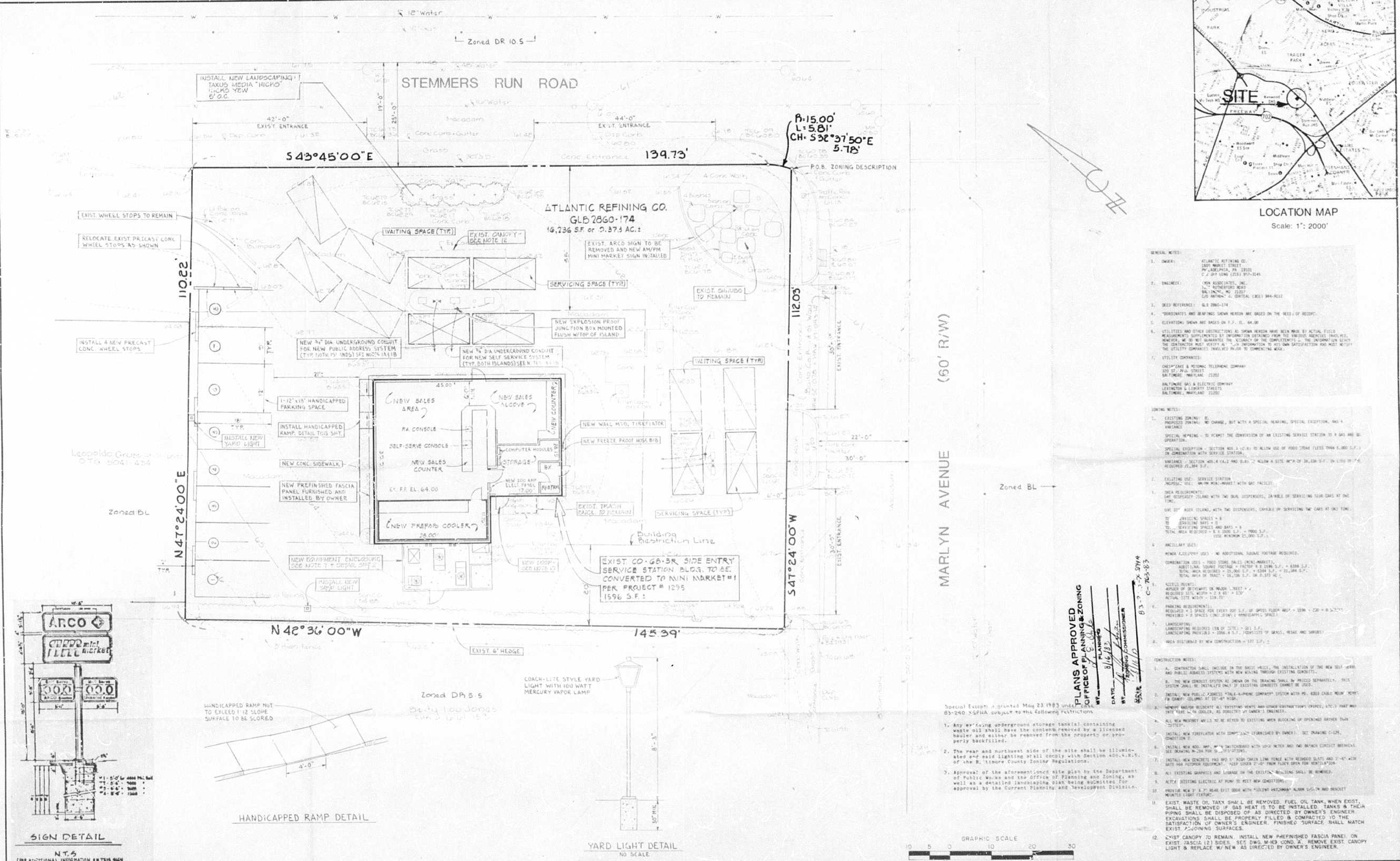
LOCATION MAP
Scale: 1" = 2000'

- GENERAL NOTES:
- OWNER: ATLANTIC REFINING CO., 2500 MARKET STREET, PHILADELPHIA, PA. 19101
 - ENGINEER: LYN ASSOCIATES, INC., 2131 RUTHERFORD ROAD, BALTIMORE, MD. 21207
 - DEED REFERENCE: 68-2860-1-4
 - COORDINATES AND BEARINGS SHOWN HEREIN ARE BASED ON THE BASIS OF RECORDS.
 - ELEVATIONS SHOWN ARE BASED ON F.T.M. 55.00.
 - UTILITIES AND OTHER OBSTRUCTIONS AS SHOWN HEREIN HAVE BEEN MADE BY ACTUAL FIELD MEASUREMENTS. THE ENGINEER HAS NOT BEEN ADVISED OF ANY CHANGES SINCE THE DATE OF THE SURVEY. THE CONTRACTOR MUST VERIFY ALL SUCH INFORMATION TO HIS OWN SATISFACTION AND MUST NOTIFY THE UTILITY COMPANIES INVOLVED PRIOR TO COMMENCING WORK.
 - UTILITY COMPANIES:
 - CHESAPEAKE & POTOMAC TELEPHONE COMPANY, 200 ST. PAUL STREET, BALTIMORE, MARYLAND 21202
 - BALTIMORE GAS & ELECTRIC COMPANY, 100 N. CALVERT STREET, BALTIMORE, MARYLAND 21202

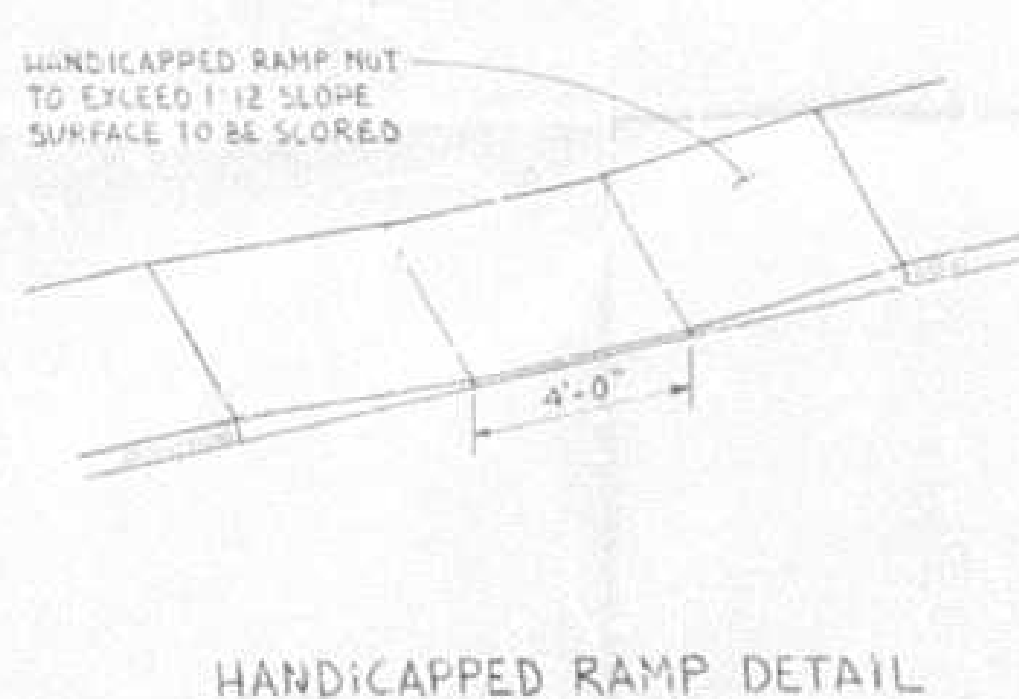
- ZONING NOTES:
- EXISTING ZONING: BL. PROPOSED ZONING: NO CHANGE, BUT WITH A SPECIAL HEARING, SPECIAL EXCEPTION, AND A VARIANCE.
 - SPECIAL HEARING - TO RESOLVE THE CONVERSION OF AN EXISTING SERVICE STATION TO A GAS AND NO SPECIAL HEARING - SECTION 405.4 (B) TO ALLOW USE OF FOOD STORE (LESS THAN 5,000 S.F.) IN CONJUNCTION WITH SERVICE STATION.
 - VARIANCE - SECTION 405.4 (A) AND 405.4 (B) TO ALLOW A SITE AREA OF 26,236 S.F. IN LIEU OF THE REQUIRED 25,000 S.F., AND SECTION 405.4 (C) TO ALLOW A CANOPY SETBACK OF 6 FEET IN LIEU OF THE REQUIRED 10 FEET.
 - EXISTING USE: SERVICE STATION. PROPOSED USE: 100% MINI-MARKET WITH GAS FACILITY.
 - AREA REQUIREMENTS: ONE (1) ISLAND WITH TWO (2) DISPENSERS, CAPABLE OF SERVICING YOUR CARS AT ONE TIME. ONE (1) SUSPENSION ISLAND WITH TWO (2) DISPENSERS, CAPABLE OF SERVICING TWO CARS AT ONE TIME. TOTAL SERVICING SPACES: 6. TOTAL SERVICING ISLANDS: 2. TOTAL SERVICING SPACES AND ISLANDS: 8. TOTAL AREA REQUIRED: 25,000 S.F. + 4,000 S.F. = 29,000 S.F. TOTAL AREA OF TRACT: 26,236 S.F. OR 0.603 AC. (SEE NOTE 1).
 - CELLULAR 200'S: NONE ACCESSORY USES - IF ADDITIONAL SOUND FOOTING REQUIRED.
 - COMPLIANCE - USES - FOOD STORE, LESS THAN 5,000 S.F. - 2500 S.F. + 4,000 S.F. - 6,500 S.F. TOTAL AREA REQUIRED: 25,000 S.F. + 4,000 S.F. = 29,000 S.F. TOTAL AREA OF TRACT: 26,236 S.F. OR 0.603 AC. (SEE NOTE 1).
 - ACCESS - MINIMUM OF DRIVEWAYS ON MAJOR STREET: 2. REQUIRED SITE AREA: 25,000 S.F. + 4,000 S.F. = 29,000 S.F. ALONG SITE BOUNDARY: 100'.
 - PARKING REQUIREMENTS: REQUIRED: 1 SPACE PER EVERY 300 S.F. OF GROSS FLOOR AREA = 1000 + 200 + 800 = 2000 SPACES. PROVIDED: 8 SPACES (INCLUDING 1 HANDICAPPED SPACE).
 - LANDSCAPING: LANDSCAPING REQUIRED: 15% OF SITE = 3935 S.F. LANDSCAPING PROVIDED: 2000 + 800 = 2800 S.F. (CONSISTS OF GRASS, TREES AND SHRUBS).
 - AREA DESTROYED BY NEW CONSTRUCTION: 177 S.F.

- CONSTRUCTION NOTES:
- A. CONTRACTOR SHALL INCLUDE IN THE BIDDING PRICE THE INSTALLATION OF THE NEW SELF-SERVE AND PUBLIC ADDRESS SYSTEM WITH NEW WIRING THROUGH EXISTING CONDUITS.
 - B. THE NEW CONDUIT SYSTEM AS SHOWN ON THE DRAWING SHALL BE PULLED SEPARATELY. THIS SYSTEM SHALL BE INSTALLED ONLY IF EXISTING CONDUITS CANNOT BE USED.
 - C. CONTRACTOR SHALL RELOCATE ALL EXISTING WELLS AND OTHER OBSTRUCTIONS (SPICES, ETC.) THAT MAY INTERFERE WITH CONSTRUCTION. NO CONSTRUCTION SHALL BE DONE BY OWNER'S ENGINEER.
 - D. ALL NEW MAJOR WALLS TO BE ADDED TO EXISTING WHEN BLOCKING UP OPENINGS RATHER THAN "PUTTING".
 - E. INSTALL NEW TIREFLATOR WITH COMPRESSOR (FURNISHED BY OWNER). SEE DRAWING C-226, CONNECTION 2.
 - F. INSTALL NEW 400 AMP. MAIN SWITCHBOARD WITH 1000 VOLT AND TWO BRANCH CIRCUIT BREAKERS. SEE DRAWING C-226 FOR SPECIFICATIONS.
 - G. INSTALL NEW CONCRETE PAD AND 2" HIGH CHAIN LINK FENCE WITH REMOVED SLATS AND 3" X 4" WIDE GATE FOR SERVICE EQUIPMENT. KEEP LOWER 2'-0" FROM FLOOR OPEN FOR VENTILATION.
 - H. ALL EXISTING IMPROVEMENTS AND SCRAPES ON THE EXISTING BUILDING SHALL BE REMOVED.
 - I. ALTER EXISTING ELECTRICAL AT 400V TO MEET NEW CONDITIONS.
 - J. PROVIDE NEW 2" X 4" REAR EXIT DOOR WITH "ELECTRIC WATCHMAN" GLASS SYSTEM AND BRACKET MOUNTED LIGHT FIXTURE.





SIGN DETAIL



HANDICAPPED RAMP DETAIL



YARD LIGHT DETAIL

7131 Rutherford Road, Baltimore, Maryland 21207

Telephone: 301-944-9112

REVISIONS

NO.	DATE	DESCRIPTION
1	3-21-83	REMOVED PROP. CANOPY PER ARCO
2	6-10-83	ADDED LANDSCAPING & NOTES 11 & 12
3	7-15-83	REV. YARD LIGHTS PER ZONING

Philip A. Peggella 1/3/83

PLAN PREPARATION

DRAWN BY	J.P. OLDHAM	DATE	NOV. 17, 1982
DESIGNED BY	J.P. OLDHAM	SCALE	1" = 10'
CHECKED BY	AJ. CORTEAL		7054-51-001

SITE PLAN

CONVERSION TO MINI MARKET

ARCO PETROLEUM PRODUCTS COMPANY

STEMMERS RUN ROAD AND MARLYN AVENUE

ELECT. DIST. 15 BALTIMORE COUNTY, MD.

DRAWING NO.

3-86-03

SHEET NO.

1 of 1