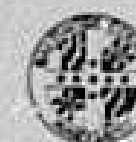


Pursuant to the advertisement, posting of property, and public hearing on the petition and it appearing that strict compliance with the Baltimore County Zoning Regulations would/would not result in practical difficulty and unreasonable hardship upon the Petitioner(s) and the granting of the variance(s) requested will not adversely affect the health, safety, and general welfare of the community, the variance(s) should /should not be granted.

Therefore, IT IS ORDERED by the Zoning Commissioner of Baltimore County, this 9th day of May, 1983, that the Petition for Variance(s) to permit a side yard setback of three feet in lieu of the required ten feet, for the expressed purpose of constructing a 11' 5" x 28' addition to increase the habitable area, in accordance with the site plan filed herein and marked Petitioners' Exhibit 1, is hereby GRANTED, from and after the date of this Order, subject, however, to a revised site plan being submitted for approval by the Department of Public Works and the Office of Planning and Zoning, which shall include a landscaping plan for the screening of the solid north wall of the addition being approved by the Current Planning and Development Division.

William E. Hammond
Zoning Commissioner of
Baltimore County



BALTIMORE COUNTY
DEPARTMENT OF PLANNING & ZONING
TOWSON, MARYLAND 21204
494-3353

TED ZALESKI JR.
DIRECTOR

March 21, 1983

Mr. William E. Hammond, Zoning Commissioner
Office of Planning and Zoning
County Office Building
Towson, Maryland 21204

Dear Mr. Hammond:

Comments on Item # 169 Zoning Advisory Committee Meeting March 15, 1983 are as follows:

Property Owners: Joseph E. & Sarah Catherine Poklis
Location: E/S Lodge Forest Drive 163.82' N. Bay Front Road
Boring Station D.R. 5.5
Proposed Zoning Variance to permit a side yard setback of 3' in lieu of the required 10'

Area: 8400 sq. ft.
District: 15th

The items checked below are applicable:

- X A. All structure shall conform to the Baltimore County Building Code 1981/ Council Bill 4-82 and other applicable Codes.
- X B. A building and other miscellaneous permits shall be required before beginning construction.
- C. Residential: Three sets of construction drawings are required to file a permit application. Architect/Engineer seal is/is not required.
- D. Commercial: Three sets of construction drawings with a Maryland Registered Architect or Engineer shall be required to file a permit application.
- X E. An exterior wall erected within 6'0" of an adjacent lot line shall be of one hour fire resistive construction, no openings permitted within 3'-0" of lot lines. A firewall is required if construction is on the lot line. See Table 101, Line 2, Section 1407 and Table 1402.
- F. Requested variance conflicts with the Baltimore County Building Code, Section/s _____.
- G. A change of occupancy shall be applied for, along with an alteration permit application, and three required sets of drawings indicating how the structure will meet the Code requirements for the proposed change. Drawings may require a professional seal.
- H. Before this office can comment on the above structure, please have the owner, thru the services of a Registered in Maryland Architect or Engineer certify to this office, that, the structure for which a proposed change in use is proposed can comply with the height/area requirements of Table 505 and the required construction classification of Table 101.
- X I. Comments: As this structure is in an area which could be subjected to Tidal Inundation. All new finish floor elevations shall be 1'-0" above the Flood tide established by Public Works. This would be approx. elevated 10'-0". See Section 519.1 as amended.

NOTE: These comments reflect only on the information provided by the drawings submitted to the office of Planning and Zoning and are not intended to be construed as the full extent of any permit.
If desired, additional information may be obtained by visiting Room #122 (Plans Review) at 111 West Chesapeake Ave., 21204.

Very truly yours,
Charles E. Hamman
Charles E. Hamman, Chief
Plans Review

CEH:rrj

FORM 01-82

BALTIMORE COUNTY, MARYLAND

INTER-OFFICE CORRESPONDENCE

William E. Hammond, Zoning Commissioner
TO: Office of Planning and Zoning

Date: April 21, 1983

FROM: Ian J. Forrest

SUBJECT: Zoning Variance Items

The Baltimore County Department of Health has reviewed the following zoning variance items, and has no specific comments regarding same:

- | | |
|-----------|---|
| Item #149 | - Honolulu Limited |
| Item #150 | - James R. Peak |
| Item #151 | - Melvin & Ruth Kabik |
| Item #162 | - Jonathan & Teresa Marshall |
| Item #163 | - Gilbert & Joyce Goetz |
| Item #164 | - Edwin S. Crawford, et ux |
| Item #165 | - The Ventry of the Church of the Good Shepherd |
| Item #168 | - Thomas F. Early |
| Item #169 | - Joseph E. & Sarah Catherine Poklis - E/S - 163.82' N of Bay Front Road - 15th Election District |
| Item #170 | - H. Eugene & Mary Ellen Shoemaker |
| Item #173 | - Thomas B. & Florabelle Groves |
| Item #183 | - Norbert L. & Regina T. Griffin |
| Item #186 | - Metropolitan Management Co. |
| Item #187 | - Raymond T. & Alice A. Andrews |
| Item #196 | - Harvey F. & Carolyn W. Heggie |
| Item #197 | - Guerdon L. French |
| Item #200 | - Mark S. & Karen A. Bartlett |
| Item #201 | - James P. & Jeanne P. Freeman |
| Item #202 | - Shell Oil Company |
| Item #205 | - Donald E. & Wanda G. Riggs |
| Item #211 | - Thomas A. Keller, et ux |
| Item #215 | - Ambler M. Blick, et al |
| Item #216 | - Grant Owings, et al |
| Item #218 | - Paul Hobbs, et ux |
| Item #220 | - Philip E. Klein, et al |
| Item #221 | - Leonardi Stoler |

Ian J. Forrest
Ian J. Forrest, Director
BUREAU OF ENVIRONMENTAL SERVICES

IJF/lth

BALTIMORE COUNTY PUBLIC SCHOOLS

Robert V. Dubel, Superintendent

Towson, Maryland - 21204

Date: March 15, 1983

Mr. William E. Hammond
Zoning Commissioner
Baltimore County Office Building
1111 West Chesapeake Avenue
Towson, Maryland 21204

Z.A.C. Meeting of: March 15, 1983

RE: Item No: 169, 170, 171, 172, 173, 174, 175, 176
Property Owner:
Location:
Present Zoning:
Proposed Zoning:

District:
No. Acres:

Dear Mr. Hammond:

All of the above have no bearing on student population.

Very truly yours,

Wm. Nick Petrovich
Wm. Nick Petrovich, Assistant
Department of Planning

WNP/bp

PETITION FOR VARIANCE

15th Election District

ZONING: Petition for Variance

LOCATION: East side of Lodge Forest Drive, 163.82 ft. North of Bay Front Road

DATE & TIME: Tuesday, May 3, 1983 at 9:30 A.M.

PUBLIC HEARING: Room 105, County Office Building, 111 W. Chesapeake Avenue, Towson, Maryland

The Zoning Commissioner of Baltimore County, by authority of the Zoning Act and Regulations of Baltimore County, will hold a public hearing:

Petition for Variance to permit a 3 ft. side yard setback in lieu of the required 10 ft.

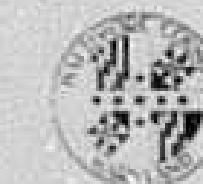
The Zoning Regulation to be excepted as follows:
Section 1B02.3.C.1 - side yard setback in a D.P. 5.5 zone

All that parcel of land in the Fifteenth District of Baltimore County

Being the property of Joseph E. Poklis, et ux, as shown on plat plan filed with the Zoning Department.

Hearing Date: Tuesday, May 3, 1983 at 9:30 A.M.
Public Hearing: Room 106, County Office Building, 111 W. Chesapeake Avenue, Towson, Maryland

BY ORDER OF
WILLIAM E. HAMMOND
ZONING COMMISSIONER
OF BALTIMORE COUNTY



BALTIMORE COUNTY
OFFICE OF PLANNING & ZONING
TOWSON, MARYLAND 21204
494-3353

WILLIAM E. HAMMOND
ZONING COMMISSIONER

April 21, 1983

Dr. & Mrs. Joseph E. Poklis
1931 Robinwood Road
Baltimore, Maryland 21222

Re: Petition for Variance
E/S of Lodge Forest Dr., 163.82'
N of Bay Front Road
Case No. 83-247-A

Dear Dr. & Mrs. Poklis:

This is to advise you that \$67.20 is due for advertising and posting of the above property.

Please make the check payable to Baltimore County, Maryland, and remit to Ariene Janney, Zoning Office, Room 113, County Office Building, Towson, Maryland 21204, before the hearing.

Very truly yours,

William E. Hammond
WILLIAM E. HAMMOND
Zoning Commissioner

BALTIMORE COUNTY, MARYLAND
OFFICE OF FINANCE - REVENUE DIVISION
MISCELLANEOUS CASH RECEIPT

No. 117357

DATE: 4/28/83 ACCOUNT: R-01-615-000

AMOUNT: \$67.20

RECEIVED FROM: Joseph E. Poklis
FOR: Advertising & Posting Case #83-247-A

017*****672010 4282A

VALIDATION OR SIGNATURE OF CASHIER

ORDER RECEIVED FOR FILING

DATE: May 9, 1983
BY: *Joseph E. Poklis*
ADMINISTRATIVE ASSISTANT

Phone: 637-6922

FRANK S. LEE

Registered Land Surveyor

1277 NEIGHBORS AVE. - BALTIMORE, MD. 21237

February 16, 1983

No. 2107 Lodge Forest Drive
Part of lots 1056, 1057, 7 1058 Flat of Lodge Forest 10 Folio 76 & 77
15th District Baltimore County, Maryland

Beginning for the same on the east side of Lodge Forest Drive at the distance of 163.82 feet measured northerly along the east side of Lodge Forest Drive from the north side of Bay Front Road, thence running and binding on the east side of Lodge Forest Drive North 5 degrees 46 minutes East 56 feet, thence leaving Lodge Forest Drive for three lines of division as follows: South 84 degrees 14 minutes East 150 feet, South 5 degrees 46 minutes West 56 feet and North 84 degrees 14 minutes West 150 feet to the place of beginning.

Containing 8400 square feet of land.



Dr. & Mrs. Joseph E. Poklis
1931 Robinwood Road
Baltimore, Maryland 21222

NOTICE OF HEARING

Re: Petition for Variance
E/S of Lodge Forest Dr., 163.82' N
of Bay Front Rd.
Joseph Edward Poklis, et ux - Petitioners
Case No. 83-247-A

TIME: 9:30 A. M.

DATE: Tuesday, May 3, 1983

PLACE: ROOM 106 COUNTY OFFICE BUILDING, 111 W. CHESAPEAKE AVENUE

TOWSON, MARYLAND

[illegible]

CERTIFICATE OF PUBLICATION

TOWSON, MD., April 14, 1983.

THIS IS TO CERTIFY, that the annexed advertisement was published in THE JEFFERSONIAN, a weekly newspaper printed and published in Towson, Baltimore County, Md., ~~once a week~~ for one time ~~successive weeks~~ before the 3rd day of May, 1983, the ~~next~~ publication appearing on the 14th day of April, 1983.

THE JEFFERSONIAN

L. Frank Strickland
Manager.

Cost of Advertisement, \$_____

PETITION FOR VARIANCE

L-0679-N East side of Lodge Forest Drive.

District: D-832 West North Bay Front Road

DATE & TIME: Tuesday May 14TH at 9:30 A.M.

Location: Meeting Room
County Office Building, 110 N. Chesapeake Avenue, Towson, Maryland

The zoning Commission desires of Baltimore County by authority of the Zoning Act and Regulations to consider the following petition for a Variance from District D-832 as follows:

A petition for Variance to permit a .3 ft. side yard setback in lieu of the required 10 ft.

This request, Regulation to be excepted are set forth below:

Section 1802C(1) - "side yard setback in a D.R.S. 53"

All that parcel of land in the Fourth Eastern Subdivision City of Baltimore located as follows:

Beginning for the same on the north side of Lodge Forest Drive at the distance of 163.82 feet measured northerly along the east side of Lodge Forest Drive, thence running southeasterly parallel to the west side of New Front Road, thence running and bounding on its north side of Lodge Forest Drive South S 2 degrees 46 minutes Eas 140' 0 inches bearing Lodge Forest Drive thence running S 1 degree 14 minutes East 100' 0 inches, South S 2 degrees 46 minutes West 56' 0 inches, South S 2 degrees 46 minutes East 140' 0 inches, South S 2 degrees 46 minutes West 56' 0 inches being the entire area of beginning containing .8400 square foot of land.

Being the property of Joseph E. Parks, Inc., as shown on plat plan filed with the Zoning Department.

Hearing Held Thursday May 3, 1983 at 9:30 A.M.

Public Hearing, Rooms 106, County Office Building,
Avenue, Towson, MD.

BY ORDER OF:
WILLIAM E. HAMMOND JR.
CLERK, COMMISSIONERS
BALTIMORE COUNTY

CERTIFICATE OF PUBLICATION

OFFICE OF
Dundalk Eagle

38 N. Dundalk Ave.
Dundalk, Md. 21222 April 14, 1993 19

THIS IS TO CERTIFY, that the annexed advertisement of
Wm. E. Hammond in the matter of PETITION FOR VARIANCE
P.O.#43131 Reg.# L42098
was inserted in **The Dundalk Eagle** a weekly news-

was inserted in **The Dundalk Eagle** a weekly newspaper published in Baltimore County, Maryland, once a week for one successive weeks before the 15th day of April 1983; that is to say, the same was inserted in the issues of April 14, 1983

Kimbel Publication, Inc.
per Publisher.

By H. C. Balbo

CERTIFICATE OF POSTING
ZONING DEPARTMENT OF BALTIMORE COUNTY
Towson, Maryland

District 15 Date of Posting 4/17/83
 Posted for: Petition for annexation
 Petitioner: Joseph E. Padden, et al.
 Location of property: 113 Folsom Street, Apt. 163, 820
1/2 block East of
 Location of Signs: front of property (# ~~100~~ 2167 Folsom
Street, Apt. 1)
 Remarks: _____
 Posted by: Don D. Wilson Date of return: 4/22/83
 Signature _____
 Number of Signs: 1

PETITION MAPPING PROGRESS SHEET

FUNCTION	Wall Map		Original		Duplicate		Tracing		200 Sheet	
	date	by	date	by	date	by	date	by	date	by
Descriptions checked and outline plotted on map										
Petition number added to outline										
Denied										
Granted by ZC, BA, CC, CA										

Reviewed by: uon

Revised Plans:
Change in outline or description _____ Yes
_____ No

Previous case: _____ Map # 4A

Iter # 169

Revised Plans:
Change in outline or description ☐ Yes
Map # 4A ☐ No

BALTIMORE COUNTY, MARYLAND
OFFICE OF FINANCE - REVENUE DIVISION
MISCELLANEOUS CASH RECEIPT

No. 115085

DATE 2/28/83 ACCOUNT 01-615-000
\$1 35.00

RECEIVED FROM John E. Poklis
FOR File for file Item #169

C 005*****2500:0 32684

VALIDATION OR SIGNATURE OF CASER

PETITIONER'S EXHIBIT

LOCATION MAP
SCALE 1" = 500'

EXISTING USE - RESIDENCE
PROPOSED USE - SAME
EXISTING ZONING - DR 5.5
AREA OF LOT = 8400 SQ. FT.
AREA OF ADDITION = 332 SQ. FT.
PUBLIC WATER & SEWER SERVICE LOT

Map Details:

- Streets:** NORTH DR., SOUTH COVE RD., NORTH PT. CREEK RD., LODGE BAY FRONT RD., FOREST COVE RD.
- Proposed Addition:** 28' x 11.5' (dashed line), 28' x 26.3' (solid line). Total area 48.25'.
- Existing Residence:** 28' x 11.5' (dashed line).
- Dimensions:** 71' T to E, 56' T to E, 150' W, 150' W, 1/3.82 T to BAY FRONT RD., 20' Mac PAV., 56' T to E.
- Other Labels:** LODGE, SITE, EX. DWG., RESIDENCE, OWNER, DR. JOSEPH FOKLIS, 1931 ROBINWOOD ROAD, BALTO., MARYLAND 21222, 288-0686.

PLAT TO ACCOMPANY PETITION FOR A SIDE YARD
VARIANCE OF 3' IN LIEU OF THE REQUIRED 10'

No. 2107 LODGE FOREST DRIVE
PART OF LOTS 1056-1057-1058
LODGE FOREST

15TH DISTRICT BALTIMORE COUNTY, MARYLAND
SCALE 1"=30' DATE 2-16-83

DATE 2-16-83

FRANK S. LEE
1277 NEIGHBORS AVE.
BALTIMORE, MD. 21237