

PETITION FOR SPECIAL EXCEPTION 83-246-XSPH

TO THE ZONING COMMISSIONER OF BALTIMORE COUNTY:

The undersigned, legal owner(s) of the property situate in Baltimore County and which is described in the description and plat attached hereto and made a part hereof, hereby petition for a Special Exception under the Zoning Law and Zoning Regulations of Baltimore County, to use the herein described property for _____ in _____.

Property is to be posted and advertised as prescribed by Zoning Regulations.

I, or we, agree to pay expenses of above Special Exception advertising, posting, etc., upon filing of this petition, and further agree to and are to be bound by the zoning regulations and restrictions of Baltimore County adopted pursuant to the Zoning Law for Baltimore County.

I We do solemnly declare and affirm, under the penalties of perjury, that I/we are the legal owner(s) of the property which is the subject of this Petition.

Contract Purchaser: _____
 (Type or Print Name)
 Signature: _____
 (Type or Print Name)
 Address: _____
 City and State: _____
 Attorney for Petitioner: _____
 Benjamin Bronstein
 (Type or Print Name)
 Address: 30 E. Padonia Road
 Timonium, MD 21093
 City and State: _____
 102 W. Pennsylvania Avenue
 Towson, MD 21204
 City and State: _____
 Attorney's Telephone No.: _____

ORDERED By The Zoning Commissioner of Baltimore County, this 14th day of March 1983, that the subject matter of this petition be advertised, as required by the Zoning Law of Baltimore County, in two newspapers of general circulation throughout Baltimore County; that property be posted, and that the public hearing be had before the Zoning Commissioner of Baltimore County in Room 106, County Office Building in Towson, Baltimore County, on the 28th day of April 1983 at 9:45 o'clock A. M.

[Signature]
 Zoning Commissioner of Baltimore County.

GEORGE WILLIAM STEPHENS, JR. & ASSOCIATES, INC.
 ENGINEERS
 80 ALLIANCE AVENUE, TOWSON, MARYLAND 21204

Description to Accompany Zoning
 Petition for Special Exception for a Hotel or
 Motel & a Special Hearing for a sign
 in an Existing ML-IM Zone

February 1, 1983

9502 Deereco Road
 2.8 Acres ±

Beginning for the same at a point on the north side of Deereco Road 60 feet wide, said point distant South 35° 56' East 820 feet ± from the intersection of the centerlines of Deereco Road and Padonia Road. Running thence and leaving said Deereco Road the four following courses viz: (1) South 87° 47' 37" East 578.0 feet ± (2) South 02° 12' 23" West 138.9 feet ± (3) South 22° 38' 54" East 210.0 feet ± and (4) South 62° 46' 16" West 167.6 feet ± to a point on the north side of Deereco Road, running thence and binding on the north side of Deereco Road the five following course viz: (5) by a curve to the left having a radius of 1561.12 feet and an arc length of 120.0 feet ± (6) by a curve to the left having a radius of 751.12 feet and an arc length of 325.14 feet (7) North 61° 14' 35" West 100.38 feet (8) by a curve to the right having a radius of 645.00 feet and an arc length of 101.32 feet and (9) North 52° 14' 35" West 26.55 feet to the place of beginning.

Containing 2.8 acres more or less.



THIS DESCRIPTION IS INTENDED FOR ZONING PURPOSES ONLY.

PETITION FOR SPECIAL HEARING 83-246-XSPH

TO THE ZONING COMMISSIONER OF BALTIMORE COUNTY:

The undersigned, legal owner(s) of the property situate in Baltimore County and which is described in the description and plat attached hereto and made a part hereof, hereby petition for a Special Hearing under Section 500.7 of the Baltimore County Zoning Regulations, to determine whether or not the Zoning Commissioner and/or Deputy Zoning Commissioner should determine whether proposed signs, either free standing or attached to the wall or roof of a building is permitted in an ML-IM Zone, and what is the maximum square footage requirements of said signs.

Property is to be posted and advertised as prescribed by Zoning Regulations.

I, or we, agree to pay expenses of the above Special Hearing advertising, posting, etc., upon filing of this Petition, and further agree to and are to be bound by the zoning regulations and restrictions of Baltimore County adopted pursuant to the Zoning Law for Baltimore County.

I We do solemnly declare and affirm, under the penalties of perjury, that I/we are the legal owner(s) of the property which is the subject of this Petition.

Contract Purchaser: _____
 (Type or Print Name)
 Signature: _____
 Address: _____
 City and State: _____
 Attorney for Petitioner: _____
 Benjamin Bronstein
 (Type or Print Name)
 Address: 30 E. Padonia Road
 Timonium, MD 21093
 City and State: _____
 102 W. Pennsylvania Avenue
 Towson, MD 21204
 City and State: _____
 Attorney's Telephone No.: 828-4442

ORDERED By The Zoning Commissioner of Baltimore County, this 14th day of March 1983, that the subject matter of this petition be advertised, as required by the Zoning Law of Baltimore County, in two newspapers of general circulation throughout Baltimore County; that property be posted, and that the public hearing be had before the Zoning Commissioner of Baltimore County in Room 106, County Office Building in Towson, Baltimore County, on the 28th day of April 1983 at 9:45 o'clock A. M.

[Signature]
 Zoning Commissioner of Baltimore County.

BALTIMORE COUNTY
 OFFICE OF PLANNING & ZONING
 TOWSON, MARYLAND 21204
 494-3353

WILLIAM E. HAMMOND
 ZONING COMMISSIONER

Benjamin Bronstein, Esquire
 102 W. Pennsylvania Avenue
 Towson, Maryland 21204

Re: Petitions for Special Exception & Special Hearing
 NE/S of Deereco Rd., 820' SE of the c/i of
 Padonia Road
 Timonium Commerce Park Co. - Petitioner
 Case No. 83-246-XSPH

Dear Mr. Bronstein:

This is to advise you that \$73.55 is due for advertising and posting of the above property.

Please make the check payable to Baltimore County, Maryland, and remit to Arlene January, Zoning Office, Room 113, County Office Building, Towson, Maryland 21204, before the hearing.

Very truly yours,

[Signature]
 WILLIAM E. HAMMOND
 Zoning Commissioner

BALTIMORE COUNTY, MARYLAND
 OFFICE OF FINANCE - REVENUE DIVISION
 MISCELLANEOUS CASH RECEIPT

No. 117359

DATE 4/28/83 ACCOUNT R-01-615-000
 AMOUNT \$73.55
 RECEIVED FROM Benjamin Bronstein, Esquire
 FOR Advertising & Posting Case #83-246-XSPH
 (Timonium Commerce Park Co.)

C 0600000735510 4290A

VALIDATION OR SIGNATURE OF CASHIER

PETITION FOR SPECIAL EXCEPTION AND SPECIAL HEARING

8th Election District
 ZONING: Petition for Special Exception and Special Hearing
 LOCATION: Northeast side of Deereco Road, 820 ft. Southeast of the centerline of Padonia Road
 DATE & TIME: Thursday, April 28, 1983 at 9:45 A.M.
 PUBLIC HEARING: Room 106, County Office Building, 111 W. Chesapeake Avenue, Towson, Maryland

The Zoning Commissioner of Baltimore County, by authority of the Zoning Act and Regulations of Baltimore County, will hold a public hearing:

Petition for Special Exception for a motel or hotel: Special Hearing under Section 500.7 of the Baltimore County Zoning Regulations, to determine whether or not the Zoning Commissioner and/or Deputy Zoning Commissioner should determine whether proposed signs, either free standing or attached to the wall or roof of a building, is permitted in an M.L.-I.M. zone and what is the maximum square footage requirements of said signs

All that parcel of land in the Eighth District of Baltimore County

Being the property of Timonium Commerce Park Co., as shown on plat plan filed with the Zoning Department.

Hearing Date: Thursday, April 28, 1983 at 9:45 A.M.
 Public Hearing: Room 106, County Office Building, 111 W. Chesapeake Avenue, Towson, Maryland

BY ORDER OF
 WILLIAM E. HAMMOND
 ZONING COMMISSIONER
 OF BALTIMORE COUNTY

Benjamin Bronstein, Esquire
 102 W. Pennsylvania Avenue
 Suite 200
 Towson, Maryland 21204

NOTICE OF HEARING

Re: Petitions for Special Exception and Special Hearing
 NE/S of Deereco Road, 820 ft. SE of the c/i of
 Padonia Road
 Timonium Commerce Park Co. - Petitioner
 Case No. 83-246-XSPH

TIME: 9:45 A.M.

DATE: Thursday, April 28, 1983

PLACE: ROOM 106 COUNTY OFFICE BUILDING, 111 W. CHESAPEAKE AVENUE,
 TOWSON, MARYLAND

BALTIMORE COUNTY, MARYLAND
 OFFICE OF FINANCE - REVENUE DIVISION
 MISCELLANEOUS CASH RECEIPT

No. 112387

DATE 2/10/83 ACCOUNT R-01-615-000
 AMOUNT \$200.00
 RECEIVED FROM Ben Bronstein
 FOR Filing fee for Case #153

C 0430000200003 2100A

VALIDATION OR SIGNATURE OF CASHIER

RE: PETITION FOR SPECIAL EXCEPTION : BEFORE THE ZONING COMMISSIONER
 PETITION FOR SPECIAL HEARING : OF BALTIMORE COUNTY
 NE/S of Deereco Rd., 820' SE of the : Centerline of Padonia Rd., 8th District
 TIMONIUM COMMERCE PARK CO., : Case No. 83-246-XSPH
 Petitioner :

ORDER TO ENTER APPEARANCE

Mr. Commissioners:

Pursuant to the authority contained in Section 524.1 of the Baltimore County Charter, I hereby enter my appearance in this proceeding. You are requested to notify me of any hearing date or dates which may be now or hereafter designated therefor, and of the passage of any preliminary or final Order in connection therewith.

Peter Max Zimmerman
 Deputy People's Counsel

John W. Hession, III
 People's Counsel for Baltimore County
 Rm. 203, Court House
 Towson, Maryland 21204
 494-2188

I HEREBY CERTIFY that on this 7th day of April, 1983, a copy of the foregoing

Order was mailed to Benjamin Bronstein, Esquire, Suite 200, 102 W. Pennsylvania Avenue, Towson, MD 21204, Attorney for Petitioner.

John W. Hession, III

BENJAMIN BRONSTEIN
 ATTORNEY AT LAW
 SUITE 200
 102 WEST PENNSYLVANIA AVENUE
 TOWSON, MARYLAND 21204
 951-4914

June 13, 1983

Mrs. Jean Jung
 Zoning Commissioner for Baltimore County
 County Office Building
 Towson, Maryland 21204

Re: Timonium Commerce Park Co.
 Case No. 83-246-XSPH
 Petition for Special Exception
 Petition for Special Hearing

Dear Mrs. Jung:

Reference is made to the above entitled Petitions which were set in for hearing before you on April 28, 1983. The Petition for Special Exception related to permitting a hotel or motel in M.L.-I.M. zone. The Petition for Special Hearing related to signs, either free-standing or attached in the same zone.

Testimony was heard by you on the Special Exception. I requested that no testimony be heard on the Special Hearing pending the disposition in the Circuit Court for Baltimore County in the case entitled "In the Matter of Belsinger Sign Works, Inc., Re Application for Permit for a Sign on Property Located at 4501 Hollins Ferry Road," Case No. 83-M-90. That case has now been decided by Judge Hinkel, who has ruled that the provisions relating to signs in 413.2 of the Baltimore County Zoning Code regulate signs in the manufacturing zones as well as the business zones. I have enclosed a copy of the Order signed by Judge Hinkel in that case. It is my understanding that he also dictated an opinion from the Bench. Since Judge Hinkel has ruled that the signs provision are applicable in the manufacturing zone, there is no need for you to schedule and/or decide the Petition for Special Hearing.

My client is most anxious to proceed. I understand the burden that you have in that Mr. Hammond is no longer hearing cases. However, I would sincerely appreciate your rendering a decision as soon as possible.

Thank you for your kind consideration.

Very truly yours,

Benjamin Bronstein

BB/jaa
 CC: M.L. Herzberger, Jr.

RE: PETITIONS FOR SPECIAL EXCEPTION
AND SPECIAL HEARING
NE/S of Deereco Rd., 820' SE of the
center line of Padonia Rd. - 8th
Election District
Timonium Commerce Park Co. - Peti-
tioner
NO. 83-246-XSPH (Item No. 153)
BALTIMORE COUNTY

In keeping with the request for dismissal of the Petition for Special Hearing
in the above captioned matter, IT IS ORDERED by the Deputy Zoning Commissioner of
Baltimore County, this 22nd day of February, 1984, that said petition is hereby
DISMISSED.

John M. Hammon
Deputy Zoning Commissioner of
Baltimore County

BALTIMORE COUNTY ZONING PLANS ADVISORY COMMITTEE

April 21, 1983

COUNTY OFFICE BLDG.
111 W. Chesapeake Ave.
Towson, Maryland 21204

ofo
Nicholas B. Commodari
Chairman

MEMBERS
Bureau of
Engineering
Department of
Traffic Engineering
State Roads Commission
Bureau of
Fire Prevention
Health Department
Project Planning
Building Department
Board of Education
Zoning Administration
Industrial
Development

Benjamin Bronstein, Esquire
102 W. Pennsylvania Avenue
Towson, Maryland 21204

RE: Item No. 153 - Case No. 83-246-XSPH
Petitioner - Timonium Commerce Park
Special Exception & Special Hearing

Dear Mr. Bronstein:

Enclosed please find addendum comments for the
above referenced case.

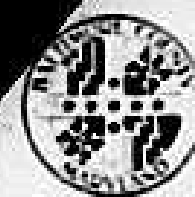
Very truly yours,

Nicholas B. Commodari
NICHOLAS B. COMMODARI
Chairman
Zoning Plans Advisory Committee

NBC:bsc

Enclosure

cc: George W. Stephens, Jr.
303 Allegheny Avenue
Towson, Md. 21204



BALTIMORE COUNTY
DEPARTMENT OF TRAFFIC ENGINEERING
TOWSON, MARYLAND 21204
494-3550

STEPHEN E. COLLINS
DIRECTOR

April 12, 1983

Mr. William Hammon
Zoning Commissioner
County Office Building
Towson, Maryland 21204

Item No. 153 -ZAC- Meeting of March 1, 1983
Property Owner: Timonium Commerce Park, Co.
Location: N/S Deereco Road 820' S/E from centerline of Padonia Road
Existing Zoning: M.L.-IM
Proposed Zoning: Special Hearing to determine whether proposed signs
either free standing or attached to the wall or roof of
a building is permitted in an ML-IM zone. Special'
Exception for a motel or hotel in ML-IM.

Acres: 2.8
District: 8th

Dear Mr. Hammon:

This site should have fewer entrances and effort should
be made to align some of the entrances with the entrance across the street.

Michael S. Flanagan
Michael S. Flanagan
Traffic Engineer Assoc. II

MSF/cem

BALTIMORE COUNTY ZONING PLANS ADVISORY COMMITTEE

April 20, 1983

COUNTY OFFICE BLDG.
111 W. Chesapeake Ave.
Towson, Maryland 21204

ofo
Nicholas B. Commodari
Chairman

MEMBERS
Bureau of
Engineering
Department of
Traffic Engineering
State Roads Commission
Bureau of
Fire Prevention
Health Department
Project Planning
Building Department
Board of Education
Zoning Administration
Industrial
Development

Benjamin Bronstein, Esquire
102 W. Pennsylvania Avenue
Towson, Maryland 21204

RE: Item No. 153 - Case No. 83-246-XSPH
Petitioner - Timonium Commerce Park
Special Exception & Special Hearing

Dear Mr. Bronstein:

The Zoning Plans Advisory Committee has reviewed the
plans submitted with the above referenced petition. The
following comments are not intended to indicate the appro-
priateness of the zoning action requested, but to assure
that all parties are made aware of plans or problems with
regard to the development plans that may have a bearing on
this case. The Director of Planning may file a written
report with the Zoning Commissioner with recommendations
as to the suitability of the requested zoning.

In view of your client's proposal to construct a hotel
or motel on this currently vacant site, the special exception
is required. While the special hearing is included in order
to determine exactly how much signage is allowed in an
industrial (M.L.) zone (see Section 413.2 of the zoning
regulations).

Particular attention should be afforded to the comments
of the Department of Permits and Licenses.

Enclosed are all comments submitted from the members
of the Committee at this time that offer or request infor-
mation on your petition. If similar comments from the
remaining members are received, I will forward them to you.
Otherwise, any comment that is not informative will be
placed in the hearing file. This petition was accepted for
filing on the date of the enclosed filing certificate and a
hearing scheduled accordingly.

Very truly yours,

Nicholas B. Commodari
NICHOLAS B. COMMODARI, Chairman
Zoning Plans Advisory Committee

NBC:bsc

Enclosures

cc: George W. Stephens, Jr.
303 Allegheny Avenue
Towson, Maryland 21204

BALTIMORE COUNTY ZONING PLANS ADVISORY COMMITTEE

May 5, 1983

COUNTY OFFICE BLDG.
111 W. Chesapeake Ave.
Towson, Maryland 21204

ofo
Nicholas B. Commodari
Chairman

MEMBERS
Bureau of
Engineering
Department of
Traffic Engineering
State Roads Commission
Bureau of
Fire Prevention
Health Department
Project Planning
Building Department
Board of Education
Zoning Administration
Industrial
Development

Benjamin Bronstein, Esquire
102 W. Pennsylvania Avenue
Towson, Maryland 21204

RE: Item No. 153 - Case No. 83-246-XSPH
Petitioner - Timonium Commerce Park Co
Special Exception & Special Hearing

Dear Mr. Bronstein:

Enclosed please find addendum comments for the above
referenced case.

Very truly yours,

Nicholas B. Commodari
NICHOLAS B. COMMODARI
Chairman
Zoning Plans Advisory Committee

NBC:bsc

Enclosure

cc: George W. Stephens, Jr.
303 Allegheny Avenue
Towson, Maryland 21204

BALTIMORE COUNTY DEPARTMENT OF HEALTH

Zoning Commissioner
Office of Planning and Zoning
County Office Building
Towson, Maryland 21204

Zoning Item # 153, Zoning Advisory Committee Meeting of March 1, 1983

Property Owner: Timonium Commerce Park, Co.

Location: N/S Deereco Road District B

Water Supply Public Sewage Disposal Public

COMMENTS ARE AS FOLLOWS:

(X) Prior to approval of a Building Permit for construction, renovation and/or
installation of equipment for any existing or proposed food service facility,
complete plans and specifications must be submitted to the Plans Review
Section, Environmental Support Services, for final review and approval.

(X) Prior to new installation/s of fuel burning equipment, the owner should
contact the Division of Air Pollution Control, 494-3775, to obtain require-
ments for such installation/s before work begins.

() A permit to construct from the Division of Air Pollution Control is required
for such items as spray paint processes, underground gasoline storage tank/s
(5,000 gallons or more) and any other equipment or process which exhausts
into the atmosphere.

() A permit to construct from the Division of Air Pollution Control is required
for any charbroiler operation which has a total cooking surface area of five
(5) square feet or more.

() Prior to approval of a Building Permit Application for renovations to exist-
ing or construction of new health care facilities, complete plans and
specifications of the building, food service area and type of equipment to
be used for the food service operation must be submitted to the Plans Review
and Approval Section, Division of Engineering and Maintenance, State Department
of Health and Mental Hygiene for review and approval.

(X) Prior to any new construction or substantial alteration of public swimming
pool, wading pool, bathhouse, saunas, whirlpools, hot tubs, water and sewerage
facilities or other appurtenances pertaining to health and safety; two (2)
copies of plans and specifications must be submitted to the Baltimore County
Department of Health for review and approval. For more complete information,
contact the Recreational Hygiene Section, Division of Environmental Support
Services.

() Prior to approval for a nursery school, owner or applicant must comply with
all Baltimore County regulations. For more complete information, contact
the Division of Maternal and Child Health.

() If lubrication work and oil changes are performed at this location, the
method providing for the elimination of waste oil must be in accordance
with Water Resources Administration requirements.

SS 20 1082 (1)

Zoning Item # 153
Page 2

() Any existing underground storage tanks containing gasoline, waste oil,
solvents, etc., must have the contents removed by a licensed hauler and
either be removed from the property or properly backfilled.

() Soil percolation tests have been conducted.
{ } The results are valid until _____
{ } Revised plans must be submitted prior to approval of the percolation
tests.

() Prior to occupancy approval, the potability of the water supply must be
verified by collection of bacteriological and chemical water samples.

() In accordance with Section 13-117 of the Baltimore County Code, the water
well yield test
{ } shall be valid until _____
{ } is not acceptable and must be retested. This must be accomplished
prior to conveyance of property or approval of Building Permit
Applications.

(X) All roads and parking areas should be surfaced with a dustless, bonding
material.

() No health hazards are anticipated.

() Others _____

Ian J. Forrest
Ian J. Forrest, Director
BUREAU OF ENVIRONMENTAL SERVICES

SS 20 1080 (2)

BALTIMORE COUNTY, MARYLAND

INTER-OFFICE CORRESPONDENCE

TO: William E. Hammon
Zoning Commissioner
Norman E. Gerber, Director
Office of Planning and Zoning
Zoning Petition No. 83-246-XSPH
SUBJECT: Timonium Commerce Park Co.

A motel would not be inappropriate in this industrial area.

NEG:JGH:slc

cc: Arlene January
Shirley Hess

BALTIMORE COUNTY ZONING PLANS ADVISORY COMMITTEE

March 4, 1983

Benjamin Bronstein, Esquire
Suite 200
102 W. Pennsylvania Avenue
Towson, Maryland 21204

RE: Item No. 153
Timonium Commerce Park, Co.
Special Exception & Special
Hearing Petitions

Dear Mr. Bronstein:
Recently, a meeting was held with various members of this Committee in order to discuss the above referenced petition. At that time, it was verbally indicated that revised site plans, reflecting comments from the following department(s), would be required.

Department of Traffic Engineering
Michael Flanagan - 494-3554

In order to avoid any future delays in processing this petition, I urge you to personally contact the representative(s) from the above department(s) and discuss the required revisions. When discussing this petition, it should be referred to by the item number. Since it will save you approximately 3-4 weeks in the processing of your petition, this matter should be pursued immediately.

After discussing the comments with the above representative(s), you should contact me at 494-3554 in order to determine the outcome of said discussion and what your future course of action will be.

Very truly yours,

Nicholas B. Commodari
NICHOLAS B. COMMODARI, Chairman
Zoning Plans Advisory Committee

cc: Geo. W. Stephens, Jr. 303 Allegheny Ave. Towson, Md. 21204

BALTIMORE COUNTY
DEPARTMENT OF TRAFFIC ENGINEERING
TOWSON, MARYLAND 21204
494-3550

STEPHEN E. COLLINS
DIRECTOR

April 12, 1983

Mr. William Hammond
Zoning Commissioner
County Office Building
Towson, Maryland 21204

Item No. 153 -ZAC- Meeting of March 1, 1983
Property Owner: Timonium Commerce Park, Co.
Location: N/S Deere Road 820' S/E from centerline of Padonia Road
Existing Zoning: M-L-1M
Proposed Zoning: Special Hearing to determine whether proposed signs either free standing or attached to the wall or roof of a building is permitted in an M-L-1M zone. Special Exception for a motel or hotel in M-L-1M.

Across: 2.8
District: 8th

Dear Mr. Hammond:

This site should have fewer entrances and effort should be made to align some of the entrances with the entrance across the street.

MST/cem

BALTIMORE COUNTY ZONING PLANS ADVISORY COMMITTEE

April 20, 1983

Benjamin Bronstein, Esquire
102 W. Pennsylvania Avenue
Towson, Maryland 21204

RE: Item No. 153 - Case No. 83-246-KSPH
Petitioner - Timonium Commerce Park
Special Exception & Special Hearing

Dear Mr. Bronstein:

The Zoning Plans Advisory Committee has reviewed the plans submitted with the above referenced petition. The following comments are not intended to indicate the appropriateness of the zoning action requested, but to assure that all parties are made aware of plans or problems with regard to the development plans that may have a bearing on report with the Zoning Commission with recommendations as to the suitability of the requested zoning.

In view of your client's proposal to construct a hotel or motel on this currently vacant site, the special exception is required. While the special hearing is included in order to determine exactly how much signage is allowed in an industrial (M-L-1) zone (see Section 413.2 of the zoning regulations).

Particular attention should be afforded to the comments of the Department of Permits and Licenses.

Enclosed are all comments submitted from the members of the Committee at this time that offer or request information on your petition. If similar comments from the remaining members are received, I will forward them to you. Otherwise, any comment that is not informative will be placed in the hearing file. This information was accepted for filing on the date of the enclosed filing certificate and a hearing scheduled accordingly.

Very truly yours,

Nicholas B. Commodari
NICHOLAS B. COMMODARI, Chairman
Zoning Plans Advisory Committee

cc: George W. Stephens, Jr.
303 Allegheny Avenue
Towson, Maryland 21204

BALTIMORE COUNTY
DEPARTMENT OF PUBLIC WORKS
TOWSON, MARYLAND 21204

HARRY J. PISTEL, P.E.
DIRECTOR

April 6, 1983

Mr. William E. Hammond
Zoning Commissioner
County Office Building
Towson, Maryland 21204

RE: Item #153 (1982-1983)
Property Owner: Timonium Commerce Park Co.
N/S Deere Road 820' S/E from centerline
of Padonia Rd.
Across: 2.8 District: 8th

Dear Mr. Hammond:

The following comments are furnished in regard to the plat submitted to this office for review by the Zoning Advisory Committee in connection with the subject item.

General:

The comments supplied in conjunction with the Zoning Advisory Committee review of this property in connection with Item 10, Zoning Cycle IV (October 1978-April 1979) are referred to for your consideration.

This office has no further comment in regard to the plan submitted for Zoning Advisory Committee review in connection with this item 153 (1982-1983).

Very truly yours,

Robert A. Neri
ROBERT A. NERI, P.E., Chief
Bureau of Public Services

RAH:ENH:PM:SS

S-NE Key Sheet
57 1/2 x 5 Pos. Sheet
12W 15 B Topo
51 Tax Map

Attachment

CERTIFICATE OF PUBLICATION

TOWSON, MD. April 7th, 1983

THIS IS TO CERTIFY, that the annexed advertisement was published in THE JEFFERSONIAN, a weekly newspaper printed and published in Towson, Baltimore County, Md. once a week for one time before the 19th day of April, 1983, the first publication appearing on the 7th day of April, 1983.

THE JEFFERSONIAN.

Manager

Cost of Advertisement, \$

CERTIFICATE OF PUBLICATION

TOWSON, MD. April 19th, 1983

THIS IS TO CERTIFY, that the annexed advertisement was published in THE JEFFERSONIAN, a weekly newspaper printed and published in Towson, Baltimore County, Md. once a week for one time before the 19th day of April, 1983, the first publication appearing on the 19th day of April, 1983.

THE JEFFERSONIAN.

Manager

Cost of Advertisement, \$

BALTIMORE COUNTY PUBLIC SCHOOLS

Robert V. Dabel, Superintendent Towson, Maryland - 21204

Date: March 2, 1983

Mr. William E. Hammond
Zoning Commissioner
Baltimore County Office Building
1111 West Chesapeake Avenue
Towson, Maryland 21204

Z.A.C. Meeting of: March 1, 1983

RE: Item No. 153, 154, 155, 156, 157, 158, 159, 160, 161

Property Name:
Location:
Present Zoning:
Proposed Zoning:

District:
No. Acres:

Dear Mr. Hammond:

All of the above have no bearing on student population.

Very truly yours,

William E. Hammond
Wm. Nick Petrovich, Assistant
Department of Planning

CERTIFICATE OF POSTING

ZONING DEPARTMENT OF BALTIMORE COUNTY

Towson, Maryland

District: 8th Date of Posting: April 14, 1983
Posted for: Special Exception and Special Hearing
Petitioner: Benjamin Bronstein, Esquire
Location of property: N/S Deere Road 820' S/E from centerline of Padonia Rd.
Location of Signs: N/S Deere Road 820' S/E from centerline of Padonia Rd.
Remarks: [Signature]
Posted by: [Signature] Date of return: April 14, 1983
Number of Signs: 2

CERTIFICATE OF PUBLICATION

TOWSON, MD. 4/11/1983

THIS IS TO CERTIFY, that the annexed advertisement was published in THE TOWSON TIMES, a weekly newspaper distributed in Towson, Baltimore County, Md., once a week for 1 successive weeks, the first publication appearing on the 6th day of April, 1983.

THE TOWSON TIMES

Cost of Advertisement, \$

October 30, 1979

RE: Item #10 Cycle IV (Oct. 1979-April 1979)
Property Owner: William Properties of Maryland, Inc.
N/S Deere Road 820' S/E from centerline of Padonia Rd.
Existing Zoning: M-L-1M
Proposed Zoning: M-L-1M
Across: 7.138 District: 8th

Dear Mr. Dabel:

The following comments are furnished in regard to the plat submitted to this office for review by the Zoning Advisory Committee in connection with the subject item.

General:

This property is a portion of Lot 2 Plat of Padonia Park (Z.M.K., Jr. 36, Folio 10). Subdivision of property within Baltimore County is subject to Baltimore County subdivision regulations.

Baltimore County highway and utility improvements exist and/or are secured by public works agreement #87209, executed in conjunction with the development of Padonia Park.

The construction and/or reconstruction of concrete sidewalks, curb and gutter, entrances, aprons, etc. will be the full responsibility of the Petitioner.

The entrance locations are subject to approval by the Department of Traffic Engineering, and shall be constructed in accordance with Baltimore County Standards.

Development of this property, through striping, grading and stabilization could result in a sediment pollution problem, discharging stormwater and public holdings downstream of the property. A grading permit is, therefore, necessary for all grading, including striping of top soil.

Provisions for accommodating storm water or drainage have not been indicated on the submitted plan.

The Petitioner must provide necessary drainage facilities (temporary or permanent) prevent grading any nuisances or damages to adjacent properties, especially by the concentration of surface waters. Correction of any problem which may result, due to improper grading or improper installation of drainage facilities, would be the full responsibility of the petitioner.

Very truly yours,

Ellsworth M. Diven, P.E.
ELLSWORTH M. DIVEN, P.E.
Chief, Bureau of Engineering

BALTIMORE COUNTY
FIRE DEPARTMENT
TOWSON, MARYLAND 21204
823-7310

March 30, 1983

Mr. William Hammond
Zoning Commissioner
Office of Planning and Zoning
Baltimore County Office Building
Towson, Maryland 21204

Attention: Nick Commodari, Chairman
Zoning Plans Advisory Committee

RE: Property Owner: Timonium Commerce Park, Co.

Location: N/S Deere Road 820' S/E from centerline of Padonia Road
Item No. 153 Zoning Agenda: Meeting of March 1, 1983

Comments:

Pursuant to your request, the referenced property has been surveyed by this Bureau and the comments below marked with an "x" are applicable and required to be corrected or incorporated into the final plans for the property.

1. Fire hydrants for the referenced property are required and shall be located at intervals or feet along an approved road in accordance with Baltimore County Standards as published by the Department of Public Works.
2. A second means of vehicle access is required for the site.
3. The vehicle dead end condition shown at EXCEEDS the maximum allowed by the Fire Department.
4. The site shall be made to comply with all applicable parts of the Fire Prevention Code prior to occupancy or beginning of operation.
5. The buildings and structures existing or proposed on the site shall comply with all applicable requirements of the National Fire Protection Association Standard No. 101 "Life Safety Code", 1976 Edition prior to occupancy.
6. Site plans are approved, as drawn.
7. The Fire Prevention Bureau has no comments at this time.

REVIEWED BY: [Signature] Noted and Approved: [Signature]
Planning Division Fire Prevention Bureau
Special Inspection Division

JK,ab/cem

BALTIMORE COUNTY
DEPARTMENT OF PERMITS & LICENSES
TOWSON, MARYLAND 21204
824-3500

March 11, 1983

Mr. William E. Hammond, Zoning Commissioner
Office of Planning and Zoning
County Office Building
Towson, Maryland 21204

Dear Mr. Hammond:

Comments on Item # 153 Zoning Advisory Committee Meeting: March 1, 1983 are as follows:

Property Owner: Timonium Commerce Park, Co.
Location: N/S Deere Road 820' S/E from centerline of Padonia Road
Existing Zoning: M-L-1M
Proposed Zoning: Special Hearing to determine whether proposed signs either free standing or attached to the wall or roof of a building is permitted in an M-L-1M zone. Special Exception for a motel or hotel in M-L-1M.

Across: 2.8
District: 8th

The items checked below are applicable:

1. All structures shall conform to the Baltimore County Building Code 1981/Council Bill 1-83 State of Maryland Code for the Baltimore and Annapolis and other applicable codes.
2. A building/and other miscellaneous permits shall be required before beginning construction.
3. Residential: Three sets of construction drawings are required to file a permit application. Architect/Engineer seal is not required.
4. Commercial: Three sets of construction drawings with a Maryland Engineer seal are required to file a permit application. Architect/Engineer seal is not required.
5. An exterior wall erected within 6' of an adjacent lot line shall be of one hour fire resistant construction, no openings permitted within 3' of lot lines. A fire wall is required if construction is on the lot line. See Table 101, Line 2, Section 1007 and Table 1007.
6. Requested variance conflicts with the Baltimore County Building Code, Section 1007.
7. A change of occupancy shall be applied for, along with an alteration permit application, and three required sets of drawings indicating how the structure will meet the Code requirements for the proposed change. Drawings may require a professional seal.
8. Before this office can comment on the above structural plans have the owner, turn the services of a Registered in Maryland Architect or Engineer certify to this office that the structure complies with the height/area requirements of Table 505 and the required construction classification of Table 101.
9. Commercial: A property line shall not run thru a structure unless it is protected at that line with a 3 hour fire wall. A property line indicates 2 parcels of ground which may be sold separately to different owners at any time. This office has had some contact with the Designer; however, the owner must comply with the fire regulations. A change of occupancy shall be applied for, along with an alteration permit application, and three required sets of drawings indicating how the structure will meet the Code requirements for the proposed change. Drawings may require a professional seal.
10. If desired, additional information may be obtained by visiting Room #112 (Plan Room) at 111 West Chesapeake Ave., 21204.

Very truly yours,
Charles E. Burman
Charles E. Burman, Chief
Plan Review

CEB:ET
PLAN 01-82

Benjamin Bronstein, Esquire
102 W. Pennsylvania Avenue
Towson, Md. 21204

George W. Stephens, Jr.
303 Allegheny Avenue
Towson, Md. 21204

BALTIMORE COUNTY OFFICE OF PLANNING & ZONING

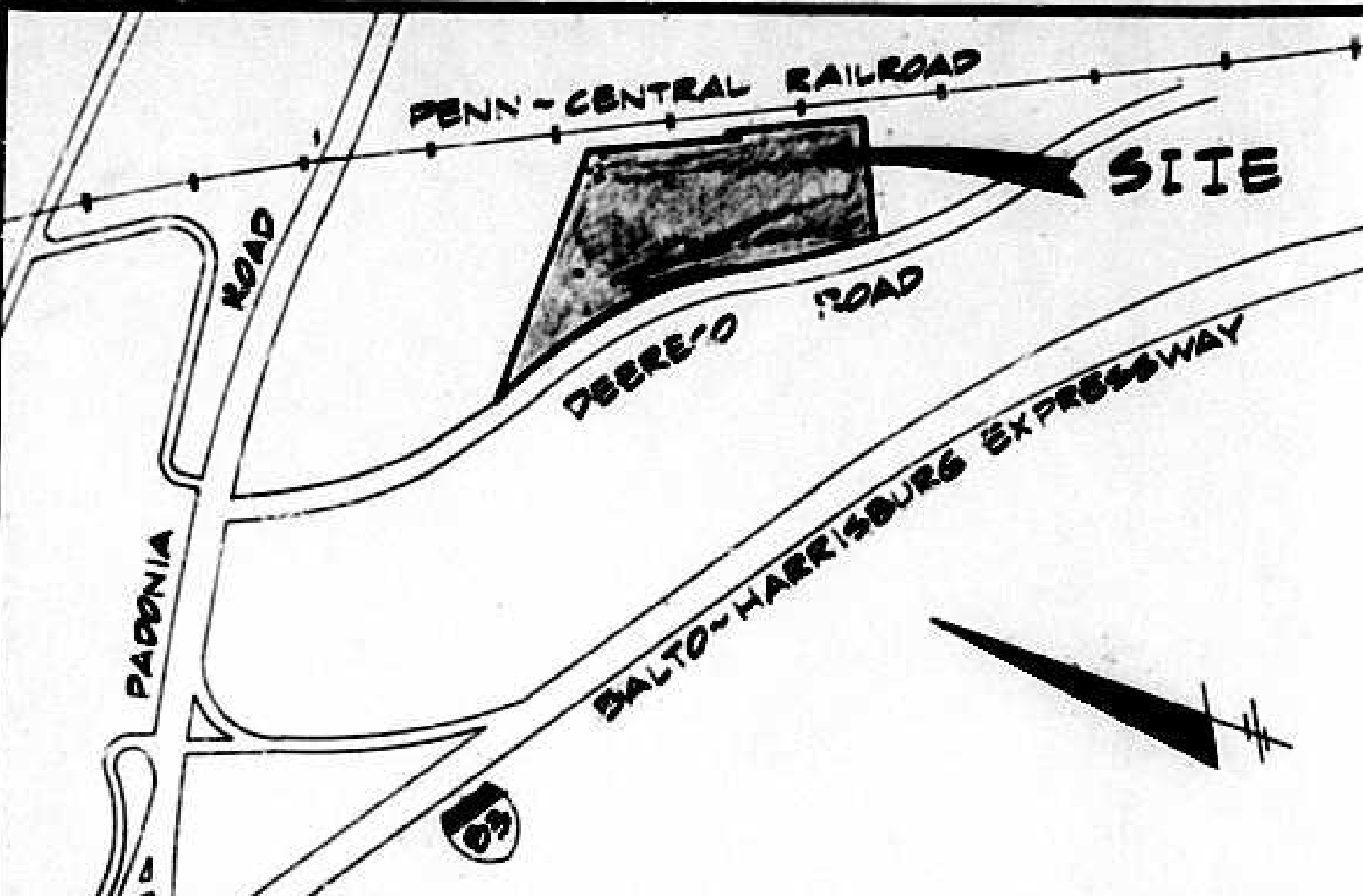
County Office Building
111 W. Chesapeake Avenue
Towson, Maryland 21204

Your Petition has been received and accepted for filing this 14th day of March, 1983.

William E. Hammond
WILLIAM E. HAMMOND
Zoning Commissioner

Petitioner: Timonium Commerce Park, Co.

Petitioner's Attorney: Benjamin Bronstein, Esq. Reviewed by: [Signature]
Nicholas B. Commodari
Chairman, Zoning Plans
Advisory Committee



LOCATION MAP SCALE: 1"=500'

- #### GENERAL NOTES
- ALL DISTURBED AREAS SHALL BE STABILIZED WITH PERMANENT SEED AND MULCH IN ACCORDANCE WITH THE PLANS APPROVED BY THE BALTIMORE SOIL CONSERVATION DISTRICT.
 - FOR DETAILS OF RAMP AND SIGLS FOR THE HANDICAPPED, SEE "THE MARYLAND BUILDING CODE FOR THE HANDICAPPED AND AGED" (SEE BALTO.CO. STD. R-104).
 - ANY DAMAGE TO ADJACENT RIGHT-OF-WAYS, PAVING OF PUBLIC ROADS OR ADJACENT PROPERTIES SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE.
 - EXACT LOCATION AND ELEVATIONS OF EXISTING UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR BEFORE BEGINNING ANY CONSTRUCTION.
 - ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH BALTO CO. STD. SPEC. AND DETAILS FOR CONSTRUCTION, OR AS SHOWN ON THESE APPROVED PLANS.
 - THE CONTRACTOR SHALL NOTIFY THE GAS & ELECTRIC CO. AND THE CHESAPEAKE AND POTOMAC TELEPHONE COMPANY (CALL COLLECT, MISS UTILITY, 1-555-0100) FIVE (5) DAYS BEFORE BEGINNING ANY CONSTRUCTION.
 - THE CONTRACTOR SHALL MAINTAIN A MINIMUM OF TWO (2) FEET LEVEL BENCH BEHIND ALL PROPOSED CURB/GUTTER IN FILL AREAS.
 - THE STORM WATER MANAGEMENT FACILITY IS PRIVATE AND SHALL BE MAINTAINED BY THE OWNER AND CONSIDERED IN ACCORDANCE WITH BALTO. CO. STD. SPEC.
 - ALL WALKS SHALL BE CONSTRUCTED AS SPECIFIED BY THE ARCHITECT/OWNER.
 - ALL PROPOSED WATER SHALL HAVE A MINIMUM OF 4" COVER EXCEPT AS NOTED.
 - ALL FILL SHALL BE POLED TO A MINIMUM DEGREE OF COMPACTION OF 98% OF THE DRY UNIT WEIGHT AS DETERMINED BY ASTM D-1557.
 - 36050+ INDICATES F.U. GRADE SPOT ELEVATIONS ALONG FACE OF CURB, TOP OF CURB 0.61' HIGHER.
 - SOILS ENGINEER TO RECOMMEND PAVING SECTION.
 - HANDICAPPED ACCESS PROVISIONS FOR THE EAST BUILDING HAVE BEEN WAIVED. SEE LETTER OF JAN. 27, 1983 FROM PIERCE H. OSMAN, CHIEF DESIGN & REVIEW, MARYLAND DEPT. OF ECONOMIC AND COMMUNITY DEVELOPMENT.

STORM WATER MANAGEMENT DATA:

DRAINAGE AREA TO SWM FACILITY: 2.41 AC
(BALANCE OF STORM WATER MANAGEMENT HAS BEEN PROVIDED FOR AT THE FAIRGROUNDS BUSINESS PARK FACILITY)
DEVELOPMENT FACTOR: 0.6
ALLOWABLE RELEASE RATE FLOW: 2.41 AC.
2 YR. 3.45 CFS
PROF. 2 YR. RELEASE: 2.71
STORAGE PROVIDED TO 2 YR. W.D. 359.17' 5800 CF
PROF. DEPTH OF PONDING IN PARKING LOT (100YR) - 0.15'

GRADING AROUND BUT BUILDING IS SUBJECT TO CHANGE. CONTRACTOR SHALL VERIFY THESE TENS WITH OWNER PRIOR TO STARTING CONSTRUCTION.

- #### SITE DATA
- ZONING - ML-1M
AREA - 7.188 AC
PARKING REQUIREMENTS:
East Building (Under Construction)
WAREHOUSE AREA - 42 EMP @ 150/3 EMP/24
REQUIRED PARKING = 14 PS
PARKING PROVIDED =
HANDICAPPED 8'x12' = 1
PARKING PROVIDED = 14 SPACES
PARKING REQUIREMENTS
PROPOSED PORTION WEST BUILDING
OFFICE: 26,100 SQ. FT. @ 150/300 SQ. FT. @ 75P
PARKING REQUIRED: 87 SPACES
WAREHOUSE: 70 EMP @ 150/3 EMP/24
TOTAL REQUIRED: 111 SPACES
TOTAL PROVIDED (5 HANDICAPPED) = 111 SPACES
DEED REF. 2411/404
PLAT REF. EHK JR. 42/36
- #### LEGEND
- OUTLINE OF SITE
BUILDING SETBACK
STD T' CONC. CURB/GUTTER
REVERSE SLOPE CURB/GUTTER
TRUCK LOADING DOORS
UTILITY EASEMENT

BENCHMARK INFORMATION

ELEV. 370.60
1'x10' SOUTH OF PC CURB
RETURN SOUTHWEST CORNER
PARKING LOT OFF RAMP
1-52

1'x10' SOUTH OF PC CURB
RETURN SOUTHWEST CORNER
PARKING LOT OFF RAMP
1-52

1'x10' SOUTH OF PC CURB
RETURN SOUTHWEST CORNER
PARKING LOT OFF RAMP
1-52

1'x10' SOUTH OF PC CURB
RETURN SOUTHWEST CORNER
PARKING LOT OFF RAMP
1-52

1'x10' SOUTH OF PC CURB
RETURN SOUTHWEST CORNER
PARKING LOT OFF RAMP
1-52

1'x10' SOUTH OF PC CURB
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1'x10' SOUTH OF PC CURB
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1'x10' SOUTH OF PC CURB
RETURN SOUTHWEST CORNER
PARKING LOT OFF RAMP
1-52

1'x10' SOUTH OF PC CURB
RETURN SOUTHWEST CORNER
PARKING LOT OFF RAMP
1-52

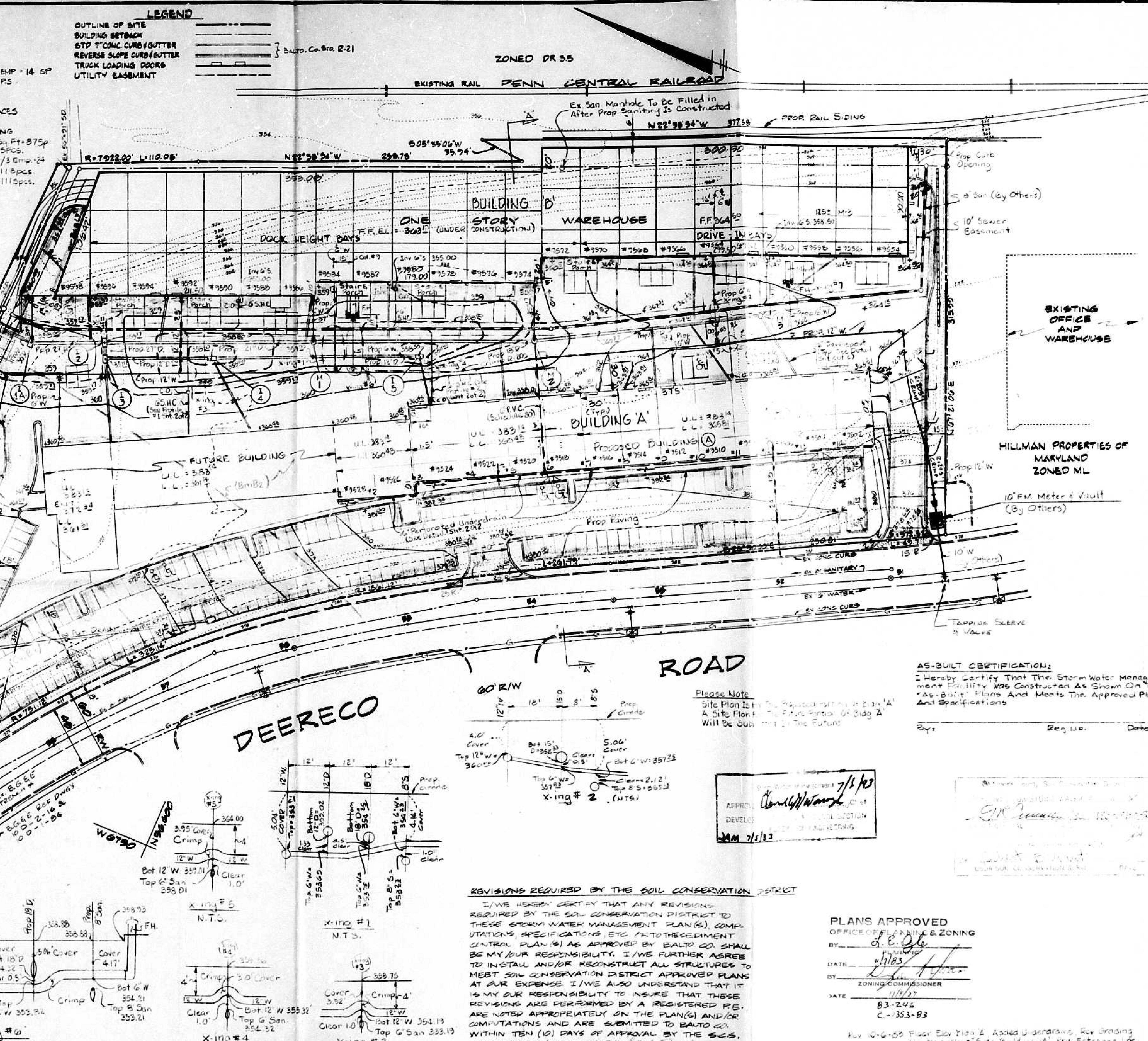
1'x10' SOUTH OF PC CURB
RETURN SOUTHWEST CORNER
PARKING LOT OFF RAMP
1-52

1'x10' SOUTH OF PC CURB
RETURN SOUTHWEST CORNER
PARKING LOT OFF RAMP
1-52

1'x10' SOUTH OF PC CURB
RETURN SOUTHWEST CORNER
PARKING LOT OFF RAMP
1-52

1'x10' SOUTH OF PC CURB
RETURN SOUTHWEST CORNER
PARKING LOT OFF RAMP
1-52

1'x10' SOUTH OF PC CURB
RETURN SOUTHWEST CORNER
PARKING LOT OFF RAMP
1-52



ENGINEER'S CERTIFICATION

I hereby certify that this plan has been prepared by or under my supervision and meets the minimum standards of the Baltimore County Department of Public Works and the Baltimore County Soil Conservation District.

By: *George William Stephens Jr.* 3/2/83 Reg. No. 3-2-83 Date

OWNER/CONTRACTOR

TIMONIUM COMMERCE PARK CO.
10 PARKS AVENUE
COCKEYSVILLE, MD. 21030

ARCHITECT

NICHOLS/GOULD ARCHITECTS PA
1111 N. HUNTER STREET
BALTIMORE, MD. 21202

DEVELOPER'S/LANDOWNER'S CERTIFICATION

I/we hereby certify that all proposed work shown on these Construction Drawing(s) and on the Approved Sediment Control Drawing(s) will be accomplished in accordance with the plans. I/we also understand that it is my/our responsibility to have the construction supervised and certified including the Submission of As-Built Plans within Thirty (30) Days of Completion, by a Registered Professional Engineer.

By: *George William Stephens Jr.* Date: 3/2/83

REVISIONS

NO.	DATE	DESCRIPTION
1	3/2/83	As-Built Plans

PLANS APPROVED

OFFICE OF PLANNING & ZONING
BY: *George William Stephens Jr.*
DATE: 3/2/83
ZONING COMMISSIONER
DATE: 3/2/83
83-246
C-353-83

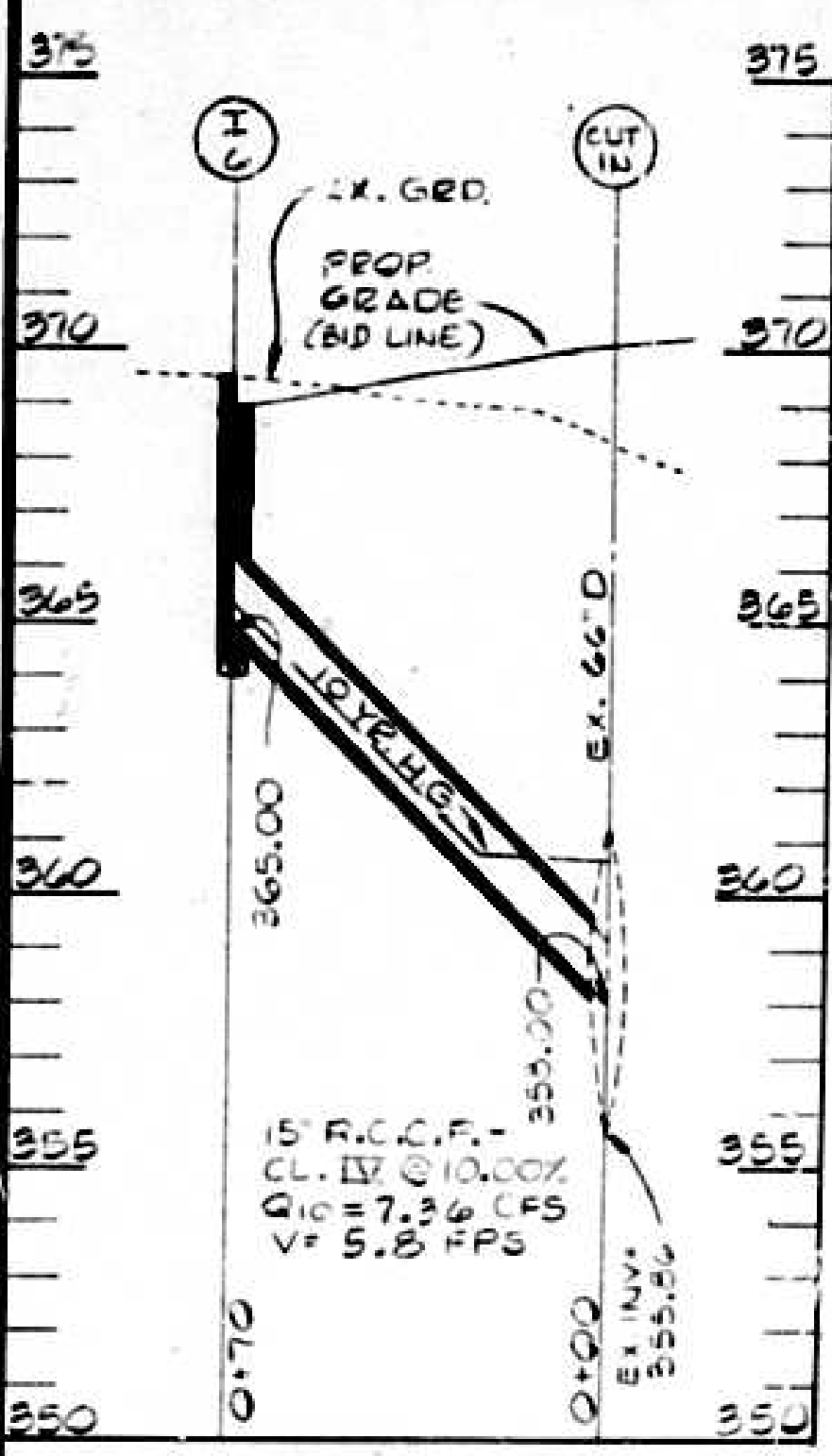
SITE AND STORM WATER MANAGEMENT PLAN

FOR
PROPOSED WAREHOUSE COMPLEX
TIMONIUM COMMERCE PARK
9502-98 DEERECO ROAD
BALTO COUNTY, MD
SCALE 1"=40'
ELECT DIST NO. 8
NOVEMBER 5, 1982

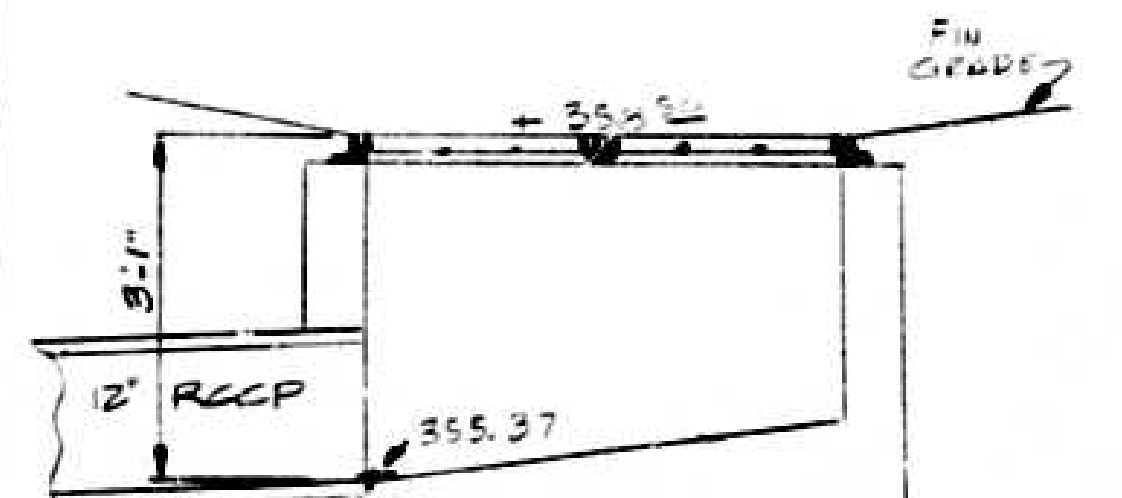
AS-BUILT CERTIFICATION:

I hereby certify that the Storm Water Management Facility was constructed as shown on the "As-Built" Plans and Meets the Approved Plans and Specifications.

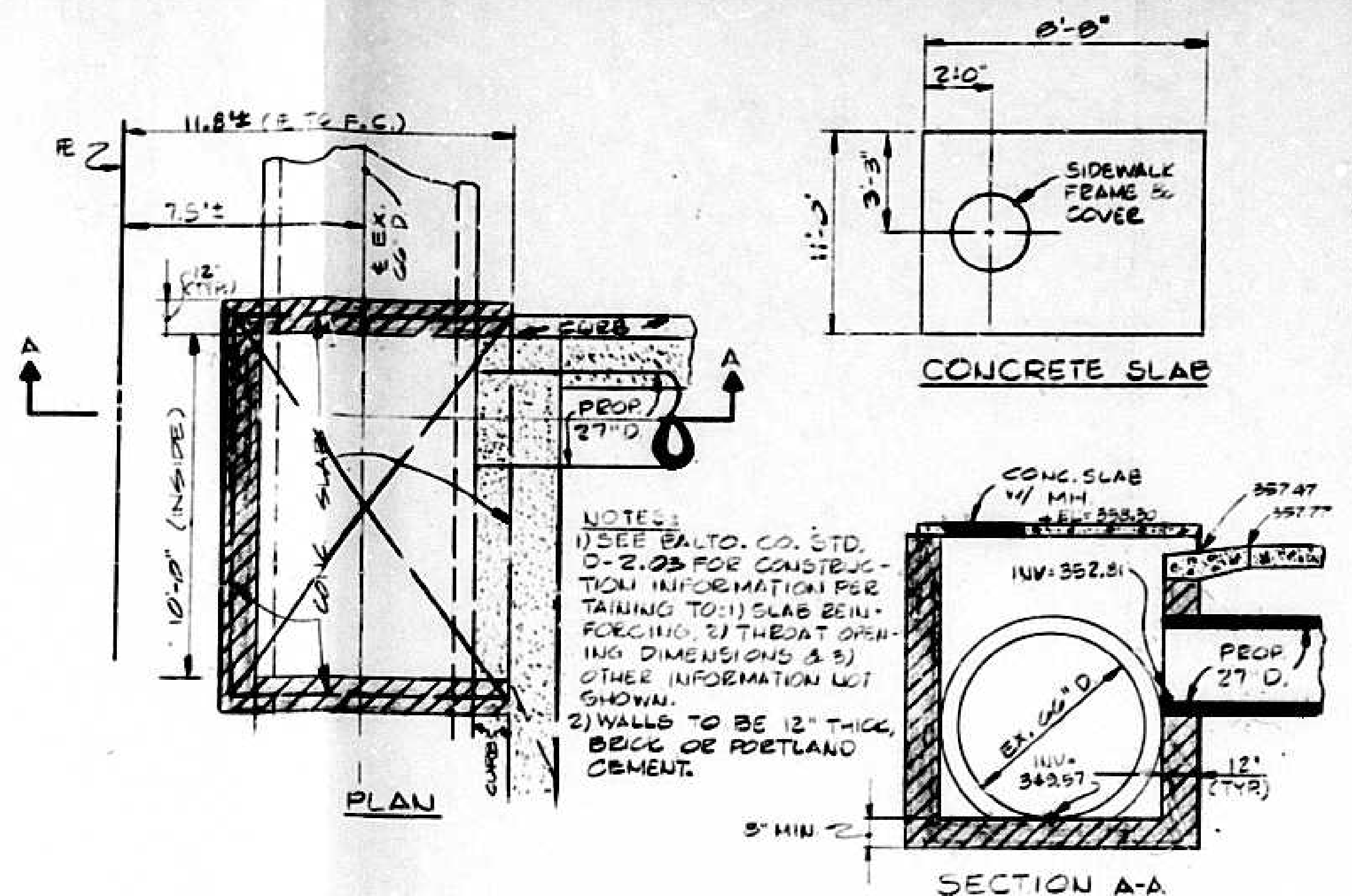
By: *George William Stephens Jr.* Reg. No. 3-2-83 Date



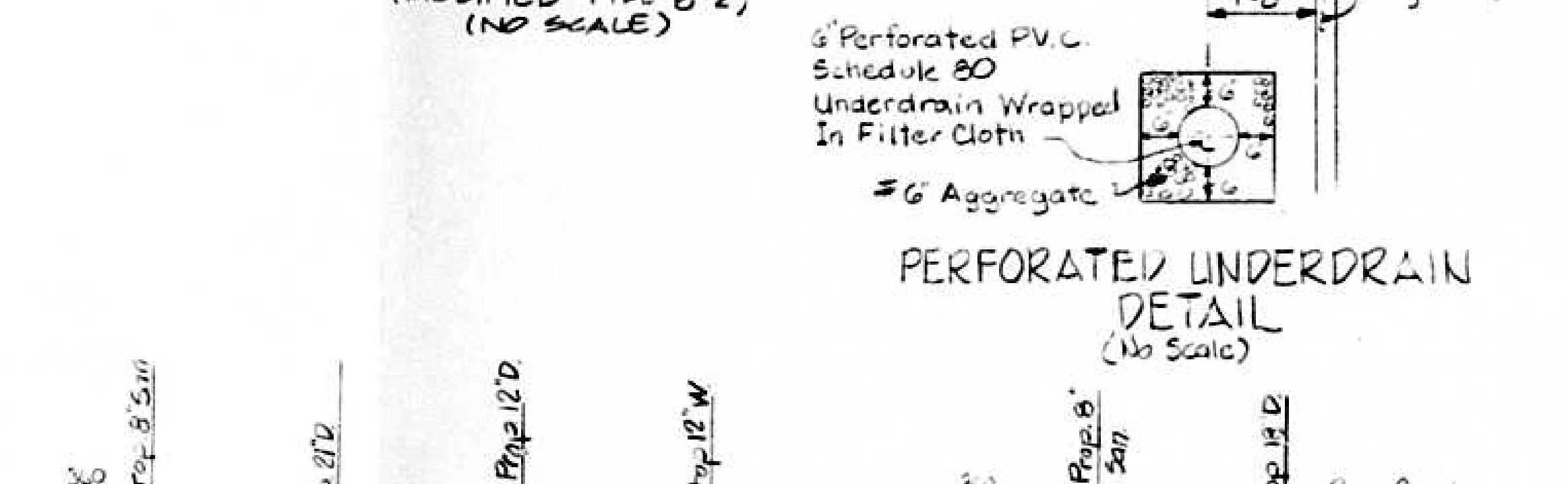
PROFILE
SCALE: HORIZ. 1"=40'
VERT. 1"=4'



DETAIL ~ I-5 (MOD. DBL.'S GRATE)
N.T.S.



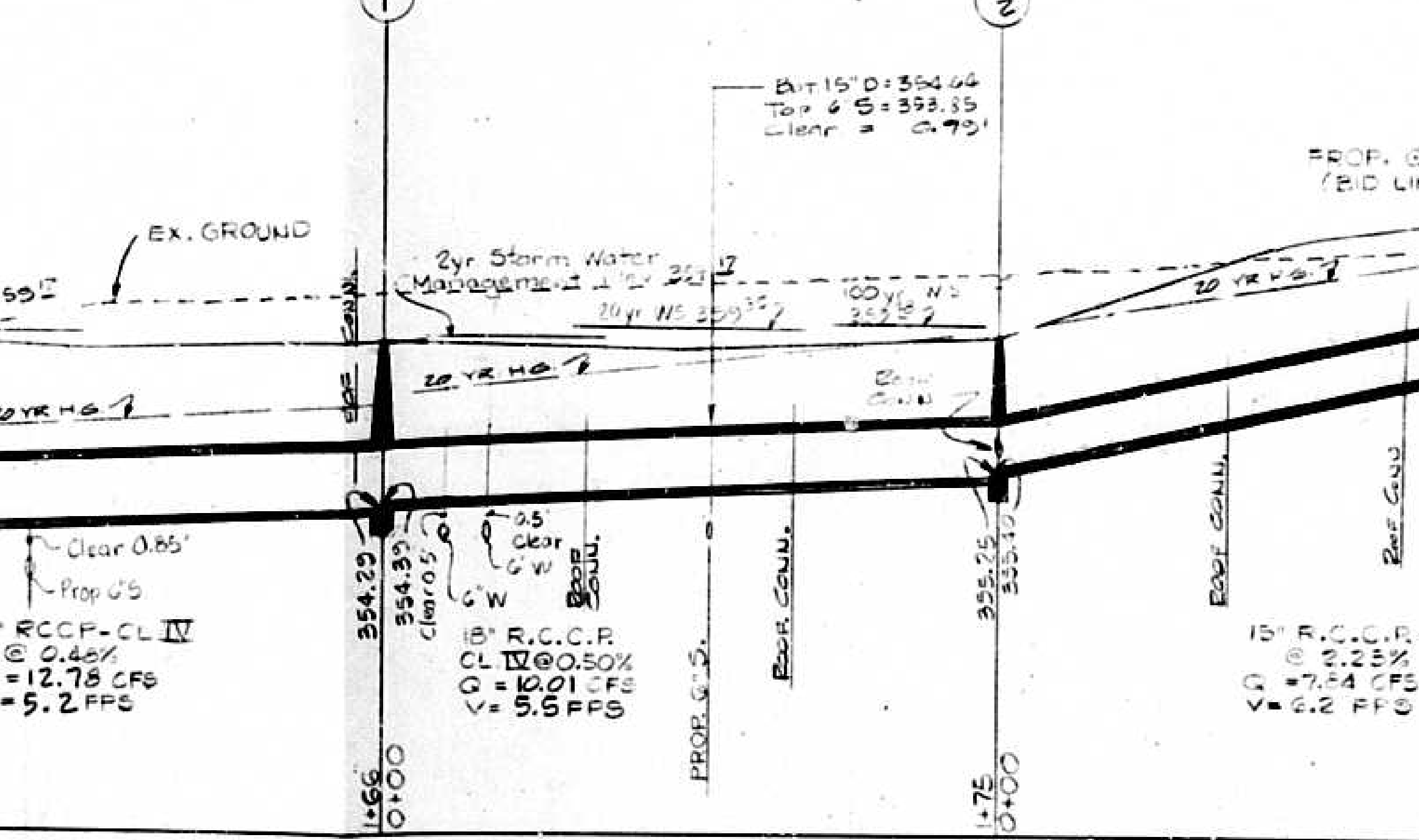
DETAIL ~ I-1
(MODIFIED TYPE B-2)
(NO SCALE)



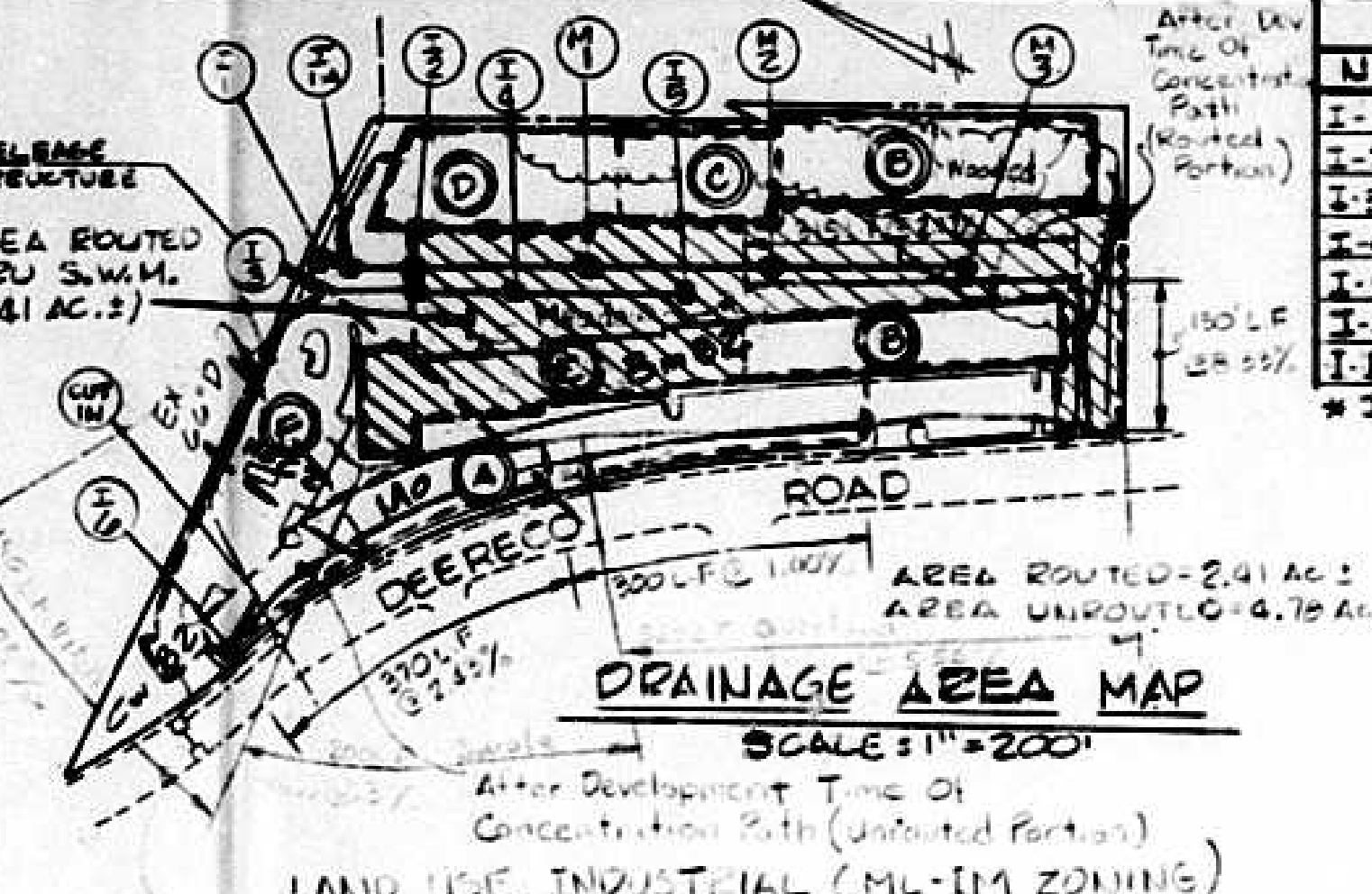
PERFORATED UNDERDRAIN
DETAIL
(No Scale)



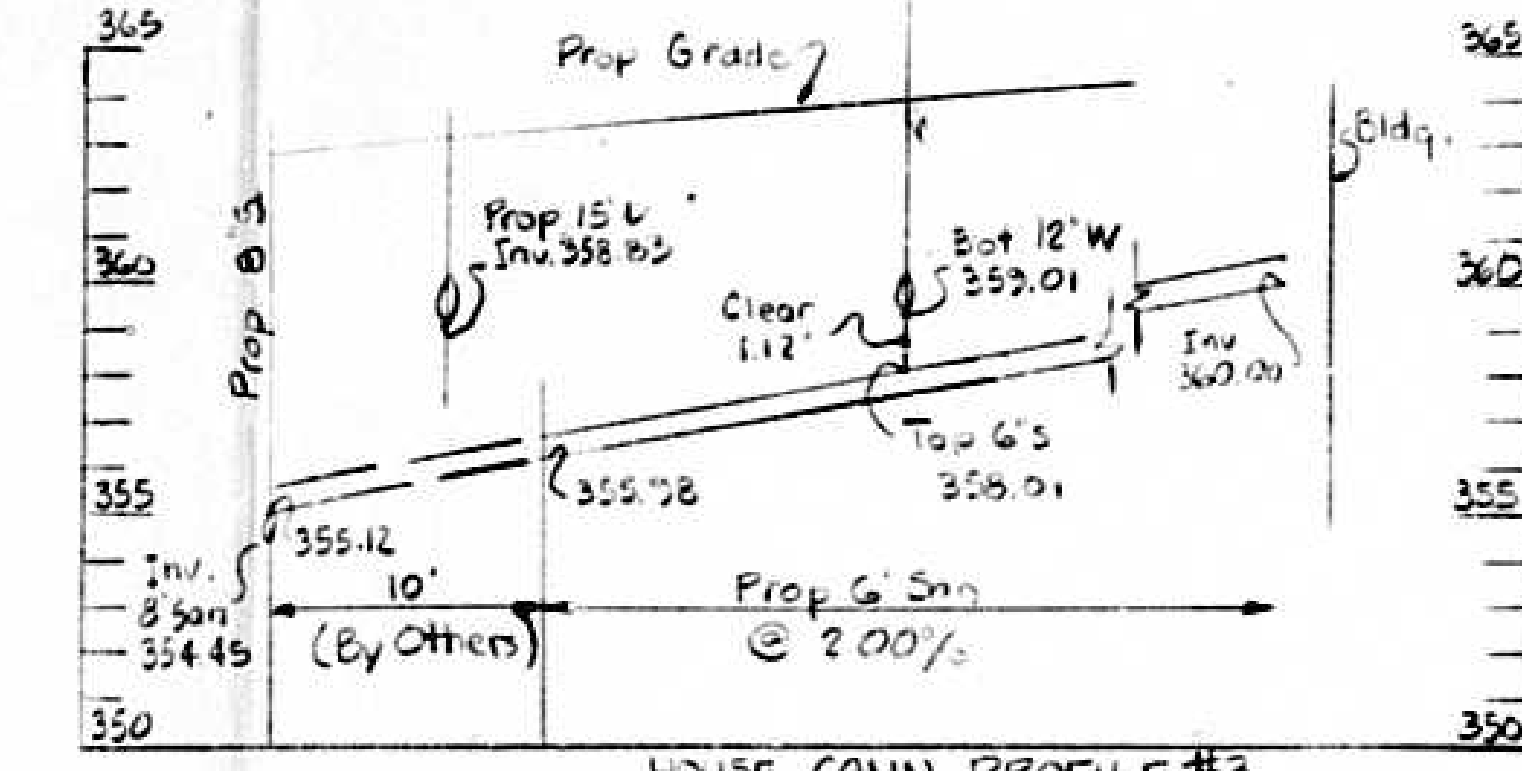
HOUSE CONN PROFILE #1
SCALE: HORIZ. 1"=40'
VERT. 1"=4'



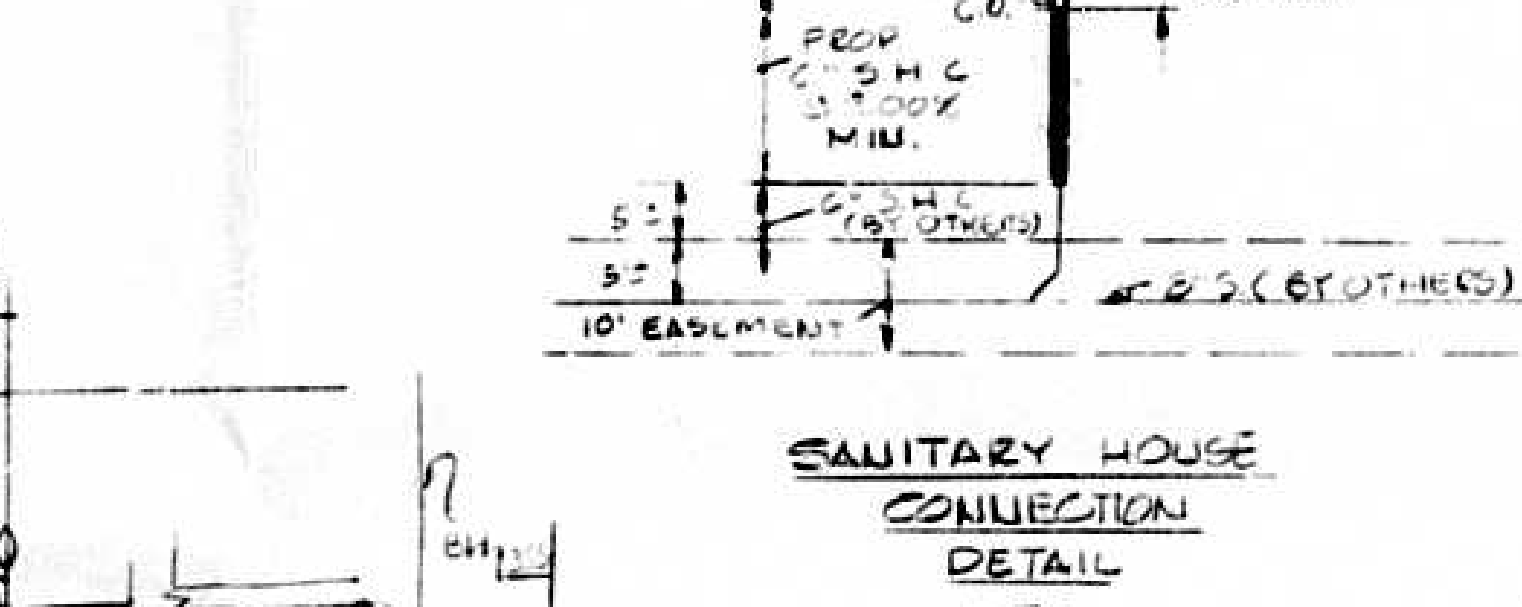
HOUSE CONN PROFILE #2
SCALE: HORIZ. 1"=40'
VERT. 1"=4'



LAND USE INDUSTRIAL (M-1M ZONING)



HOUSE CONN PROFILE #3
SCALE: HORIZ. 1"=40'
VERT. 1"=4'



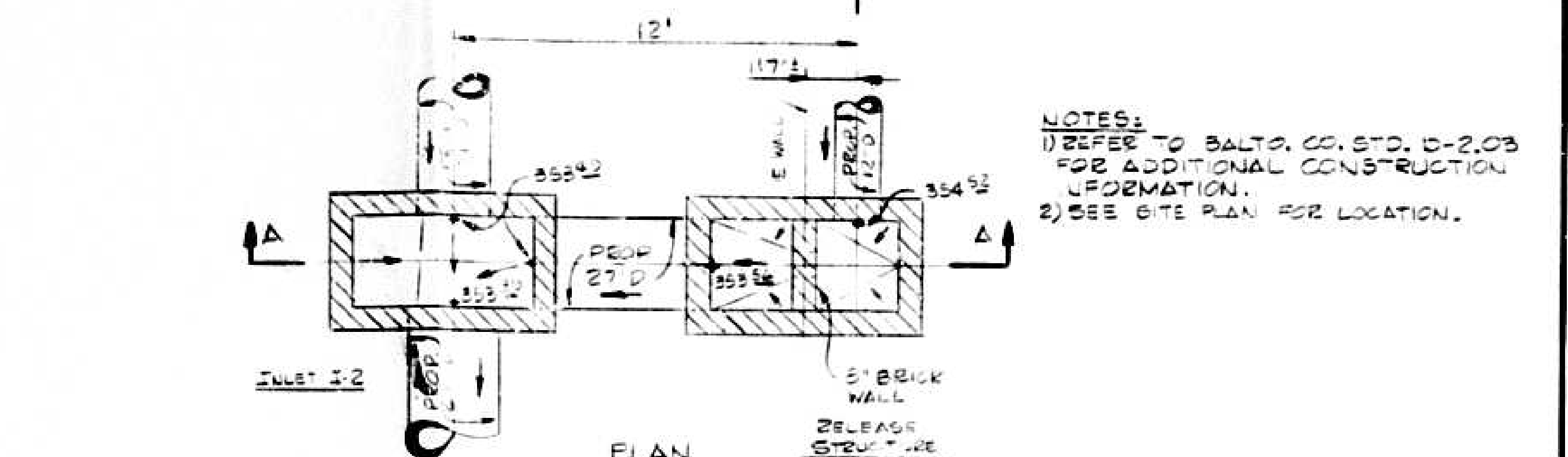
SANITARY HOUSE
CONNECTION
DETAIL
N.T.S.

INLET SCHEDULE					MANHOLE SCHEDULE				
NO.	TYPE	TOP EL.	INV. IN.	INV. OUT.	REMARKS	NO.	TYPE	TOP EL.	INV. IN.
I-1	MOD. TYPE B-2	352.21	352.21	352.21	See Detail	M-1	TYPE A-1	352.21	352.21
I-2	DBL.'S GRATE	352.10	352.10	352.10	See Detail	M-2	TYPE B SHALLOW	352.10	352.10
I-3	MOD. DBL.'S GRATE	352.10	352.10	352.10	See Detail	M-3	TYPE B SHALLOW	352.10	352.10
I-4	'S GRATE	352.10	352.10	352.10	See Detail				
I-5	MOD. 'S GRATE	352.10	352.10	352.10	See Detail				
I-6	DBL.'S GRATE	352.10	352.10	352.10	See Detail				
I-1A	DBL.'S GRATE	352.10	352.10	352.10	See Detail				

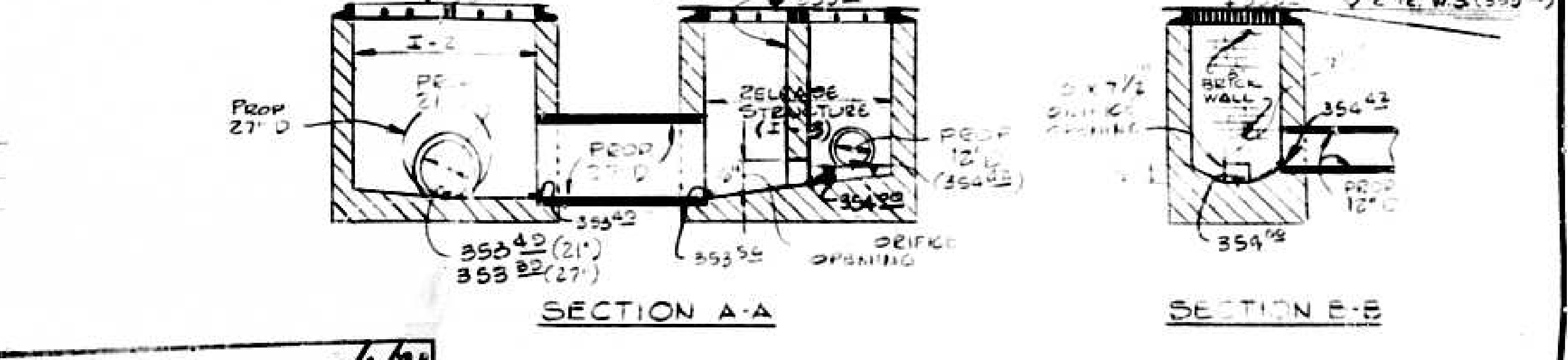
* INDICATES TOP OF CURB ELEVATION



DETAIL ~ RELEASE STRUCTURE
(MODIFIED DETAIL INLET)
SCALE: 1/2"=1'-0"

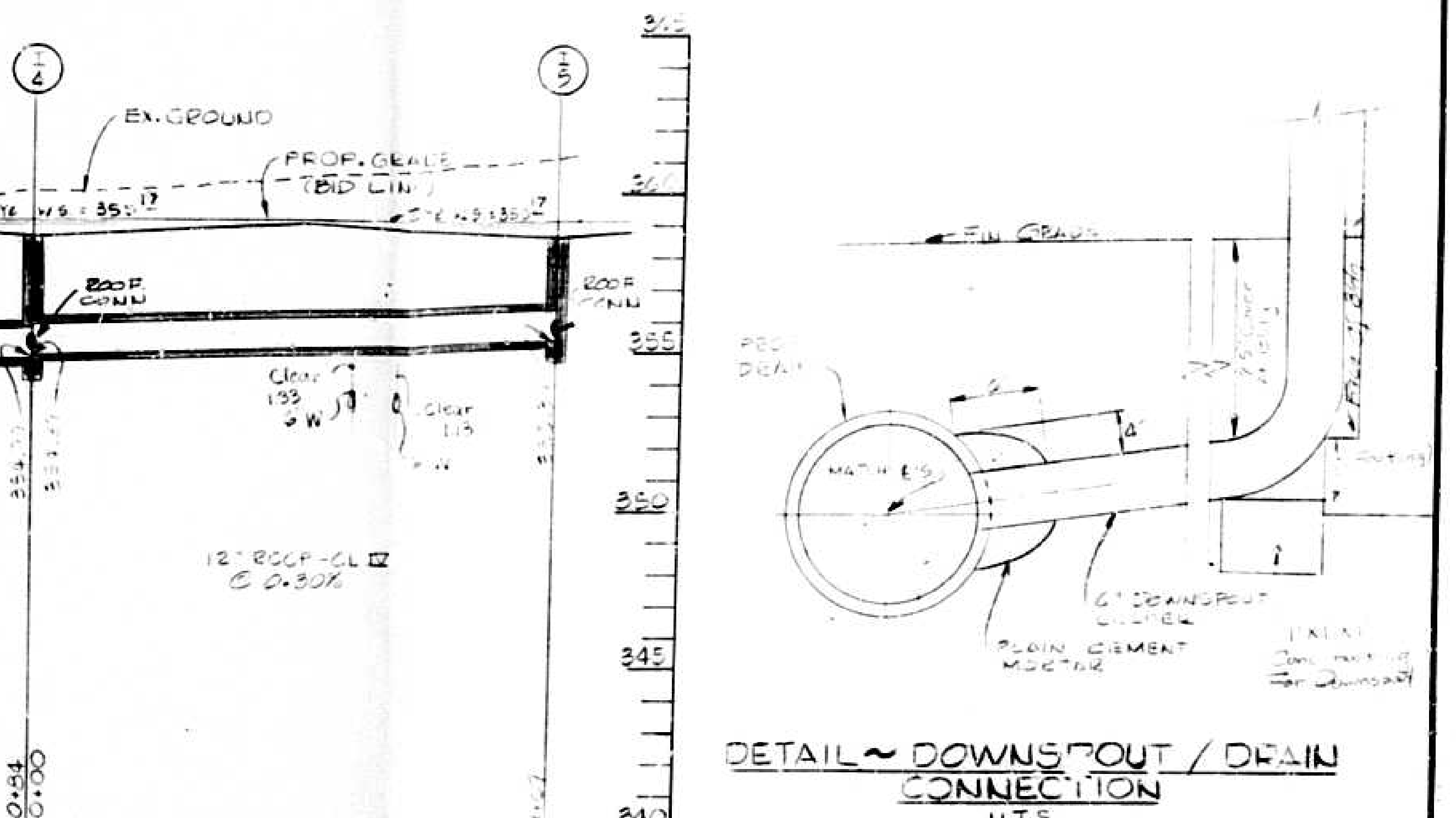


SECTION A-A



SECTION B-B

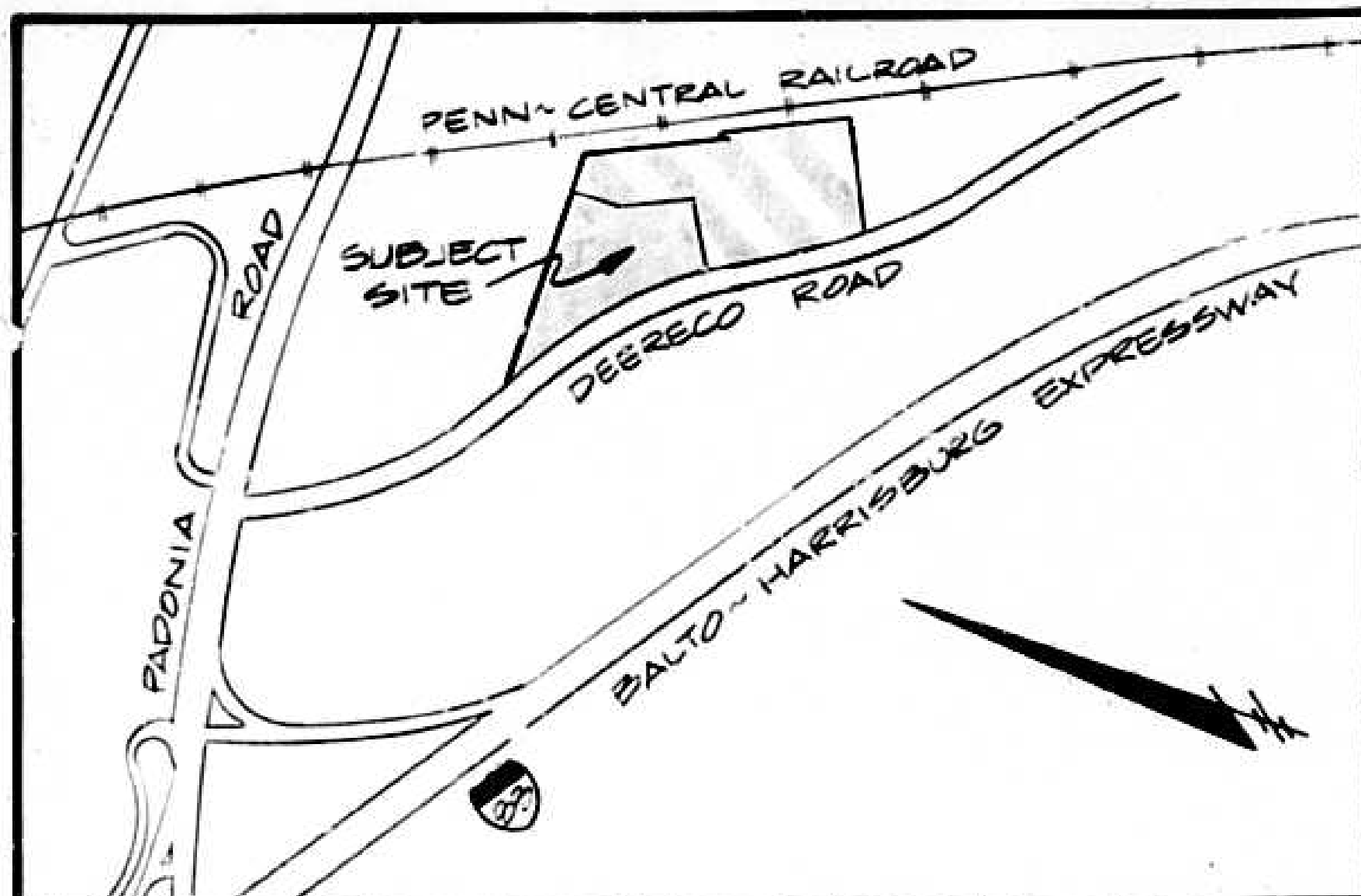
Storm Water Management
APPROVED: [Signature]
DEVELOPER'S DESIGN & APPROVAL SECTION
BUREAU OF ENGINEERING
JAM 7/5/03



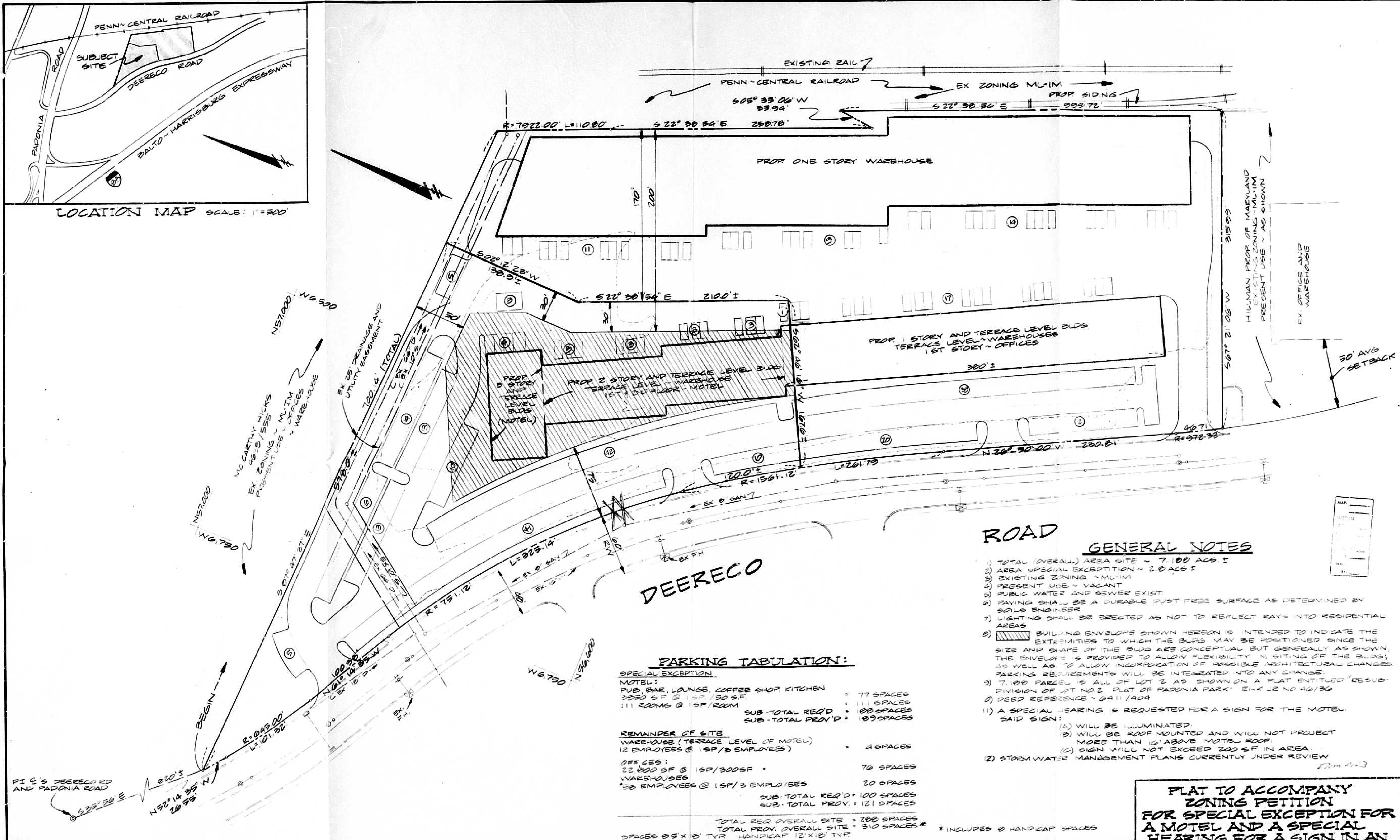
PROFILES
SCALE: HORIZ. 1"=40'
VERT. 1"=4'



DETAIL ~ DOWNSPOUT / DRAIN
CONNECTION
N.T.S.



LOCATION MAP SCALE: 1"=500'



ROAD

GENERAL NOTES

- TOTAL (OVERALL) AREA SITE ~ 7.100 ACRES
- AREA SPECIAL EXCEPTION ~ 2.0 ACRES
- EXISTING ZONING ~ ML-IM
- PRESENT USE ~ VACANT
- PUBLIC WATER AND SEWER EXIST
- PAVING SHALL BE A DURABLE PUST FREE SURFACE AS DETERMINED BY SOILS ENGINEER
- LIGHTING SHALL BE ERECTED AS NOT TO REFLECT RAYS INTO RESIDENTIAL AREAS
- BUILDING ENVELOPE SHOWN HEREON IS INTENDED TO INDICATE THE EXTREMITIES TO WHICH THE BLDGS MAY BE POSITIONED SINCE THE SIZE AND SHAPE OF THE BLDGS ARE CONCEPTUAL BUT GENERALLY AS SHOWN, THE ENVELOPE IS PROVIDED TO ALLOW FLEXIBILITY IN SITING OF THE BLDGS, AS WELL AS TO ALLOW INCORPORATION OF POSSIBLE ARCHITECTURAL CHANGES. PARKING REQUIREMENTS WILL BE INTEGRATED INTO ANY CHANGE.
- 7.100 PARCELS ALL OF LOT 2 AS SHOWN ON A PLAT ENTITLED "RESUB-DIVISION OF LOT NO 2, PLAT OF PADONIA PARK" ENCL. NO 40/30
- DEED REFERENCE ~ G411/404
- A SPECIAL HEARING IS REQUESTED FOR A SIGN FOR THE MOTEL. SAID SIGN:
 - WILL BE ILLUMINATED.
 - WILL BE ROOF MOUNTED AND WILL NOT PROJECT MORE THAN 6' ABOVE MOTEL ROOF.
 - SIGN WILL NOT EXCEED 200 SF IN AREA.
- STORM WATER MANAGEMENT PLANS CURRENTLY UNDER REVIEW

**PLAT TO ACCOMPANY
ZONING PETITION
FOR SPECIAL EXCEPTION FOR
A MOTEL AND A SPECIAL
HEARING FOR A SIGN IN AN
EXISTING ML-IM ZONE**

2.0 ACRES
(7.100 ACRES OVERALL)
**TIMONIUM COMMERCE PARK
9502 DEERECO ROAD**

BALTO COUNTY, MD
SCALE 1"=40'
ELECT DIST NO 8
FEB. 1, 1983

GEORGE WILLIAM STEPHENS JR. AND ASSOCIATES INC.
ENGINEERS
303 ALLEGHENY AVE. TOWSON, MD. 21204



OWNER / PETITIONER

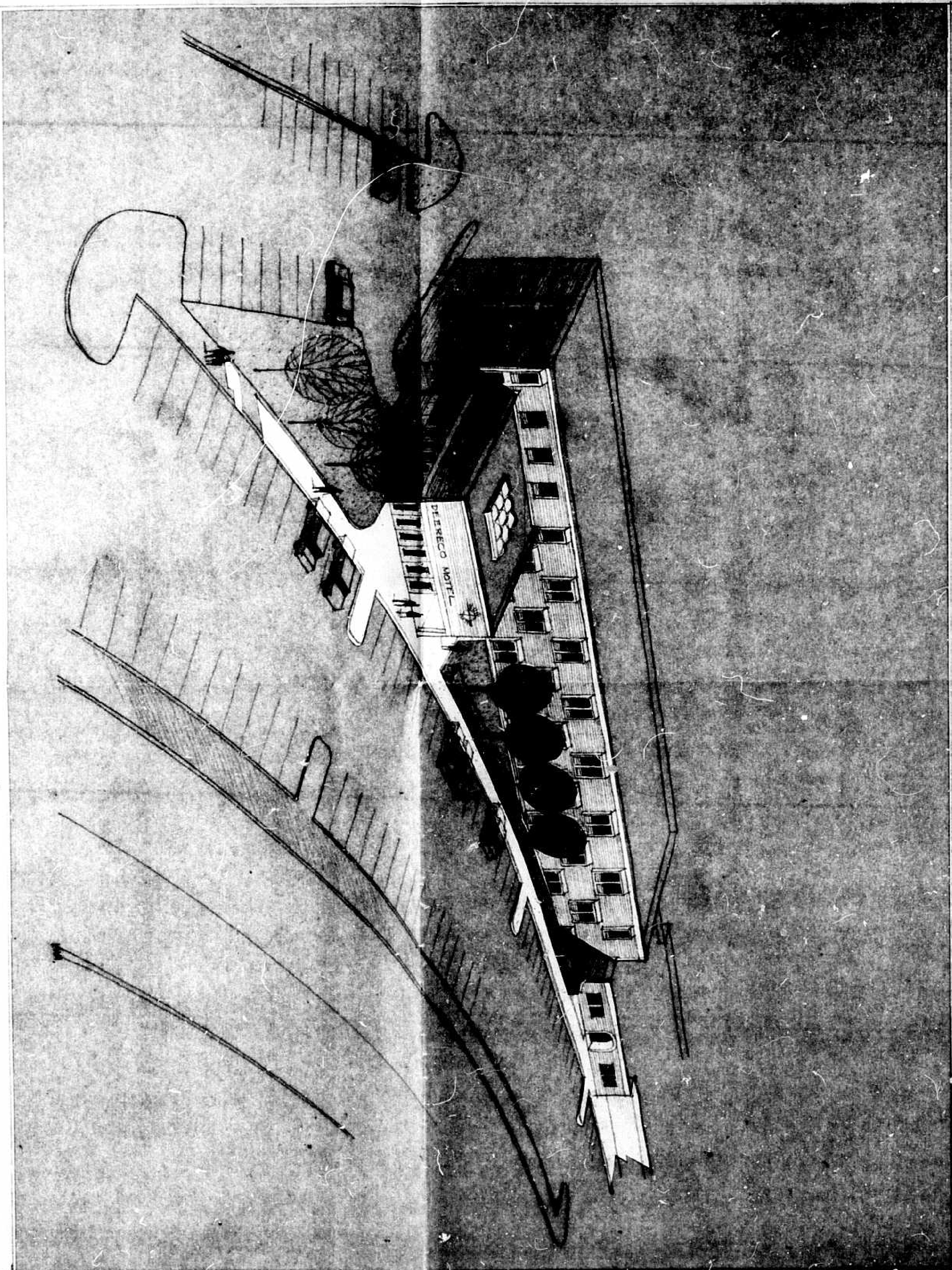
TIMONIUM COMMERCE PARK CO.
10 PARKS AVENUE
COCKEYSVILLE, MD. 21030

REVISIONS:

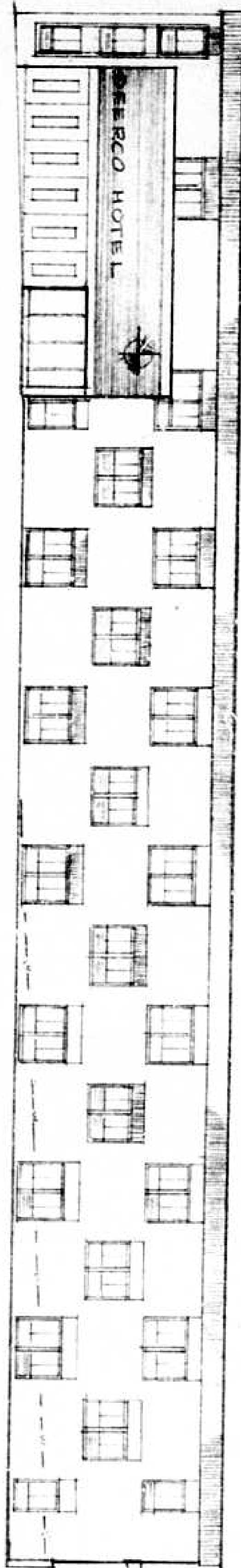
DRAWN:
DESIGN:
CHECK:
DATE: 02/03/83

PROPOSED DEERCO HOTEL

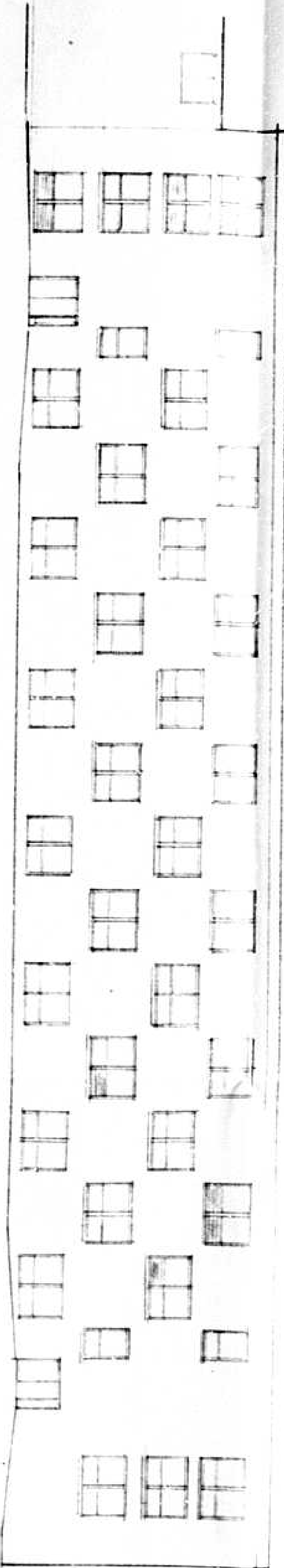
OWNER'S
EXHIBIT 3



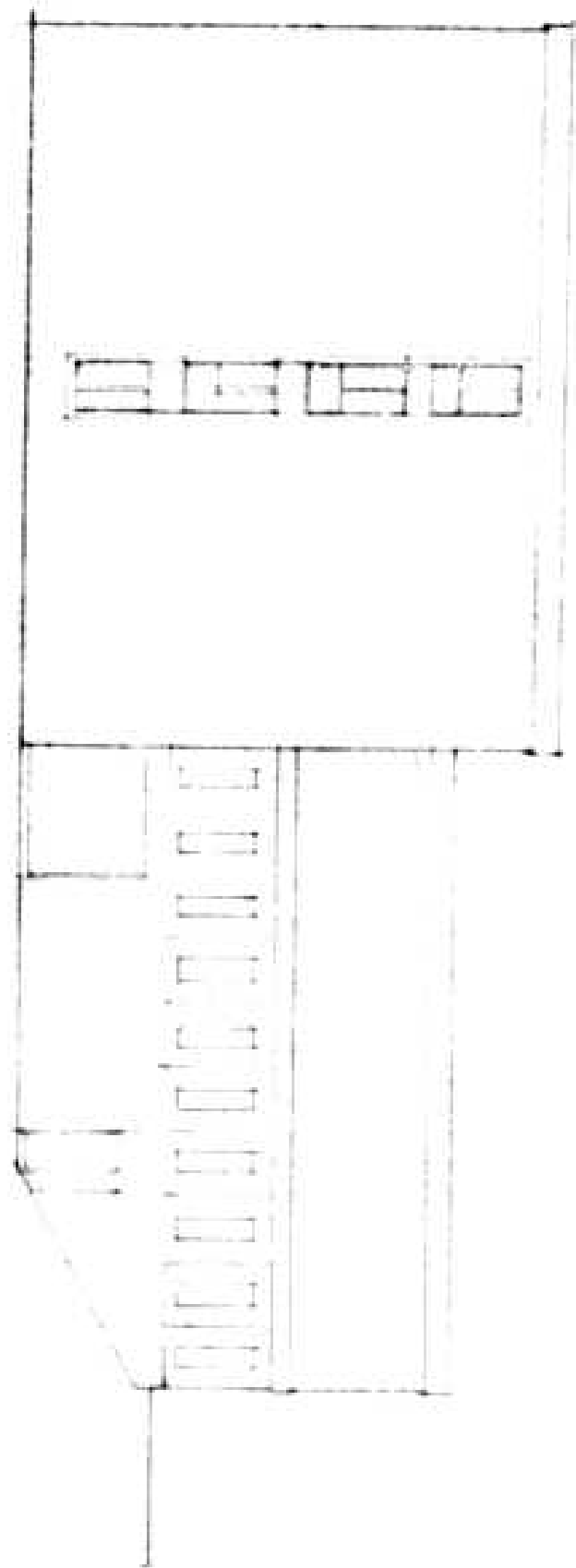
FRONT ELEVATION



REAR ELEVATION



SIDE ELEVATION



PROPOSED DEERCO HOTEL
TIMONIUM COMMERCE PARK
for
TIMONIUM COMMERCE PARK CO.
10 PARKS AVENUE
COCKEYSVILLE, MD. 21030

THE OFFICE OF
KENNETH M. MITCHELL, AIA
ARCHITECT

14A HAMILTON BLDG., 43 W. FRONT ST., RED BANK, N.J. 07701 •
PHONE (201) 241-1550

N.J. C 4508
PA. 01771
N.Y. 0802
FLA. 9021

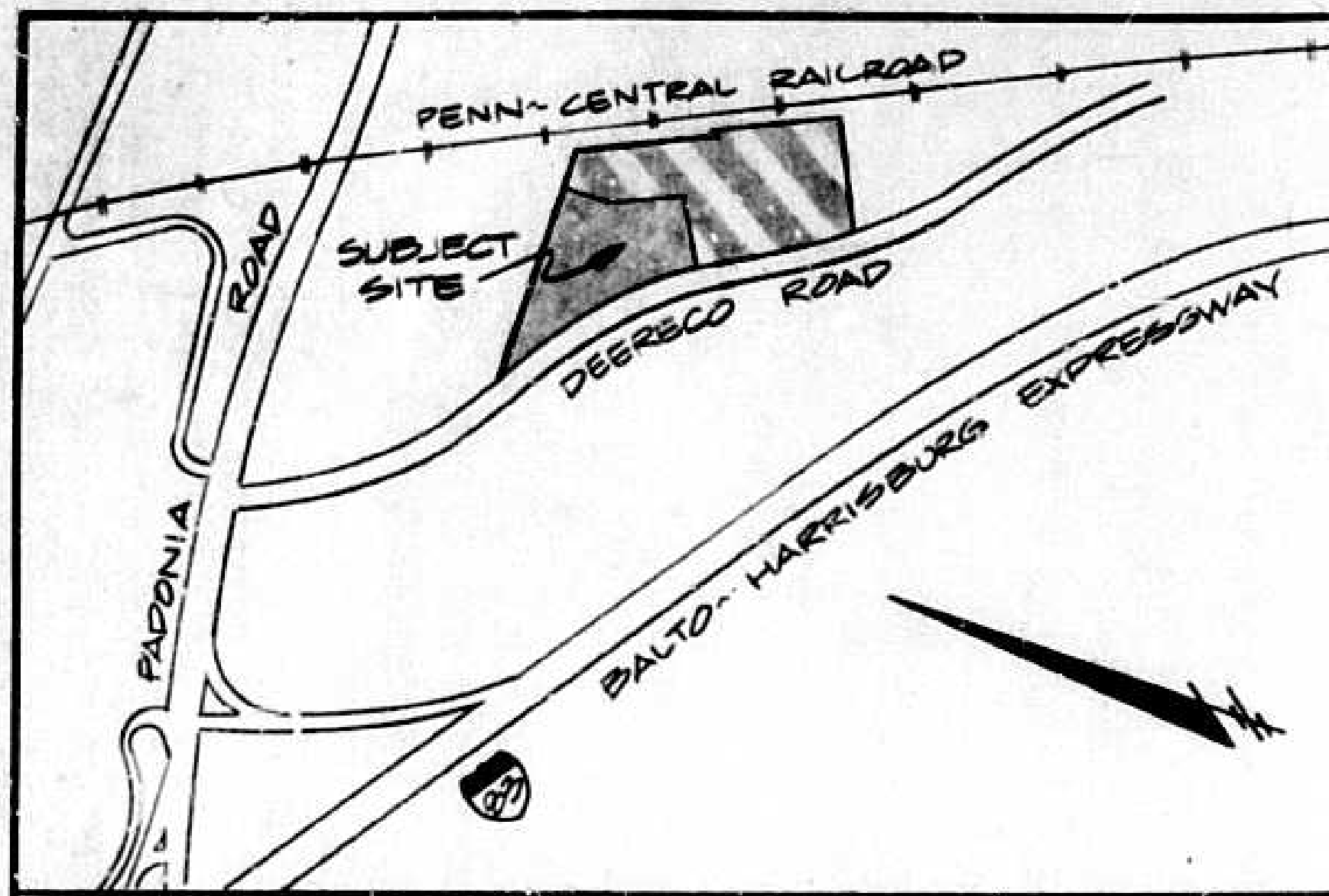
ELEVATION
SKETCHES

PROPOSED DEERCO HOTEL
TIMONIUM COMMERCE PARK
for
TIMONIUM COMMERCE PARK CO.
10 PARKS AVENUE
COCKEYSVILLE, MD. 21030

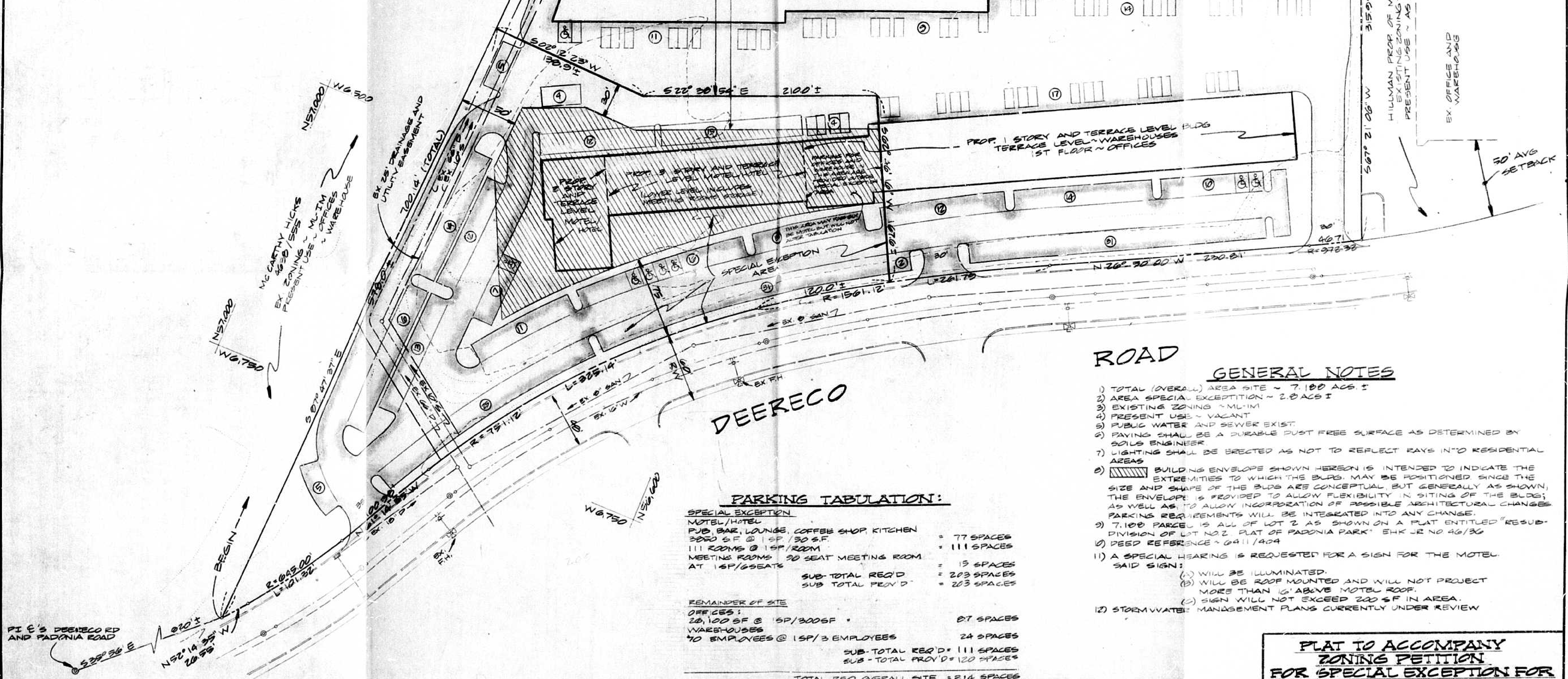
THE OFFICE OF
KENNETH M. MITCHELL, AIA
ARCHITECT

14A HAMILTON BLDG., 43 W. FRONT ST., RED BANK, N.J. 07701 •
PHONE (201) 241-1550

N.J. C 4508
PA. 01771
N.Y. 0802
FLA. 9021



LOCATION MAP SCALE: 1"=500'



DEERECO

PARKING TABULATION:

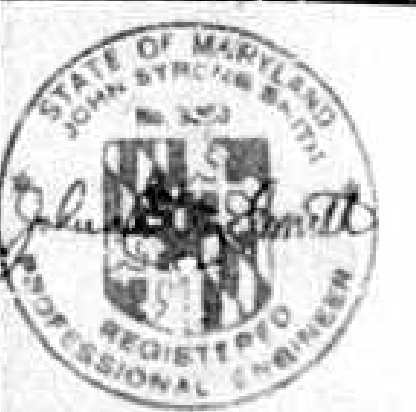
SPECIAL EXCEPTION	
MOTEL/HOTEL	
PUB. BAR, LOUNGE, COFFEE SHOP, KITCHEN	= 77 SPACES
2000 SF @ 1 SP/30 SF	= 111 SPACES
111 ROOMS @ 1 SP/ROOM	
MEETING ROOMS 20 SEAT MEETING ROOM	= 15 SPACES
AT 1 SP/6 SEATS	
SUB-TOTAL REQ'D	= 203 SPACES
SUB-TOTAL PROV'D	= 203 SPACES
REMAINDER OF SITE	
OFFICES:	
20,100 SF @ 1 SP/300 SF	= 67 SPACES
WAREHOUSES	
70 EMPLOYEES @ 1 SP/3 EMPLOYEES	= 24 SPACES
SUB-TOTAL REQ'D	= 111 SPACES
SUB-TOTAL PROV'D	= 120 SPACES
TOTAL REQ. OVERALL SITE = 214 SPACES	
TOTAL PROV. OVERALL SITE = 323 SPACES*	
* INCLUDES 8 HANDICAP SPACES	

ROAD

GENERAL NOTES

- 1) TOTAL (OVERALL) AREA SITE ~ 7.100 ACS. ±
- 2) AREA SPECIAL EXCEPTION ~ 2.0 ACS. ±
- 3) EXISTING ZONING ~ ML-IM
- 4) PRESENT USE ~ VACANT
- 5) PUBLIC WATER AND SEWER EXIST
- 6) PAVING SHALL BE A DURABLE DUST FREE SURFACE AS DETERMINED BY SOILS ENGINEER
- 7) LIGHTING SHALL BE ERECTED AS NOT TO REFLECT RAYS INTO RESIDENTIAL AREAS
- 8) BUILDING ENVELOPE SHOWN HEREON IS INTENDED TO INDICATE THE EXTREMITIES TO WHICH THE BLDG. MAY BE POSITIONED SINCE THE SIZE AND SHAPE OF THE BLDG ARE CONCEPTUAL, BUT GENERALLY AS SHOWN; THE ENVELOPE IS PROVIDED TO ALLOW FLEXIBILITY IN SITING OF THE BLDG; AS WELL AS TO ALLOW INCORPORATION OF POSSIBLE ARCHITECTURAL CHANGES. PARKING REQUIREMENTS WILL BE INTEGRATED INTO ANY CHANGE.
- 9) 7.100 PARCEL IS ALL OF LOT 2 AS SHOWN ON A PLAT ENTITLED "RESUB-DIVISION OF LOT NO. 2, PLAT OF PADONIA PARK" EHK JR NO 46/30
- 10) DEED REFERENCE ~ 6411/404
- 11) A SPECIAL HEARING IS REQUESTED FOR A SIGN FOR THE MOTEL. SAID SIGN:
 - (a) WILL BE ILLUMINATED.
 - (b) WILL BE ROOF MOUNTED AND WILL NOT PROJECT MORE THAN 10' ABOVE MOTEL ROOF.
 - (c) SIGN WILL NOT EXCEED 200 SF IN AREA.
- 12) STORM WATER MANAGEMENT PLANS CURRENTLY UNDER REVIEW

GEORGE WILLIAM STEPHENS JR. AND ASSOCIATES INC.
ENGINEERS
303 ALLEGHENY AVE. TOWSON, MD. 21204



OWNER / PETITIONER
TIMONUM COMMERCE PARK CO.
10 PARKS AVENUE
COCKEYSVILLE, MD. 21030

PETITIONER'S
EXHIBIT 2

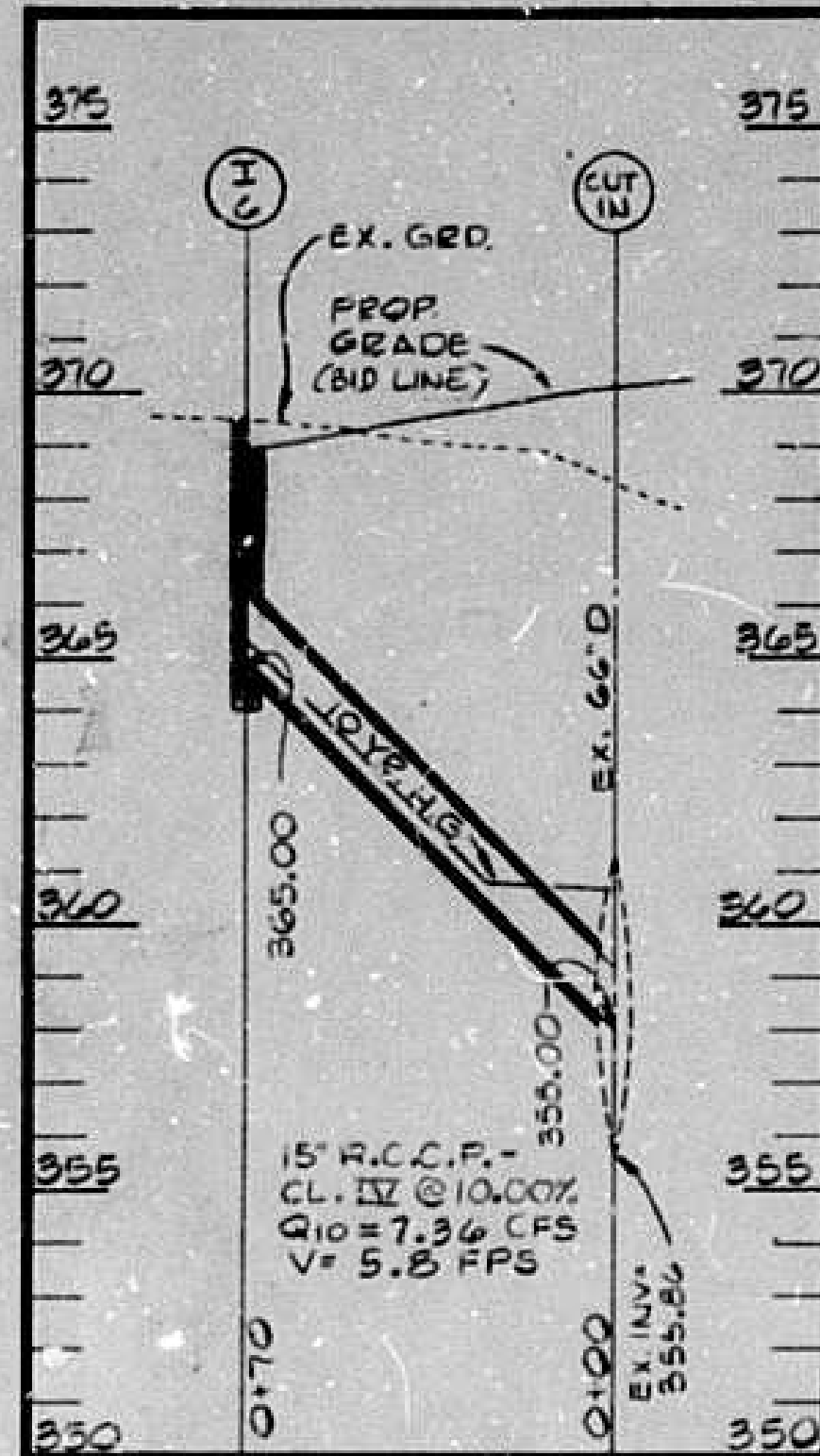
REVISIONS:
A-10/7/1983
A-2 MEET RNS/ADJ.
PICK TAB.

DRAWN:
DESIGN:
C-ECK
DN 06590

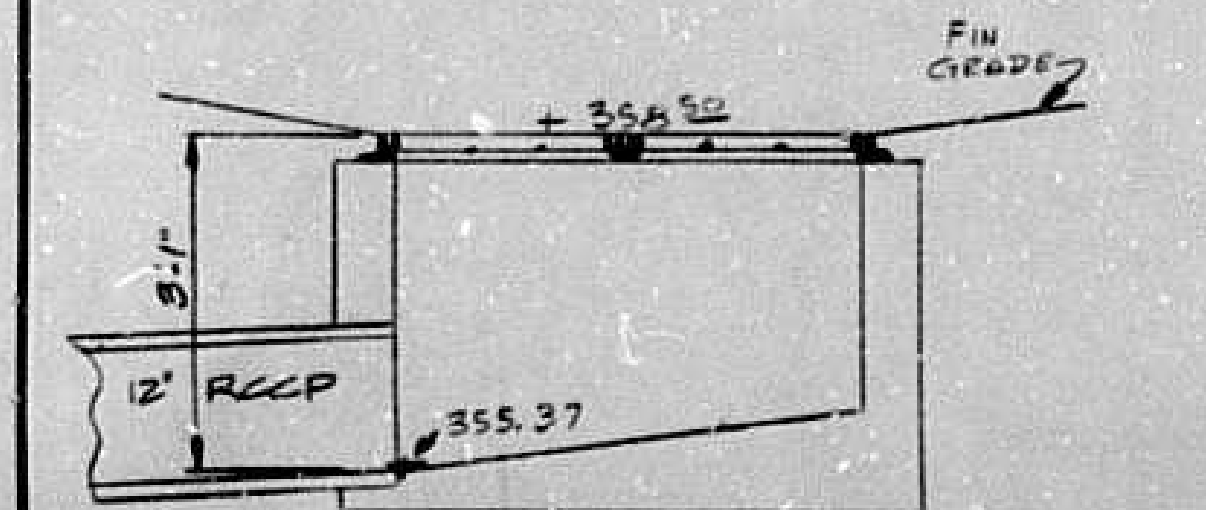
**PLAT TO ACCOMPANY
ZONING PETITION
FOR SPECIAL EXCEPTION FOR
A MOTEL/HOTEL AND A
SPECIAL HEARING FOR A
SIGN IN A EX. ML-IM ZONE**

2.0 ACRES ±
(7.100 ACS. ± OVERALL)
TIMONUM COMMERCE PARK
9502 DEERECO ROAD
BALTO COUNTY, MD
SCALE 1"=40'

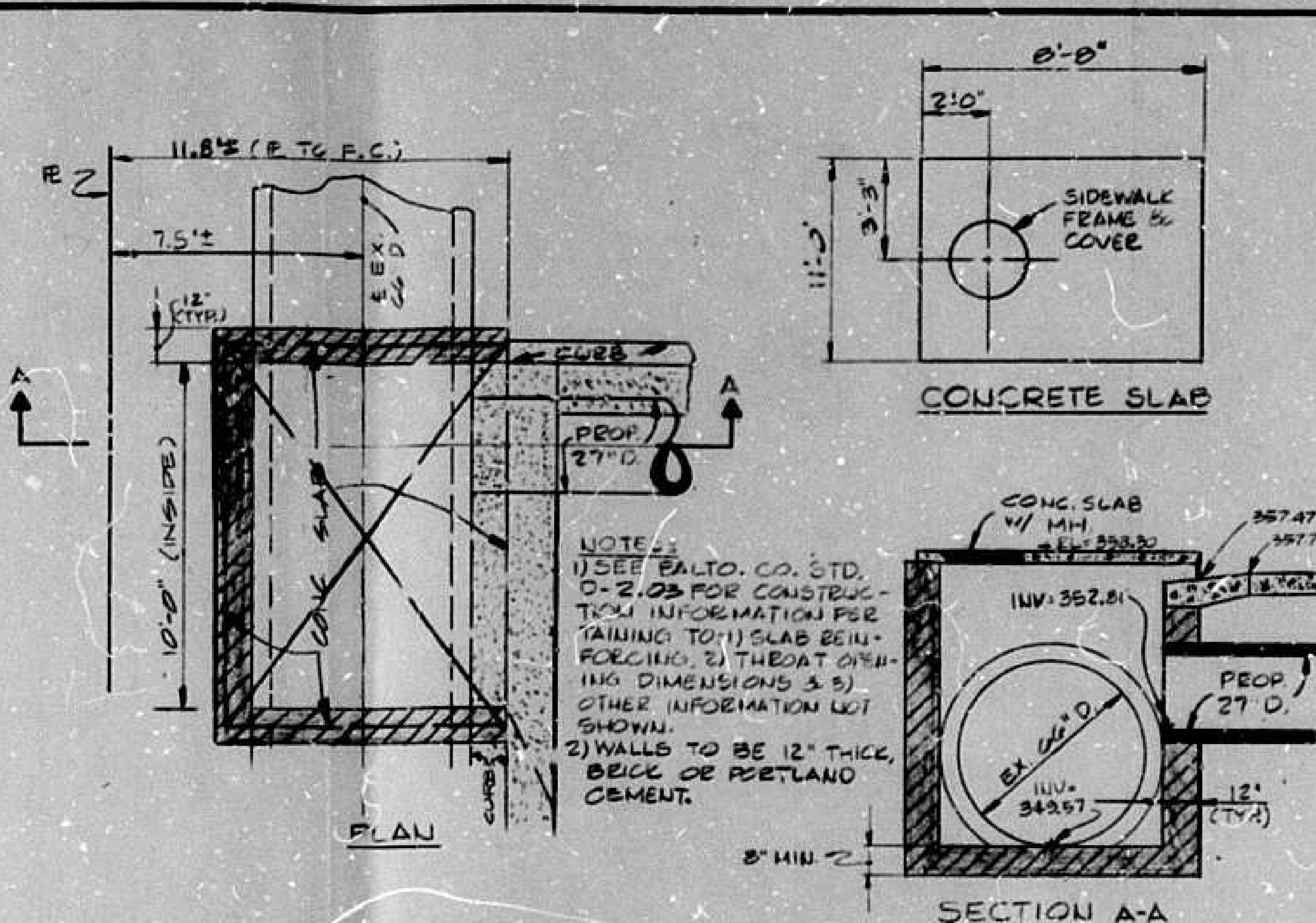
APR 18 REC'D
JTCR 4/153
ELECT DIST NO 8
REVISED PLANS
FEB. 1, 1983



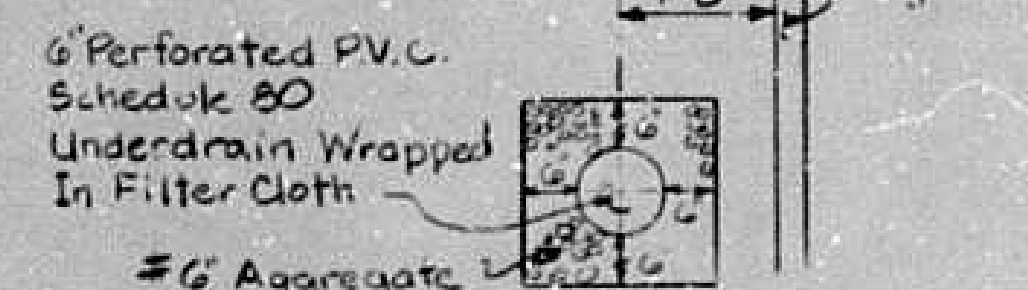
PROFILE
SCALE: HORIZ. 1"=40'
VERT. 1"=4'



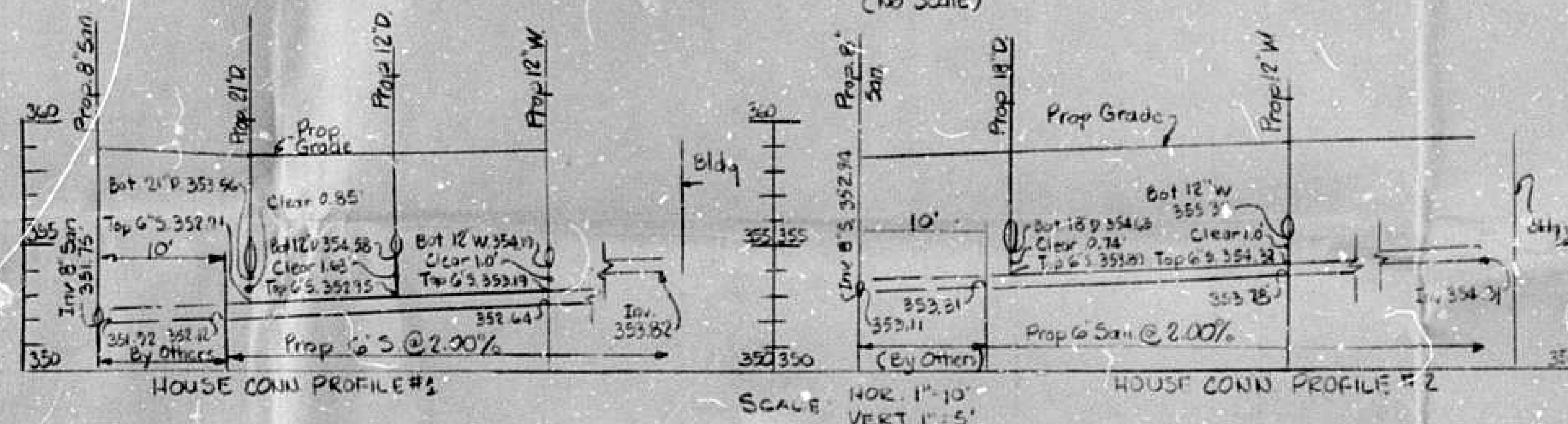
DETAIL ~ I-5 (MOD. DBL. "S" GRATE)
N.T.S.



DETAIL ~ I-1
(MODIFIED TYPE B-2)
(NO SCALE)

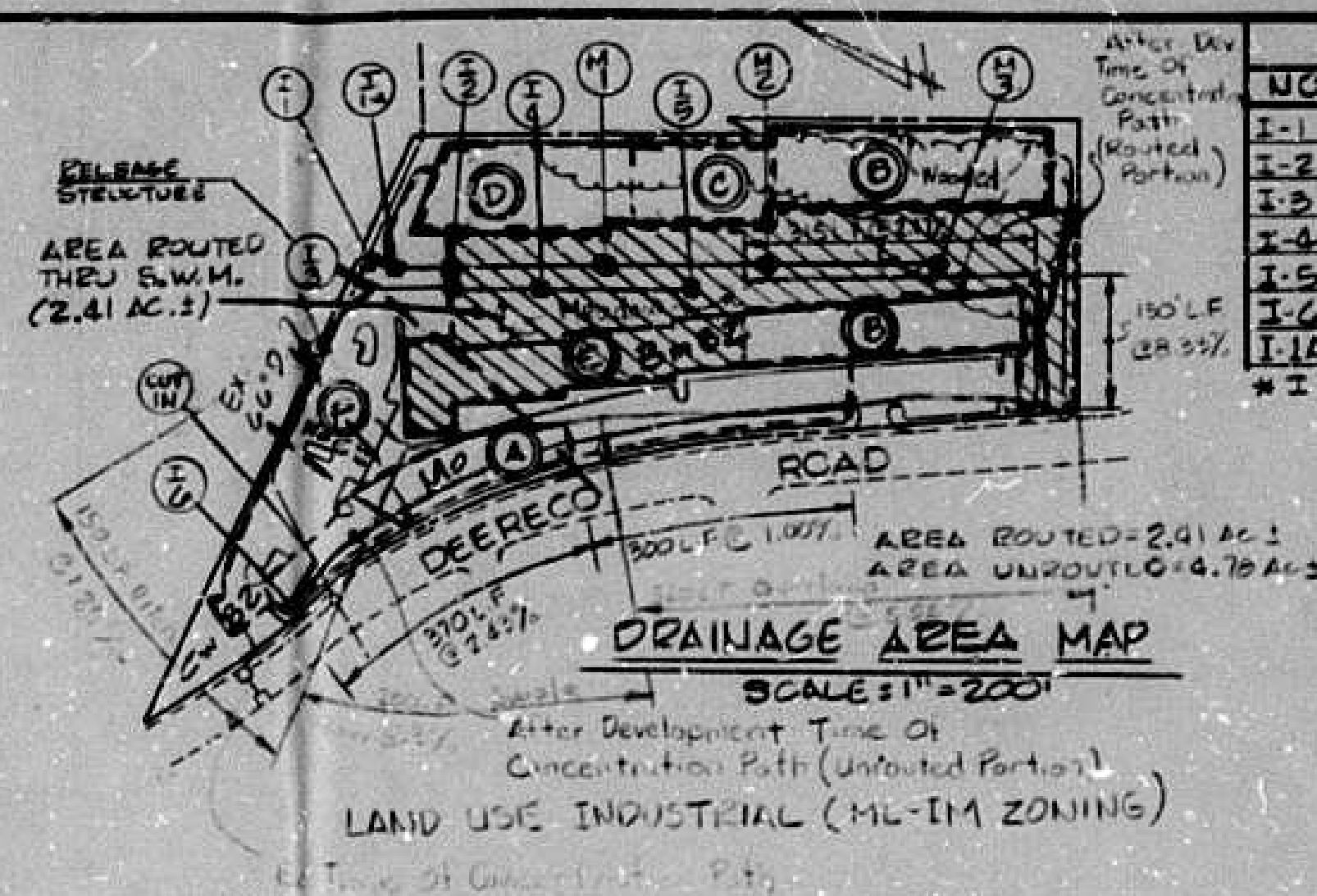


PERFORATED UNDERDRAIN
DETAIL
(NO SCALE)

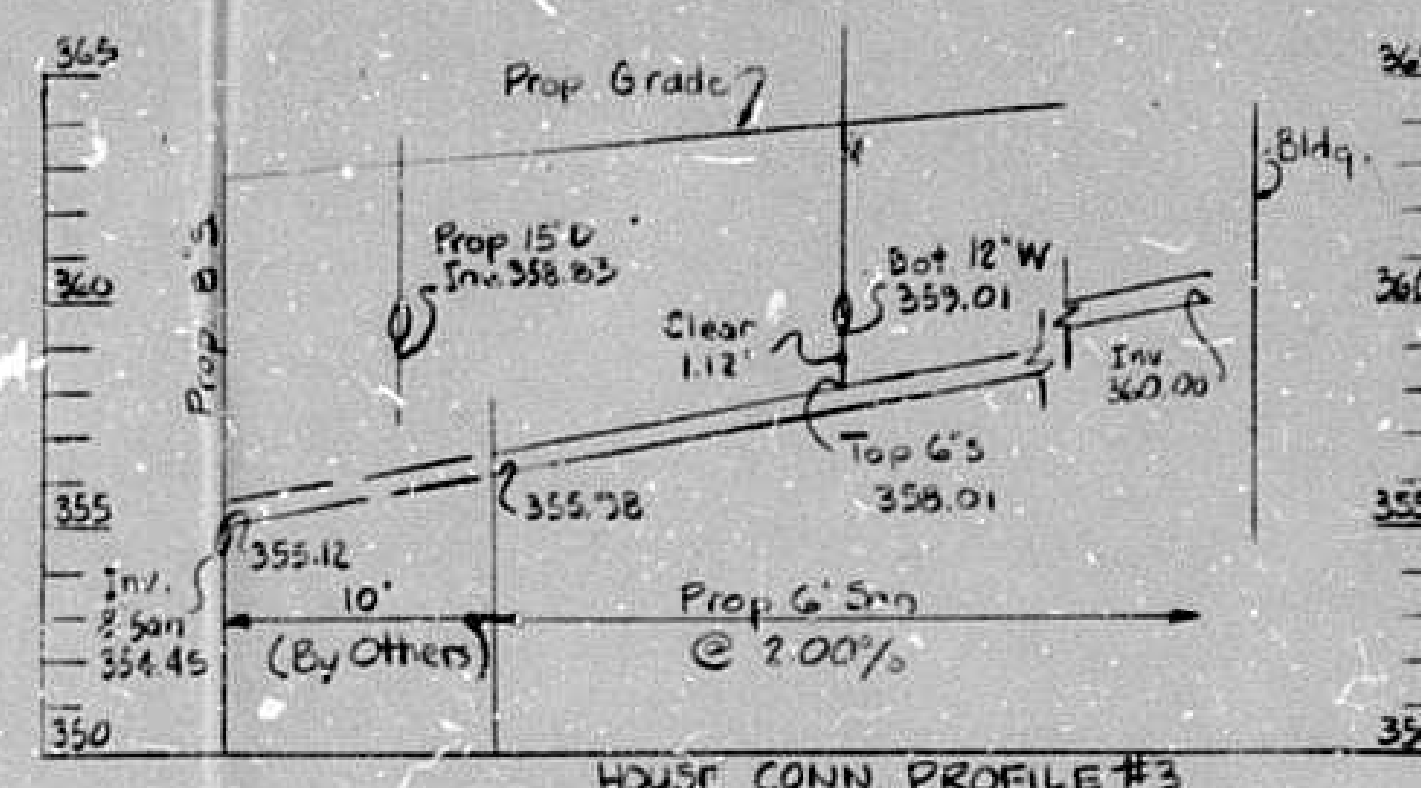


HOUSE CONN. PROFILE #1
SCALE: HORIZ. 1"=10'
VERT. 1"=5'

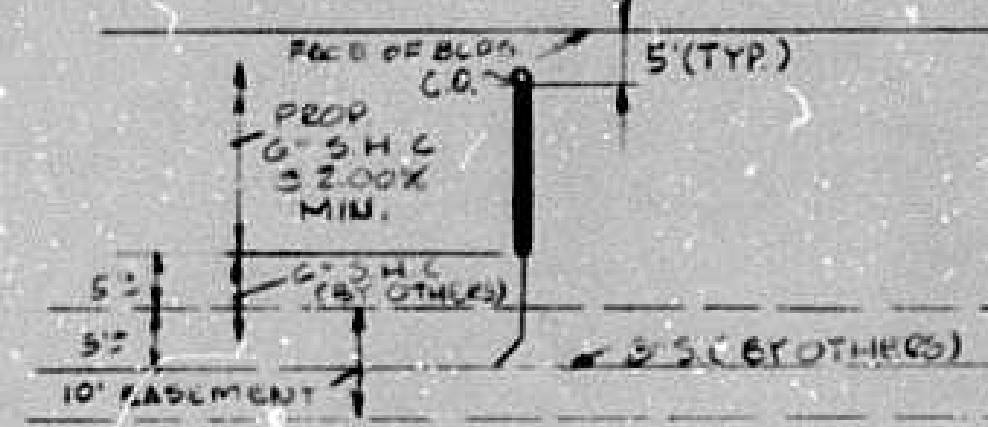
HOUSE CONN. PROFILE #2
SCALE: HORIZ. 1"=10'
VERT. 1"=5'



LAND USE INDUSTRIAL (ML-IM ZONING)



HOUSE CONN. PROFILE #3
SCALE: HORIZ. 1"=10'
VERT. 1"=5'

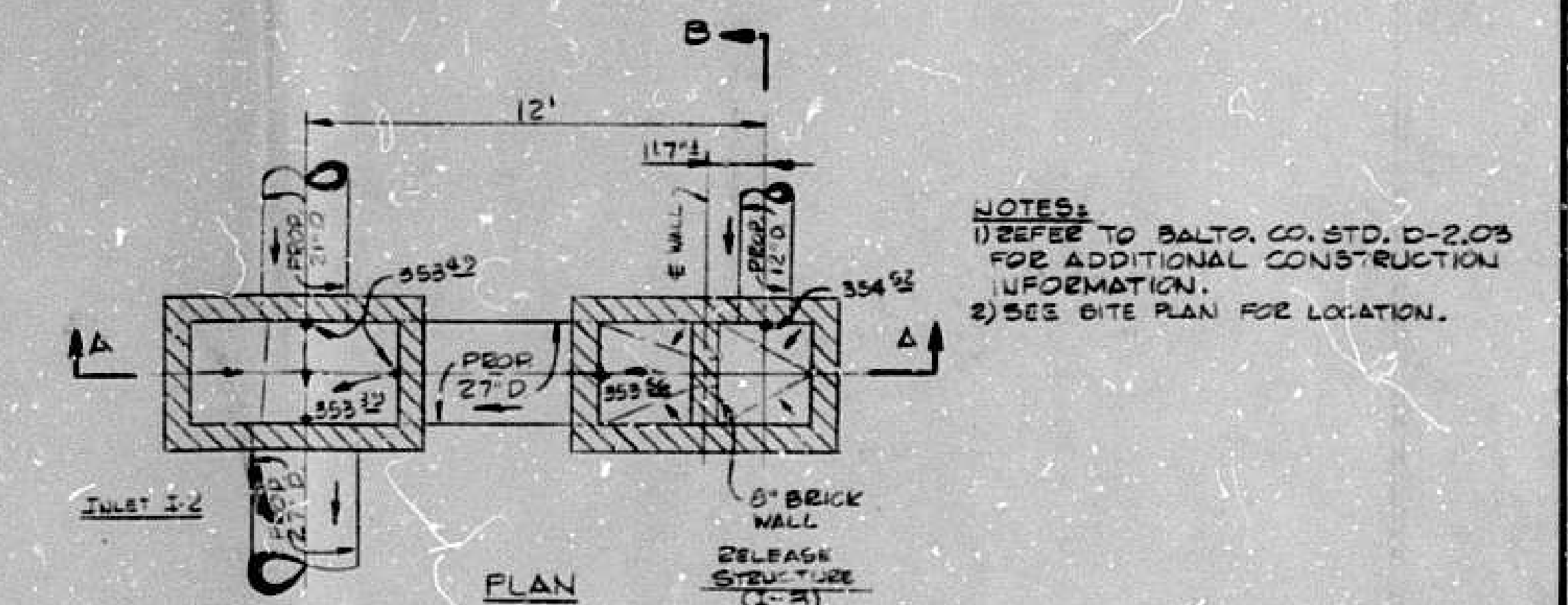


SANITARY HOUSE
CONNECTION
DETAIL
N.T.S.

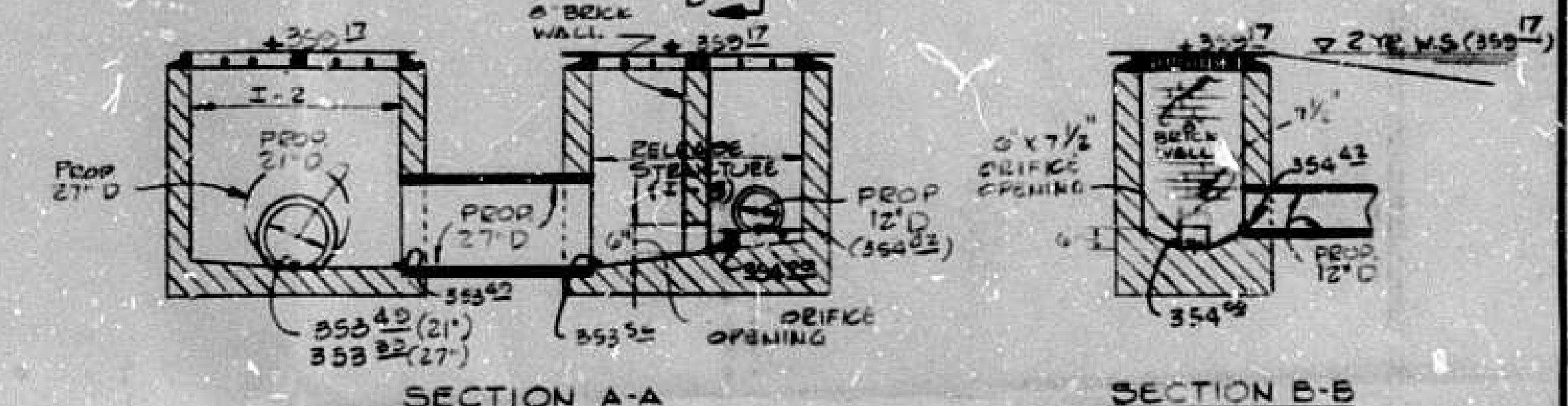
Storm Water Management 7/6/93
APPROVED: [Signature]
DEVELOPER'S DESIGN & APPROVAL SECTION
BUREAU OF ENGINEERING
JAM 7/5/93

INLET SCHEDULE					MANHOLE SCHEDULE				
NO.	TYPE	TOP EL.	INV. IN.	INV. OUT.	REMARKS	NO.	TYPE	TOP EL.	INV. IN.
I-1	MOD. TYPE B-2	362.1	362.1	362.37	SEE DETAIL	M-1	TYPE A-1	362.00	362.32
I-2	DBL. "S" GRATE	359.10	359.10	359.82	SEE DETAIL	M-2	TYPE B SANITARY	352.15	352.40
I-3	MOD. DBL. "S" GRATE	359.10	359.10	359.82	SEE DETAIL	M-3	TYPE B SANITARY	352.30	352.40
I-4	"S" GRATE	359.50	359.50	359.77	SEE DETAIL				
I-5	MOD. "S" GRATE	359.50	359.50	359.77	SEE DETAIL				
I-6	DBL. "S" GRATE	359.60	359.60	359.82	SEE DETAIL				
I-7A	DBL. "S" GRATE	359.00	359.00	359.00	SEE DETAIL				

* INDICATED TOP OF CURB ELEVATION



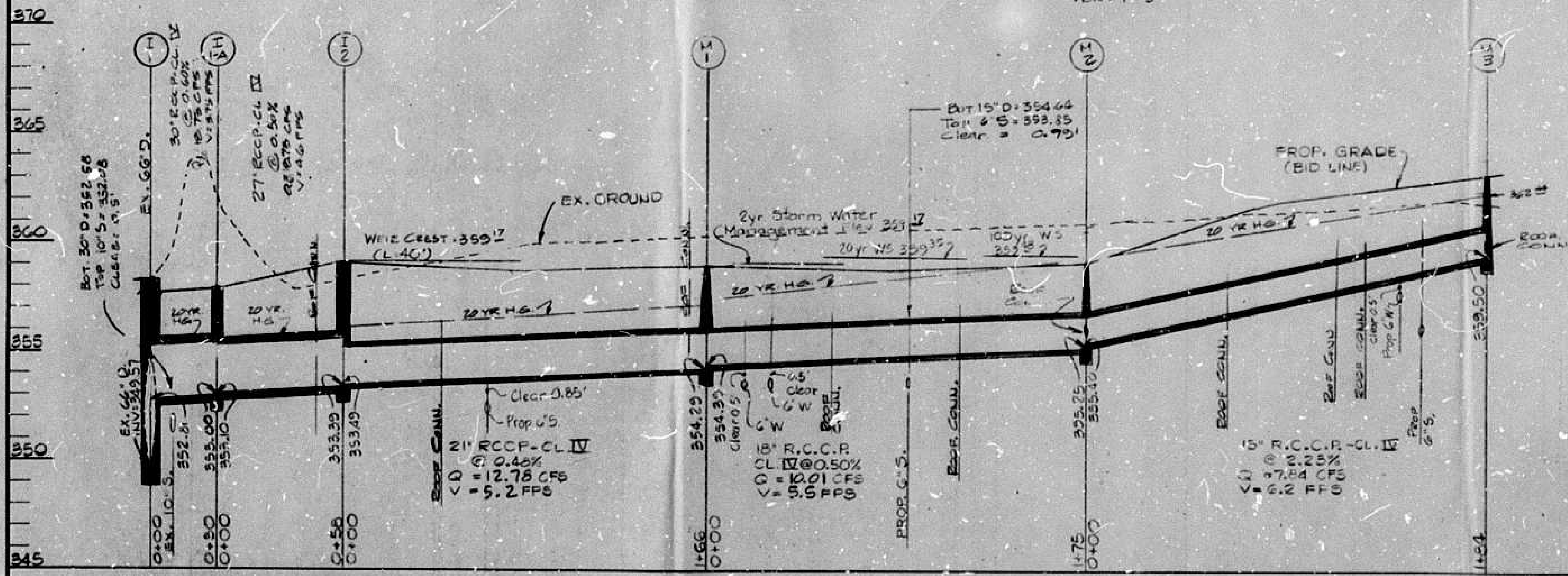
PLAN



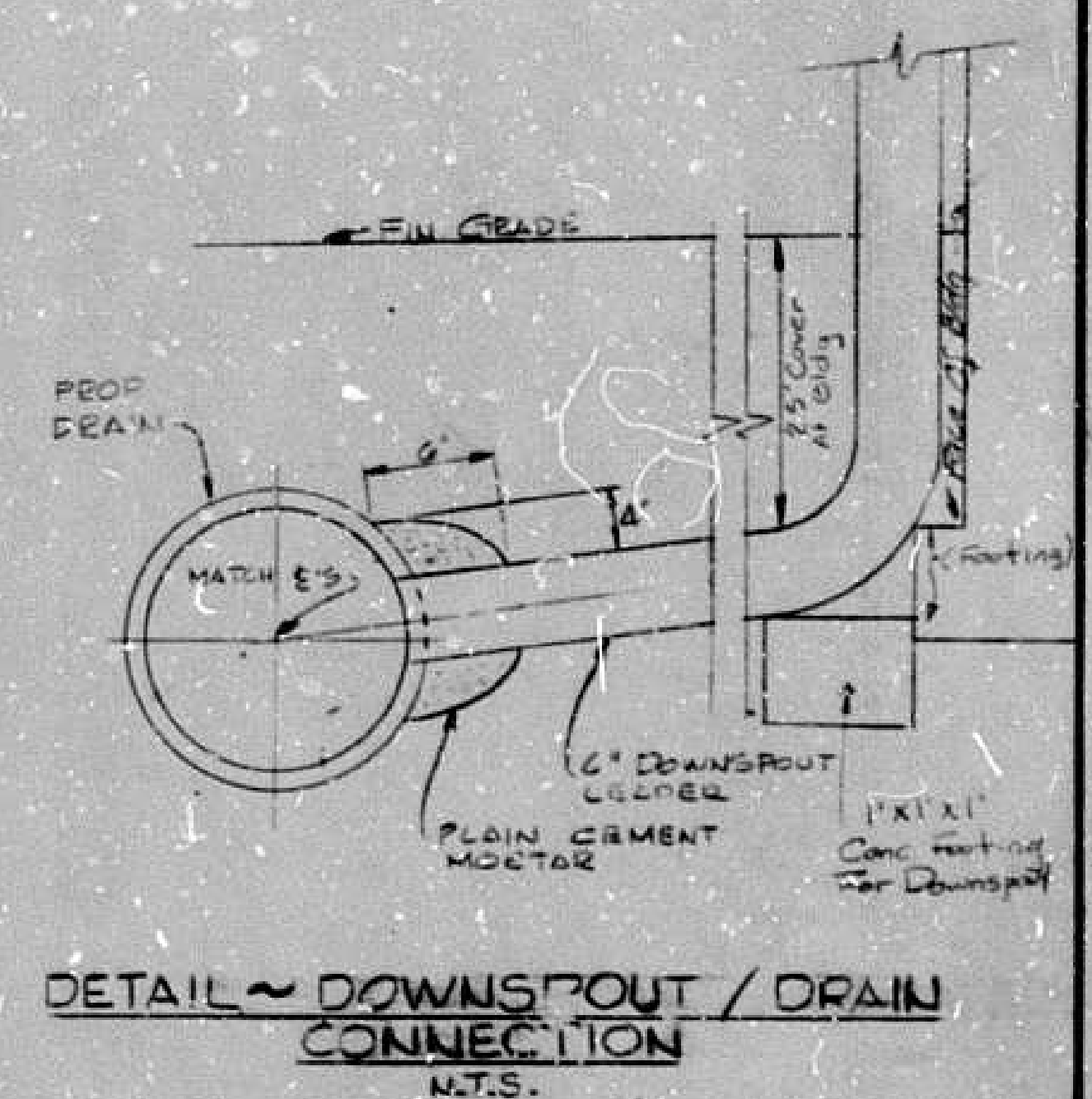
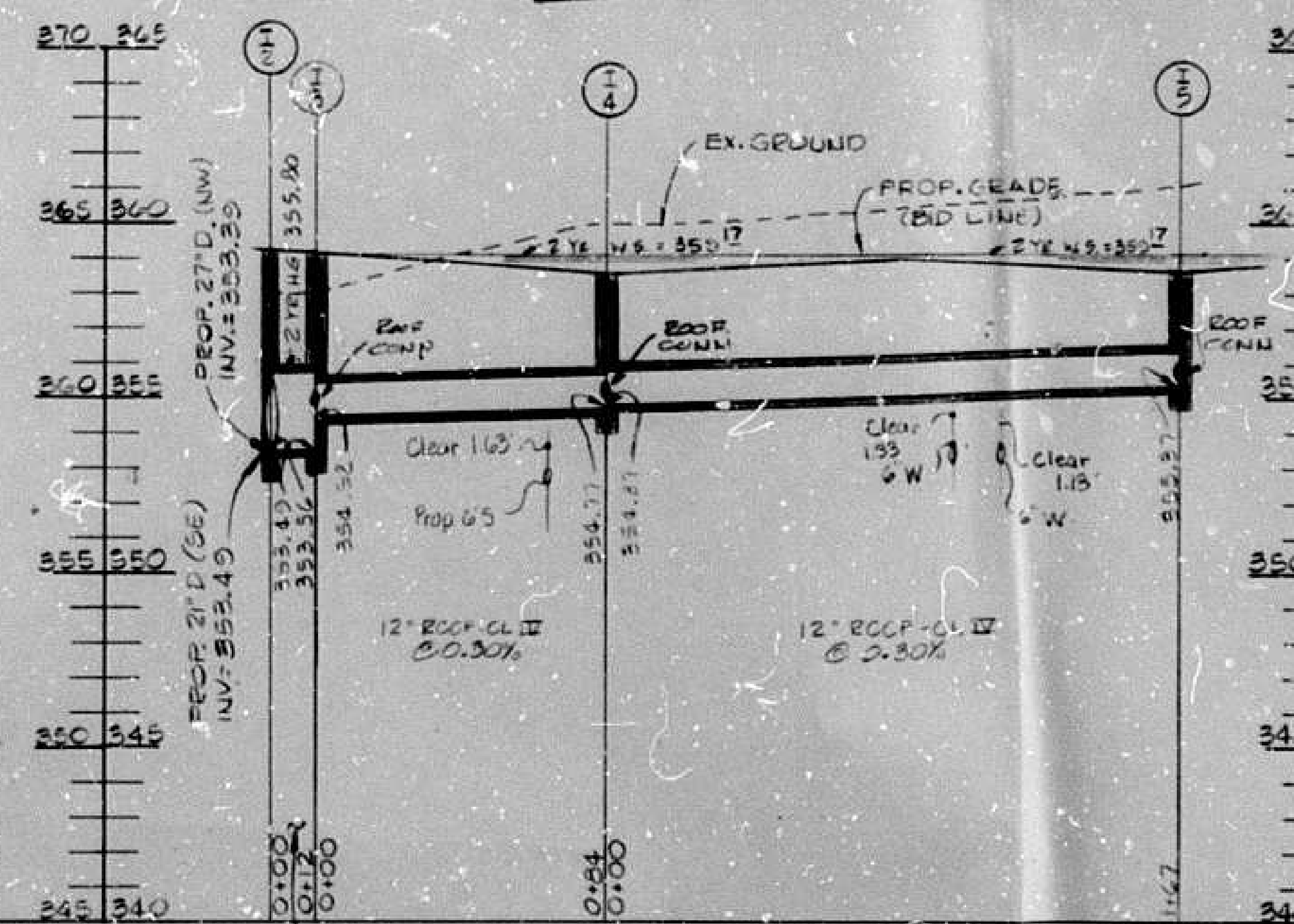
SECTION A-A

SECTION B-B

DETAIL ~ RELEASE STRUCTURE
(MODIFIED DBL. "S" INLET)
SCALE: 1/4"=10'



PROFILES
SCALE: HORIZ. 1"=40'
VERT. 1"=4'



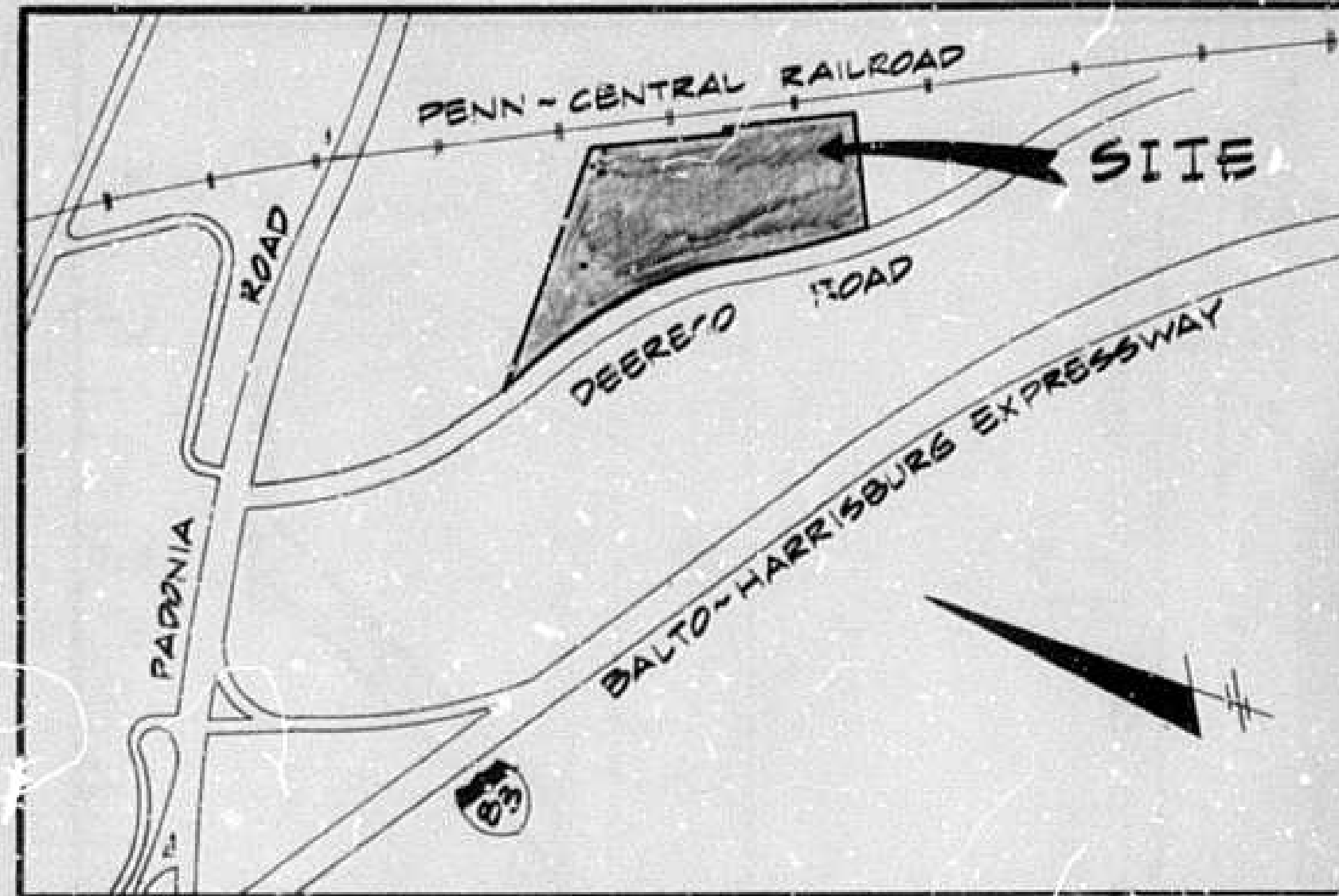
DETAIL ~ DOWNSPOUT / DRAIN
CONNECTION
N.T.S.

GEORGE WILLIAM STEPHENS JR. AND ASSOCIATES INC.
ENGINEERS
383 ALLEGHENY AVE. TOWSON, MD. 21284
(301) 825-8120



DESIGNED BY: RRC
DRAWN BY: T.L.B.
CHECKED BY: PRC
REVISIONS

PROFILES AND DETAILS
FOR
PROPOSED WAREHOUSE COMPLEX
TIMONIUM COMMERCE PARK
9502 DEERE ROAD
BALTIMORE COUNTY, MARYLAND - ELECTION DISTRICT # 8
SCALE: AS SHOWN
P.N. 04590
SHEET 2 OF 2

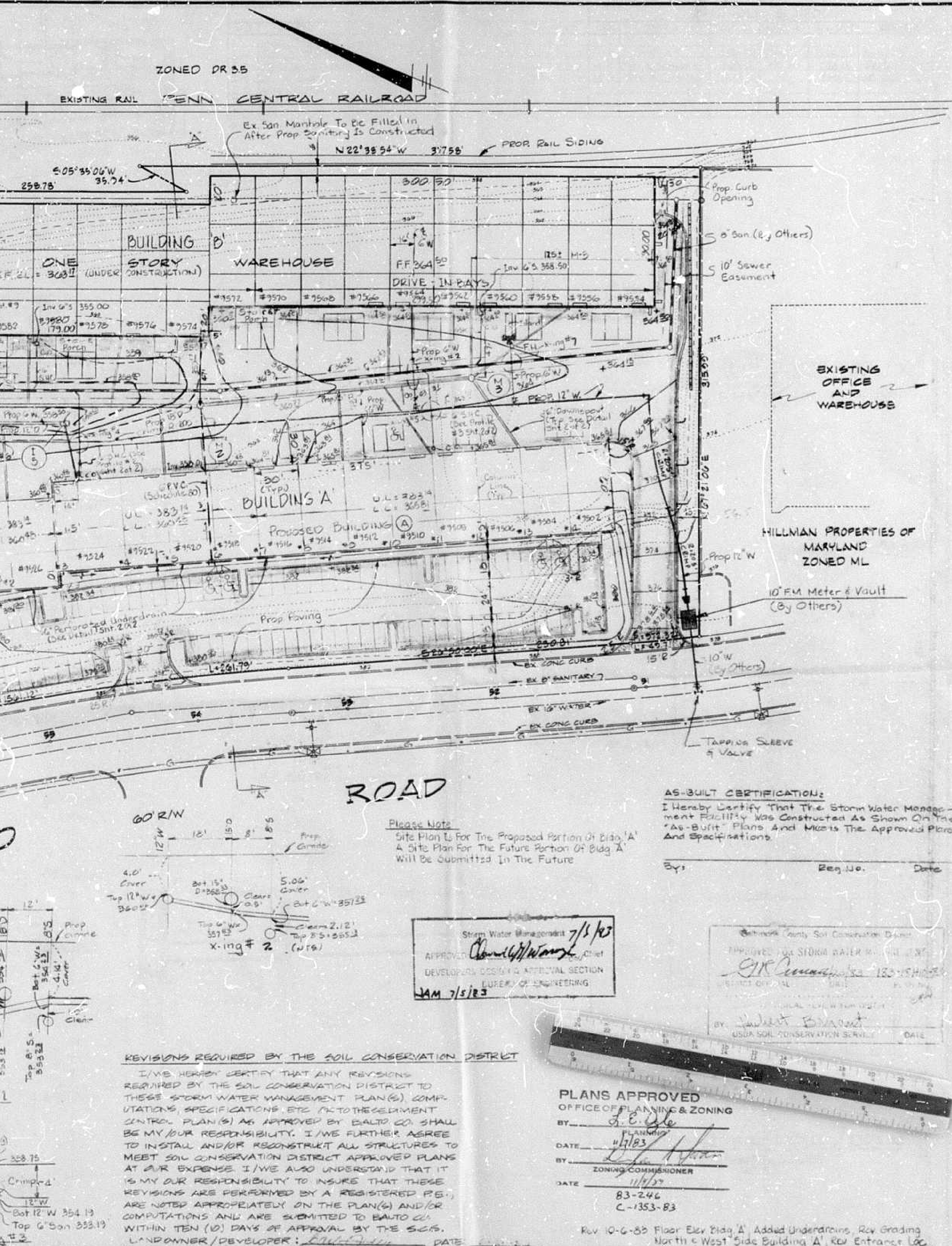


SITE DATA

1. ZONING - ML 1M
2. AREA - 7.88 AC
3. PARKING REQUIREMENTS:
East Building (Under Construction)
WAREHOUSE AREA - 42 EMP @ 1 SP/3600 - 14 SP
REQUIRED PARKING = 14 SP
4. PARKING PROVIDED =
HANDICAPPED @ 12'x18' = 1
PARKING PROVIDED = 14 SPACES
5. PARKING REQUIREMENTS
PROPOSED PORTION WEST BUILDING
OFFICE: 24,100 Sq Ft @ 1 Sp/3600 Sq Ft = 67 Sp
PARKING REQUIRED: 87 SP
WAREHOUSE: 70 EMP @ 1 Sp/3600 Sq Ft = 24
TOTAL REQUIRED: 111 SP
6. DEED REF 2411/424
7. PLAT REF EHC JR. 44/36

LEGEND

OUTLINE OF SITE
BUILDING SETBACK
6" CONC CURB/GUTTER
REVERSE SLOPE CURB/GUTTER
TRUCK LOADING DOORS
UTILITY EASEMENT



LOCATION MAP SCALE: 1"=500'

GENERAL NOTES

1. ALL DISTURBED AREAS SHALL BE STABILIZED WITH PERMANENT SEED AND MULCH IN ACCORDANCE WITH THE PLANS APPROVED BY THE BALTIMORE SOIL CONSERVATION DISTRICT.

2. FOR DETAILS OF RAMP AND SIGNS FOR THE HANDICAPPED, SEE THE MARYLAND BUILDING CODE FOR THE HANDICAPPED AND AGED (SEE BALTO.CO.STD. R-80).

3. ANY DAMAGE TO COUNTY RIGHT-OF-WAYS, PAVING OF PUBLIC ROADS OR ADJACENT PROPERTIES SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE.

4. EXACT LOCATION AND ELEVATIONS OF EXISTING UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR BEFORE BEGINNING ANY CONSTRUCTION.

5. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH BALTO CO STD SPECS AND DETAILS FOR CONSTRUCTION, OR AS SHOWN ON THESE APPROVED PLANS.

6. THE CONTRACTOR SHALL NOTIFY THE GAS & ELECTRIC CO. AND THE CHESAPEAKE AND POTOMAC TELEPHONE COMPANY (CALL COLLECT, MISS UTILITY, 1-555-0100) FIVE (5) DAYS BEFORE BEGINNING ANY CONSTRUCTION.

7. THE CONTRACTOR SHALL MAINTAIN A MINIMUM OF TWO (2) FT LEVEL BEHIND ALL PROPOSED CURB/GUTTER IN FILL AREAS.

8. THE STORM WATER MANAGEMENT FACILITY IS PRIVATE AND SHALL BE MAINTAINED BY THE OWNER AND CONSTRUCTED IN ACCORDANCE WITH BALTO.CO.STD.

9. ALL WALKS SHALL BE CONSTRUCTED AS SPECIFIED BY THE ARCHITECT/OWNER.

10. ALL PROPOSED WATER SHALL HAVE A MINIMUM OF 4" COVER EXCEPT AS NOTED.

11. ALL FILL SHALL BE ROLED TO A MINIMUM DEGREE OF COMPACTION OF 95% OF THE DRY UNIT WEIGHT AS DETERMINED BY ASTM D-698.

12. 360.82+ INDICATES FIN. GRADE SPOT ELEVATIONS ALONG FACE OF CURB, TOP OF CURB 0.6' HIGHER.

13. SOILS ENGINEER TO RECOMMEND PAVING SECTION.

14. HANDICAPPED ACCESS PROVISIONS FOR THE EAST BUILDING HAVE BEEN WAIVED, SEE LETTER OF JAN. 27 1983 FROM PIERRE H. CASSMAN, CHIEF DESIGN & REVIEW, MARYLAND DEPT. OF ECONOMIC AND COMMUNITY DEVELOPMENT.

STORM WATER MANAGEMENT DATA:

DRAINAGE AREA TO SWM FACILITY (BALANCE OF STORM WATER MANAGEMENT HAS BEEN PROVIDED FOR AT THE FAIRGROUNDS BUSINESS PARK FACILITY) 2.41 AC

PREDEVELOPMENT RCN 60

ALLOWABLE RELEASE RATE FROM 2.41 AC 96

2 YR. RELEASE 345 CFS

STORAGE PROVIDED TO 2 YR WD. 359.17

PROF. DEPTH OF PONDING IN PARKING LOT (100YR) - 0.78'

GRADING AROUND LOT BUILDINGS IS SUBJECT TO CHANGE; CONTRACTOR SHALL VERIFY THESE TENS WITH OWNER PRIOR TO STARTING CONSTRUCTION

X-ING #7

Prop Grade 363.6'
Bot. G.W. 359.56'
Top B. San. 355.5'
Clear 4.06'
Cover 5.54'

GEORGE WILLIAM STEPHENS JR. AND ASSOCIATES INC.
ENGINEERS
303 ALLEGHENY AVE. TOWSON, MD. 21204

ENGINEER'S CERTIFICATION
I hereby certify that this plan has been prepared by or under my supervision and meets the minimum standards of the Baltimore County Department of Public Works and the Baltimore County Soil Conservation District.
By: *John W. Stephens Jr.* 3-2-83 Reg. No. 3-2-83 Date

OWNER/CONTRACTOR
TIMONIUM COMMERCE PARK CO.
10 PARKS AVENUE
COCKEYSVILLE, MD. 21030

ARCHITECT
NICHOLS/GOULD ARCHITECTS PA
1111 N. HUNTER STREET
BALTIMORE, MD. 21202

REVISIONS REQUIRED BY THE SOIL CONSERVATION DISTRICT
I/we hereby certify that any revisions required by the soil conservation district to these storm water management plan(s), computations, specifications, etc. (to the sediment control plan(s)) as approved by BALTO CO. shall be my/our responsibility. I/we further agree to install and/or reconstruct all structures to meet soil conservation district approved plans at our expense. I/we also understand that it is my/our responsibility to insure that these revisions are performed by a registered P.E., are noted appropriately on the plan(s) and/or computations and are submitted to BALTO CO. within ten (10) days of approval by the S.C.D. LANDOWNER/DEVELOPER: *John W. Stephens Jr.* DATE

REVISIONS
3/18/83 Change Water T. to see Hydrant Loc. Added
4/17/83 Added Note
4/17/83 Grading and Fill
DRAWN: *John W. Stephens Jr.*
DESIGN: *John W. Stephens Jr.*
CHECK: *John W. Stephens Jr.*
PN 065900

SITE AND STORM WATER MANAGEMENT PLAN FOR PROPOSED WAREHOUSE COMPLEX
TIMONIUM COMMERCE PARK
9502-98 DEERE ROAD
BALTO. COUNTY, MD.
SCALE 1"=40'
ELECT. DIST. NO. 8
NOVEMBER 5, 1982
SHEET 1 OF 2