

401 86-528-A PETITION FOR ZONING VARIANCE

TO THE ZONING COMMISSIONER OF BALTIMORE COUNTY:

The undersigned, legal owner(s) of the property situate in Baltimore County and which is described in the description and plat attached hereto and made a part hereof, hereby petition for a Variance from Section 413-1-d to permit an apartment identification sign of 36 square feet (18 sq.ft. per side) in lieu of the required 15 sq. feet.

of the Zoning Regulations of Baltimore County, to the Zoning Law of Baltimore County, for the following reasons: (Indicate hardship or practical difficulty)

Visibility of the development is hampered due to a narrow entrance and a deep setback. Exposure for the development would be by means of a 36 sq.ft. two sided development sign which is synonymous with every Cardinal Industries Development. Reason for double sided sign is visibility from both directions from Philadelphia Rd., Rt. 7.

Property is to be posted and advertised as prescribed by Zoning Regulations.

I, or we, agree to pay expenses of above Variance advertising, posting, etc., upon filing of this petition, and further agree to and are to be bound by the zoning regulations and restrictions of Baltimore County adopted pursuant to the Zoning Law For Baltimore County.

I/We do solemnly declare and affirm, under the penalties of perjury, that I/we are the legal owner(s) of the property which is the subject of this Petition.

Contract Purchaser: Legal Owner(s):
(Type or Print Name) Cherry Tree Apts. of Baltimore Co. LTD
Signature (Type or Print Name)
Address (Type or Print Name)
City and State Signature
Attorney for Petitioner: 333 S. Hammonds Ferry Rd. (301)760-7600
(Type or Print Name) Address Phone No.
Signature Glen Burnie, Md 21061
City and State
Address Name, address and phone number of legal owner, contract purchaser or representative to be contacted
City and State Donald Hachey
Attorney's Telephone No.: 333 S. Hammonds Ferry Rd (301)760-7600
Glen Burnie, Md 21061
Address Phone No.

ORDERED By The Zoning Commissioner of Baltimore County, this 21st day of May, 1986, that the subject matter of this petition be advertised, as required by the Zoning Law of Baltimore County, in two newspapers of general circulation throughout Baltimore County, that property be posted, and that the public hearing be had before the Zoning Commissioner of Baltimore County in Room 106, County Office Building in Towson, Baltimore

on the 25th day of June, 1986, at 10:00 o'clock

(over)

Cherry Tree Apts. of Baltimore Co. LTD
490' S of Litany Lane
14th Elec. Dist.

NE 566
MAP 566
E.D. 14
DATE 3/6/87
RECEIVED
EP

86-528-A
401

IN RE: PETITION FOR ZONING VARIANCE
W/S of Philadelphia Road,
490' S of Litany Lane
14th Election District
Cherry Tree Apts. of
Baltimore County, Ltd.
Petitioner
BEFORE THE
DEPUTY ZONING COMMISSIONER
OF BALTIMORE COUNTY
Case No. 86-528-A

The Petitioner herein requests a variance to permit an apartment identification sign of 36 square feet (18 square feet per side) in lieu of the required 15 square feet.

Testimony on behalf of the Petitioner indicated the apartment complex is located on a panhandle lot where the closest building is invisible and is approximately 450 feet from Philadelphia Road. The proposed sign is the developer's standard sign as to size, design, and landscape package. The Director of the Office of Planning and Zoning commended the design for its attractive nature. There were no Protestants.

After due consideration of the testimony and evidence presented, and it appearing that strict compliance with the Baltimore County Zoning Regulations (BCZR) would result in practical difficulty and unreasonable hardship upon the Petitioners, and the granting of the variance requested would not adversely affect the health, safety, and general welfare of the community, and, therefore, the variance should be granted.

Therefore, IT IS ORDERED by the Deputy Zoning Commissioner of Baltimore County, this 30th day of June, 1986, that the herein request for a variance to permit an apartment identification sign of 36 square feet (18 square feet per side) in lieu of the required 15 square feet, in accordance with the plan, submitted by Morris & Ritchie Associates, Inc., revised January 31, 1986, and

DESCRIPTION FOR VARIANCE

Beginning at a point in the centerline of Philadelphia Road (80 feet wide) at a distance of 490 feet south of the south side Litany Lane, being Lot 2 of the lands of Mason H. Barrow showing Cherry Tree Apartments which is recorded in the Land Records of Baltimore County in Plat Book E.H.K., Jr. 54, Folio 41.

Containing 8.432 acres of land, more or less.

identified as Petitioner's Exhibit 1, and the artist's rendering identified as Petitioner's Exhibit 2, is hereby GRANTED, from and after the date of this Order.

Jean M.H. Jung
Deputy Zoning Commissioner
of Baltimore County



BALTIMORE COUNTY
OFFICE OF PLANNING & ZONING
TOWSON, MARYLAND 21204
494-3353

ARNOLD JABLON
ZONING COMMISSIONER

JEAN M. H. JUNG
DEPUTY ZONING COMMISSIONER

June 30, 1986

Mr. Donald A. Hachey
Project Planner
Cherry Tree Apts. of Baltimore Co. Ltd.
333 S. Hammonds Ferry Road
Glen Burnie, Maryland 21061

RE: Petition for Variance
W/S of Philadelphia Road,
490' S of Litany Lane
14th Election District
Case No. 86-528-A

Dear Mr. Hachey:

I have this date passed my Order in the above captioned matter in accordance with the attached.

Very truly yours,

Jean M.H. Jung
Deputy Zoning Commissioner

JMH:jbj

Attachments

cc: Mr. Morris Stein, Chief
Highway Beautification Section - SHA
P.O. Box 717, 707 N. Calvert Street
Baltimore, Maryland 21203-0717
People's Counsel

PETITION FOR ZONING VARIANCE

14th Election District
Case No. 86-528-A

LOCATION: West Side of Philadelphia Road, 490 feet South of Litany Lane

DATE AND TIME: Wednesday, June 25, 1986, at 10:00 a.m.
PUBLIC HEARING: Room 106, County Office Building, 111 W. Chesapeake Avenue, Towson, Maryland

The Zoning Commissioner of Baltimore County, by authority of the Zoning Act and Regulations of Baltimore County, will hold a public hearing:

Petition for Zoning Variance to permit an apartment identification sign of 36 square feet in lieu of the required 15 square feet

Being the property of Cherry Tree Apts. of Baltimore Co. Ltd., as shown on plat plan filed with the Zoning Office.

In the event that this Petition(s) is granted, a building permit may be issued within the thirty (30) day appeal period. The Zoning Commissioner will, however, entertain any request for a stay of the issuance of said permit during this period for good cause shown. Such request must be received in writing by the date of the hearing set above or made at the hearing.

BY ORDER OF
ARNOLD JABLON
ZONING COMMISSIONER
OF BALTIMORE COUNTY

RE: PETITION FOR VARIANCE
W/S of Philadelphia Rd.
490' S of Litany La.
14th District
CHERRY TREE APTS. OF
BALTIMORE COUNTY, LTD.,
Petitioner
BEFORE THE ZONING COMMISSIONER
OF BALTIMORE COUNTY
Case No. 86-528-A

ENTRY OF APPEARANCE

Please enter the appearance of the People's Counsel in the above-captioned matter. Notices should be sent of any hearing dates or other proceedings in this matter and of the passage of any preliminary or final Order.

Phyllis Cole Friedman
Phyllis Cole Friedman
People's Counsel for Baltimore County

Peter Max Zimmerman
Peter Max Zimmerman
Deputy People's Counsel
Room 223, Court House
Towson, Maryland 21204
494-2188

I HEREBY CERTIFY that on this 10th day of June, 1986, a copy of the foregoing Entry of Appearance was mailed to Donald A. Hachey, Project Planner, Cherry Tree Apts. of Baltimore County, Ltd., 333 S. Hammonds Ferry Rd., Glen Burnie, MD 21061, Petitioner.

Peter Max Zimmerman
Peter Max Zimmerman

86-528-A

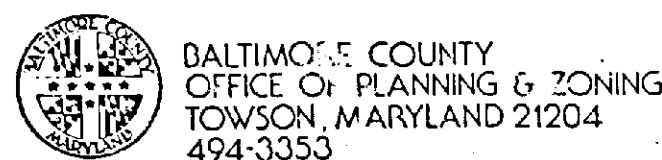
BALTIMORE COUNTY OFFICE OF PLANNING & ZONING

County Office Building
111 W. Chesapeake Avenue
Towson, Maryland 21204

Your petition has been received and accepted for filing this 21st day of May, 1986.

ARNOLD JABLON
Zoning Commissioner

Petitioner Cherry Tree Apts. of Baltimore Co. LTD
Petitioner's Attorney James E. Dyer
Chairman, Zoning Plans
Advisory Committee



ARNOLD JABLON
ZONING COMMISSIONER

JEAN M. H. JUNG
DEPUTY ZONING COMMISSIONER

June 17, 1986

Mr. Donald Hachey
Project Planner
Cherry Tree Apts. of Baltimore Co. Ltd.
333 South Hammonds Ferry Road
Glen Burnie, Maryland 21061

RE: PETITION FOR ZONING VARIANCE
W/S of Philadelphia Rd., 490' S of Lityny La.
14th Election District
Cherry Tree Apts. of Baltimore Co. Ltd. - Petitioner
Case No. 86-528-A

Dear Mr. Hachey:

This is to advise you that \$62.60 is due for advertising and posting of the above property. This fee must be paid before an Order is issued.

THIS FEE MUST BE PAID AND THE ZONING SIGN AND POST RETURNED ON THE DAY OF THE HEARING OR THE ORDER SHALL NOT BE ISSUED.

Do not remove sign from property from the time it is placed by this office.

BALTIMORE COUNTY, MARYLAND
OFFICE OF FINANCE - REVENUE DIVISION
MISCELLANEOUS CASH RECEIPT

No. 021764

County, Maryland, and remit
Towson, Maryland

DATE 6/25/86 ACCOUNT R-01-615-000
SIGNATURE TO RETURNED

AMOUNT \$ 62.60
Cardinal Industries, Inc., 333 S. Hammonds Ferry
Rd., Glen Burnie, Md. 21061

RECEIVED FROM
FOR Advertising & Posting re Case #86-528-A

VALIDATION OR SIGNATURE OF CASHIER

CERTIFICATE OF POSTING
ZONING DEPARTMENT OF BALTIMORE COUNTY
Towson, Maryland

86-528-A

District 1424 Date of Posting 5/21/86
Posted for Variance
Petitioner: Cherry Tree Apts. of Baltimore Co. Ltd.
Location of property: W/S Philadelphia Rd., 490' S of Lityny La.
Location of Sign: Corner Phila. Rd. & Lityny La.
Remarks: Property of Baltimore Co. Ltd. (R.W. leading to Baltimore Co. Ltd.)
Posted by [Signature] Date of return 6/1/86
Number of Signs 1

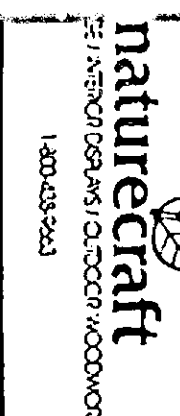
Mr. Donald Hachey
Project Planner
Cherry Tree Apts. of Baltimore Co. Ltd.
333 South Hammonds Ferry Road
Glen Burnie, Maryland 21061

May 27, 1986

NOTICE OF HEARING

RE: PETITION FOR ZONING VARIANCE
W/S of Philadelphia Rd., 490' S of Lityny La.
14th Election District
Cherry Tree Apts. of Baltimore Co. Ltd. - Petitioner
Case No. 86-528-A

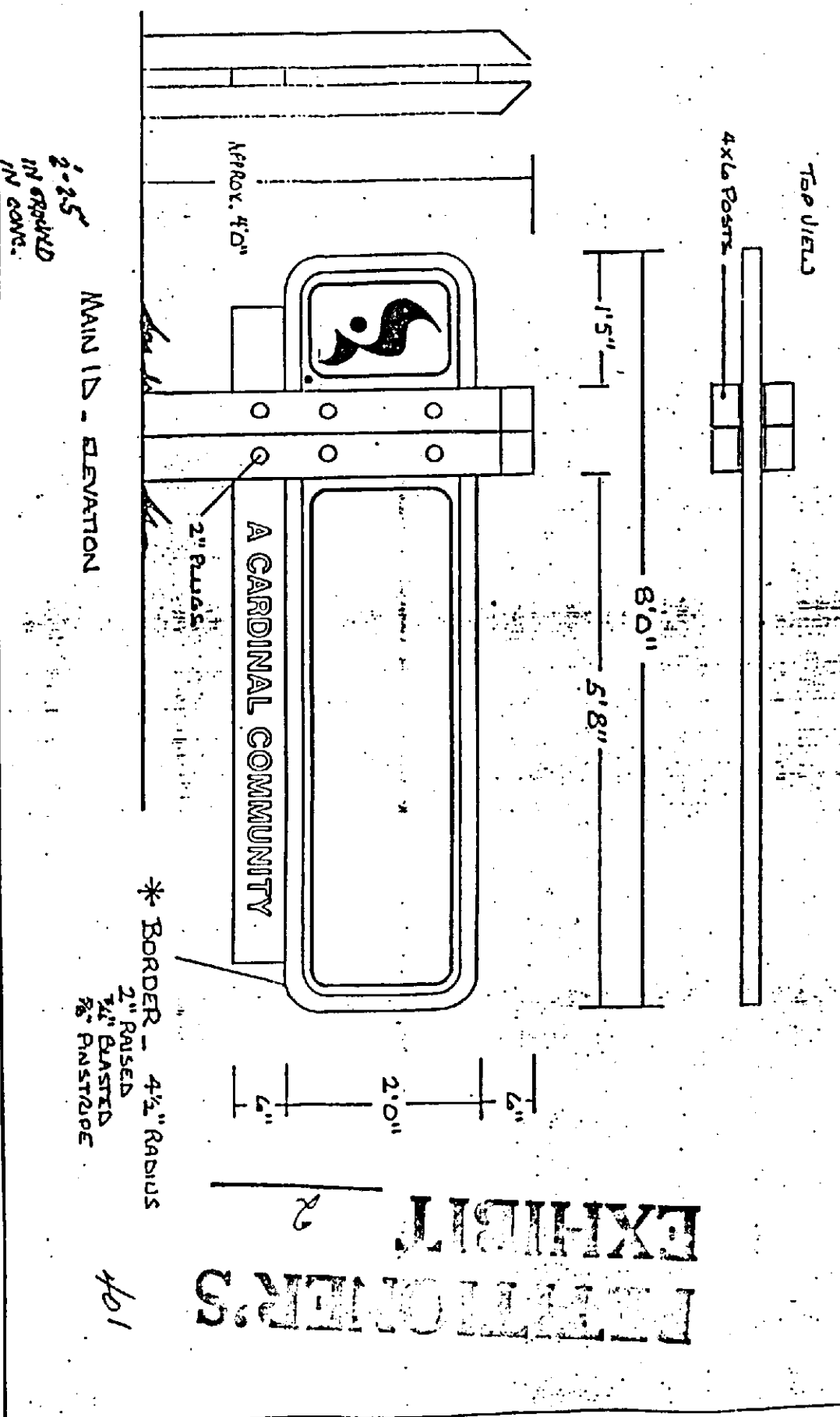
TIME: 10:00 a.m.
DATE: Wednesday, June 25, 1986
PLACE: Room 106, County Office Building, 111 West Chesapeake
Avenue, Towson, Maryland



CARDINAL INDUSTRIES

COOK SPECIFICATIONS

NOTES & SERVICES



BALTIMORE COUNTY, MARYLAND
INTER-OFFICE CORRESPONDENCE

Arnold Jablon
TO: Zoning Commissioner Date: June 16, 1986
Norman E. Gerber, AICP
FROM: Director, Office of Planning & Zoning
SUBJECT: Zoning Variance Petition: 86-528-A

This is the type of attractive signage that should be encouraged in Baltimore County.

NEG:JGH:bjs

BALTIMORE COUNTY ZONING PLANS ADVISORY COMMITTEE

June 19, 1986

COUNTY OFFICE BLDG.
111 W. Chesapeake Ave.
Towson, Maryland 21204

Mr. Donald Hachey
Cherry Tree Apts. of Baltimore County, LTD.
333 S. Hammonds Ferry Road
Glen Burnie, Maryland 21061

RE: Item No. 401 - Case No. 86-528-A
Petitioner - Cherry Tree Apts of Balto.
Variance Petition

Dear Mr. Hachey:

The Zoning Plans Advisory Committee has reviewed the plans submitted with the above-referenced petition. The following comments are not intended to indicate the appropriateness of the zoning action requested, but to assure that all parties are made aware of plans or problems with regard to the development plans that may have a bearing on this case. The Director of Planning may file a written report with the Zoning Commissioner with recommendations as to the suitability of the requested zoning.

Enclosed are all comments submitted from the members of the Committee at this time that offer or request information on your petition. If similar comments from the remaining members are received, I will forward them to you. Otherwise, any comment that is not informative will be placed in the hearing file. This petition was accepted for filing on the date of the enclosed filing certificate and a hearing scheduled accordingly.

Very truly yours,
June 19, 1986
JAMES F. DYER
Chairman
Zoning Plans Advisory Committee

JFD:hsc
Enclosures

cc: Morris & Ritchie Associates, Inc.
141 North Main Street
Bel Air, Md. 21014

Petition for
Zoning Variance

14th Election District
Case No. 86-528-A
LOCATION: West side of Philadelphia Road, 490 feet South of Lityny Lane.
DATE & TIME: Wednesday, June 25, 1986, at 10:00 a.m.
PUBLIC HEARING: Room 106, County Office Building, 111 West Chesapeake Avenue, Towson, Maryland.
The Zoning Commissioner of Baltimore County, by authority of the Zoning Act and Regulations of Baltimore County, will hold a public hearing on the above-captioned petition for zoning variance to permit an apartment identification sign of 36 square feet in lieu of the required 15 square feet.
Being the property of Cherry Tree Apts. of Baltimore Co. Ltd., as shown on the plat filed with the Zoning Office.
In the event that this Petition is granted, a building permit may be issued within the thirty (30) day appeal period. The Zoning Commissioner will, however, entertain any request for a stay of the issuance of said permit during this period for good cause shown. Such request must be received in writing by the date of the hearing set above or made at the hearing.
By Order Of
Arnold Jablon
Zoning Commissioner
of Baltimore County

The Times

Middle River, Md., June 5, 1986
This is to Certify, That the annexed
was inserted in The Times, a newspaper printed and published in Baltimore County, once in each of successive weeks before the 5th day of June, 1986.
[Signature] Publisher.

CERTIFICATE OF PUBLICATION

TOWSON, MD., June 5, 1986
THIS IS TO CERTIFY, that the annexed advertisement was published in THE JEFFERSONIAN, a weekly newspaper printed and published in Towson, Baltimore County, Md., appearing on June 5, 1986.

THE JEFFERSONIAN,

[Signature]
Publisher

Cost of Advertising

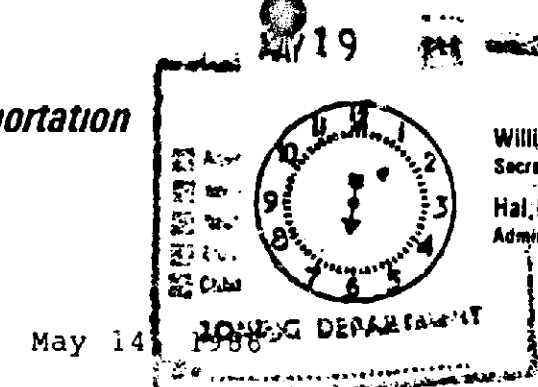
24.75

PETITION FOR ZONING VARIANCE

14th Election District
Case No. 86-528-A
LOCATION: West side of Philadelphia Road, 490 feet South of Lityny Lane.
DATE & TIME: Wednesday, June 25, 1986, at 10:00 a.m.
PUBLIC HEARING: Room 106, County Office Building, 111 West Chesapeake Avenue, Towson, Maryland.
The Zoning Commissioner of Baltimore County, by authority of the Zoning Act and Regulations of Baltimore County, will hold a public hearing on the above-captioned petition for zoning variance to permit an apartment identification sign of 36 square feet in lieu of the required 15 square feet.
Being the property of Cherry Tree Apts. of Baltimore Co. Ltd., as shown on the plat filed with the Zoning Office.
In the event that this Petition is granted, a building permit may be issued within the thirty (30) day appeal period. The Zoning Commissioner will, however, entertain any request for a stay of the issuance of said permit during this period for good cause shown. Such request must be received in writing by the date of the hearing set above or made at the hearing.
By Order Of
Arnold Jablon
Zoning Commissioner
of Baltimore County



Maryland Department of Transportation
State Highway Administration



Mr. A. Jablon
Zoning Commissioner
County Office Building
Towson, Maryland 21204

Re: ZAC Meeting of 5-13-86
ITEM: #401.
Property Owner: Cherry Tree Apartments of Baltimore County, Ltd.
Location: W/S Philadelphia Road Route 7, 490 feet S. Lityny Lane
Existing Zoning: D.R. 16
Proposed Zoning: Variance to permit an apartment identification sign of 36 square feet (18 square feet per side) in lieu of the required 15 square feet.
Acres: 8.4 acres
District: 14th Election District

Dear Mr. Jablon:

On review of the submittal for sign variance, the site plan has been forwarded to the State Highway Administration Beautification Section, c/o Morris Stein, (659-1642), for all comments relative to zoning.

Very truly yours,

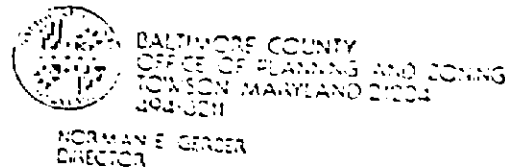
[Signature]
Charles Lee, Chief
Bureau of Engineering
Access Permits

By: George Wittman

CL:GW:maw

cc: Mr. J. Ogle
Mr. M. Stein (w-attachment)

My telephone number is (301) 659-1350
Teletypewriter for impaired hearing or speech
363-7555 Baltimore Metro - 565-0451 D.C. Metro - 1-800-492-5062 Statewide Toll Free
P.O. Box 717 / 707 North Calvert St., Baltimore, Maryland 21203 - 0717



Mr. Arnold Jablon
Zoning Commissioner
County Office Building
Towson, Maryland 21204

JUNE 2, 1986

Re: Zoning Advisory Meeting of MAY 13, 1986
Item # 401
Property Owner: CHERRY TREE APPTS OF
BALTO. COUNTY, LTD.
Location: W/S PHILADELPHIA RD. 490' S.
OF LITANY LANE

Dear Mr. Jablon:

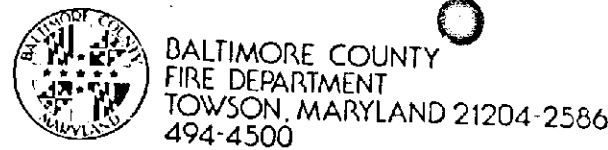
The Division of Current Planning and Development has reviewed the subject petition and offers the following comments. The items checked below are applicable.

- () There are no site planning factors requiring comment.
- (X) A County Review Group Meeting is required.
- (X) A County Review Group Meeting was held and the minutes will be forwarded by the Bureau of Public Services.
- () This site is part of a larger tract; therefore it is defined as a subdivision. The plan must show the entire tract.
- () A record plat will be required and must be recorded prior to issuance of a building permit.
- () The access is not satisfactory.
- () The circulation on this site is not satisfactory.
- () The parking arrangement is not satisfactory.
- () Parking calculations must be shown on the plan.
- () This property contains soils which are defined as wetlands, and development on these soils is prohibited.
- () Construction in or alteration of the floodplain is prohibited under the provisions of Section 22-93 of the Development Regulations.
- () Development of this site may constitute a potential conflict with the Baltimore County Master Plan.
- () The amended Development Plan was approved by the Planning Board on _____.
- (X) Landscaping: Must comply with Baltimore County Landscape Manual.
- (X) The property is located in a deficient service area as defined by Bill 178-79. No building permit may be issued until a Reserve Capacity Use Certificate has been issued. The deficient service is _____.
- (X) The property is located in a traffic area controlled by a "D" level intersection as defined by Bill 178-79, and its conditions change traffic capacity may become more limited. The Basic Services Areas are re-evaluated annually by the County Council.

Additional comments:
THE SPG PLAN XIV-209 (K/A CHERRY TREE APARTMENTS) WAS APPROVED ON 6/27/85

cc: James Howell

Eugene A. Bober
Chief, Current Planning and Development



PAUL H. REINCKE
CHIEF

May 20, 1986

Mr. Arnold Jablon
Zoning Commissioner
Office of Planning and Zoning
Baltimore County Office Building
Towson, Maryland 21204

Attention: Chairman
Zoning Plans Advisory Committee

RE: Property Owner: Cherry Tree Apartments of Baltimore Co., Ltd.

Location: W/S Phila. Rd., 490' ft. S. Litany La.

Item No.: 401

Zoning Agenda: Meeting of 5/13/86

Gentlemen:

Pursuant to your request, the referenced property has been surveyed by this Bureau and the comments below marked with an "X" are applicable and required to be corrected or incorporated into the final plans for the property.

- () 1. Fire hydrants for the referenced property are required and shall be located at intervals or _____ feet along an approved road in accordance with Baltimore County Standards as published by the Department of Public Works.

- () 2. A second means of vehicle access is required for the site.

- () 3. The vehicle dead end condition shown at _____

EXCEEDS the maximum allowed by the Fire Department.

- () 4. The site shall be made to comply with all applicable parts of the Fire Prevention Code prior to occupancy or beginning of operation.

- () 5. The buildings and structures existing or proposed on the site shall comply with all applicable requirements of the National Fire Protection Association Standard No. 101 "Life Safety Code", 1976 edition prior to occupancy.

- () 6. Site plans are approved, as drawn.

- (X) 7. The Fire Prevention Bureau has no comments, at this time.

REVIEWER: *John F. O'Neill*
Planning Group
Special Inspection Division

Noted and
Approved:

John F. O'Neill
Fire Prevention Bureau

/mb



BALTIMORE COUNTY
DEPARTMENT OF PERMITS & LICENSES
TOWSON, MARYLAND 21204
494-3610

May 19, 1986

TED ZALESKI, JR.
DIRECTOR

Mr. Arnold Jablon, Zoning Commissioner
Office of Planning and Zoning
Towson, Maryland 21204

Dear Mr. Jablon:

Comments on Item # 401 Zoning Advisory Committee Meeting are as follows:

Property Owner: Cherry Tree Apartments of Baltimore County, Ltd.
Location: W/S Philadelphia Road, 490 feet S Litany Lane
District: 14th.

APPLICABLE ITEMS ARE CIRCLED:

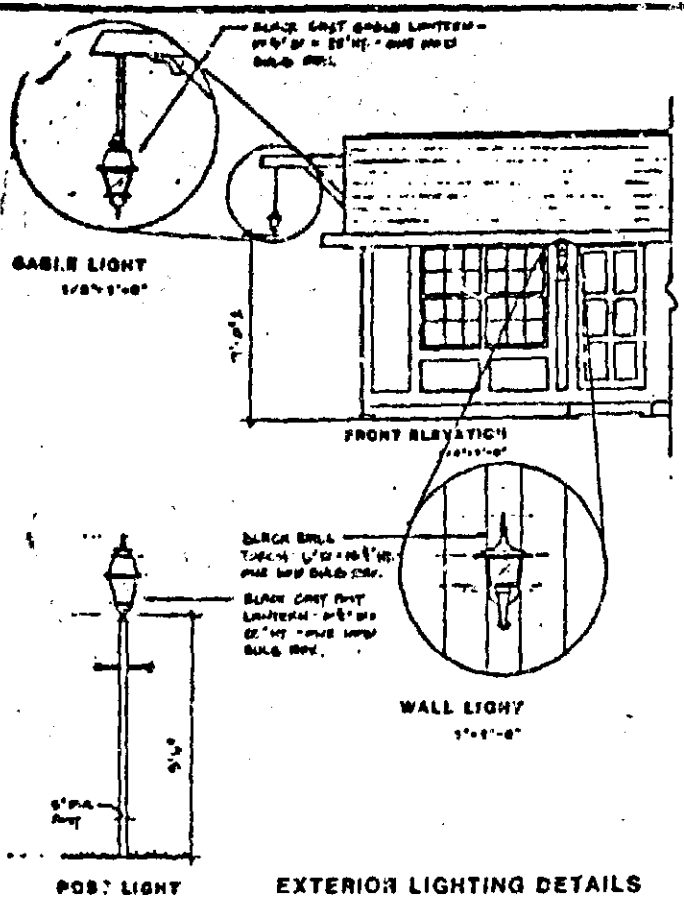
- (A) All structures shall conform to the Baltimore County Building Code as adopted by Council Bill #17-85, the Maryland Code for the Handicapped and Aged (A.N.S.I. #117-1 - 1980) and other applicable Codes and Standards.
- (B) A building and other miscellaneous permits shall be required before the start of any construction.
- C. Residential: Two sets of construction drawings are required to file a permit application. The seal of a registered in Maryland Architect or Engineer is/is not required on plans and technical data.
- D. Commercial: Three sets of construction drawings sealed and signed by a registered in Maryland Architect or Engineer shall be required to file with a permit application. Reproduced seals are not acceptable.
- E. All Use Groups except R-4 Single Family Detached Dwellings require a minimum of 1 hour fire rating for exterior walls closer than 6'-0" to an interior lot line. R-4 Use Groups require a one hour wall if closer than 3'-0" to an interior lot line. Any wall built on an interior lot line shall require a fire or party wall. See Table 401, Section 1407, Section 1406.2 and Table 1402. No openings are permitted in an exterior wall within 3'-0" of an interior lot line.
- F. The structure does not appear to comply with Table 505 for permissible height/area. Reply to the requested variance by this office cannot be considered until the necessary data pertaining to height/area and construction type is provided. See Table 401 and 505 and have your Architect/Engineer contact this department.
- G. The requested variance appears to conflict with Section(s) _____ of the Baltimore County Building Code.
- H. When filing for a required Change of Use/Occupancy Permit, an alteration permit application shall also be filed along with three sets of acceptable construction plans indicating how the existing structure is to be altered in order to comply with the Code requirements for the new use. Maryland Architectural or Engineer seals are usually required. The change of Use Groups are from Use _____ to Use _____ or to Mixed Use _____. See Section 312 of the Building Code.
- I. The proposed project appears to be located in a Flood Plain, Tidal/Riverine. Please see the attached copy of Section 516.0 of the Building Code as adopted by Bill #17-85. Site plans shall show the correct elevations above sea level for the lot and the finish floor levels including basement.
- (J) Comments: Signs shall comply to Article 19 as amended by Council Bill #17-85.

K. These abbreviated comments reflect only on the information provided by the drawings submitted to the Office of Planning and Zoning and are not intended to be construed as the full extent of any permit. If desired the applicant may obtain additional information by visiting Room 122 of the County Office Building at 111 W. Chesapeake Avenue, Towson, Maryland 21204.

Charles E. Burman
By: C. E. Burman, Chief
Building Plans Review

4/22/85

LITANY LANE
(PRIVATE)



PLAT II
SECTION II PHASE II
KINGS COURT
ZONED DR 55
TAX MAP 52
PARCEL G21
PLAT BK. E.H.K. 42/47

BEOWULF CIRCLE
(PRIVATE)

HIGAN COURT

ROYAL ANN CT.

DAMIAN

COURT

SECTION ONE
KINGS COURT
CANTERBURY APARTMENTS
ZONED DR 55
TAX MAP 52
PARCEL 75
PLAT BK. E.H.K. 35/43

PALOMON
(PRIVATE)

Notes:

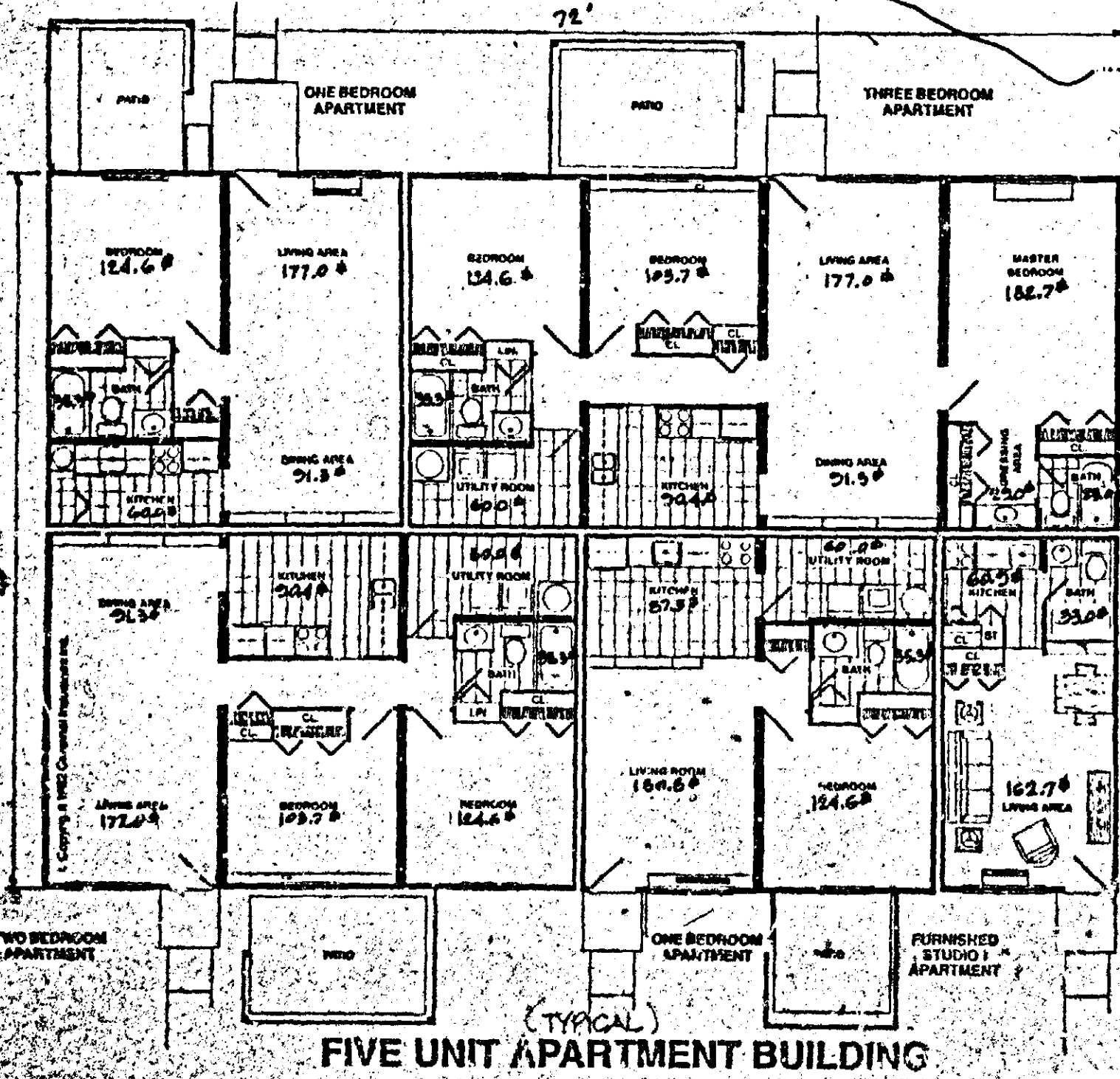
- Trash collection to be by private collector.
- All roads and parking areas are private and shall be paved with a durable and dustless surface (macadam).
- Developer to maintain Stormwater Management Pond.
- The location of street lighting poles are indicated by the symbol $\bullet$ see detail on this sheet.
- Where possible, all existing trees to be saved in setback and buffer areas.
- Mail boxes are to be constructed in three cluster units on each road.
- Accessory structures, fences and projections into yards may be constructed outside the envelope, but must comply with Sections 400 and 301 of the Baltimore County Zoning Regulations, (subject to covenants and applicable building permits).
- Setbacks, to be shown thusly:
 - Transition areas,
 - 300' from existing dwelling (offsite)
 - 75' between D.R. 16 building and any other D.R. zone
 - 30' building to tract boundary
 - 30' window to tract boundary
 - 10' window to window (different buildings)
 - 25' window to non-window (different buildings)
- Maximum width of any building or group of attached buildings is 100'.

This development plan is approved by the Zoning Commissioner based on his interpretation of the Zoning Regulations that it complies with present policy, density, and bulk controls as they are delineated in the regulations. Any part or parcel of this tract that has been utilized for density to support dwellings shown thereon shall not be further divided, subdivided, or developed for additional dwellings or any purpose other than that indicated presently on said plan.

Utilization will have occurred when a building is constructed and transferred for the purpose of occupancy.

STORMWATER MANAGEMENT

Facilities for storms of 10 year and less frequencies will be provided. They will be provided in the designated area at the southwest corner of the site.



LITANY LANE

(PRIVATE)

PLAT I SECTION III PHASE I
KINGS COURT
ZONED DR.55 TAX MAP D2
PARCEL 422 PLAT DR. EHK 42/76

JOHN WILBERT MYERS, JR. & WIFE
ZONED DR.55
TAX MAP D2
PARCEL 473
4010 / 473

MARLENE D. KOLLOCK
ZONED DR.55
TAX MAP D2
PARCEL 474
2300 / 1201

HENRY J. H...
ZONED DR.55
TAX MAP D2
PARCEL 475
2300 / 1201

WALTER L. KAHLER & WIFE
ZONED DR.55
TAX MAP D2
PARCEL 502
500 / 530

AT & A
ZONED DR.55
TAX MAP D2
PARCEL 502
510 / 333

HAROLD R. WALL & WIFE
ZONED DR.55
TAX MAP D2
PARCEL 503
5700 / 301

EDWARD D. SCHAMMEL
ZONED DR.55
TAX MAP D2
PARCEL 373
4740 / 258

SECTION ONE
KINGS COURT
'CANTERBURY APARTMENTS'
ZONED DR.55
TAX MAP D2
PARCEL 73
PLAT DR. EHK 38/43

NOTE: SEE APPROVED LANDSCAPING PLAN FOR ALL LANDSCAPING
IN R.T.A. BUFFERS, DUMPSTER SCREENING, ETC.
DEVELOPER WILL MAINTAIN LOCAL OPEN SPACE.
ALL UNITS ARE FOR RENT ON LOT 2.

plan is approved by the Zoning
on his interpretation of the Zoning
complies with present policy. Density,
as they are delineated in the regulations,
of this tract has been utilized for
dwellings shown thereon shall not be
subdivided, or developed for additional
purpose other than that indicated
thereon.

occurred when a building is constructed
for the purpose of occupancy.

USE MANAGEMENT

of 10 year and less frequencies will be
be provided in the designated area at
of the site.

PALOMON DRIVE

(PRIVATE)

Office of Planning and Zoning
Approved by:

Director of Planning

Date

Zoning Commissioner

Date

REVISIONS

FINAL

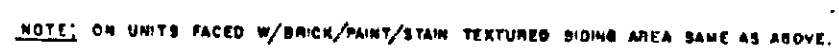
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14 TH ELECTION

CARD

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CARDINAL



TYPICAL BUILDING END ELEVATION
NO SCALE

*NO PARADIGMS ON BNC UNITS EXCEPT FOR LEXICONS

1. SITE AREA: TOTAL 10,021 AC
GROSS 1,800 AC.
RO. RAW 0.137 AC.
NET 1,432 AC.
LOT 1
1,800 AC.
0.137 AC.
1,432 AC.

2. OPEN SPACE: REQUIRED; 102 UNITS X G50 = G6,300 S.F. PROP.; 120,050 S.F.
REQUIRED: 153,900 X 1.5 DU. = 230,850 SPACES
EXISTING: 3 SPACES
LOT 2
REQUIRED: STUDIO: 05 DU X 31' = 155
1 B.R. = 0.75 DU X G3 = 47.25
2 B.R. = 1 DU X 7 = 7
153 SP. / DU. 153 X G0.75 DU = 106.725 SP.
MIN. REQUIRED 1 X 10' = 10 SP.
PROPOSED: 153 SP. (9' X 10')
HANDICAP: REQ'D: 1 / 25 = 0
PROP: G (12' X 10')
TOTAL: 154 SP.

4. DENSITY CALCULATIONS:
101 PROP. LIVING UNITS (60.75 DENSITY UNITS)
1 EX. 4 BEDROOM LIVING UNIT (1.75 DENSITY UNIT)
ZONING: 1 D.R. X 10,021 AC = 100 UNITS PERMITTED
UNITS / AC, 102 DWELLING UNITS / 10,021 AC. =
10.18 UNITS / AC. (RENTALS)

5. EX. USE:
6. PROP. USE:
7. TOTAL BLDG COVERAGE:
8. ELECTION DISTRICT:
9. COUNCILMANIC DISTRICT:
10. CENSUS TRACT:
11. WATERSHED: 6TH SUBSEWERSHED: 14
12. NO WETLANDS
13. NO CRITICAL AREAS
14. NO ARCHEOLOGICAL SITES
15. NO ENDANGERED SPECIES HABITATS
16. NO HAZARDOUS MATERIAL SITES
17. NO NATURAL SLOPES GREATER THAN 25%
18. SOIL TYPES: DLO, LMC2, LMC3, DLO2
19. TAX MAP: #22
20. PARCEL: #374
21. DEED REF. 5004 / 557
22. AVERAGE DAILY TRIPS (A.D.T.) 6075 X 0.5 = 453
23. 30% OF GROSS LOT TO BE RETAINED AS WOODS.
55% OF GROSS LOT CONTAINS EX TREES.
24. NO WINDOWS ON ENDS OF BUILDINGS.

Dtd BELTSVILLE SILT LOAM, 2 TO 5% SLOPES
DdC2 BELTSVILLE SILT LOAM, 5 TO 10% SLOPES, MODERATELY ERODED
LmC2 LENOIR SILT LOAM, 5 TO 12% SLOPES, MODERATELY ERODED
LmC3 LENOIR SILT LOAM, 5 TO 12% SLOPES, SEVERELY ERODED

AREA	TYPE	BLDG. 3 STORIES OR LESS NO BASEMENT	STREET AND PARKING AREAS	CLASS
53	DtD	SLIGHT	MODERATE SEASONALLY PERCHED WATER TABLE ; SLOPE	C
04	DtC2	SLIGHT	SEVERE SLOPE	C
14	LtC2	SEVERE HIGH WATER TABLE, SOMEWHAT POOR NATURAL DRAINAGE	SEVERE HIGH WATER TABLE POOR NATURAL DRAINAGE SLOPE	D
13	LtC3	" " "	" " "	D

FOR

LOCATED ON

(MARYLAND ROUTE 7)

14 TH ELECTION DISTRICT

BALTIMORE CO. MARYLAND

CONTRACT PURCHASER/DEVELOPER

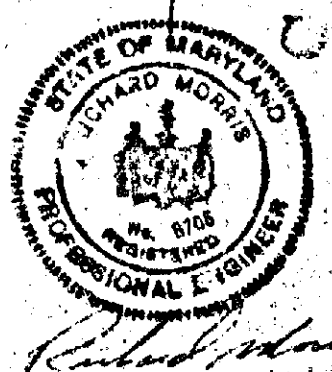
CARDINAL INDUSTRIES INC.

8220 RITCHIE HIGHWAY
PASADENA, MARYLAND 21122
PH. 544-3400

OWNER
WON H. BARROW
4 NORTH AVE.
TIMORE, MO. 21221
7-21-57

PROPERTY NO. 141G015541
CRG FILE NO. XIV-209
APPROVED JUNE 27, 1985

OFFICE COPY



MORRIS & RITCHIE ASSOCIATES, INC.

ENGINEERS AND SURVEYORS

141 NORTH MAIN STREET
BEL AIR, MARYLAND 21014

PHONE: 836-7550 OR 978-1894

scale: 1"=30'	date: 1-14-26	drawn: P.T.M.	design: T.M.O.	Job No. 2510
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REV. 1-29-86 REV. 1-31-86

© COPYRIGHT

CARDINAL INDUSTRIES INC.

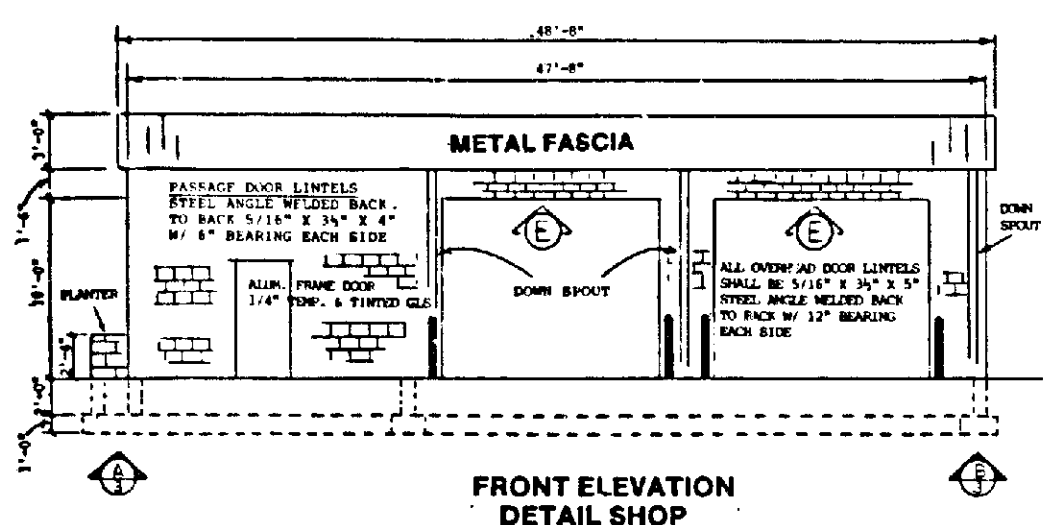
Office of Planning and Zoning
Approved by:

Director of Planning Date

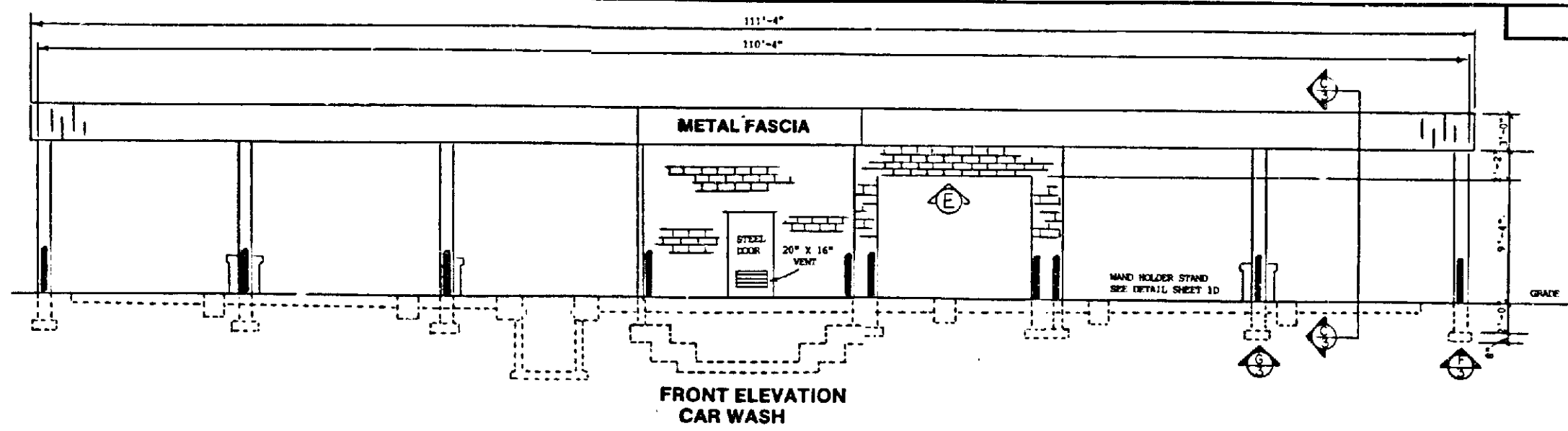
Zoning Commissioner Date

REVISIONS

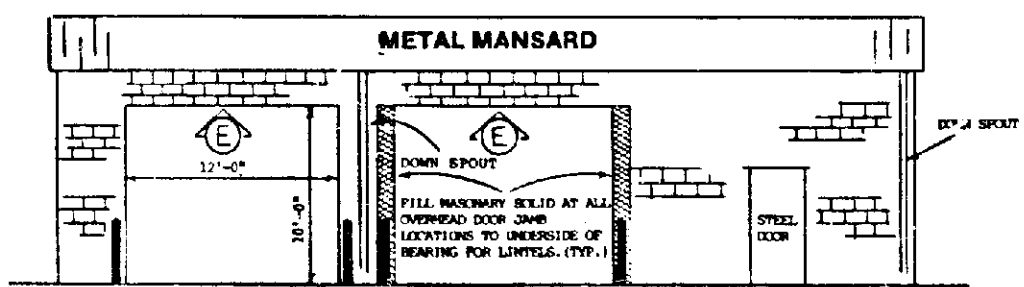
INTERNAL INDUSTRIE



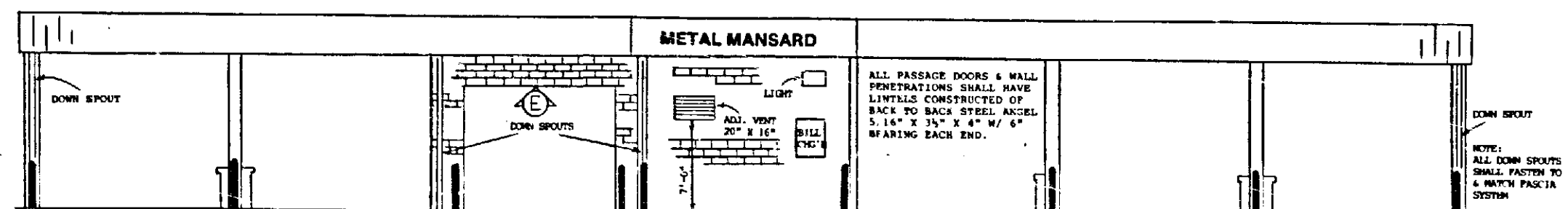
FRONT ELEVATION
DETAIL SHOP



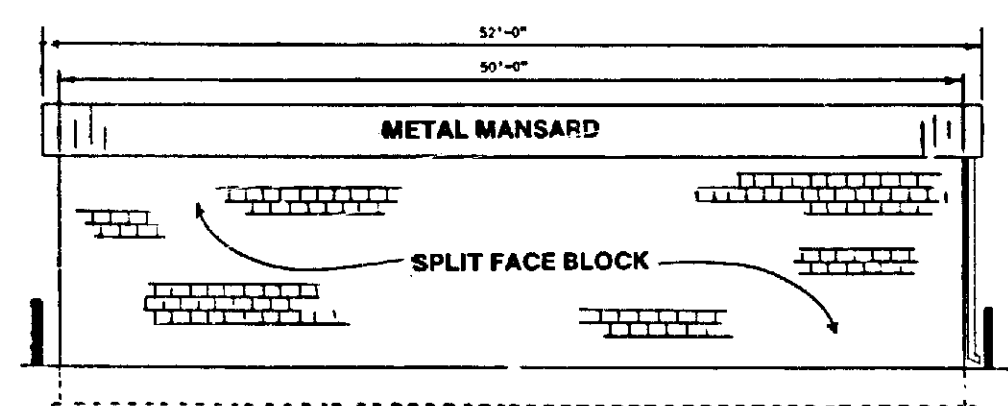
FRONT ELEVATION
CAR WASH



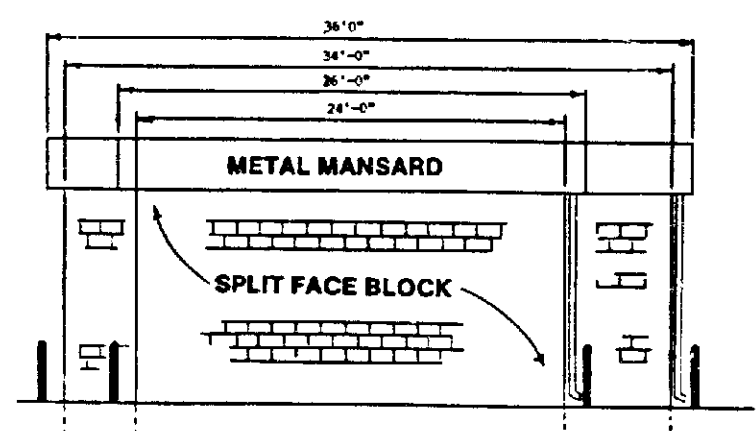
REAR ELEVATION



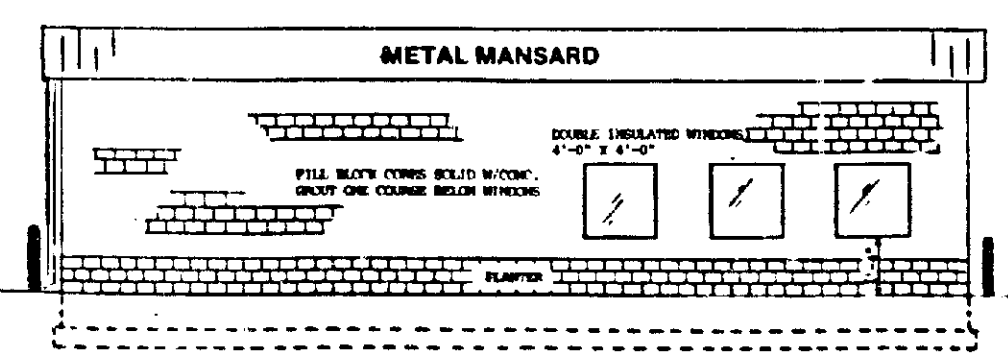
REAR ELEVATION



RIGHT ELEVATION

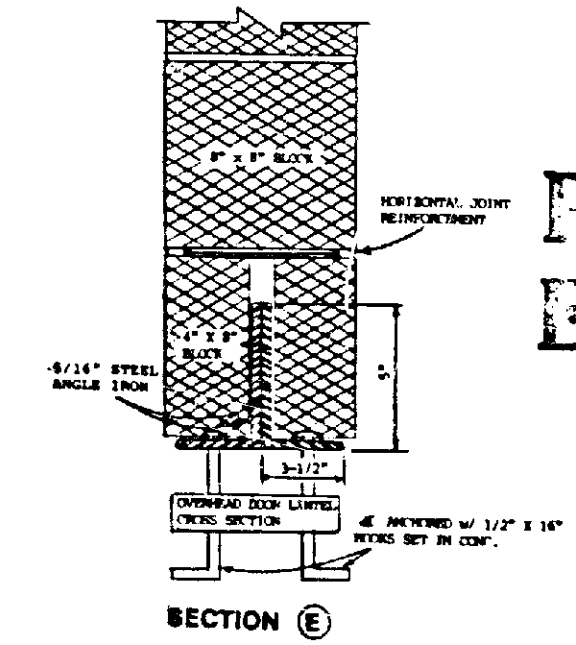


RIGHT ELEVATION
(LEFT ELEVATION SIMILAR)



LEFT ELEVATION

- GENERAL NOTES**
- CONTRACTOR SHALL OBTAIN ALL NECESSARY LOCAL CODE REQUIREMENTS FOR SOIL BEARING, BUILDING DESIGN, WIND LOADINGS AND ALL OTHER REQUIREMENTS.
 - CONTRACTOR SHALL OBTAIN PROFESSIONAL ASSISTANCE TO INSURE INTEGRITY OF BUILDING.
 - ALL WORK SHALL BE PERFORMED BY SKILLED CRAFTSMEN.
 - ALL MATERIALS SHALL BE FIRST QUALITY AS CALLED FOR OR BEST SUITED FOR THE JOB OR CONDITIONS.
 - ALL WORK SHALL BE COMPLETE WHETHER REFERRED TO OR NOT, UNLESS NOTED OTHERWISE.
- GENERAL NOTES - FOUNDATION**
- OWNER SHALL OBTAIN SERVICES OF A SOIL ENGINEER TO PROVIDE SOIL INVESTIGATION. DATA FROM THE INVESTIGATION WILL BE UTILIZED IN DETERMINING FOUNDATION DESIGN.
 - CONSTRUCT ALL FILL UNDER BUILDING AS NECESSARY TO BRING THE SITE TO THE REQUIRED ELEVATIONS. FILL MATERIAL SHALL BE FREE OF DELETERIOUS MATTER AND SHALL BE PLACED IN 6" LAYERS AND COMPACTED ACCORDING TO A.S.T.M.D. 1557-70.
 - ALL EXISTING MATTER UNDER THE BUILDING FOUNDATION AND PAVED AREAS THAT HAVE BEEN DISTURBED SHALL BE COMPACTED TO 95% RECOMPIED DENSITY. FINISH SLOPE SHALL BE PROOF ROLLER PRIOR TO PLACEMENT OF BASE STONE TO INSURE PROPER DRAINAGE REQUIREMENTS.
 - CONTRACTOR SHALL PROVIDE ALL SINKING AND BULGING NECESSARY SOIL BY SANDWICH AND OIL SEPARATION PIT.
 - WATER FILLING SHALL BE BROUGHT TO A SUFFICIENT ELEVATION TO PROVIDE FOR ALL ANTICIPATED SETTLEMENT AND DRAINAGE AND TO INSURE POSITIVE DRAINAGE AWAY FROM THE BUILDING.
- GENERAL NOTES - ROOFING**
- FOUNDATION DESIGN IS BASED ON A UNIFORM SOIL BEARING CAPACITY OF 3,000 P.S.F. AND A SOIL PLASTIC INDEX (P.I.) OF 24 OR LESS. OWNER SHALL OBTAIN A SOIL REPORT AND FOUNDATION SHALL BE DESIGNED BY A LOCAL PROFESSIONAL ENGINEER TO SATISFY GOVERNING CODE REQUIREMENTS AND ACCORDING TO FIELD CONDITIONS.
 - ALL CONCRETE SHALL DEVELOP 3,000 P.S.F. PER 80. IN COMPRESSIVE STRENGTH AT 28 DAYS. ALL CONCRETE EXPOSED TO EXTERIOR CLIMATE CONDITIONS SHALL HAVE AN AIR ENTRAINMENT AGENT ADDED TO PRODUCE 50 TO 75 AIR ENTRAINMENT BY VOLUME.
 - STEEL REINFORCEMENT SHALL BE DEFORMED BARS CONFORMING TO A.S.T.M. A-615 OR A-616. ALL STEEL SHALL BE GALVANIZED TO A.S.T.M. A-653. GALVANIZING SHALL NOT BE USED.
 - PROVIDE CORNER JOINTS AT CORNER BEAMS CORNERS & TIE-IN CONNECTIONS.
 - LAP REINFORCING STEEL SHALL BE A MIN. OF 30 BAR DIAMETERS.
 - ALL CONCRETE SHALL BE CURED BY THE SPRINKLING METHOD OR EQUAL FOR SEVEN DAYS.
 - WATER RESISTING MEMBRANE AND OTHER MEMBRANES AS SPECIFIED BY LOCAL HEALTH DEPARTMENT ARE ACCEPTABLE SO LONG AS THEY PROVIDE NO DELETERIOUS EFFECT ON THE STRUCTURE AND SERVICEABILITY OF THE CONCRETE. CHANGES THEREIN SHALL NOT BE USED.
 - ALL CONCRETE WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITION OF A.C.I. SPECIFICATIONS.

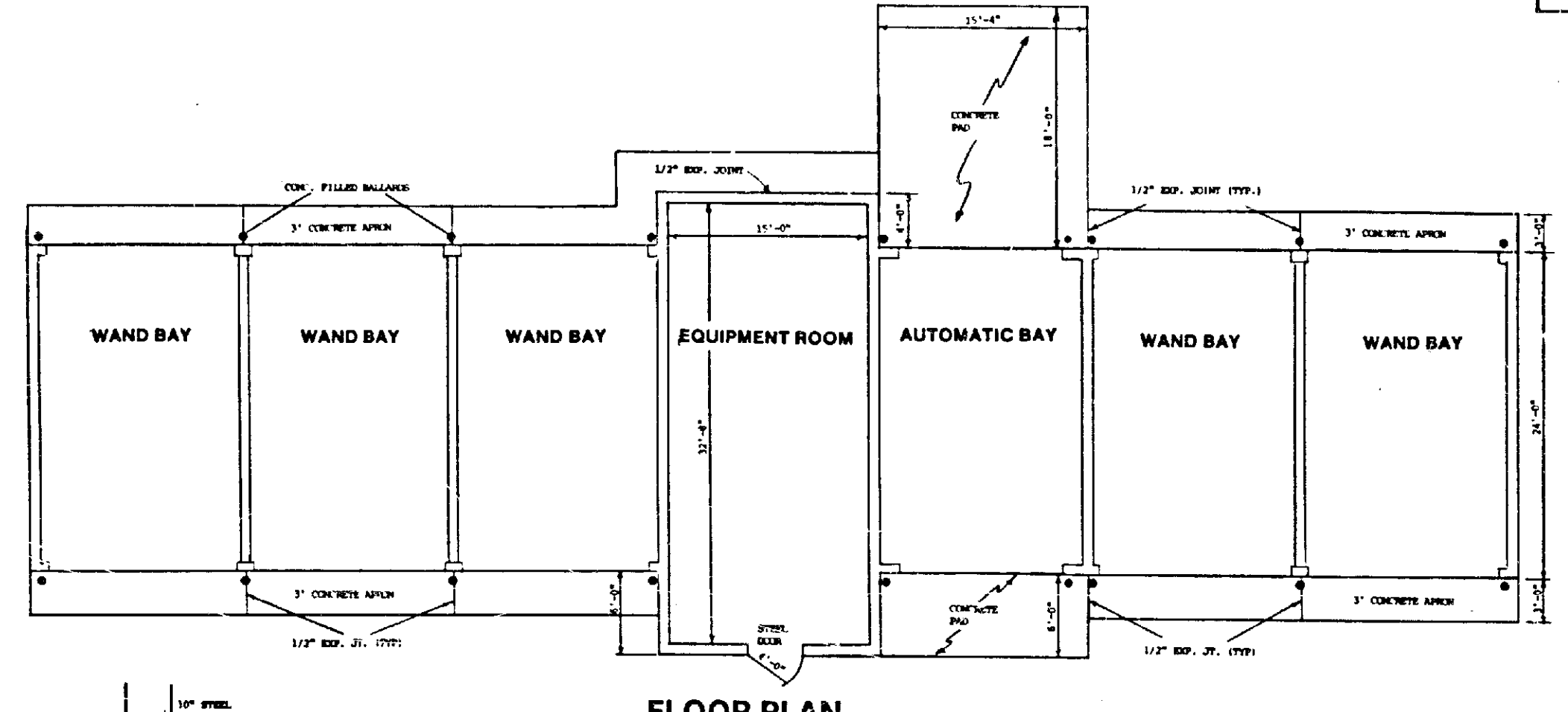
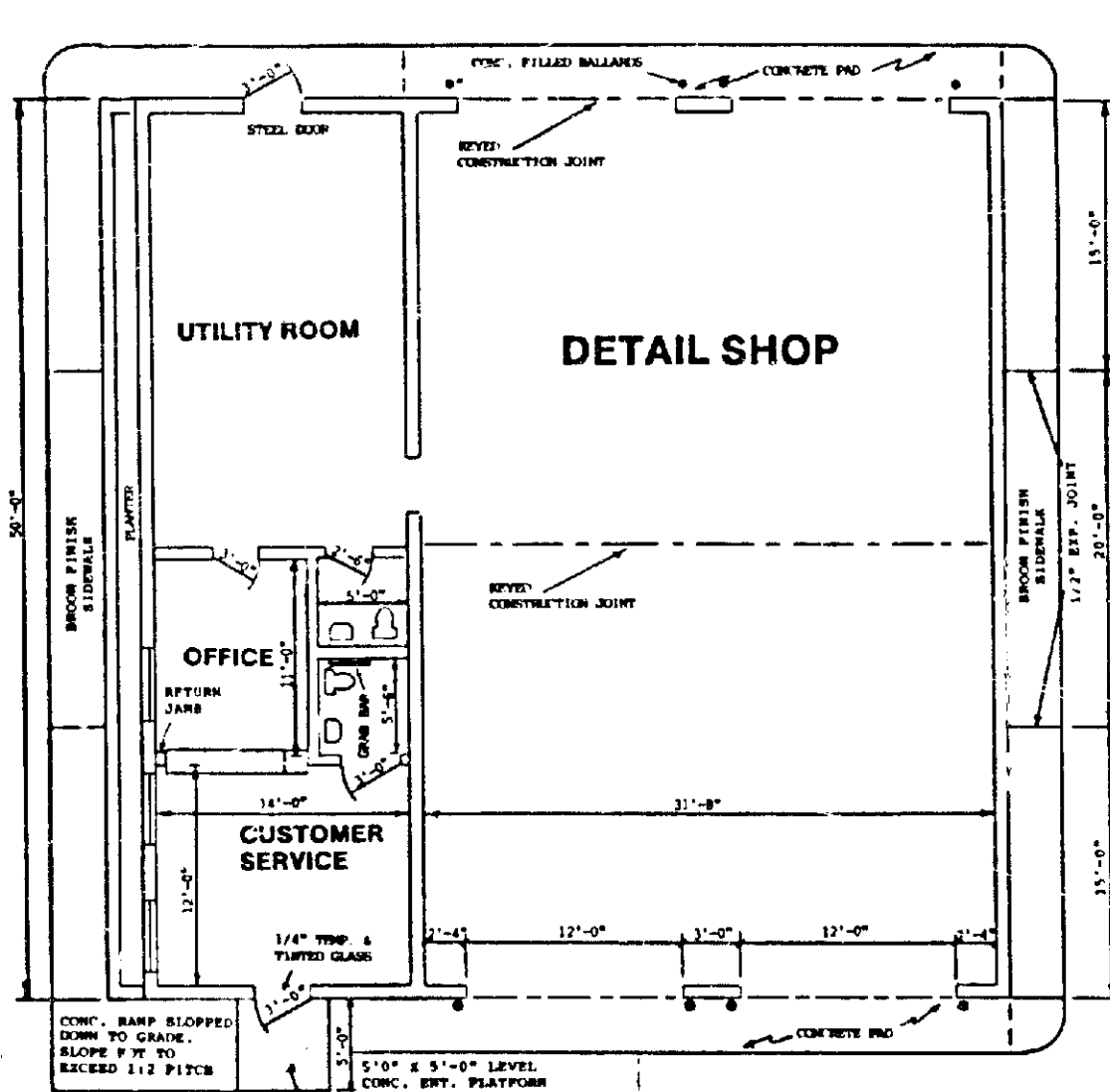


SECTION E

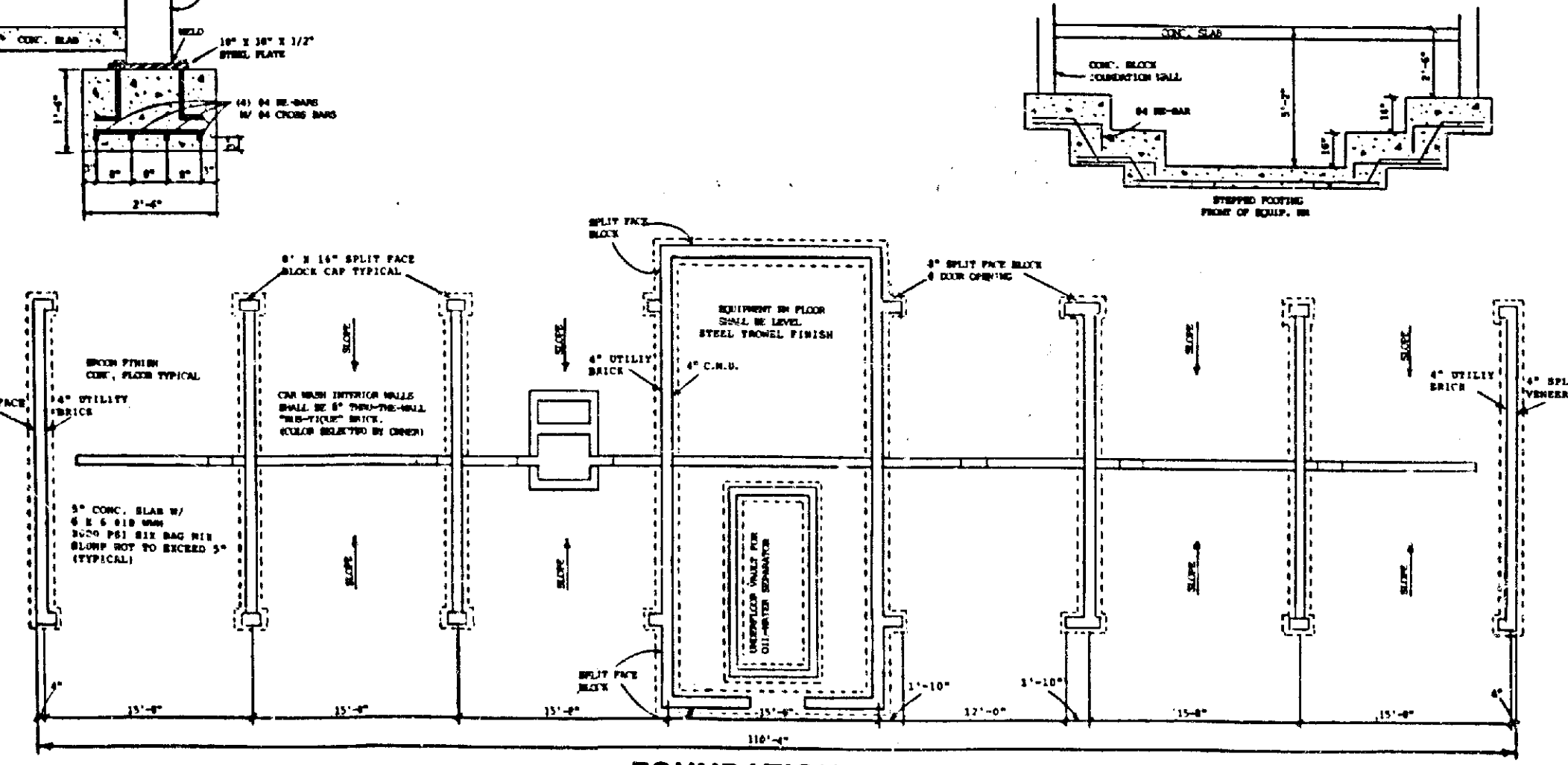
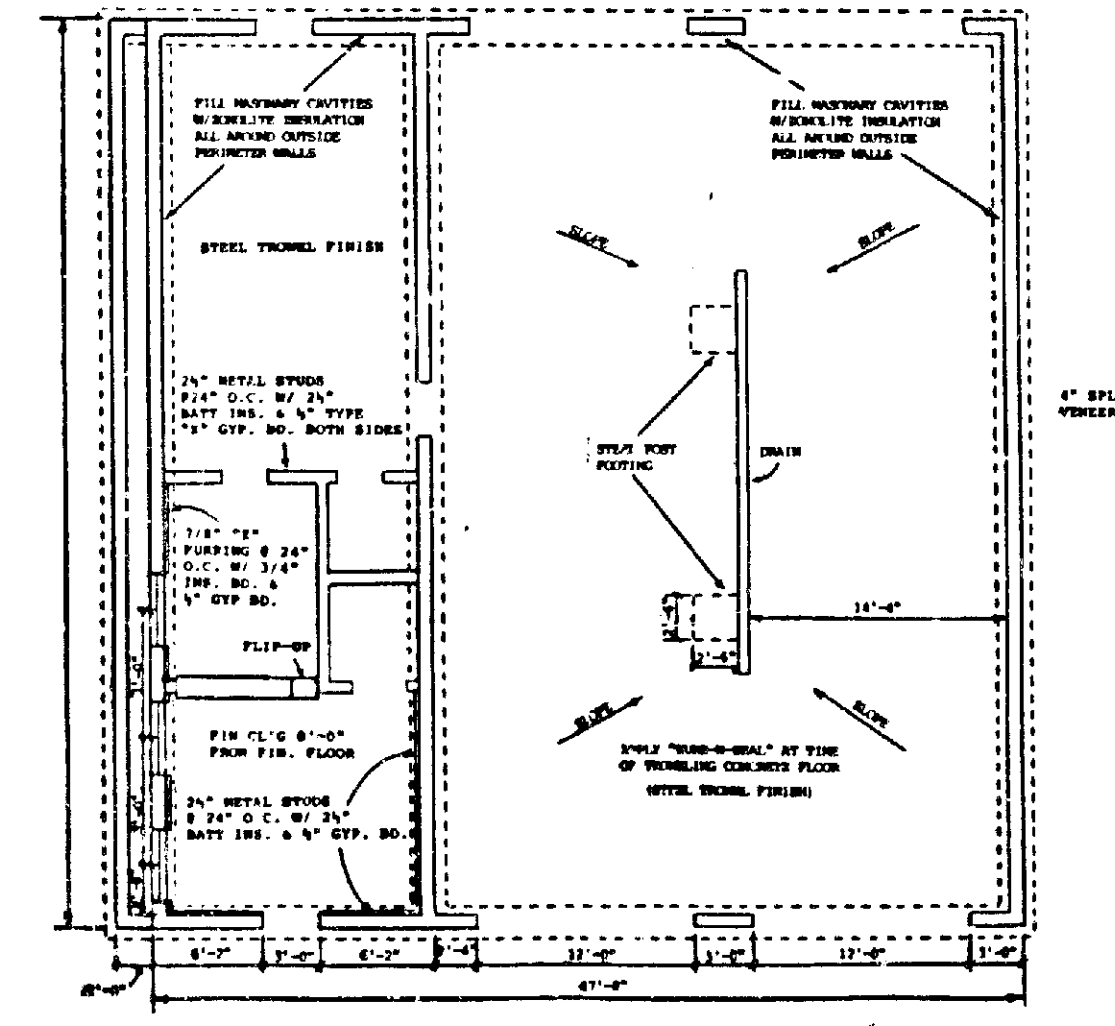
PETITIONER'S
EXHIBIT 3a

86-509-X

HILLCREST INDUSTRIES P.O. Box 807 / Churchville, MD 21028	
DATE: 7/22/86	PROJECT: 86-509-X
DRAWN BY: [Signature]	



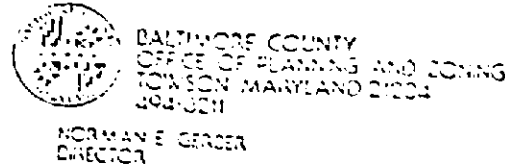
FLOOR PLAN



FOUNDATION PLAN

PETITIONER'S
EXHIBIT 3a

HILLCREST INDUSTRIES P.O. Box 807 / Churchville, MD 21028	
DATE: 7/22/86	PROJECT: 86-509-X
DRAWN BY: [Signature]	



Mr. Arnold Jablon
Zoning Commissioner
County Office Building
Towson, Maryland 21204

JUNE 2, 1986

Re: Zoning Advisory Meeting of MAY 13, 1986
Item # 401
Property Owner: CHERRY TREE APPTS OF BALTO. COUNTY, LTD.
Location: W/S PHILADELPHIA RD. 490' S. OF LITANY LANE

Dear Mr. Jablon:

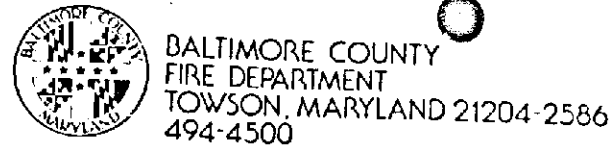
The Division of Current Planning and Development has reviewed the subject petition and offers the following comments. The items checked below are applicable.

- () There are no site planning factors requiring comment.
- (X) A County Review Group Meeting is required.
- (X) A County Review Group Meeting was held and the minutes will be forwarded by the Bureau of Public Services.
- () This site is part of a larger tract; therefore it is defined as a subdivision. The plan must show the entire tract.
- () A record plat will be required and must be recorded prior to issuance of a building permit.
- () The access is not satisfactory.
- () The circulation on this site is not satisfactory.
- () The parking arrangement is not satisfactory.
- () Parking calculations must be shown on the plan.
- () This property contains soils which are defined as wetlands, and development on these soils is prohibited.
- () Construction in or alteration of the floodplain is prohibited under the provisions of Section 22-93 of the Development Regulations.
- () Development of this site may constitute a potential conflict with the Baltimore County Master Plan.
- () The amended Development Plan was approved by the Planning Board on _____.
- (X) Landscaping: Must comply with Baltimore County Landscape Manual.
- (X) The property is located in a deficient service area as defined by Bill 178-79. No building permit may be issued until a Reserve Capacity Use Certificate has been issued. The deficient service is _____.
- (X) The property is located in a traffic area controlled by a "D" level intersection as defined by Bill 178-79, and its conditions change traffic capacity may become more limited. The Basic Services Areas are re-evaluated annually by the County Council.

Additional comments:
THE SPG PLAN XIV-209 (KIA CHERRY TREE APARTMENTS) WAS APPROVED ON 6/27/85

cc: James Howell

Eugene A. Bober
Chief, Current Planning and Development



PAUL H. REINCKE
CHIEF

May 20, 1986

Mr. Arnold Jablon
Zoning Commissioner
Office of Planning and Zoning
Baltimore County Office Building
Towson, Maryland 21204

Attention: Chairman
Zoning Plans Advisory Committee

RE: Property Owner: Cherry Tree Apartments of Baltimore Co., Ltd.

Location: W/S Phila. Rd., 490' ft. S. Litany La.

Item No.: 401

Zoning Agenda: Meeting of 5/13/86

Gentlemen:

Pursuant to your request, the referenced property has been surveyed by this Bureau and the comments below marked with an "X" are applicable and required to be corrected or incorporated into the final plans for the property.

- () 1. Fire hydrants for the referenced property are required and shall be located at intervals or _____ feet along an approved road in accordance with Baltimore County Standards as published by the Department of Public Works.

- () 2. A second means of vehicle access is required for the site.

- () 3. The vehicle dead end condition shown at _____

EXCEEDS the maximum allowed by the Fire Department.

- () 4. The site shall be made to comply with all applicable parts of the Fire Prevention Code prior to occupancy or beginning of operation.

- () 5. The buildings and structures existing or proposed on the site shall comply with all applicable requirements of the National Fire Protection Association Standard No. 101 "Life Safety Code", 1976 edition prior to occupancy.

- () 6. Site plans are approved, as drawn.

- (X) 7. The Fire Prevention Bureau has no comments, at this time.

REVIEWER: *John F. O'Neill*
Planning Group
Special Inspection Division

Noted and
Approved:

John F. O'Neill
Fire Prevention Bureau

/mb



BALTIMORE COUNTY
DEPARTMENT OF PERMITS & LICENSES
TOWSON, MARYLAND 21204
494-3610

May 19, 1986

TED ZALESKI, JR.
DIRECTOR

Mr. Arnold Jablon, Zoning Commissioner
Office of Planning and Zoning
Towson, Maryland 21204

Dear Mr. Jablon:

Comments on Item # 401 Zoning Advisory Committee Meeting are as follows:

Property Owner: Cherry Tree Apartments of Baltimore County, Ltd.
Location: W/S Philadelphia Road, 490 feet S Litany Lane
District: 14th.

APPLICABLE ITEMS ARE CIRCLED:

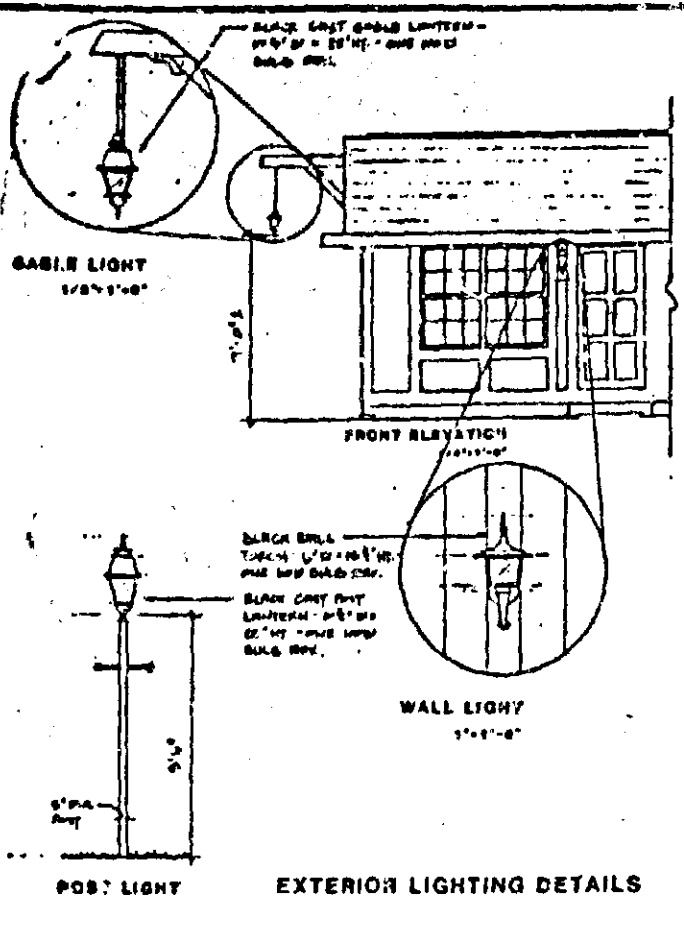
- (A) All structures shall conform to the Baltimore County Building Code as adopted by Council Bill #17-85, the Maryland Code for the Handicapped and Aged (A.N.S.I. #117-1 - 1980) and other applicable Codes and Standards.
- (B) A building and other miscellaneous permits shall be required before the start of any construction.
- C. Residential: Two sets of construction drawings are required to file a permit application. The seal of a registered in Maryland Architect or Engineer is/is not required on plans and technical data.
- D. Commercial: Three sets of construction drawings sealed and signed by a registered in Maryland Architect or Engineer shall be required to file with a permit application. Reproduced seals are not acceptable.
- E. All Use Groups except R-4 Single Family Detached Dwellings require a minimum of 1 hour fire rating for exterior walls closer than 6'-0" to an interior lot line. R-4 Use Groups require a one hour wall if closer than 3'-0" to an interior lot line. Any wall built on an interior lot line shall require a fire or party wall. See Table 401, Section 1407, Section 1406.2 and Table 1402. No openings are permitted in an exterior wall within 3'-0" of an interior lot line.
- F. The structure does not appear to comply with Table 505 for permissible height/area. Reply to the requested variance by this office cannot be considered until the necessary data pertaining to height/area and construction type is provided. See Table 401 and 505 and have your Architect/Engineer contact this department.
- G. The requested variance appears to conflict with Section(s) _____, of the Baltimore County Building Code.
- H. When filing for a required Change of Use/Occupancy Permit, an alteration permit application shall also be filed along with three sets of acceptable construction plans indicating how the existing structure is to be altered in order to comply with the Code requirements for the new use. Maryland Architectural or Engineer seals are usually required. The change of Use Groups are from Use _____ to Use _____ or to Mixed Use _____. See Section 312 of the Building Code.
- I. The proposed project appears to be located in a Flood Plain, Tidal/Riverine. Please see the attached copy of Section 516.0 of the Building Code as adopted by Bill #17-85. Site plans shall show the correct elevations above sea level for the lot and the finish floor levels including basement.
- (J) Comments: Signs shall comply to Article 19 as amended by Council Bill #17-85.

K. These abbreviated comments reflect only on the information provided by the drawings submitted to the Office of Planning and Zoning and are not intended to be construed as the full extent of any permit. If desired the applicant may obtain additional information by visiting Room 122 of the County Office Building at 111 W. Chesapeake Avenue, Towson, Maryland 21204.

Charles E. Burman
By: C. E. Burman, Chief
Building Plans Review

4/22/85

LITANY LANE
(PRIVATE)



PLAT II
SECTION II PHASE II
KINGS COURT
ZONED DR 55
TAX MAP 52
PARCEL G21
PLAT BK. E.H.K. 42/47

BEOWULF CIRCLE
(PRIVATE)

HIGAN COURT

ROYAL ANN CT.

DAMIAN
COURT

PALOMON
(PRIVATE)

Notes:

Trash collection to be by private collector.

All roads and parking areas are private and shall be paved with a durable and dustless surface (macadam).

Developer to maintain Stormwater Management Pond.

The location of street lighting poles are indicated by the symbol $\bullet$ see detail on this sheet.

Where possible, all existing trees to be saved in setback and buffer areas.

Mail boxes are to be constructed in three cluster units on each road.

Accessory structures, fences and projections into yards may be constructed outside the envelope, but must comply with Sections 400 and 301 of the Baltimore County Zoning Regulations, (subject to covenants and applicable building permits).

Setbacks, to be shown thusly:

Transition areas,
300' from existing dwelling (offsite)
75' between D.R. 16 building and any other D.R. zone
30' building to tract boundary
30' window to tract boundary
10' window to window (different buildings)
25' window to non-window (different buildings)

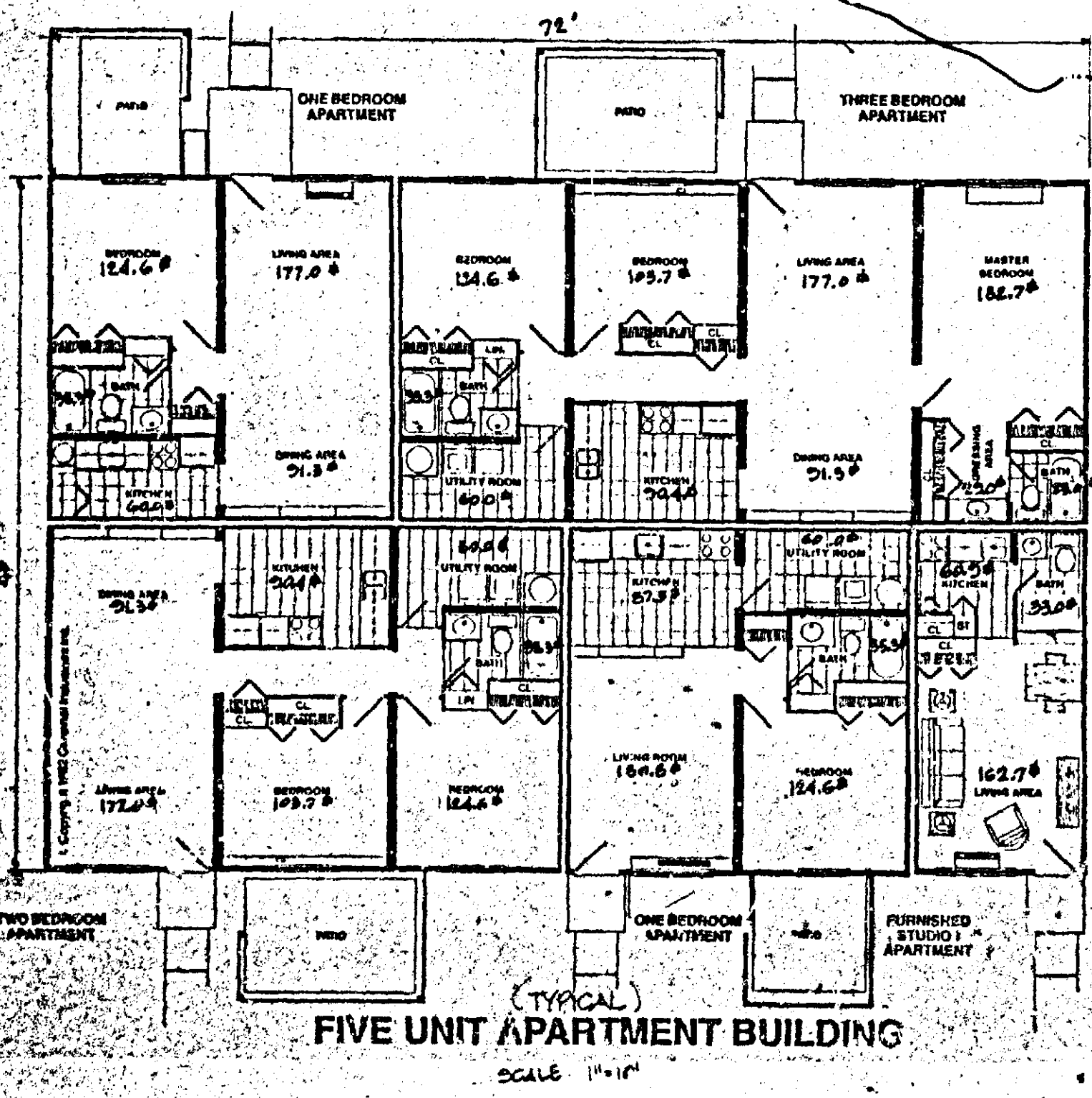
Maximum width of any building or group of attached buildings is 100'.

This development plan is approved by the Zoning Commissioner based on his interpretation of the Zoning Regulations that it complies with present policy, density, and bulk controls as they are delineated in the regulations. Any part or parcel of this tract that has been utilized for density to support dwellings shown thereon shall not be further divided, subdivided, or developed for additional dwellings or any purpose other than that indicated presently on said plan.

Utilization will have occurred when a building is constructed and transferred for the purpose of occupancy.

STORMWATER MANAGEMENT

Facilities for storms of 10 year and less frequencies will be provided. They will be provided in the designated area at the southwest corner of the site.



LITANY LANE

(PRIVATE)

PLAT I SECTION III PHASE I
KINGS COURT
ZONED DR.55 TAX MAP D2
PARCEL 422 PLAT DR. EHK 42/76

JOHN WILBERT MYERS, JR. & WIFE
ZONED DR.55
TAX MAP D2
PARCEL 473
4010 / 473

MARLENE D. KOLLOCK
ZONED DR.55
TAX MAP D2
PARCEL 474
2300 / 1201

HENRY J. H...
ZONED DR.55
TAX MAP D2
PARCEL 475
2300 / 1201

WALTER L. KAHLER & WIFE
ZONED DR.55
TAX MAP D2
PARCEL 502
500 / 530

AT #4
ZONED DR.55
TAX MAP D2
PARCEL 502
510 / 333

HAROLD R. WALL & WIFE
ZONED DR.55
TAX MAP D2
PARCEL 503
5700 / 301

EDWARD D. SCHAMMEL
ZONED DR.55
TAX MAP D2
PARCEL 373
4740 / 258

SECTION ONE
KINGS COURT
'CANTERBURY APARTMENTS'
ZONED DR.55
TAX MAP D2
PARCEL 73
PLAT DR. EHK 38/43

NOTE: SEE APPROVED LANDSCAPING PLAN FOR ALL LANDSCAPING
IN R.T.A. BUFFERS, DUMPSTER SCREENING, ETC.
DEVELOPER WILL MAINTAIN LOCAL OPEN SPACE.
ALL UNITS ARE FOR RENT ON LOT 2.

PALOMON DRIVE
(PRIVATE)

Office of Planning and Zoning
Approved by:

Director of Planning

Date

Zoning Commissioner

Date

REVISIONS

FINAL

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AF

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14 TH ELECTION

CARD

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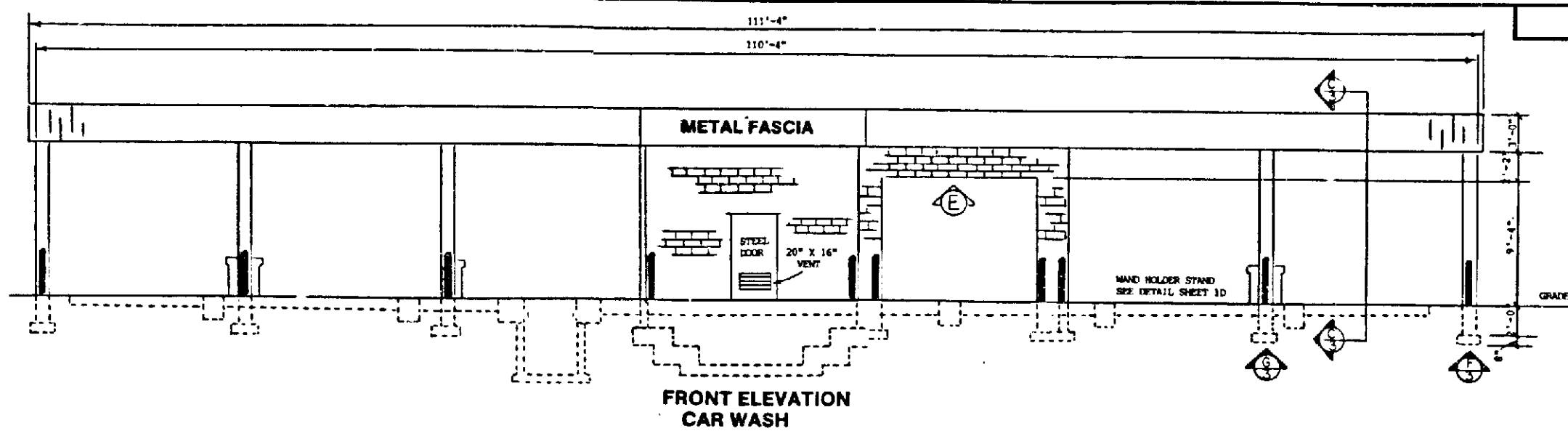
CARDINAL

plan is approved by the Zoning
on his interpretation of the Zoning
complies with present policy. Density,
as they are delineated in the regulations,
of this tract has been utilized for
dwellings shown thereon shall not be
subdivided, or developed for additional
purpose other than that indicated
thereon.

occurred when a building is constructed
the purpose of occupancy.

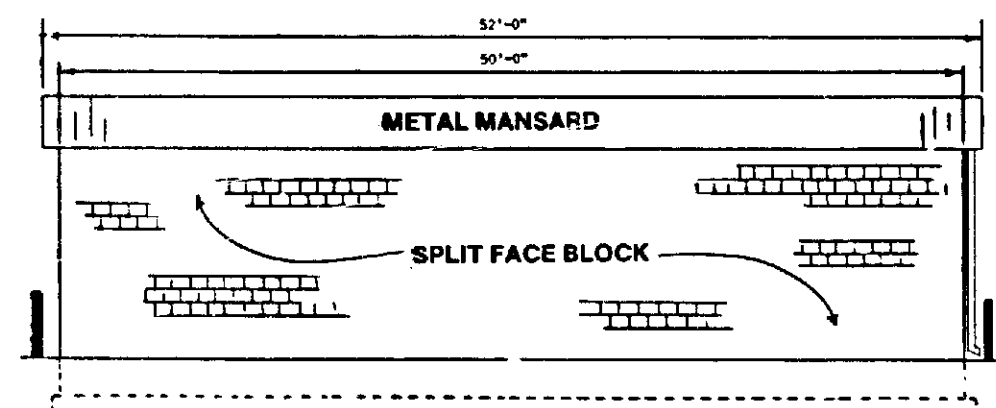
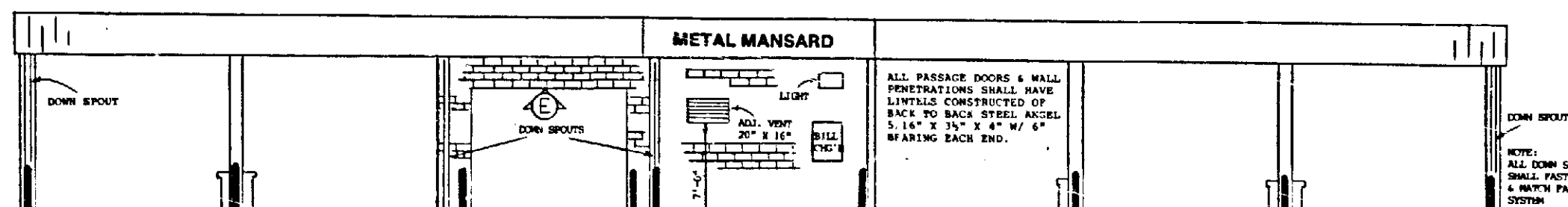
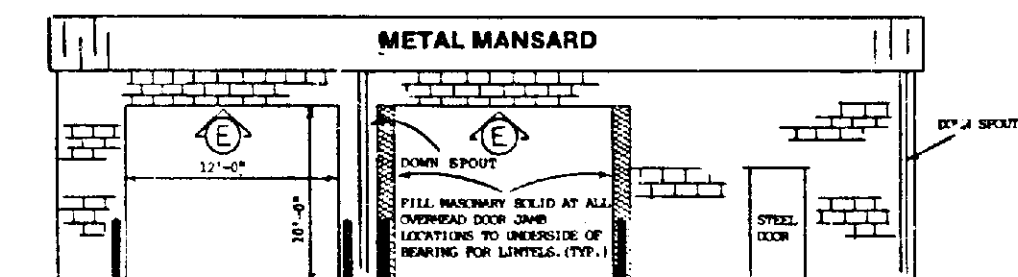
USER MANAGEMENT

of 10 year and less frequencies will be
be provided in the designated area at
of the site.

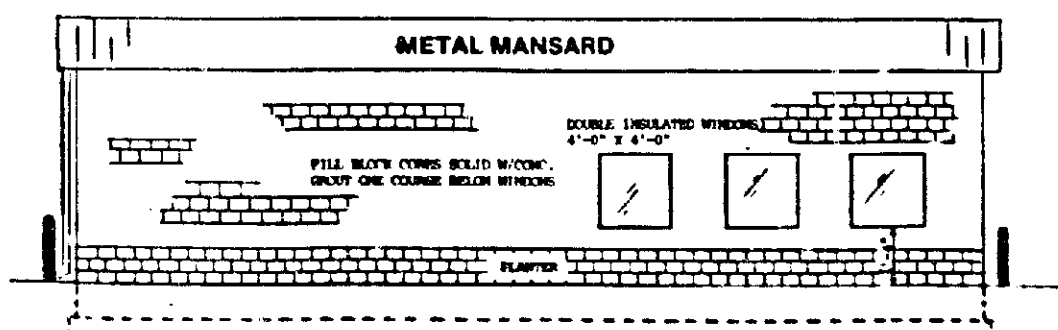


REAR ELEVATION

REAR ELEVATION

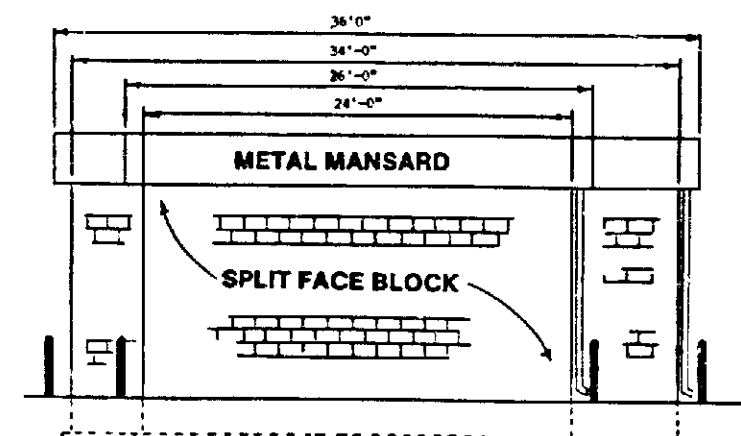


RIGHT ELEVATION

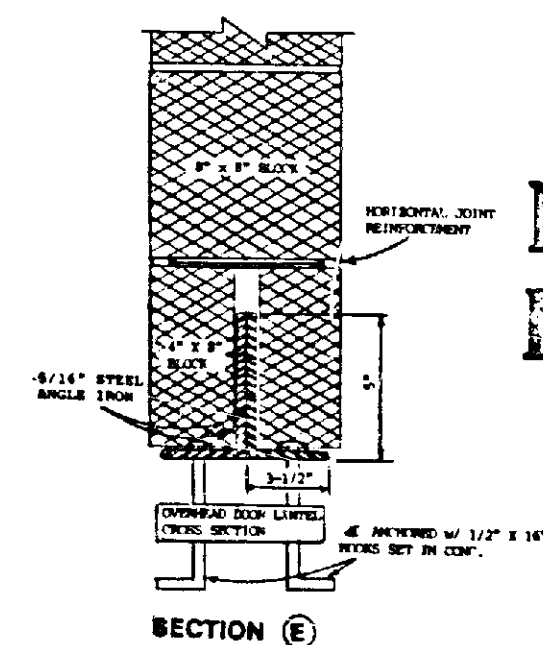


LEFT ELEVATION

- ### GENERAL NOTES - SUBSURFACE
1. CONTRACTOR SHALL OBTAIN ALL INFO TO LOCAL CODE REQUIREMENTS FOR SOIL BEARING, SETTLEMENT DESIGN, WIND LOADING AND ALL OTHER REQUIREMENTS.
 2. OBTAIN ADDITIONAL PROFESSIONAL ASSISTANCE TO INSURE INTEGRITY OF BUILDING.
 3. ALL WORK SHALL BE PERFORMED BY LICENSED CRAFTSMAN.
SOIL REMEDIATION PRACTICES SHALL BE UTILIZED IN ALL AREAS OF WORK.
 4. MATERIALS SHALL BE FIRST QUALITY AS CALLED FOR OR BEST SUITED FOR THE JOB OR EQUIVALENT.
 5. ALL WORK SHALL BE COMPLETE WHETHER, REFUSED TO OR NOT, UNLESS NOTED OTHERWISE.
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1. OWNER SHALL OBTAIN SERVICES OF A SOIL ENGINEER TO PROVIDE SUBSOIL INVESTIGATION. DATA FROM THE INVESTIGATION WILL BE UTILIZED IN DETERMINING FOUNDATION DESIGN.
 2. CONTRACTOR ALL FILL UNDER BUILDING AS NECESSARY TO BRING THE SITE TO THE REQUIRED ELEVATIONS. FILL MATERIAL SHALL BE FREE OF DELETERIOUS WASTE AND SHALL BE PLACED IN 6" LAYERS AND COMPACTED ACCORDING TO A.S.T.M. D. 1557-70.
 3. ALL EXISTING IMPER UNDER THE BUILDING FOUNDATION AND PAVED AREAS THAT ARE BEING REMOVED SHALL BE COMPACTED TO 95% REQUIRED DENSITY. FILLING LOTS SHALL BE PRICE BIDDING UPON TO REPLACEMENT OF BASE STONE TO INSURE ADEQUATE CONSTRUCTION REQUIREMENTS.
 4. CONTRACTOR SHALL PROVIDE ALL SINKING AND REGRADING NECESSARY SOIL BY SANDPANS AND OIL SEPARATION PIT.
 5. UNWELLING SHALL BE BROUGHT TO A SETTLE ELEVATION TO PROVIDE FOR ALL ANTICIPATED SETTLEMENT AND SHRINKAGE AND TO INSURE POSITIVE DRAINAGE AWAY FROM THE BUILDING.
- ### GENERAL NOTES - FOUNDATION
1. FOUNDATION DESIGN IS BASED ON A UNIFORM SOIL BEARING CAPACITY OF 3,000 P.S.F. AND A SOIL PLASTIC INDEX OF 17 OR LESS. OWNER SHALL OBTAIN A SOIL REPORT AND FOUNDATION SHALL BE DESIGNED BY A LICENSED PROFESSIONAL ENGINEER OR GEOTECHNICAL ENGINEER AS CODE REQUIREMENTS AND TO CORRESPOND TO FIELD CONDITIONS.
 2. ALL CONCRETE SHALL BE 3,000 LBS. FOR SO. IN. COMPRESSIVE STRENGTH AT 28 DAYS. ALL CONCRETE EXPOSED TO EXTERIOR CLIMATE CONDITIONS SHALL HAVE AN AIR ENTRAINMENT AGENT ADDED 9 PROTECT 5% TO 7% AIR ENTRAINMENT BE VOLUME.
 3. STEEL REINFORCEMENT SHALL BE FURNISHED BASED TO A.S.T.M. A-615 GRADE 60 (40-50) OR 60 (40-50) WELLS WERE FURNISH WITH LATEST A.S.T.M. SPEC. A-105 & A-36 OR EQUIVALENT.
 4. PROVIDE CORNER JOINTS AT GRADE OR BELOW GRADE AND PIER-INTERSECTIONS.
 5. LAP REINFORCING STEEL SHALL BE A MIN. OF 30 BARS MINIMUM.
 6. ALL CONCRETE SHALL BE CURED BY THE DRIPPING METHOD OR EQUAL FOR SEVEN DAYS.
 7. WATER REDUCING AGENTS AND OTHER ADDITIVES IN CONCRETE PROVIDED BY LOCAL MIXTURE SUPPLIERS ARE ACCEPTABLE SO LONG AS THEY PROVIDE NO DEleterious EFFECT ON THE OTHER PROPERTIES OF THE CONCRETE. CALCIUM CHLORIDE SHALL NOT BE USED.
 8. ALL CONCRETE WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITION A.C.I. PRACTICE.



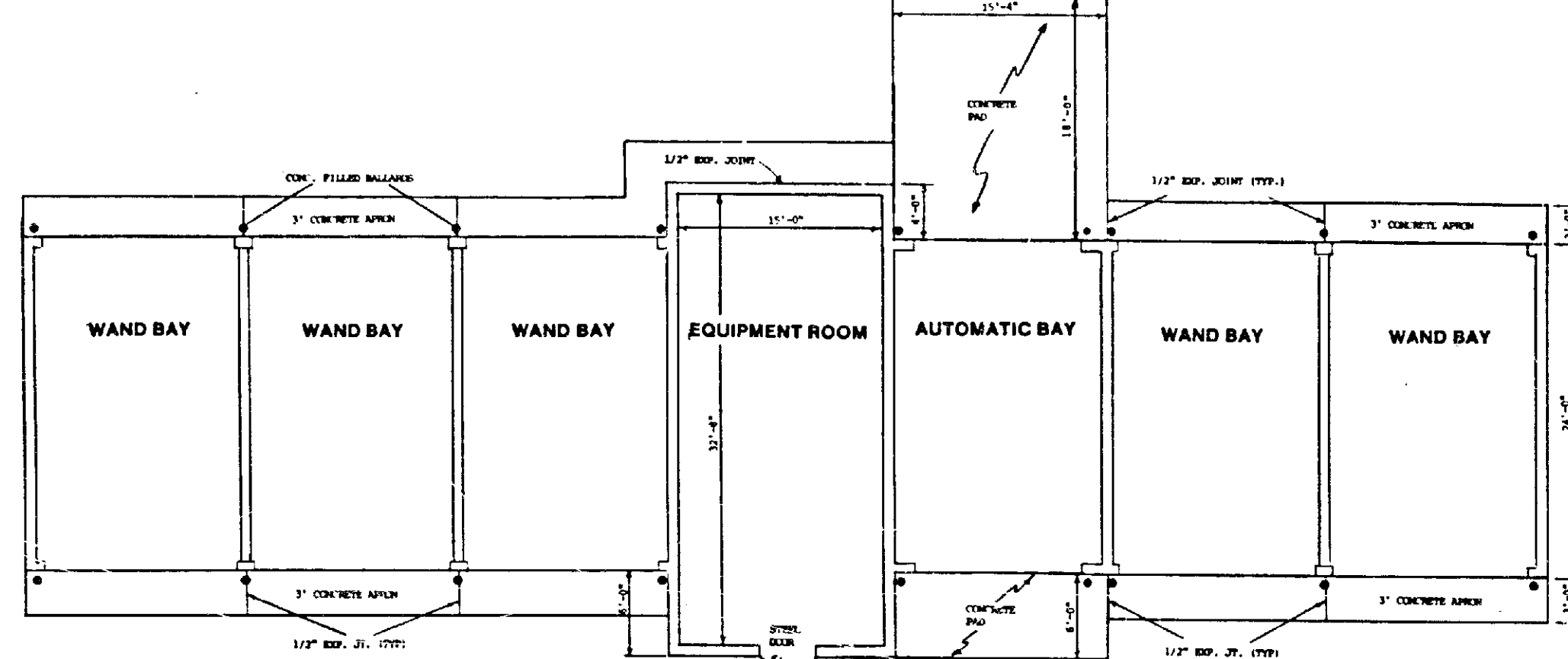
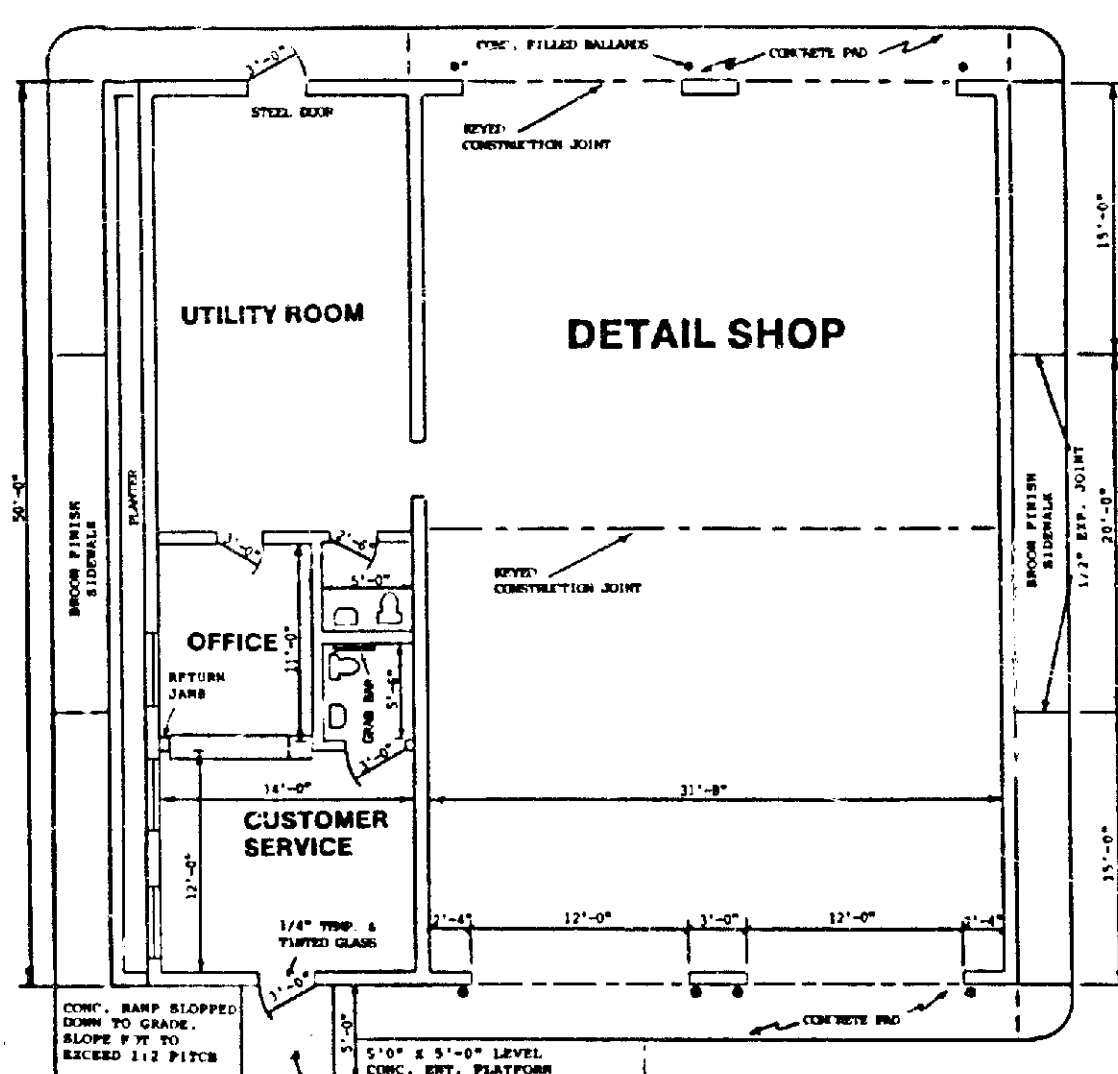
RIGHT ELEVATION
(LEFT ELEVATION SIMILAR)



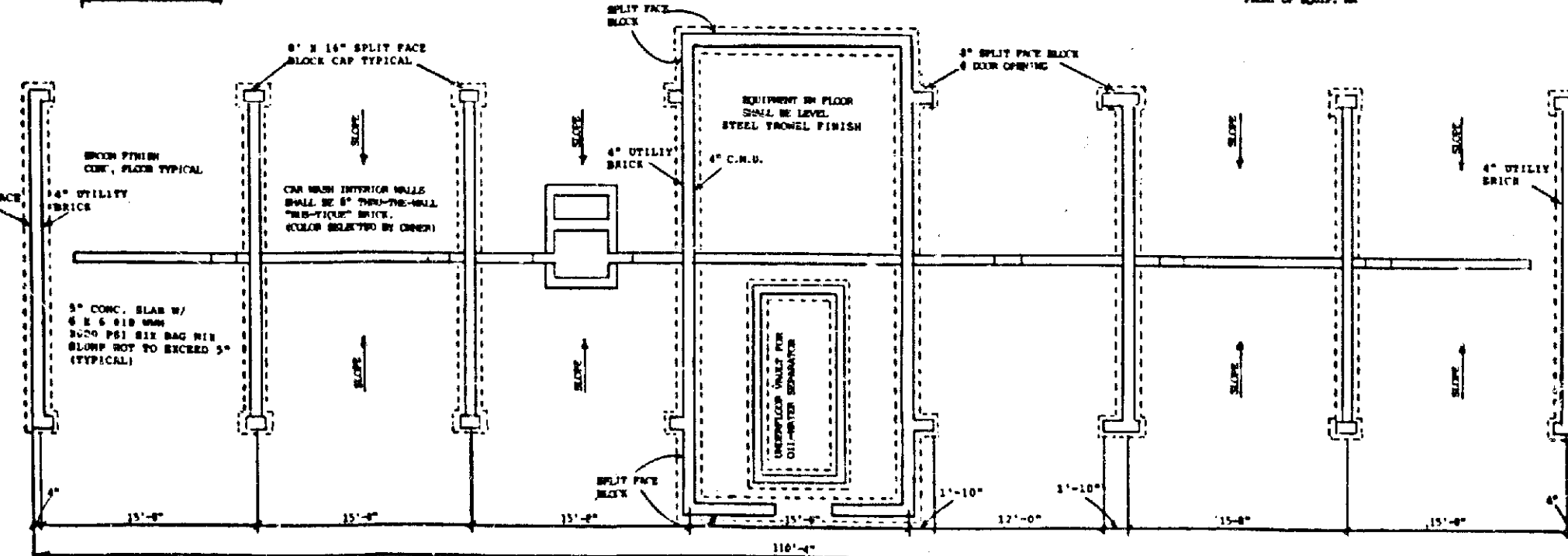
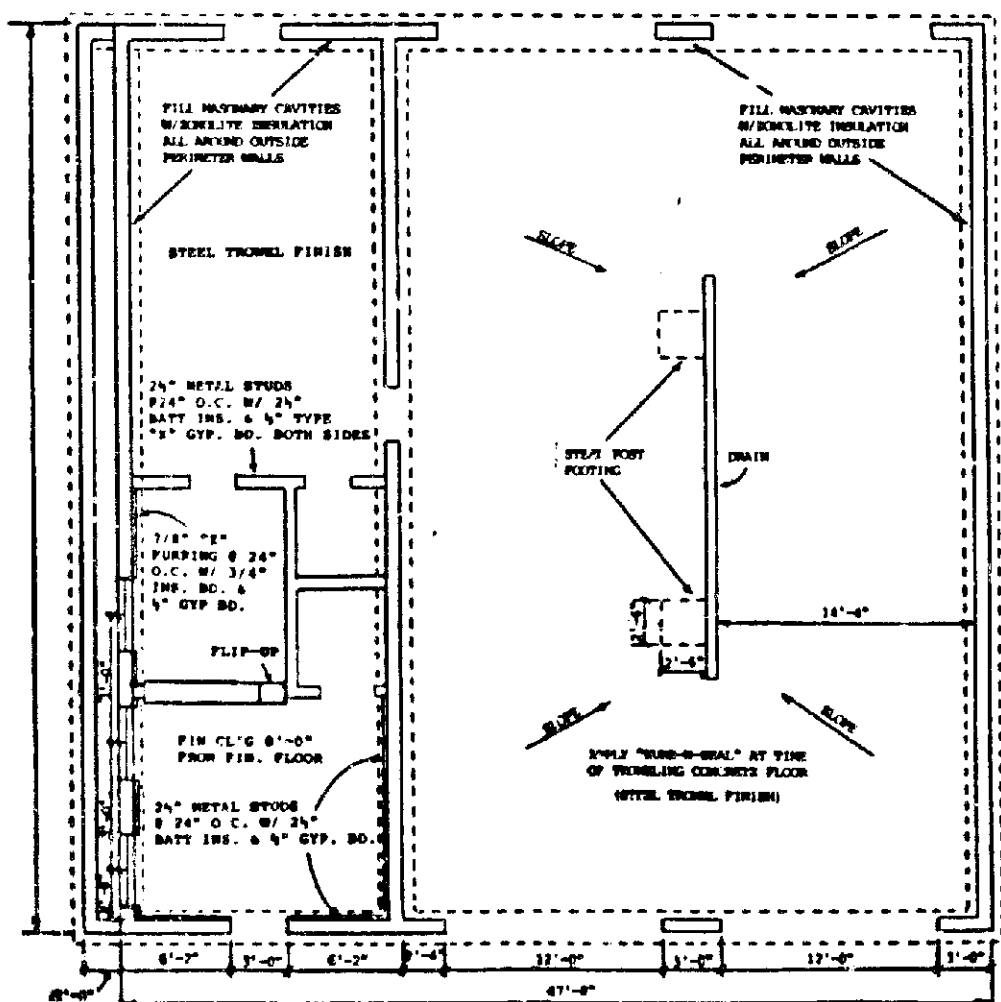
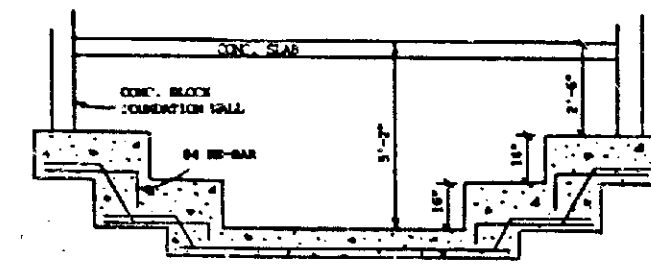
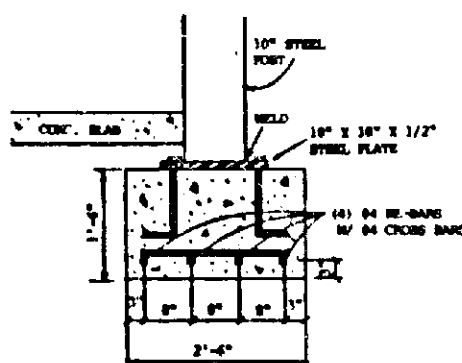
**PETITIONER'S
EXHIBIT** 3a

86-589-A

HILLCREST INDUSTRIES P.O. Box 207 / Churchville, MD 21028		
SERIAL <u>3-10-10</u> DATE <u>9/10/86</u>	APPROVES BY _____ _____	RELEASE BY _____ <u>Key Smith</u>
_____ _____ _____		



FLOOR PLAN



FOUNDATION PLAN

FOUNDATION PLAN
PETITIONER'S
EXHIBIT 3 ⁸⁶⁻⁵

HILLCREST INDUSTRIES P.O. Box 907 / Chert Hills, MO 61088		
NAME <i>Mr. J. P.</i>	ADDRESS <i>1000</i>	CITY <i>St. Louis</i>
STATE <i>Mo.</i>		
		PHONE <i>504-1234</i>