

PETITION FOR SPECIAL EXCEPTION 84-199-X

TO THE ZONING COMMISSIONER OF BALTIMORE COUNTY:

The undersigned, legal owner(s) of the property situate in Baltimore County and which is described in the description and plat attached hereto and made a part hereof, hereby petition for a Special Exception under the Zoning Law and Zoning Regulations of Baltimore County, to use the herein described property for Service garage (Battery, tire and accessories)

Property is to be posted and advertised as prescribed by Zoning Regulations.

I, or we, agree to pay expenses of above Special Exception advertising, posting, etc., upon filing of this petition, and further agree to and are to be bound by the zoning regulations and restrictions of Baltimore County adopted pursuant to the Zoning Law for Baltimore County.

I/We do solemnly declare and affirm, under the penalties of perjury, that I/we are the legal owner(s) of the property which is the subject of this Petition.

Contract Purchaser: Merchant's Incorporated
(Type or Print Name)
BY: [Signature]
Signature
9073 Euclid Avenue
Address
Manassas, Virginia 22110
City and State
Attorney for Petitioner:
S. Eric DiNenna
(Type or Print Name)
BY: [Signature]
Signature
100 W. Pennsylvania Avenue
Address
Towson, Md. 21204
City and State
Telephone No.: 825-1630
825-1630
Telephone No.

Legal Owner(s): Humdeco, Inc.
(Type or Print Name)
BY: [Signature]
Signature
Item 124
Address
Louisville, Kentucky 40201
City and State
Name and telephone number of legal owner, contract purchaser or representative to be contacted
S. Eric DiNenna
Name
825-1630
Telephone No.

ORDERED By The Zoning Commissioner of Baltimore County, this 29th day of November, 1983, that the subject matter of this petition be advertised, as required by the Zoning Law of Baltimore County, in two newspapers of general circulation throughout Baltimore County, that property be posted, and that the public hearing be had before the Zoning Commissioner of Baltimore County in Room 106, County Office Building in Towson, Baltimore County, on the 14th day of February, 1984, at 1:30 o'clock P.M.

[Signature]
Zoning Commissioner of Baltimore County.

ZCO-1 (over)

Maryland Department of Transportation

State Highway Administration

Louell K. Bridwell
Secretary
M. S. Calhoun
Administrator

December 2, 1983

Mr. Arnold Jablon
Zoning Commissioner
County Office Building
Towson, Maryland 21204

Attention: Mr. N. Commodari

Re: ZAC Meeting of 11-29-83
ITEM: #124.
Property Owner: Humdeco, Inc.
Location: SW/S Reisterstown Rd., Route 140 475' S/E from c/l Chestnut Hill Road
Existing Zoning: B.L.
Special Exception for service garage (Battery, Tire & Accessories)
Acres: 0.77
District: 4th

Dear Mr. Jablon:

On review of the site plan and field inspection, the State Highway Administration will require the plan to be revised.

The revised plan must show a proposed right of way of 80' (40' each side of centerline) and S.H.A. Type "A" concrete curb parallel to the proposed right of way line.

It is requested the plan be revised prior to a hearing date being set.

Vary truly yours,

[Signature]
Charles Lee, Chief
Bureau of Engineering
Access Permits

CL:GW:maw

cc: Mr. J. Cagle
CDH Engineering Corp.

By: George Wittman

My telephone number is (201) 659-1350

383-7555 Baltimore Metro — 565-0451 D.C. Metro — 1-800-492-5062 Statewide Toll Free
P.O. Box 717 / 707 North Convent St., Baltimore, Maryland 21203 - 0717

RE: PETITION FOR SPECIAL EXCEPTION: BEFORE THE ZONING COMMISSIONER
OF BALTIMORE COUNTY
SE of Chestnut Hill Lane, 475'
4th District
HUMDECO, INC., Petitioner Case No. 84-199-X

ENTRY OF APPEARANCE

Please enter the appearance of the People's Counsel in the above-captioned matter. Notices should be sent of any hearing dates or other proceedings in this matter and of the passage of any preliminary or final Order.

[Signature]
Phyllis Cole Friedman
People's Counsel for Baltimore County

Peter Max Zimmerman
Deputy People's Counsel
Rm. 223, Court House
Towson, MD 21204

I HEREBY CERTIFY that on this 25th day of January, 1984, a copy of the foregoing Entry of Appearance was mailed to S. Eric DiNenna, Esquire, 406 W. Pennsylvania Avenue, Towson, MD 21204, Attorney for Petitioner.

[Signature]
Phyllis Cole Friedman

BALTIMORE COUNTY ZONING PLANS ADVISORY COMMITTEE

February 7, 1984

COUNTY OFFICE BLDG.
111 W. Chesapeake Ave.
Towson, Maryland 21204

000
Nicholas B. Commodari
Chairman

MEMBERS
Bureau of Engineering
Department of Engineering
State Roads Commission
Bureau of Fire Prevention
Health Department
Project Planning
Building Department
Board of Education
Zoning Administration
Industrial Development

S. Eric DiNenna, Esquire
406 W. Pennsylvania Avenue
Towson, Maryland 21204

RE: Case No. 84-199-X (Item No. 124)
Petitioner - Humdeco, Inc.
Special Exception Petition

Dear Mr. DiNenna:

The Zoning Plans Advisory Committee has reviewed the plans submitted with the above referenced petition. The following comments are not intended to indicate the appropriateness of the zoning action requested, but to assure that all parties are made aware of plans or problems with regard to the development plans that may have a bearing on this case. The Director of Planning may file a written report with the Zoning Commissioner with recommendations as to the suitability of the requested zoning.

In view of your client's proposal to construct a service garage on this site, this hearing is required.

As indicated in our previous conversations, the site plan must be revised to reflect parking calculations for the various uses of the proposed building. The area indicated as "warehouse" use should be calculated as retail storage and parking provided at one space for 200 square feet of floor area, while one space for every 300 square feet of the remainder of the building should also be provided.

In addition, the total area of freestanding signs for this site, as well as the existing medical center to the south cannot exceed 100 square feet.

Enclosed are all comments submitted from the members of the Committee at this time that offer or request information on your petition. If similar comments from the remaining members are received, I will forward them to you. Otherwise, any comment that is not informative will be placed in the hearing file. This petition was accepted for filing on the date of the enclosed filing certificate and a hearing scheduled accordingly.

Very truly yours,
[Signature]
NICHOLAS B. COMMODARI
Chairman
Zoning Plans Advisory Committee

NEB:moh
Enclosures

cc: CDH Engineering Corp.
702 N. Crain Highway
Glen Burnie, Md. 21061



BALTIMORE COUNTY
DEPARTMENT OF PUBLIC WORKS
TOWSON, MARYLAND 21204

HARRY J. PISTEL, D.E.
DIRECTOR

January 6, 1984

Mr. Arnold Jablon
Zoning Commissioner
County Office Building
Towson, Maryland 21204

Re: Item #124 (1983-1984)
Property Owner: Humdeco, Inc.
S/W/S Reisterstown Rd. 475' S/E from centerline
Chestnut Hill Rd.
Acres: 0.77 District: 4th

Dear Mr. Jablon:

The following comments are furnished in regard to the plat submitted to this office for review by the Zoning Advisory Committee in connection with the subject item.

General:

Baltimore County highway and utility improvements exist and are not directly involved.

The Subdivision Review Comments (September 11, 1982) were supplied by the Developers Engineering Division for this property (Project 82116).

This property was reviewed by the County Review Group September 9, 1982.

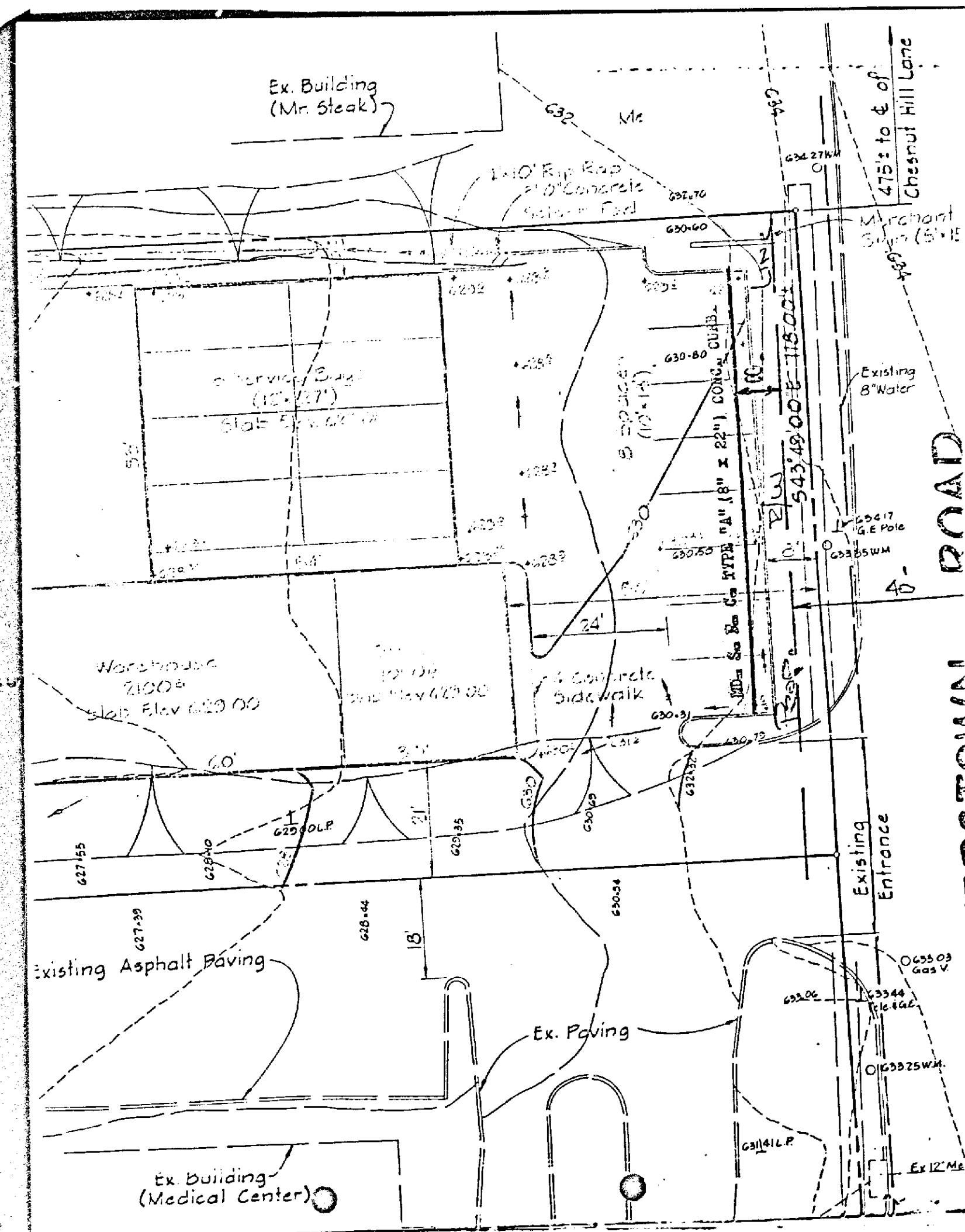
This office has no further comment in regard to the plan submitted for Zoning Advisory Committee review in connection with this item 124 (1983-1984).

Very truly yours,

[Signature]
ROBERT A. MORTON, P.E., Chief
Bureau of Public Services

RAM:EAM:FWR:iss

T-WW Key Sheet
54 NW 37 & 38 Pos. Sheets
NW 14 J Topo
57 Tax Map



BALTIMORE COUNTY DEPARTMENT OF HEALTH

Zoning Commissioner
Office of Planning and Zoning
County Office Building
Towson, Maryland 21204

Zoning Item # 124, Zoning Advisory Committee Meeting of Jan 29, 1983

Property Owner: Humdeco, Inc.

Location: SW/S Reisterstown Road District 4th

Water Supply public Sewage Disposal public

COMMENTS ARE AS FOLLOWS:

- () Prior to approval of a Building Permit for construction, renovation and/or installation of equipment for any existing or proposed food service facility, complete plans and specifications must be submitted to the Plans Review Section, Environmental Support Services, for final review and approval.
- () Prior to new installation/s of fuel burning equipment, the owner should contact the Division of Air Pollution Control, 494-3775, to obtain requirements for such installation/s before work begins.
- () A permit to construct from the Division of Air Pollution Control is required for such items as spray paint processes, underground gasoline storage tank/s (5,000 gallons or more) and any other equipment or process which exhausts into the atmosphere.
- () A permit to construct from the Division of Air Pollution Control is required for any charcoal burner operation which has a total cooking surface area of five (5) square feet or more.
- () Prior to approval of a Building Permit Application for renovations to existing or construction of new health care facilities, complete plans and specifications of the building, food service area and type of equipment to be used for the food service operation must be submitted to the Plans Review and Approval Section, Division of Engineering and Maintenance, State Department of Health and Mental Hygiene for review and approval.
- () Prior to any new construction or substantial alteration of public swimming pool, wading pool, bathhouse, saunas, whirlpools, hot tubs, water and sewerage facilities or other apparatuses pertaining to health and safety; two (2) copies of plans and specifications must be submitted to the Baltimore County Department of Health for review and approval. For more complete information, contact the Recreational Hygiene Section, Division of Environmental Support Services.
- () Prior to approval for a nursery school, owner or applicant must comply with all Baltimore County regulations. For more complete information, contact the Division of Maternal and Child Health.
- () If lubrication work and oil changes are performed at this location, the method providing for the elimination of waste oil must be in accordance with Water Resources Administration requirements.

SS 20 1082 (1)

Zoning Item # 124 Zoning Advisory Committee Meeting of Jan 29, 1983
Page 2

- () Prior to razing of existing structure/s, petitioner must contact the Division of Water Quality and Waste Management at 494-3768, regarding removal and/or disposal of potentially hazardous materials and solid wastes.
- () Any abandoned underground storage tanks containing gasoline, waste oil, solvents, etc., must have the contents removed by a licensed hauler and either be removed from the property or properly backfilled. Prior to removal or abandonment, owner must contact the Division of Water Quality and Waste Management at 494-3768.
- () Soil percolation tests (have been/must be) conducted.
() The results are valid until _____
() Soil percolation test results have expired. Petitioner should contact the Division of Environmental Support Services to determine whether additional tests are required.
- () Where water wells are to be used as a source of water supply, a well meeting the minimum Baltimore County Standards must be drilled.
- () In accordance with Section 13-117 of the Baltimore County Code, the water well yield test shall be valid until _____
() is not acceptable and must be retested. This must be accomplished prior to conveyance of property and approval of Building Permit applications.
- () Prior to occupancy approval, the potability of the water supply must be verified by collection of bacteriological and chemical water samples.
- () If submission of plans to the County Review Group is required, a Hydrogeological Study and an Environmental Effects Report must be submitted.
- () Others: This site lies upon the proposed Baltimore County Health and Mental Hygiene Department's proposed new location for the new health and mental hygiene department building. The site is located on the corner of the intersection of the proposed new location for the new health and mental hygiene department building and the proposed new location for the new health and mental hygiene department building. The site is located on the corner of the intersection of the proposed new location for the new health and mental hygiene department building and the proposed new location for the new health and mental hygiene department building.

Ian J. Forrest, Director
BUREAU OF ENVIRONMENTAL SERVICES

SS 20 1283 (2) R

Pursuant to the advertisement, posting of property, and public hearing on the Petition and it appearing that by reason of the requirements of Section 221 of the Baltimore County Zoning Regulations having been met and the health, safety, and general welfare of the community not being adversely affected, the special exception should be granted.

Therefore, it is ORDERED by the Deputy Zoning Commissioner of Baltimore County, this 21st day of February, 1984, that the Petition for Special Exception for a service garage (battery, tire and accessories), in accordance with the site plan prepared by CDH Engineering Corporation, dated January 27, 1984, and marked Petitioner's Exhibit 1, is hereby GRANTED, from and after the date of this Order, subject, however, to the following:

1. Compliance with the comments submitted by the Zoning Plans Advisory Committee (ZPAC) and any requirements of the County Review Group (CRG).
2. The hours of operation shall be limited to between 7:00 a.m. and 8:00 p.m., Monday through Saturday, and between noon and 4:00 p.m. on Sunday.
3. The free-standing sign shall not exceed 75 square feet.
4. A detailed landscaping plan shall be submitted for approval by the Current Planning and Development Division.
5. No damaged or disabled vehicles shall be stored on the premises. Any vehicles kept overnight for necessary repairs shall be parked inside the garage.
6. Any method provided for the elimination of waste oil shall in accordance with the requirements of the Water Resources Administration.
7. Any and all service work shall be limited to light auto repair such as the installation of batteries, tires and accessories, brake work, engine tune ups and alignments, but shall exclude major repair, painting, and body and fender repair.
8. The site plan shall designate the location of the trash dumpster.
9. Old tires, batteries, etc. shall be stored inside or within an addition or cage where they will be screened from the public until they are removed from the property.
10. Parking requirements shall be recalculated and indicated on the site plan.
11. All screening and lighting shall be in accordance with Section 409.2.c.(1)(3) of the Baltimore County Zoning Regulations.
12. A revised site plan shall be submitted and approved by the Office of Planning and Zoning.

John M.H. Jung
Deputy Zoning Commissioner of
Baltimore County

ORDER RECEIVED FOR FILING

DATE: February 21, 1984
BY: Mary Conner

PETITION FOR SPECIAL EXCEPTION

4th Election District

ZONING: Petition for Special Exception
LOCATION: Southwest side Reisterstown Road, 475 ft. Southeast of Chestnut Hill Lane
DATE & TIME: Tuesday, February 14, 1984 at 1:30 P.M.
PUBLIC HEARING: Room 106, County Office Building, 111 W. Chesapeake Avenue, Towson, Maryland

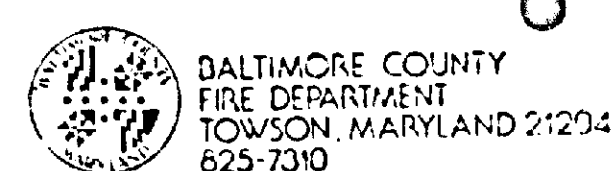
The Zoning Commissioner of Baltimore County, by authority of the Zoning Act and Regulations of Baltimore County, will hold a public hearing:

Petition for Special Exception for a service garage (battery, tire and accessories)

Being the property of Humdeco, Inc., as shown on plat plan filed with the Zoning Department.

In the event that this Petition is granted, a building permit may be issued within the thirty (30) day appeal period. The Zoning Commissioner will, however, entertain any request for a stay of the issuance of said permit during this period for good cause shown. Such request must be received in writing by the date of the hearing set above or made at the hearing.

BY ORDER OF
ARNOLD JABLON
ZONING COMMISSIONER
OF BALTIMORE COUNTY



BALTIMORE COUNTY
FIRE DEPARTMENT
TOWSON, MARYLAND 21204
625-7310

PAUL H. RENCKE
CHIEF

January 31, 1984

Mr. William Hammond
Zoning Commissioner
Office of Planning and Zoning
Baltimore County Office Building
Towson, Maryland 21204

Attention: Nick Commodari, Chairman
Zoning Plans Advisory Committee

RE: Property Owner: Humdeco, Inc.

Location: SW/S Reisterstown Rd. 475' S/E from c/l Chestnut Hill Road

Item No.: 124 Zoning Agenda: November 29, 1983

Gentlemen:

Pursuant to your request, the referenced property has been surveyed by this Bureau and the comments below marked with an "X" are applicable and required to be corrected or incorporated into the final plans for the property.

() 1. Fire hydrants for the referenced property are required and shall be located at intervals of _____ feet along an approved road in accordance with Baltimore County Standards as published by the Department of Public Works.

() 2. A second means of vehicle access is required for the site.

() 3. The vehicle dead end condition shown at _____

EXCEEDS the maximum allowed by the Fire Department.

() 4. The site shall be made to comply with all applicable parts of the Fire Prevention Code prior to occupancy or beginning of operation.

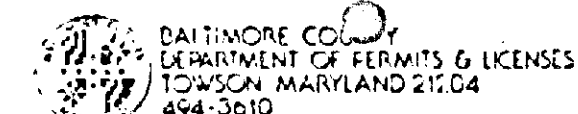
(X) 5. The buildings and structures existing or proposed on the site shall comply with all applicable requirements of the National Fire Protection Association Standard No. 101 "Life Safety Code", 1976 Edition prior to occupancy.

() 6. Site plans are approved, as drawn.

() 7. The Fire Prevention Bureau has no comments, at this time.

REVIEWED BY: *John M.H. Jung* 1-31-84 Approved: *William Hammond*
Planning Group Fire Prevention Bureau
Special Inspection Division

/mb



BALTIMORE COUNTY
DEPARTMENT OF PERMITS & LICENSES
TOWSON, MARYLAND 21204
494-3610

TED ZILSKI JR.
DIRECTOR

Mr. Arnold Jablon, Zoning Commissioner
Office of Planning and Zoning
County Office Building
Towson, Maryland 21204

Dear Mr. Jablon:

Comments on Item #124, Zoning Advisory Committee Meeting are as follows:

Property Owner: Humdeco, Inc.
Location: SW/S Reisterstown Road 475' S/E from c/l Chestnut Hill Road
Existing Zoning: R-1
Proposed Zoning: Special Exception for service garage (Battery, Tire & Accessories)

Acres: 0.77

District: 14th.

The items checked below are applicable:

- X A. All structures shall conform to the Baltimore County Building Code 1981/Council Bill 1-82 State of Maryland Code for the Handicapped and Aged; and other applicable Codes.
- X B. A building/ & other / permit shall be required before beginning construction.
- X C. Residential: Three sets of construction drawings are required to file a permit application. Architect/Engineer seal is/ is not required. Non-reproduced seals and signatures are required on Plans and Technical Data.
- X D. Commercial: Three sets of construction drawings with a Maryland Registered Architect or Engineer shall be required to file a permit application.
- X E. An exterior wall erected within 6'0" for Commercial uses or 3'0" for One & Two Family use group of an adjacent lot line shall be of one hour fire resistive construction, to openings permitted within 3'0" of lot lines. A fire wall is required if construction is on the lot line, see Table 101, line 2, Section 1107 and Table 1102, also Section 503-2.
- F. Requested variance appears to conflict with the Baltimore County Building Code, Section 2.
- G. A change of occupancy shall be applied for, along with an alteration permit application, and three required sets of drawings indicating how the structure will meet the Code requirements for the proposed change. Drawings may require a professional seal.
- H. Before this office can comment on the above structure, please have the owner, thru the services of a Registered in Maryland Architect or Engineer certify to this office, that the structure for which a proposed change in use is proposed can comply with the height/area requirements of Table 505 and the required construction classification of Table 101.
- X I. Comments - See Section 1111.0 on opening protective Compliance to State Handicapped Code is not shown. See Section 312.2 for Compliance.

NOTE: These comments reflect only on the information provided by the drawings submitted to the office of Planning and Zoning and are not intended to be construed as the full extent of any permit. If desired, additional information may be obtained by visiting Room 102 (Plan Review) at 111 W. Chesapeake Ave., Towson.

Very truly yours,
Charles E. Burnham
Charles E. Burnham, Chief
Plan Review

BALTIMORE COUNTY, MARYLAND

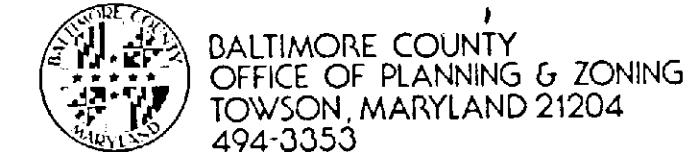
INTER-OFFICE CORRESPONDENCE

Arnold Jablon
TO: Zoning Commissioner Date: January 20, 1984
Norman E. Gerber, Director
FROM: Office of Planning and Zoning
SUBJECT: Humdeco, Inc. - #84-199-X

A CRG meeting is required. Any approval should be subject to the requirements of CRG action. Finally, it is requested that any granting of this petition be conditioned to require a detailed landscaping plan.

Norman E. Gerber
Norman E. Gerber, Director
Office of Planning and Zoning

NEG/JGH/sf



BALTIMORE COUNTY
OFFICE OF PLANNING & ZONING
TOWSON, MARYLAND 21204
494-3353

ARNOLD JABLON
ZONING COMMISSIONER

February 21, 1984

S. Eric DiNenna, Esquire
406 West Pennsylvania Avenue
Towson, Maryland 21204

RE: Petition for Special Exception
SW/S of Reisterstown Rd., 475' SE of
Chestnut Hill Lane - 4th Election District
Humdeco, Inc. - Petitioner
NO. 84-199-X (Item No. 124)

Dear Mr. DiNenna:

I have this date passed my Order in the above captioned matter in accordance with the attached.

Very truly yours,
John M.H. Jung
JEAN M.H. JUNG
Deputy Zoning Commissioner

JMHJ/mc

Attachments

cc: People's Counsel

Mr. Wayne Bosley
11808 Reisterstown Road
Reisterstown, Maryland 21136



702 N. CRAIN HIGHWAY
GLEN BURNIE, MARYLAND 21061

DESCRIPTION

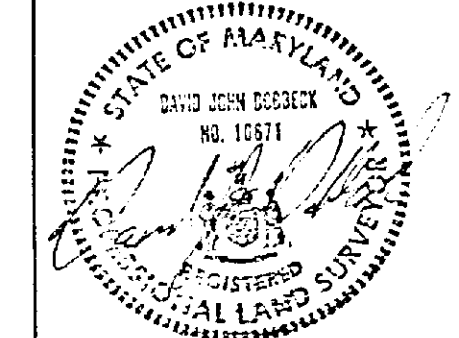
0.77 ACRE PARCEL MORE OR LESS ON THE SOUTHWEST SIDE OF REISTERSTOWN ROAD, FOURTH ELECTION DISTRICT BALTIMORE COUNTY, MARYLAND.

Beginning for the same at a point on the southwest side of Reisterstown Road, 66 feet wide, said point of beginning being S 43° 43' 00" E 475 feet more or less from the center line of Chestnut Hill Lane West, 50 feet wide, thence binding on said Reisterstown Road S 43° 43' 00" E 118 feet more or less, thence the following three courses: (1) S 47° 08' 10" W 290 feet more or less, (2) N 43° 49' 00" W 113 feet more or less, and (3) S 46° 11' 00" E 290 feet more or less to the place of beginning.

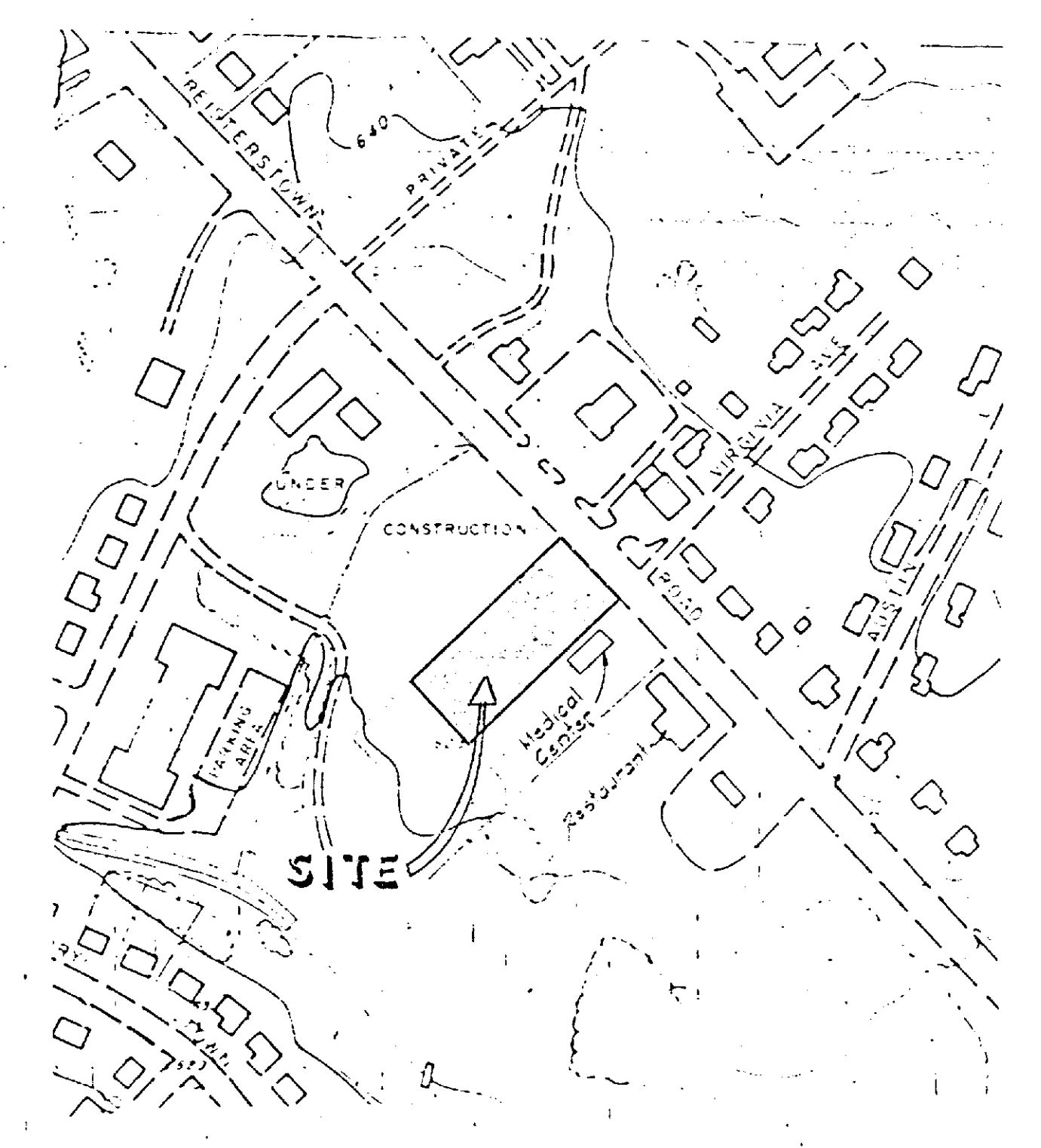
Containing 0.77 of an acre of land more or less.

MD/kjc

October 28, 1983



CONSULTING ENGINEERS • SURVEYORS
(301) 787-1111



CDH ENGINEERING CORPORATION
702 N. Crain Highway
Glen Burnie, Maryland 21061
(301) 787-1111

Location Plan
MERCHANDISE
Reisterstown Road
3 Virginia Ave.
4th Election District, Scale 1:1000
Baltimore Co., Md. October, 1983

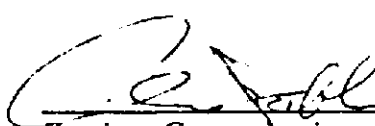
[illegible]

January 3, 1984

S. Eric DiNenna, Esquire
405 W. Pennsylvania Avenue
Towson, Maryland 21204

NOTICE OF HEARING
Re: Petition for Special Exception
SW/S Reisterstown Rd., 475' SE of
Chestnut Hill Lane
Harndeco, Inc. - Petitioner
Case No. 84-199-X

TIME: 1:30 P.M.
DATE: Tuesday, February 14, 1984
PLACE: Room 106, County Office Building, 111 West Chesapeake Avenue, Towson, Maryland


Zoning Commissioner
of Baltimore County

BALTIMORE COUNTY, MARYLAND
OFFICE OF FINANCE - REVENUE DIVISION
MISCELLANEOUS CASH RECEIPT

No. 122937

DATE 1/15/84 ACCOUNT R-01-119-100
AMOUNT 100.00
RECEIVED S. Eric DiNenna
FOR Remission - July fee for 122937
1 Clk.

6 655*****1000010 =416A

VALIDATION ON SIGNATURE OF CASHIER

CERTIFICATE OF POSTING
ZONING DEPARTMENT OF BALTIMORE COUNTY
Towson, Maryland

District: 4th

Dated: Jan 27-54

Posted for: Specials. Ex. Caption

Petitioner: Hamden Inc.

Location of property: S.W. 1/4 of Reisterstown Road 475 S.E. of
Chesnut Hill Lane

Location of Signs: S.W. 1/4 of Reisterstown Road in front
of subject property

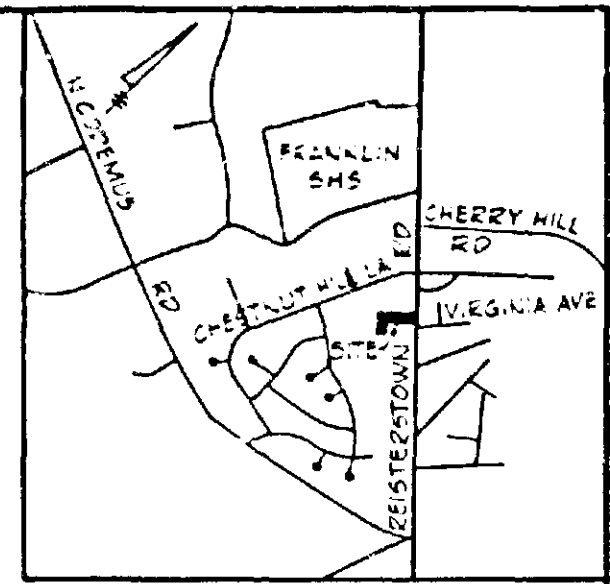
Remarks: _____

Posted by: [Signature]

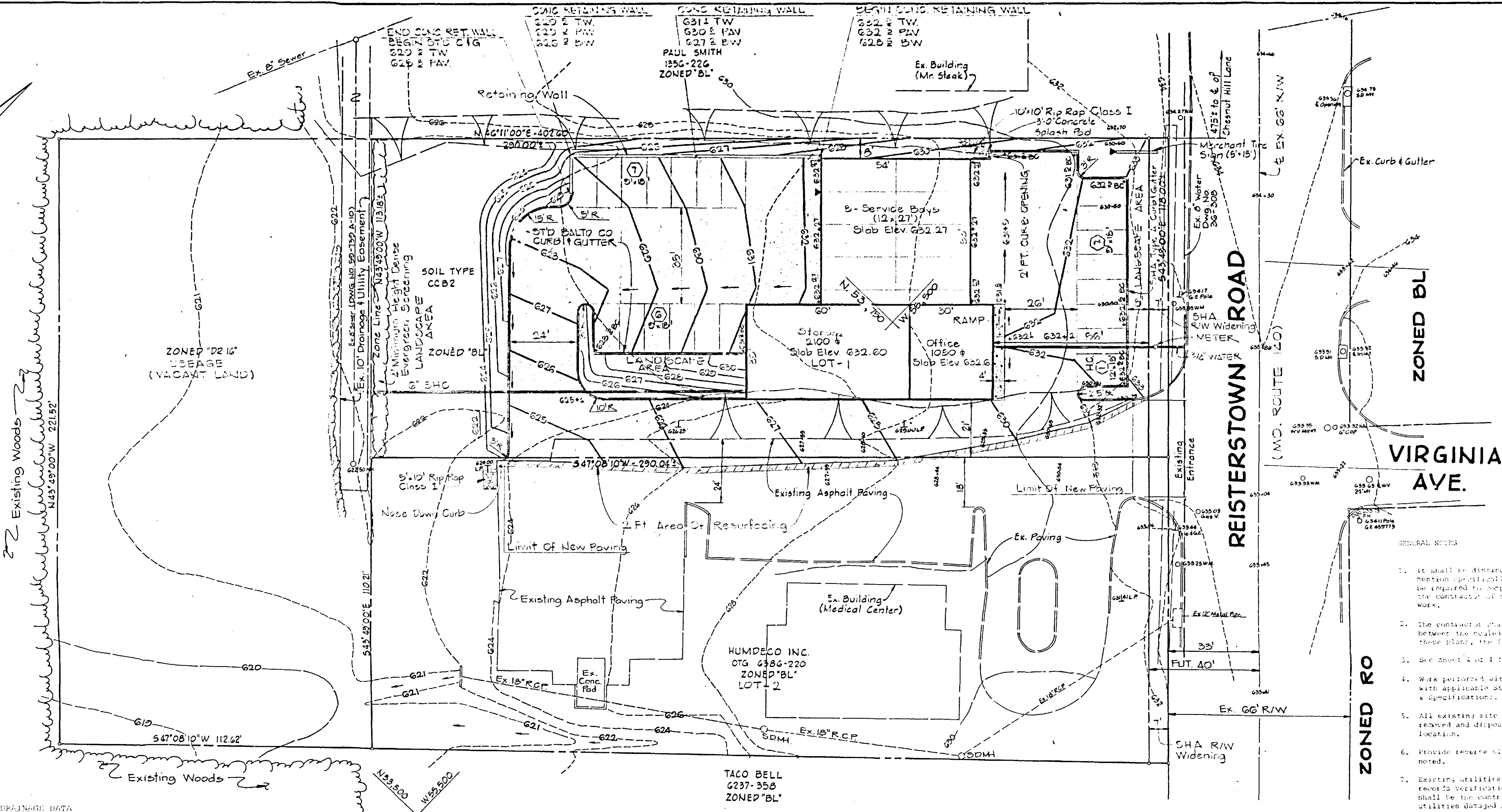
Signature _____

Date of return: Feb. 2-54

Number of Signs: 1



VICINITY MAP
SCALE: 1"=200'



VIRGINIA AVE.

REISTERSTOWN ROAD

ZONED BL

ZONED RO

GENERAL NOTES

1. It shall be distinctly understood that failure to mention specifically any work which would normally be required to complete the project shall not relieve the contractor of his responsibility to complete the work.
2. The contractor shall note that in some instances, between the scaled and the finished dimensions shown on these plans, the finished dimensions shall govern.
3. See sheet 2 of 4 for "GENERAL NOTES".
4. Work performed within a public R/W shall be in accordance with applicable State of Md. and Baltimore Co. standards & specifications.
5. All existing site features not being retained shall be removed and disposed of at a Baltimore Co. approved location.
6. Provide reverse slope gutter pan in those locations so noted.
7. Existing utilities have been plotted from available records verification of exact location of utilities shall be the contractor's responsibility. Any utilities damaged due to contractor's negligence shall be repaired immediately at his expense.
8. It shall be the responsibility of the contractor to notify the Engineer of any deviation from this plan prior to any change being made. Any deviation from this plan without written authorization from the Engineer will be the responsibility of the contractor.
9. Any material stockpiled outside the delineated limit of Disturbance shall be covered with an impervious material and adequately anchored to prevent discharge of sediment laden runoff.
10. Placement of all fill material is to be placed in 8" thick loose courses and compacted. Compaction under parking surface to be 90% density. Compaction to be determined by ASTM D-1557 (Modified Proctor). Any fill within building area is to be compacted to a minimum of 95%.
11. All curb & gutter to be Baltimore Co. Standard unless otherwise noted.

SIGN

DETAIL

PROPERTY ADDRESS:
11723 REISTERSTOWN RD.

**SITE PLAN
AND
AMENDED PLAN FOR
SPECIAL EXCEPTION
MERCHANT TIRE
REISTERSTOWN ROAD
AT VIRGINIA AVE.**
4TH ELECTION DISTRICT BALTIMORE CO., MD.
SCALE: 1"=20' January 27, 1984
DEED REF. 6386-220

REISTERSTOWN ROAD

The total proposed impervious area is 21,452 sq. ft. (0.49 Ac.). According to Section 2.1, Item 1, "Exemptions" of "Baltimore County Stormwater Management Design Standards" dated December 6, 1979, "All commercial, industrial and institutional sites or additions of 1 acre or less of new impervious areas shall be exempted".

Detention facilities have not been included in the design of this site.

BENCHMARK
Baltimore County #14788
Railroad Spike in Macadam Lot
S.W. Side of Reisterstown Road.
Elev. 638.60

SITE ANALYSIS

1. Zoning: BL (0.77Ac)
2. Area Lot 1: 0.77Ac.
3. Parking Required: 29 spaces
4. Parking Provided: 21 spaces
5. Plus 8 Service Bays
6. Census Tract #4045
7. Councilmanic District: 3rd
8. Water Shed No. 27
9. Sewer Shed No. 67
10. Tax Map No. 57
11. Parcel No. P-247
12. Property No. 1900005408
13. Disturbed Area 28,800 SF = 0.66 Ac.
14. Area to be Paved 15,344 SF = 0.35 Ac.
15. Total Landscaped Area 8,929 SF = 0.20 Ac.
16. Total Impervious Area 21,344 SF = 0.49 Ac.

LEGEND

- Existing Contour
- Existing Curb & Gutter
- Proposed Contour
- Proposed Curb & Gutter
- Proposed Paving
- Proposed Lighting
- Concrete Retaining Wall
- Area to be Resurfaced

OWNER

HUMDECO INC.
1700 First National Tower
P.O. Box 1438
Louisville, Ky. 40201
(502) 423-7630

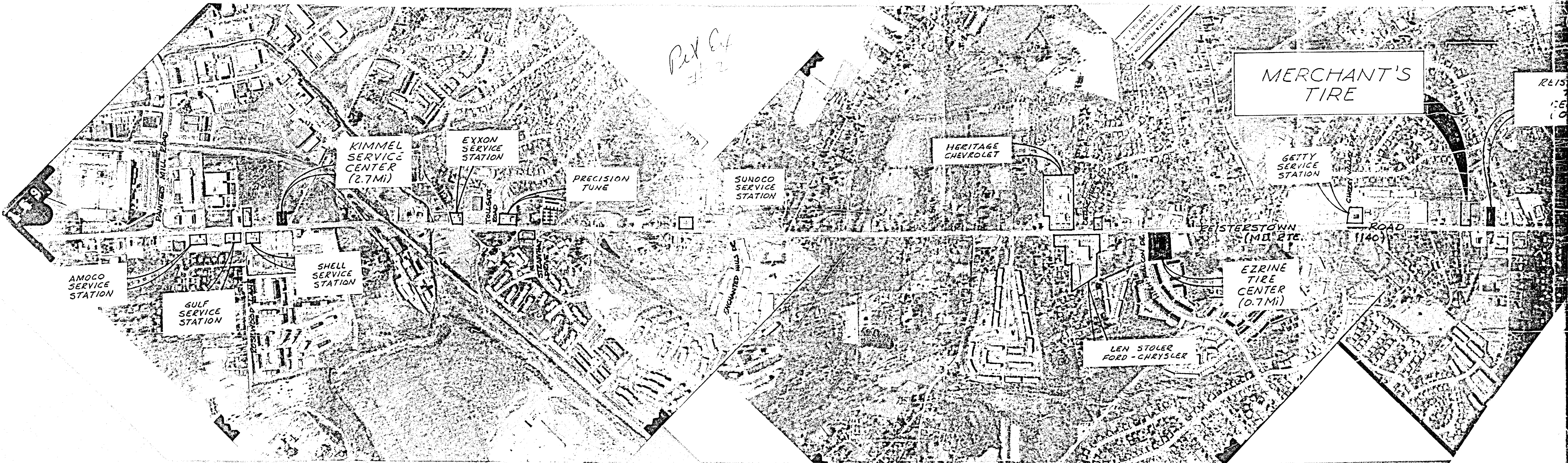
DEVELOPER

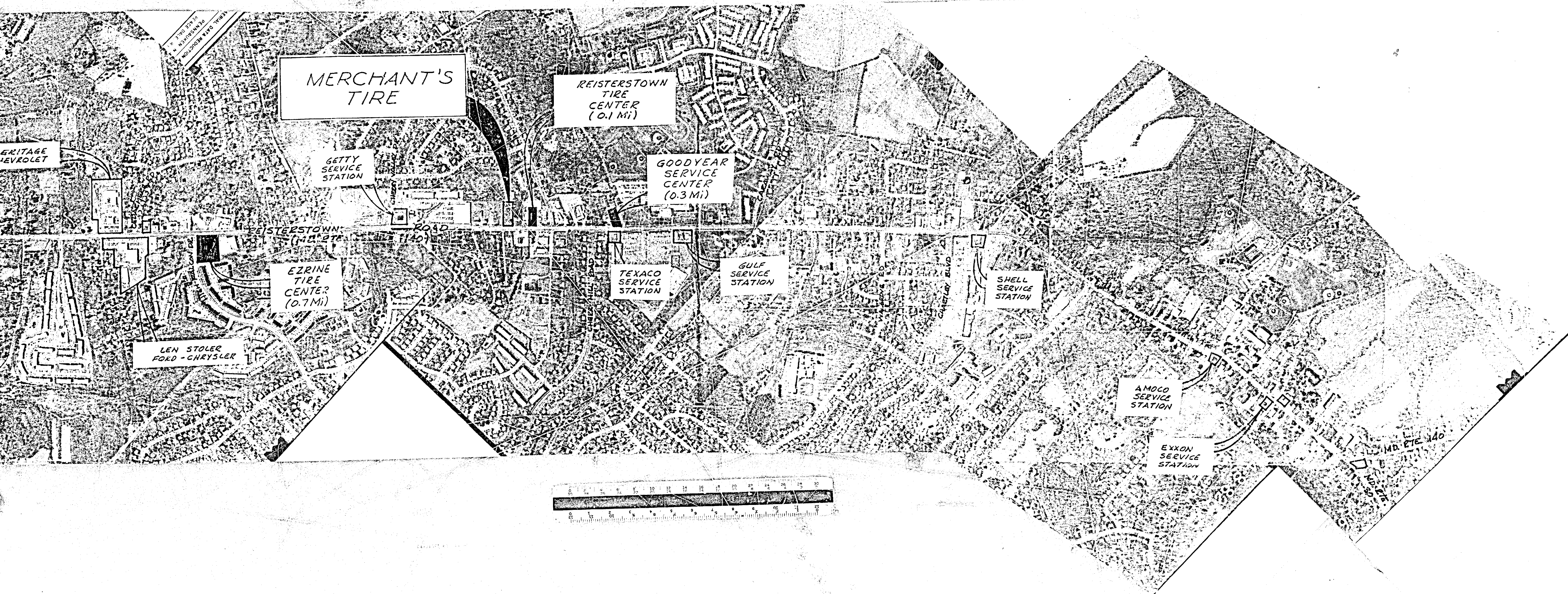
Merchant Tire Co., Inc.
2073 Euclid Avenue
Manassas, Va. 22110
Phone (703) 368-3171

NOTES

1. Lighting to be 400 watt Merc Vapor mounted on sign, rear of building and side of building for security and parking lot illumination. Lights will be directed in a manner that will not produce glare to adjacent properties.
2. Landscaping and screening shall conform to the standards contained in Baltimore County Landscape Manual adopted pursuant to Section 22-105 of the Baltimore County Code.
3. Existing on site building has been razed.
4. There are no historic buildings, wetlands, critical areas, archeological sites, endangered species habitat and hazardous materials on this property.
5. Soil Type Data:
Entire Site is C₆B₂ Chester Silt Loam;
3-5% slope, moderately eroded.
Slight limitations for buildings of 3 stories or less without basements.
Moderate slope limitations for streets & parking lots.
6. Estimated additional A.D.T. = 600 vehicle trips/day*
*taken from I.T.E. Trip Generation Manual for Shopping Centers less than 50,000 ft.

CDH ENGINEERING CORPORATION
702 N. CRAIN HIGHWAY
GLEN BURNIE, MD. 21061
(301) 767-1111



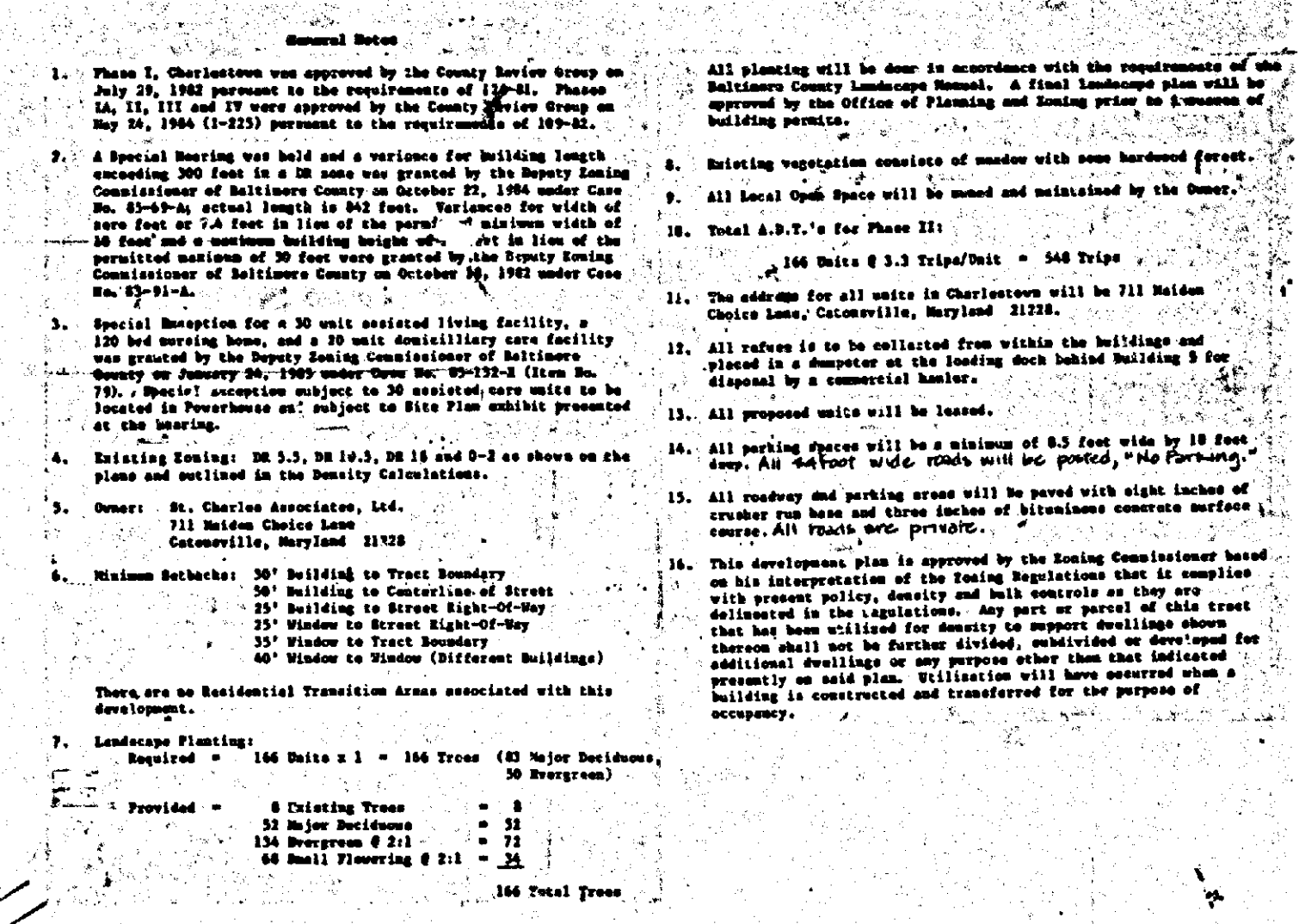


14. Parking Required:					
Dwelling Units @ 0.5/Unit	92	32	83	99	306
Density Units @ 0.5/Unit	0	0	0	305	305
Domiciliary Care Units @ 1/10 Beds	0	0	0	2	2
15. Parking Provided: 1 To Date	177	103	52	-----	333
Morales To Date	83	71	- 31	-----	125
16. Open Space Required, Living Units @ 456 S.F./Unit	2.73 Ac.	6.96 Ac.	2.48 Ac.	8.13 Ac.	14.30 Ac.
17. Open Space provided (Local)	3.49 Ac.	0	2.48 Ac.		

* A total of 30 Assisted Care are permitted in the Powerhouse per Special Recreational Care No. 85-1526.

18. The density attributed to the existing 0.5396 acre cemetery must be received at a future special hearing before the Baltimore County Zoning Commissioners.

The map shows the village of Khatyn situated along the banks of a river. The river flows from the top left towards the bottom right. The village is characterized by a dense grid of buildings, represented by small rectangles. A road, marked with a dashed line, runs through the village. The surrounding area is marked with contour lines and various labels. In the top left, there is a label '750' indicating elevation. In the bottom left, there is a label 'E' and '62'. In the bottom right, there is a label 'ENIGMA' and 'Khatyn'. The map also includes a scale bar and a north arrow.



PROPOSED BUILDINGS

EXISTING BUILDINGS

LOCAL OPEN SPACE

1. The "Provisionary Section" of this partial development plan is not intended to be utilized, as a final development plan, in which building applications may be approved or denied, it is merely a preliminary device for the purpose of determining the feasibility of carrying out a development plan, including the "Provisionary Section," which is characterized with a reasonable understanding as to how the developer will improve all existing roads and lines within 500 feet of their limits.

2. The disallowed boundaries of "Provisionary Section" are indicated thereon and intended to separate it from the overall approval of this partial development plan, and to indicate the limits of the partial development plan, including the "Provisionary Section," which is approved in accordance with Section 101.2.5 of the zoning regulations.

3. Approval of the "Provisionary Section" is not based on final location; however, it is intended to establish the final location, bearing, size and density of buildings, or their development to within 10 feet of their final engineering location; the location and type of existing and/or vegetation that is to be retained; screening; parking spaces and drive to the street; and other pertinent features; final plan and permanent improvements; and other pertinent conditions.

4. At the time of building permit applications, the "Provisionary Section" of this development plan must be updated to conform in all respects to the zoning code required by Section 101.2.5 of the zoning regulations.

NOTE:
THE PURPOSE OF THIS SHEET IS TO PROVIDE TOTAL TRACT
BOUNDARY INFORMATION, LIMITS OF PHASE II, BUFFER
PLANTING ONLY. SEE SHEET 1 OF 2 FOR ADDITIONAL DETAIL
+ INFORMATION ON PHASE II.

	DAFT • McCUNE • WALKER INC. LAND PLANNING CONSULTANTS LANDSCAPE ARCHITECTS ENGINEERS 530 E JOPPA ROAD TOWSON MD 21204 TELEPHONE: (301) 286-7733	
PARTIAL DEVELOPMENT PLAN CHARLESTOWN PHASE II ELECTION DISTRICT NO. 1 BALTIMORE COUNTY, MARYLAND		
		SHEET: "A" 100' JOB ORDER NO. 8203 B ISSUE DATE JUNE 14, 1985
DATE 7/25/85 3/14/86	REVISIONS PARKING ARRANGEMENT NURSING HOME PHASE IV	SHEET 2 OF 2