



BALTIMORE COUNTY, MARYLAND

INTER-OFFICE CORRESPONDENCE

Members
TO: Baltimore County Planning Board
Date: August 25, 1987
FROM: Norman E. Gerber, AICP, Director
Office of Planning and Zoning
SUBJECT: Zoning Petition No. CR-87-255; Amended Plans
Dennis Granger Limited Partnership; Cycle IV, Item 3

After reviewing the subject plans, this office believes the petitioner's request for O-1 zoning should be granted if the developer provides access to the site from Brenbrook Road through the intervening properties; otherwise, D.R. 5.5 zoning should be retained. A draft comment has been prepared for your consideration.

Norman E. Gerber, AICP
Director

NEG:sib

Enclosure

cc: William T. Hackett, Chairman
Baltimore County Board of Appeals
Zell Margolis, Esq.
Phyllis Cole Friedman
Carl Richards, Jr., Zoning Coordinator

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COUNTY BOARD OF APPEALS
1987 AUG 26 P 29

CPS-008

BALTIMORE COUNTY, MARYLAND

INTER-OFFICE CORRESPONDENCE

Norman E. Gerber, Director
TO: Office of Planning & Zoning
Date: March 17, 1987
FROM: Thomas J. Bollinger, Acting Chairman
County Board of Appeals
SUBJECT: Case No. CR-87-251
Dennis Granger Ltd. Partnership

Pursuant to the appropriate sections of the Baltimore County Code, we are transmitting to you copies of the amended plans submitted to the County Board of Appeals at a public hearing on March 17, 1987. These are being forwarded to you for processing with the Baltimore County Planning Board.

Thomas J. Bollinger, Acting Chairman

BALTIMORE COUNTY, MARYLAND

INTER-OFFICE CORRESPONDENCE

William T. Hackett, Chairman
TO: County Board of Appeals
Date: April 17, 1987
FROM: Norman E. Gerber, AICP, Director
Office of Planning and Zoning
SUBJECT: Amended Documentation
Reclassification Petition No. CR-87-251; Cycle IV, Item 3
Petitioner: Dennis Granger Limited Partnership
S/S of Liberty Road, 500' N/W of Brenbrook Drive

At its regular meeting on April 16, 1987, the Planning Board adopted the position on this matter of the Director of Planning and Zoning as set forth in his memorandum to you dated April 14, 1987. Please note that the Board did not address the merits of the case.

Norman E. Gerber, AICP
Director

NEG:sib

cc: Phyllis Cole Friedman, People's Counsel
Zell Margolis, Esquire
Carl Richards
J.G. Hoswell

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COUNTY BOARD OF APPEALS
1987 APR 20 A 158

CPS-008

BALTIMORE COUNTY, MARYLAND

INTER-OFFICE CORRESPONDENCE

William T. Hackett, Chairman
TO: County Board of Appeals
Date: April 16, 1987
FROM: Norman E. Gerber, AICP, Director
Office of Planning and Zoning
SUBJECT: Amended Documentation
Reclassification Petition No. CR-87-251; Cycle IV, Item 3
Petitioner: Dennis Granger Limited Partnership
S/S of Liberty Road, 500' N/W of Brenbrook Drive

The amended plans submitted at the Board of Appeals hearing on March 17, 1987 have been reviewed by this office. These plans do not comply with all of the requirements set forth in Section 2-58.1(f) of the Baltimore County Code. Consequently, the petitioner must amend his documentation accordingly and submit such material to the County Board of Appeals, thus repeating the entire amendment process.

Norman E. Gerber, AICP
Director

NEG:sib

cc: Phyllis Cole Friedman, People's Counsel
Zell Margolis, Esquire
Carl Richards
J.G. Hoswell

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CPS-008

BALTIMORE COUNTY, MARYLAND

DRAFT

INTER-OFFICE CORRESPONDENCE

William T. Hackett, Chairman
TO: County Board of Appeals
Date: September 17, 1987
FROM: Norman E. Gerber, AICP, Director
Office of Planning and Zoning
SUBJECT: Zoning Petition No. CR-87-251; Amended Plan
Dennis Granger Limited Partnership; Cycle IV, Item 3

At its regular meeting today, the Baltimore County Planning Board adopted the following comment for the subject petition.

This property is located near the intersection of Liberty and Brenbrook Roads in western Baltimore County. To the east is the site of the proposed Liberty Road Multi-Government Center on D.R. 5.5 zoned land; to the south and west, single-family dwellings on properties zoned D.R. 3.5 and D.R. 5.5; to the north, on the opposite side of Liberty Road, single-family and multi-family residences and an R.O. zoned parcel of land. The petitioner is requesting a change from D.R. 5.5 to the O-1 zoning classification and has submitted documented plans proposing to construct 132,056 square feet of floor area housed in one structure.

Prior to the adoption of the 1984 Comprehensive Zoning Map, the property was zoned D.R. 5.5. During the preparation and processing of the map, the zoning of this property was identified as a specific issue before both the Planning Board and the County Council (part of 2-11). At that time the request was for a change from B.R. zoning. The planning staff recommended D.R. 5.5 zoning; the Planning Board recommended D.R. 10.5 zoning. The County Council reaffirmed the existing D.R. 5.5 zoning here.

The Planning Board believes that O-1 zoning would be appropriate here if access is provided to Brenbrook Road through the intervening properties. If the access is not provided by the petitioner, the Board believes that D.R. 5.5 zoning should be retained.

It is therefore recommended that the petitioner's request for O-1 zoning be granted subject to the provision of access to Brenbrook Road.

Norman E. Gerber, AICP
Director

NEG:sib

CPS-008

BALTIMORE COUNTY, MARYLAND

INTER-OFFICE CORRESPONDENCE

Norman E. Gerber, Director
TO: Office of Planning & Zoning
Date: July 30, 1987
FROM: William T. Hackett, Chairman
County Board of Appeals
SUBJECT: Case No. CR-87-251
Dennis Granger Limited Partnership

Pursuant to the appropriate sections of the Baltimore County Code, we are transmitting to you a copy of the amended plan submitted to the County Board of Appeals at a public hearing on July 30, 1987. This is being forwarded to you for processing with the Baltimore County Planning Board.

William T. Hackett

Attachment

cc: Carl Richards -Zoning Office
(w/10 copies of Amended Site Plan)

BALTIMORE COUNTY, MARYLAND

INTER-OFFICE CORRESPONDENCE

William T. Hackett, Chairman
TO: County Board of Appeals
Date: August 4, 1987
FROM: Norman E. Gerber, AICP, Director
Office of Planning and Zoning
SUBJECT: Zoning Petition No. CR-87-251; Cycle IV, Item 3
Dennis Granger Limited Partnership - Amended Plans

Please note that the Planning Board does not meet during the month of August. Hence, despite the deadline set forth in Section 2-58.1(m) of the Baltimore County Code, the Board will not review this matter until its next regularly scheduled meeting on September 17, 1987.

Norman E. Gerber, AICP
Director

NEG:sib

cc: Zell Margolis, Esq.
Carl Richards
Shirley Hess

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COUNTY BOARD OF APPEALS
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CPS-008

RENEW

Baltimore County Planning Board
Court Building
Bosley Avenue
Towson, Maryland, 21204
ATTN: Joshua Wheeler, Chairman

RENEW, Inc. wishes to go on record as being in support of both the office complex proposed by and the zoning change (from DR 5.5 to O-1) requested by the Dennis Granger Limited Partnership for approximately 7.6 acres of land located on the south side of Liberty Road, west of Brenbrook Road. This support is, however, conditioned to the caveat that the proposed project will follow the site layout, buildings design and other conditions of development per the plans submitted by the Dennis Granger Limited Partnership to the Baltimore County Zoning Appeals Board at the public hearing held on March 17, 1987.

We urge that each Baltimore County office that has a part in the project's approval process apply all necessary safeguards that will insure that final approval will legally bind the petitioner or any subsequent owners of the building rights to the property to the original plans. Should any requests for modifications be made, we expect that sufficient notification will be made to RENEW to allow constructive comments from concerned citizens. For your information, RENEW, Inc. is a coalition of concerned citizens in the Randallstown area organized to promote the welfare of their community.

Sincerely,
Mortimer Bennett
Regional Chairman, RENEW

cc: Councilman Melvin G. Mintz
Baltimore County Board of Appeals
Baltimore County Planning Office
Baltimore County Zoning Office
Liberty Community Development Corporation
Zell Margolis, Esq.
Liberty Road Community Council
Doris Sugar, RENEW

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1987 APR 29 P 157

CERTIFICATE OF PUBLICATION

85844

Pikesville, Md., Feb. 25, 19 87

THIS IS TO CERTIFY, that the annexed advertisement was published in the NORTHWEST STAR, a weekly newspaper published in Pikesville, Baltimore County, Maryland before the 17th day of March 19 87 the first publication appearing on the 25th day of Feb., 19 87 the second publication appearing on the day of , 19 the third publication appearing on the day of , 19

THE NORTHWEST STAR

Manager

Cost of Advertisement \$30.00

BALTIMORE COUNTY, MARYLAND

INTER-OFFICE CORRESPONDENCE

Mr. Walter Hackett, Chairman TO: Board of Appeals Date: December 2, 1986 Office of Planning and Zoning FROM: J. A. Forrest SUBJECT: Reclassification Petitions - Cycle IV

This office is unable at this time to make comments regarding the seventeen properties listed for zoning reclassification without more detailed information on the attached plats.

If you have any questions concerning this matter, you may contact Mr. Gerard A. Zitnik at 494-2762.

Jan J. Forrest, Director BUREAU OF ENVIRONMENTAL SERVICES

Phone 574-2227



ENGINEERING CONSTRUCTION CORP.

Engineers Developers Surveyors 2227 Monocacy Rd., Baltimore, Md. 21221

March 25, 1987

Mr. Arnold Jablon Zoning Commissioner Room 113 County Office Building 111 W. Chesapeake Avenue Towson, Maryland 21204

Re: Item #3 - Cycle #IV

Case No. CR-87-251 DENNIS GRANGER LTD. PARTNERSHIP

Dear Mr. Jablon:

Please find enclosed a copy of the document amending the above referenced zoning reclassification as requested by your office. Thank you for your attention to this matter.

Sincerely,

Steven K. Broyles P.E.

Md. St. Reg. # 14429

Attention: Betty DuBois

SKB/ph

Phone 574-2227



ENGINEERING CONSTRUCTION CORP.

Engineers Developers Surveyors 2227 Monocacy Rd., Baltimore, Md. 21221

March 12, 1987

Mr. William T. Hackett Chairman Board of Appeals Room 200 Court House Towson, Maryland 21202

RE: Item No. 3 - Cycle No. IV Case No. CR-87-251 Petitioner: Dennis Granger Limited Partnership Reclassification Petition

Dear Mr. Hackett:

We request that the above referenced reclassification of zoning from D.R. 5.5 to O-2 be amended to a requested change of zoning from D.R. 5.5 to O-1. Attached is a revised site plan dated 3/5/87 showing the following changes:

- 1. SITE DATA note #2 Proposed zoning O-1
2. Proposed ingress to be a standard 35 feet wide entrance and aligned with Anne Hathaway Drive, as requested by State Highway Administration
3. Access to Brenbrook Rd. is currently being negotiated with Baltimore County and owners of shopping center.

Very Truly Yours

Steven K. Broyles P.E. Project Engineer Zell Margolis Managing Partner Dennis Granger Limited Partnership

BALTIMORE COUNTY, MARYLAND

INTER-OFFICE CORRESPONDENCE

William T. Hackett, Chairman TO: County Board of Appeals Date: April 17, 1987 Norman E. Gerber, AICP, Director FROM: Office of Planning and Zoning Amended Documentation SUBJECT: Reclassification Petition No. CR-87-251 Cycle IV, Item 3 Petitioner: Dennis Granger Limited Partnership 5/5 of Liberty Road, 500' N/W of Brenbrook Drive

At its regular meeting on April 16, 1987, the Planning Board adopted the position on this matter of the Director of Planning and Zoning as set forth in his memorandum to you dated April 14, 1987. Please note that the Board did not address the merits of the case.

Norman E. Gerber, AICP Director

NEG:slb

cc: Phyllis Cole Friedman, People's Counsel Zell Margolis, Esquire Carl Richards J.G. Hoswell

RECEIVED APR 20 1987

ZONING OFFICE

CPS-008

BALTIMORE COUNTY, MARYLAND

INTER-OFFICE CORRESPONDENCE

William T. Hackett, Chairman TO: County Board of Appeals Date: April 19, 1987 Norman E. Gerber, AICP, Director FROM: Office of Planning and Zoning Amended Documentation SUBJECT: Reclassification Petition No. CR-87-251; Cycle IV, Item 3 Petitioner: Dennis Granger Limited Partnership 5/5 of Liberty Road, 500' N/W of Brenbrook Drive

The amended plans submitted at the Board of Appeals hearing on March 17, 1987 have been reviewed by this office. These plans do not comply with all of the requirements set forth in Section 2-58.1(i) of the Baltimore County Code. Consequently, the petitioner must amend his documentation accordingly and submit such material to the County Board of Appeals, thus repeating the entire amendment process.

Norman E. Gerber, AICP Director

NEG:slb

cc: Phyllis Cole Friedman, People's Counsel Zell Margolis, Esquire Carl Richards J.G. Hoswell

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ZONING OFFICE

CPS-008



County Board of Appeals of Baltimore County

Room 200 Court House Towson, Maryland 21204 (301) 494-3180

July 14, 1987

NOTICE OF ASSIGNMENT

NO POSTPONEMENTS WILL BE GRANTED WITHOUT GOOD AND SUFFICIENT REASONS. REQUESTS FOR POSTPONEMENTS MUST BE IN WRITING AND IN STRICT COMPLIANCE WITH BOARD RULE 2(b). ABSOLUTELY NO POSTPONEMENTS WILL BE GRANTED WITHIN FIFTEEN (15) DAYS OF SCHEDULED HEARING DATE IN ACCORDANCE WITH RULE 2(c), COUNTY COUNCIL BILL #59-79.

CASE NO. CR-87-251 DENNIS GRANGER LTD. PARTNERSHIP SW/s Liberty Road, 500' NW c/1 Brenbrook Drive 2nd Election District 2nd Councilmanic District Petition for Zoning Reclassification - from D.R. 5.5 to O-1.

which was continued in open hearing on March 17, 1987 has been set for hearing on July 30, 1987 at 9:30 a.m. for the purpose of accepting amended site plan only--

ASSIGNED FOR: THURSDAY, JULY 30, 1987 at 9:30 a.m.

cc: Dennis Granger Ltd. Partnership c/o Zell Margolis, Esquire Petitioner (General Partner / Counsel) Steven K. Broyles, P.E. Professional Engineer Ms. Doris Sugar Requested Notification Mr. Jim Janas James Earl Kraft Phyllis Cole Friedman People's Counsel Norman E. Gerber James G. Hoswell Arnold Jablon Jean M. H. Jung James E. Dyer Margaret E. du Bois

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ZONING OFFICE

Kathi Weidenhammer Administrative Secretary

BALTIMORE COUNTY, MARYLAND

INTER-OFFICE CORRESPONDENCE

William T. Hackett, Chairman TO: County Board of Appeals Date: September 17, 1987 Norman E. Gerber, AICP, Director FROM: Office of Planning and Zoning Zoning Petition No. CR-87-251; Amended Plan SUBJECT: Dennis Granger Limited Partnership; Cycle IV, Item 3

At its regular meeting today, the Baltimore County Planning Board adopted the following comment for the subject petition.

This property is located near the intersection of Liberty and Brenbrook Roads in western Baltimore County. To the east is the site of the proposed Liberty Road Multi-Government Center on D.R. 5.5 zoned land; to the south and west, single-family dwellings on properties zoned D.R. 3.5 and D.R. 5.5; to the north, on the opposite side of Liberty Road, single-family and multi-family residences and an R.O. zoned parcel of land. The petitioner is requesting a change from D.R. 5.5 to the O-1 zoning classification and has submitted documented plans proposing to construct 132,056 square feet of floor area housed in one structure.

Prior to the adoption of the 1984 Comprehensive Zoning Map, the property was zoned D.R. 5.5. During the preparation and processing of the map, the zoning of this property was identified as a specific issue before both the Planning Board and the County Council (part of 2-11). At that time the request was for a change from B.R. zoning. The planning staff recommended D.R. 5.5 zoning; the Planning Board recommended D.R. 10.5 zoning. The County Council reaffirmed the existing D.R. 5.5 zoning here.

The Planning Board believes that O-1 zoning would be appropriate here if access is provided to Brenbrook Road through the intervening properties. If the access is not provided by the petitioner, the Board believes that D.R. 5.5 zoning should be retained.

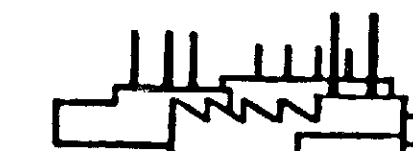
It is therefore recommended that the petitioner's request for O-1 zoning be granted subject to the provision of access to Brenbrook Road.

Norman E. Gerber, AICP Director

NEG:slb

RECEIVED SEP 21 1987 COUNTY BOARD OF APPEALS

CPS-008



ENGINEERING CONSTRUCTION CORP.

Engineers Developers Surveyors 2227 Monocacy Rd., Baltimore, Md. 21221 Phone 301-574-2227

April 9, 1987

Mr. James G. Hoswell Planner II Baltimore County Office of Planning & Zoning 101 Bosley Avenue Towson, Maryland 21204

Re: Item No.3 Cycle IV Case No. CR-87-251 Petitioner: Dennis Granger Limited Partnership Reclassification Petition

Dear Mr. Hoswell:

Please find enclosed a copy of the revised site plan and elevation drawings for the above referenced project. We have made the changes as suggested by Planning and Zoning at the joint meeting on April 3, 1987. If you have any questions please call.

Sincerely Yours,

Steven K. Broyles, P.E. Rd St Reg #14429

SKB/ph

cc: Carl Richards James Oyle Dave Fields

**SITE DATA**

- TOTAL GROSS AREA OF SITE = 343,576 sq. ft. = 7.88743 ac.
- TOTAL NET AREA OF SITE = 330,860 sq. ft. = 7.59549 ac.
- EXISTING ZONING D.R. 5.5; PROPOSED ZONING O-1
- EXISTING USE SINGLE FAMILY DWELLING AND BUSINESS (SNO-BALL STAND)
- PROPOSED USE CLASS C OFFICE BUILDING = 122,156 sq. ft.
- ACCESSORY COMMERCIAL USE WITHIN CLASS C OFFICE BUILDING: BANKS; PHOTOCOPIING ESTABLISHMENTS, TRAVEL BUREAUS, EATING OR DRINKING ESTABLISHMENTS WITHOUT DANCING OR LIVE ENTERTAINMENT AND SECRETARIAL SERVICE ESTABLISHMENTS.
- ACCESSORY COMMERCIAL USE NOT TO EXCEED 9,900 sq. ft. = 0.7% OF ADJUSTED GROSS FLOOR AREA AND TO CONFORM TO BALTIMORE COUNTY ZONING REGULATIONS 204.3.A.3 and 204.3.C.1.
- PROPOSED ADJUSTED GROSS FLOOR AREA = 132,056 sq. ft.
- PROPOSED FLOOR AREA RATIO = ADJ. FLOOR AREA = 132,056 sq. ft. / GROSS SITE AREA = 343,576 sq. ft. = 0.384
- PROPOSED AMENITY OPEN SPACE: GREEN AREA, TERRACE AND GARDEN = 109,907 sq. ft.
- PROPOSED % OF AMENITY OPEN SPACE = AMENITY OPEN SPACE = 109,907 sq. ft. / NET SITE AREA = 330,860 sq. ft. = 33.28%
- GREEN AREA = 104,522 = 31.59 % of NET LOT AREA
- THIS SITE DOES NOT LIE WITHIN THE 100 YEAR FLOOD PLAIN

**PARKING DATA**

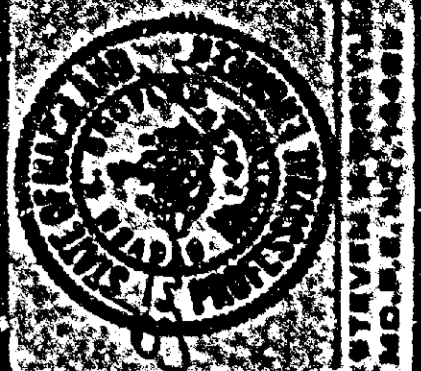
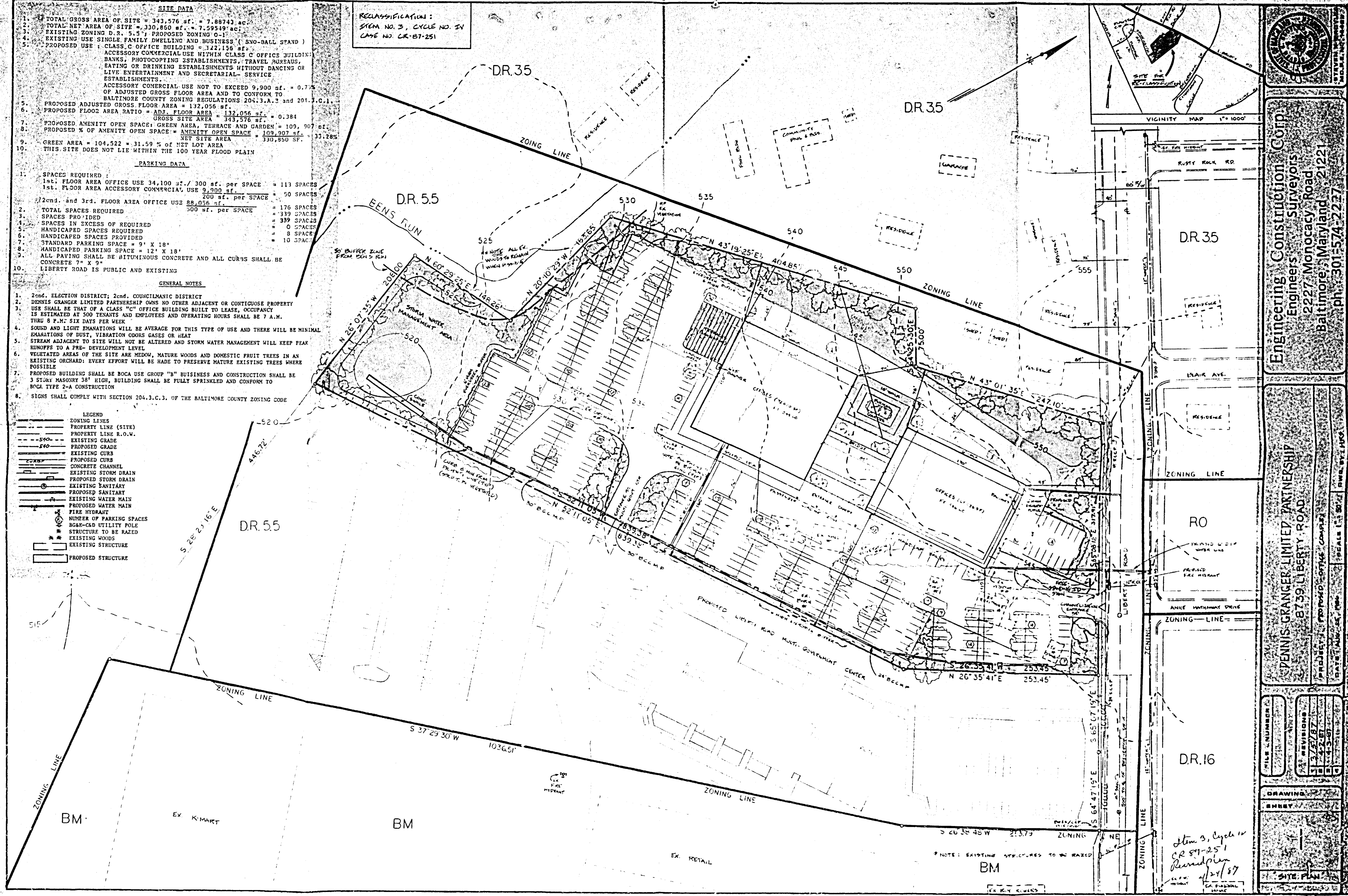
- SPACES REQUIRED:
  - 1st. FLOOR AREA OFFICE USE 34,100 sq. ft. / 300 sq. ft. per SPACE = 113 SPACES
  - 1st. FLOOR AREA ACCESSORY COMMERCIAL USE 9,900 sq. ft. / 200 sq. ft. per SPACE = 50 SPACES
  - 2nd. and 3rd. FLOOR AREA OFFICE USE 88,056 sq. ft. / 500 sq. ft. per SPACE = 176 SPACES
- TOTAL SPACES REQUIRED = 339 SPACES
- SPACES PROVIDED = 339 SPACES
- SPACES IN EXCESS OF REQUIRED = 0 SPACES
- HANDICAPPED SPACES REQUIRED = 8 SPACES
- HANDICAPPED SPACES PROVIDED = 10 SPACES
- STANDARD PARKING SPACE = 9' x 18'
- HANDICAPPED PARKING SPACE = 12' x 18'
- ALL PAVING SHALL BE BITUMINOUS CONCRETE AND ALL CURBS SHALL BE CONCRETE 7" x 9"
- LIBERTY ROAD IS PUBLIC AND EXISTING

**GENERAL NOTES**

- 2nd. ELECTION DISTRICT; 2nd. COUNCILMANIC DISTRICT
- DENNIS GRANGER LIMITED PARTNERSHIP OWNS NO OTHER ADJACENT OR CONTIGUOUS PROPERTY USE SHALL BE THAT OF A CLASS "C" OFFICE BUILDING BUILT TO LEASE, OCCUPANCY IS ESTIMATED AT 500 TENANTS AND EMPLOYEES AND OPERATING HOURS SHALL BE 7 A.M. THRU 8 P.M. SIX DAYS PER WEEK
- SOUND AND LIGHT EMANATIONS WILL BE AVERAGE FOR THIS TYPE OF USE AND THERE WILL BE MINIMAL EMANATIONS OF DUST, VIBRATION ODORS GASES OR HEAT
- STREAM ADJACENT TO SITE WILL NOT BE ALTERED AND STORM WATER MANAGEMENT WILL KEEP PEAK RUNOFFS TO A PRE-DEVELOPMENT LEVEL
- VEGETATED AREAS OF THE SITE ARE MEADOW, MATURE WOODS AND DOMESTIC FRUIT TREES IN AN EXISTING ORCHARD; EVERY EFFORT WILL BE MADE TO PRESERVE MATURE EXISTING TREES WHERE POSSIBLE
- PROPOSED BUILDING SHALL BE BOCA USE GROUP "B" BUSINESS AND CONSTRUCTION SHALL BE 3 STORY MASONRY 38' HIGH, BUILDING SHALL BE FULLY SPRINKLED AND CONFORM TO BOCA TYPE 2-A CONSTRUCTION
- SIGNS SHALL COMPLY WITH SECTION 204.3.C.3. OF THE BALTIMORE COUNTY ZONING CODE

- LEGEND**
- ZONING LINES
  - PROPERTY LINE (SITE)
  - PROPERTY LINE (A.O.W.)
  - EXISTING GRADE
  - PROPOSED GRADE
  - EXISTING CURB
  - PROPOSED CURB
  - CONCRETE CHANNEL
  - EXISTING STORM DRAIN
  - PROPOSED STORM DRAIN
  - EXISTING SANITARY
  - PROPOSED SANITARY
  - EXISTING WATER MAIN
  - PROPOSED WATER MAIN
  - FIRE HYDRANT
  - NUMBER OF PARKING SPACES
  - BG&E-C&D UTILITY POLE
  - STRUCTURE TO BE RAZED
  - EXISTING WOODS
  - EXISTING STRUCTURE
  - PROPOSED STRUCTURE

RECLASSIFICATION:  
 ITEM NO. 3, CYCLE NO. IV  
 CASE NO. CR-87-251



**Engineering Construction Corp**  
 Engineers, Surveyors  
 2227 Monocacy Road  
 Baltimore, Maryland 21221  
 Ph. 301-574-2227

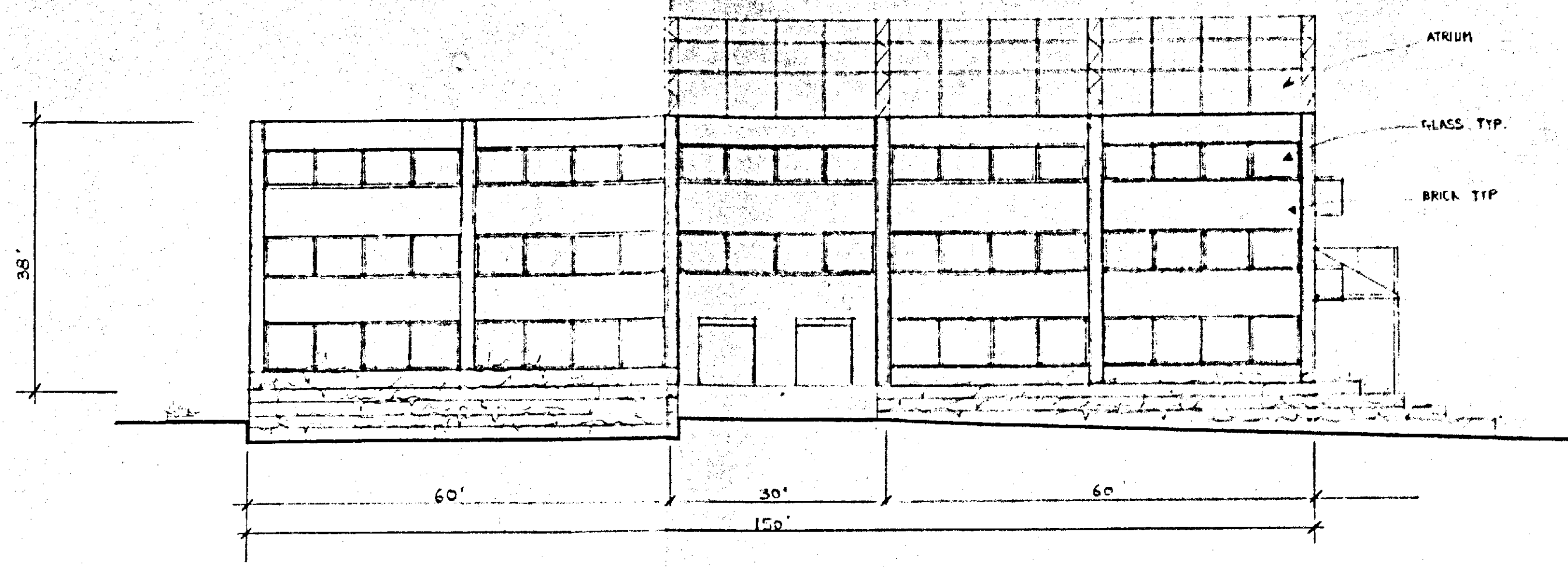
**DENNIS GRANGER LIMITED PARTNERSHIP**  
 8739 LIBERTY ROAD  
 PROPERTY PROPOSED OFFICE COMPLEX  
 DATE: 11/24/87

FILE NUMBER	11/24/87
REVISIONS	1. 11/24/87
BY	11/24/87
DATE	11/24/87

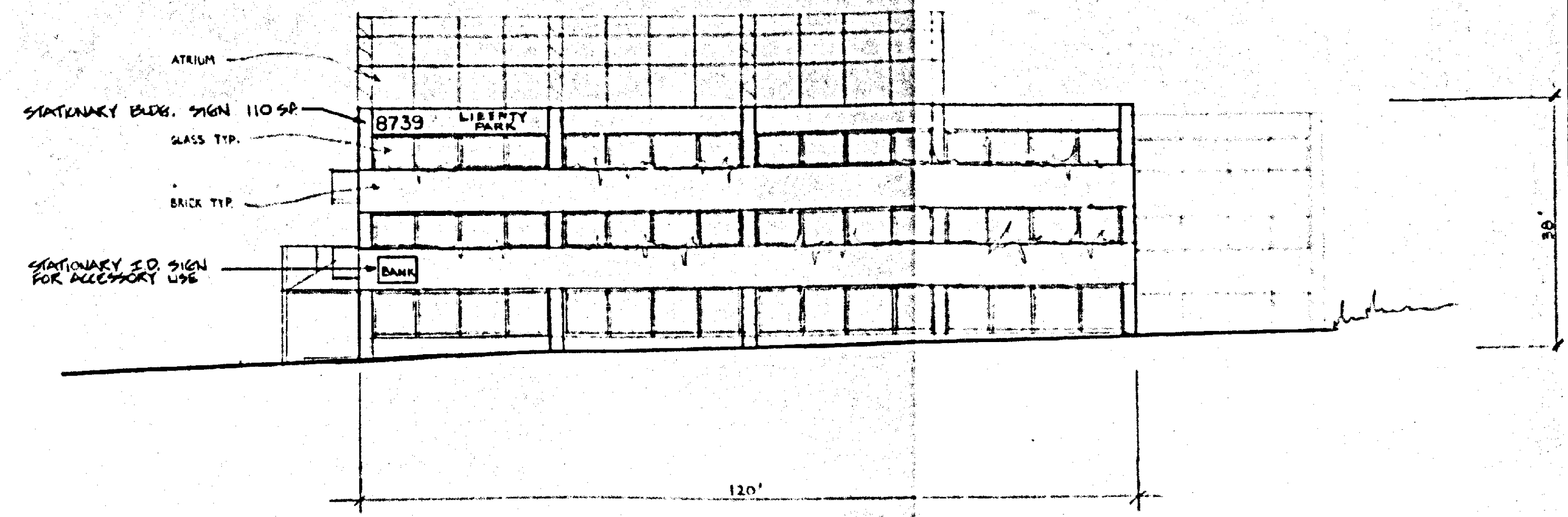
**DRAWING**  
 SHEET  
 SITE PLAN

Item 3, Cycle IV  
 CR 87-251  
 P. Granger  
 11/24/87

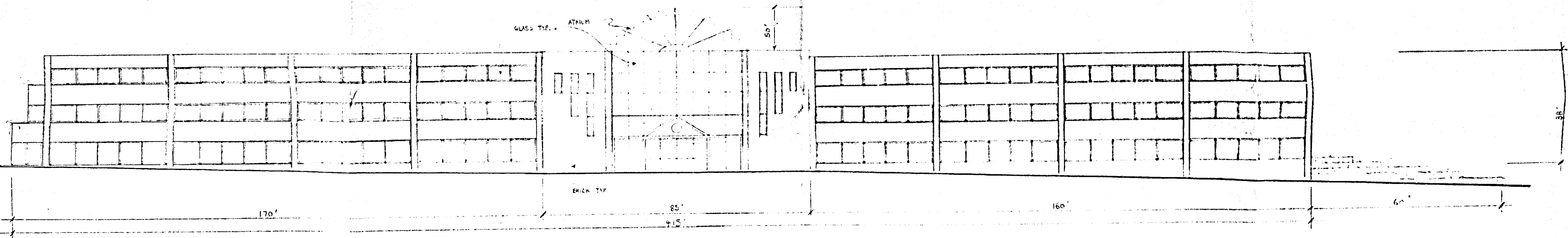
\*NOTE: EXISTING STRUCTURES TO BE RAZED



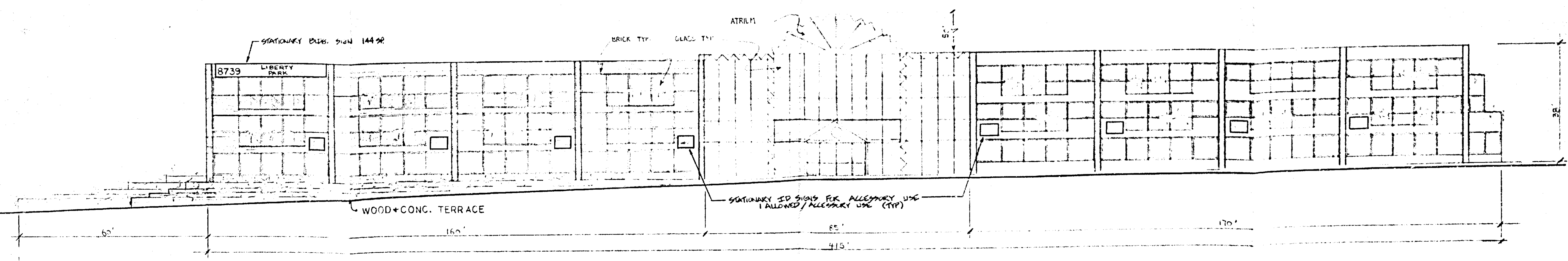
SOUTH ELEVATION



NORTH ELEVATION



WEST ELEVATION



EAST ELEVATION



Engineering Construction Corp  
 Engineers Surveyors  
 2227 Monocacy Road  
 Baltimore, Maryland 21221  
 301.574.2027

DENNIS GRANGER LIMITED PARTNERSHIP  
 8719 LIBERTY ROAD  
 BALTIMORE, MD 21221  
 301.574.2027

FILE NO. NUMBER  
 DRAWING NO.  
 SHEET NO.

DRAWN BY  
 CHECKED BY

2  
 ELEVATION PLATE

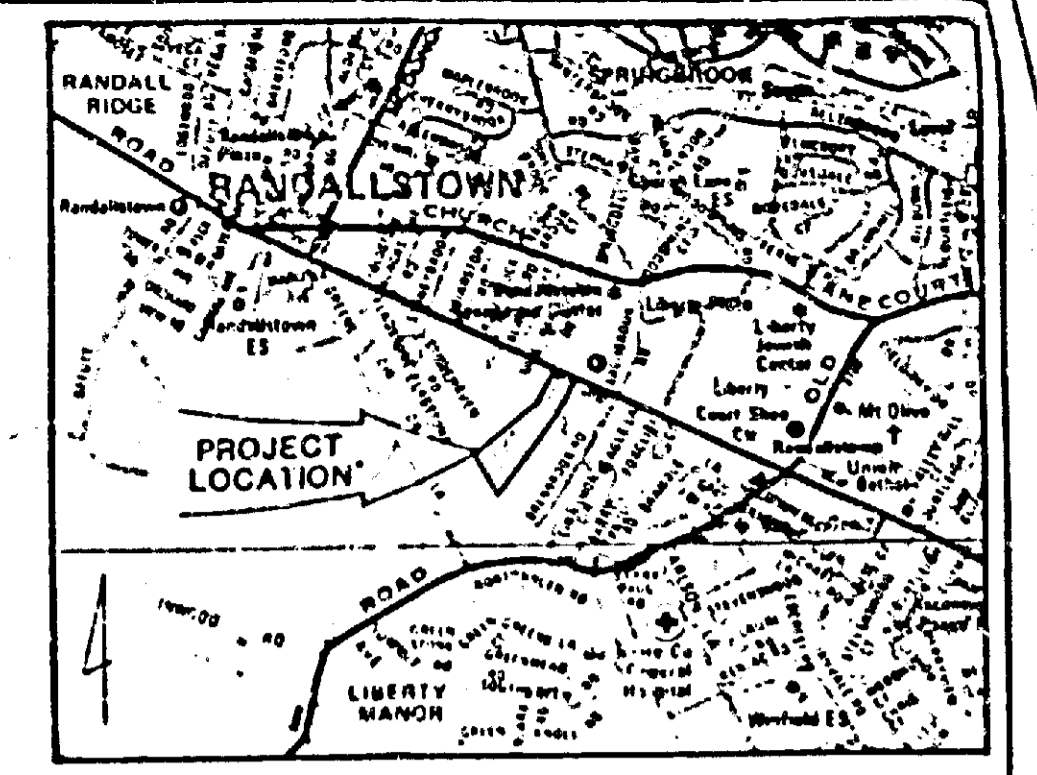
Petitioner Sub 1

**SURFACE FINISH SCHEDULE**

SYMBOL	DESCRIPTION	LOCATION
(H)	Bifuminous Concrete Entrance Drive and Bus Lane Paving	Inv. to C-2
(P)	bit. Conc. Parking Lot Paving	"
(C)	Concrete Curb	"
(M)	Manhole Curbs	"
(W)	Precast Concrete Storm Drains	"

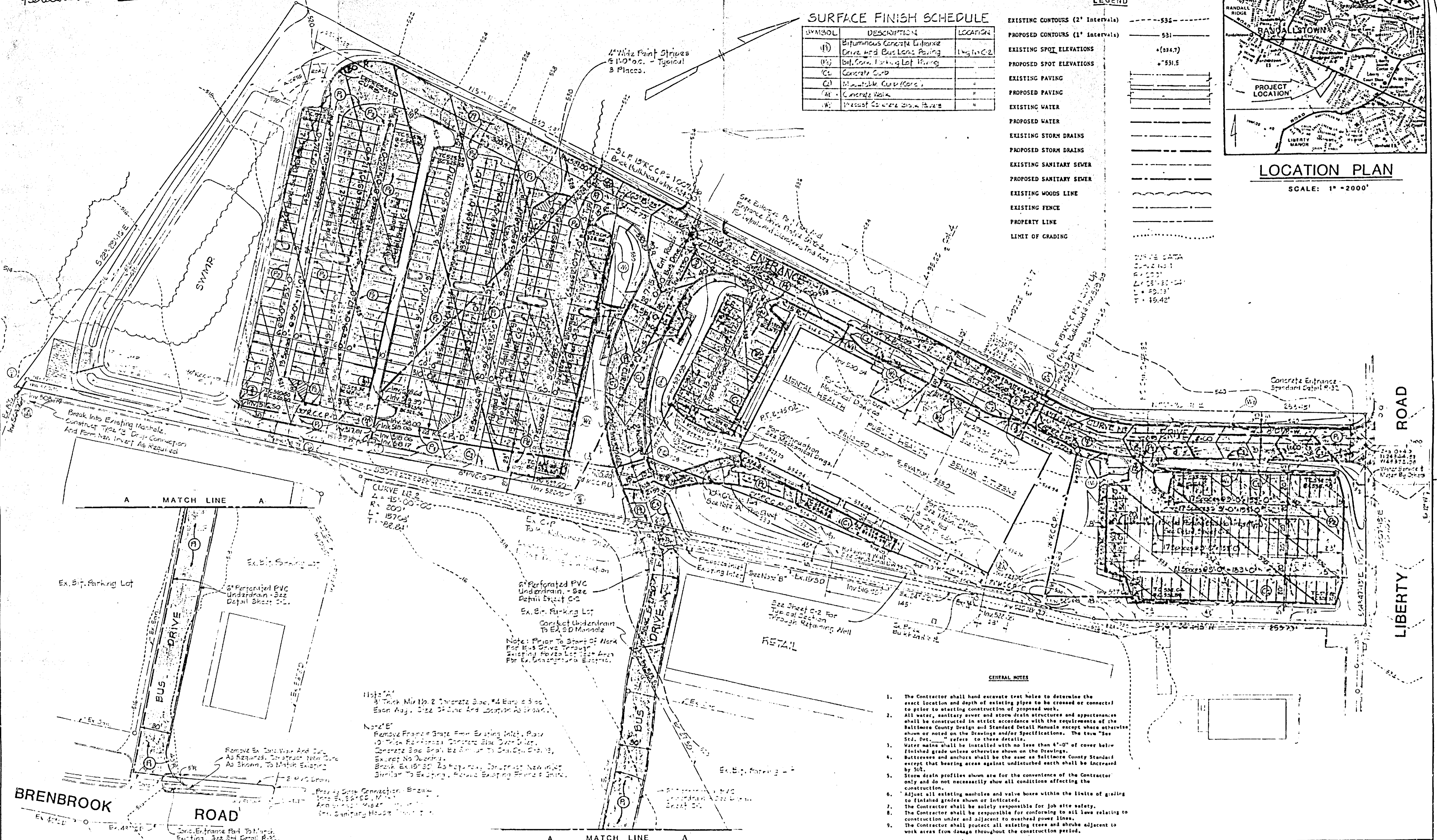
**LEGEND**

EXISTING CONTOURS (2' Intervals)	---
PROPOSED CONTOURS (1' Intervals)	---
EXISTING SPOT ELEVATIONS	+ (534.7)
PROPOSED SPOT ELEVATIONS	+ 531.5
EXISTING PAVING	=====
PROPOSED PAVING	=====
EXISTING WATER	~~~~~
PROPOSED WATER	~~~~~
EXISTING STORM DRAINS	-----
PROPOSED STORM DRAINS	-----
EXISTING SANITARY SEWER	-----
PROPOSED SANITARY SEWER	-----
EXISTING WOODS LINE	~~~~~
PROPERTY LINE	-----
LIMIT OF GRADING	-----



**LOCATION PLAN**

SCALE: 1" = 2000'



**GENERAL NOTES**

- The Contractor shall hand excavate test holes to determine the exact location and depth of existing pipes to be crossed or connected prior to starting construction of proposed work.
- All water, sanitary sewer and storm drain structures and appurtenances shall be constructed in strict accordance with the requirements of the Baltimore County Design and Standard Detail Manual except where otherwise shown or noted on the Drawings and/or Specifications. The term "See Std. Det." refers to these details.
- Water mains shall be installed with no less than 4'-0" of cover below finished grade unless otherwise shown on the Drawings.
- Buttresses and anchors shall be the same as Baltimore County Standard except that bearing areas against undisturbed earth shall be increased by 50%.
- Storm drain profiles shown are for the convenience of the Contractor only and do not necessarily show all conditions affecting the construction.
- Adjust all existing manholes and valve boxes within the limits of grading to finished grades shown or indicated.
- The Contractor shall be solely responsible for job site safety.
- The Contractor shall be responsible for conforming to all laws relating to construction under and adjacent to overhead power lines.
- The Contractor shall protect all existing trees and shrubs adjacent to work areas from damage throughout the construction period.

CITY OF BALTIMORE			
DIRECTOR	DATE	TITLE, WATER ENR. DIVISION	DATE
DEPT. OF PUBLIC WORKS		BUS. OF WATER AND WASTEWATER	
DATE	RIGHT OF WAY	REF.	ROAD PERM. T AND GRADES
			P. W. & DIR. NO.
			CONTRACT NO.
			REVISED AS PER RECORD PRINT
			JO
			DRAFTSMAN
			DATE
			PERMIT REQUESTED
			PERMIT NUMBER
			GRADE ESTABLISHED
			PROFILE NUMBER

BUREAU OF ENGINEERING			
HIGHWAYS	STRUCTURES	STORM DRAINS	WATER
SEWER	WILD ENGINEER	DEPARTMENT OF PUBLIC WORKS	
APPROVED	DATE	APPROVED	DATE

**SKARDA & ASSOCIATES, INC.** STRUCTURAL ENGINEERS  
 4806 YORK ROAD BALTIMORE, MARYLAND, 21212

**EGLI & GOMPF, INC.** MECHANICAL / ELECTRICAL ENGINEERING.  
 2217 ST. PAUL STREET BALTIMORE, MARYLAND, 21218

**DAVID L. GREGORY & ASSOCIATES, INC.** LANDSCAPE ARCH./CIVIL ENG'G.  
 3300 NORTH RIDGE ROAD ELLICOTT CITY, MARYLAND, 21043

**N C P INCORPORATED / ARCHITECTS**  
 401 WASHINGTON AVENUE TOWSON, MARYLAND, 21204

BALTIMORE COUNTY DEPARTMENT OF PUBLIC WORKS BUREAU OF ENGINEERING

**SITE PLAN**  
**LIBERTY ROAD MULTI-GOVERNMENT CENTER**  
 EL. DISTRICT NO. 2

SCALE: 1" = 40'
PROJECT NUMBER 79-15
DATE: OCT. 27, 1986
JOB ORDER NO. 50-3-3/16-7-2
SHEET C-1 OF 2
DWG. NO. CD-C-1
FILE:

**SITE DATA**

- TOTAL GROSS AREA OF SITE = 343,576 sq. ft. = 7.88743 ac.
- TOTAL NET AREA OF SITE = 330,860 sq. ft. = 7.59549 ac.
- EXISTING ZONING D.R. 5.5; PROPOSED ZONING O-1
- EXISTING USE SINGLE FAMILY DWELLING AND BUSINESS (SNO-BALL STAND)
- PROPOSED USE: CLASS C OFFICE BUILDING = 122,156 sq. ft.
- ACCESSORY COMMERCIAL USE WITHIN CLASS C OFFICE BUILDING: BANKS, PHOTOCOPIING ESTABLISHMENTS, TRAVEL BUREAUS, EATING OR DRINKING ESTABLISHMENTS WITHOUT DANCING OR LIVE ENTERTAINMENT AND SECRETARIAL SERVICE ESTABLISHMENTS.
- ACCESSORY COMMERCIAL USE NOT TO EXCEED 9,900 sq. ft. = 0.75% OF ADJUSTED GROSS FLOOR AREA AND TO CONFORM TO BALTIMORE COUNTY ZONING REGULATIONS 204.3.A.3 and 201.3.C.1.
- PROPOSED ADJUSTED GROSS FLOOR AREA = 132,056 sq. ft.
- PROPOSED FLOOR AREA RATIO =  $\frac{\text{ADJ. FLOOR AREA}}{\text{GROSS SITE AREA}} = \frac{132,056}{343,576} = 0.381$
- PROPOSED AMENITY OPEN SPACE: GREEN AREA, TERRACE AND GARDEN = 109,907 sq. ft.
- PROPOSED % OF AMENITY OPEN SPACE =  $\frac{\text{AMENITY OPEN SPACE}}{\text{NET SITE AREA}} = \frac{109,907}{330,860} = 33.14\%$
- GREEN AREA = 104,522 = 31.59% of NET LOT AREA
- THIS SITE DOES NOT LIE WITHIN THE 100 YEAR FLOOD PLAIN

**PARKING DATA**

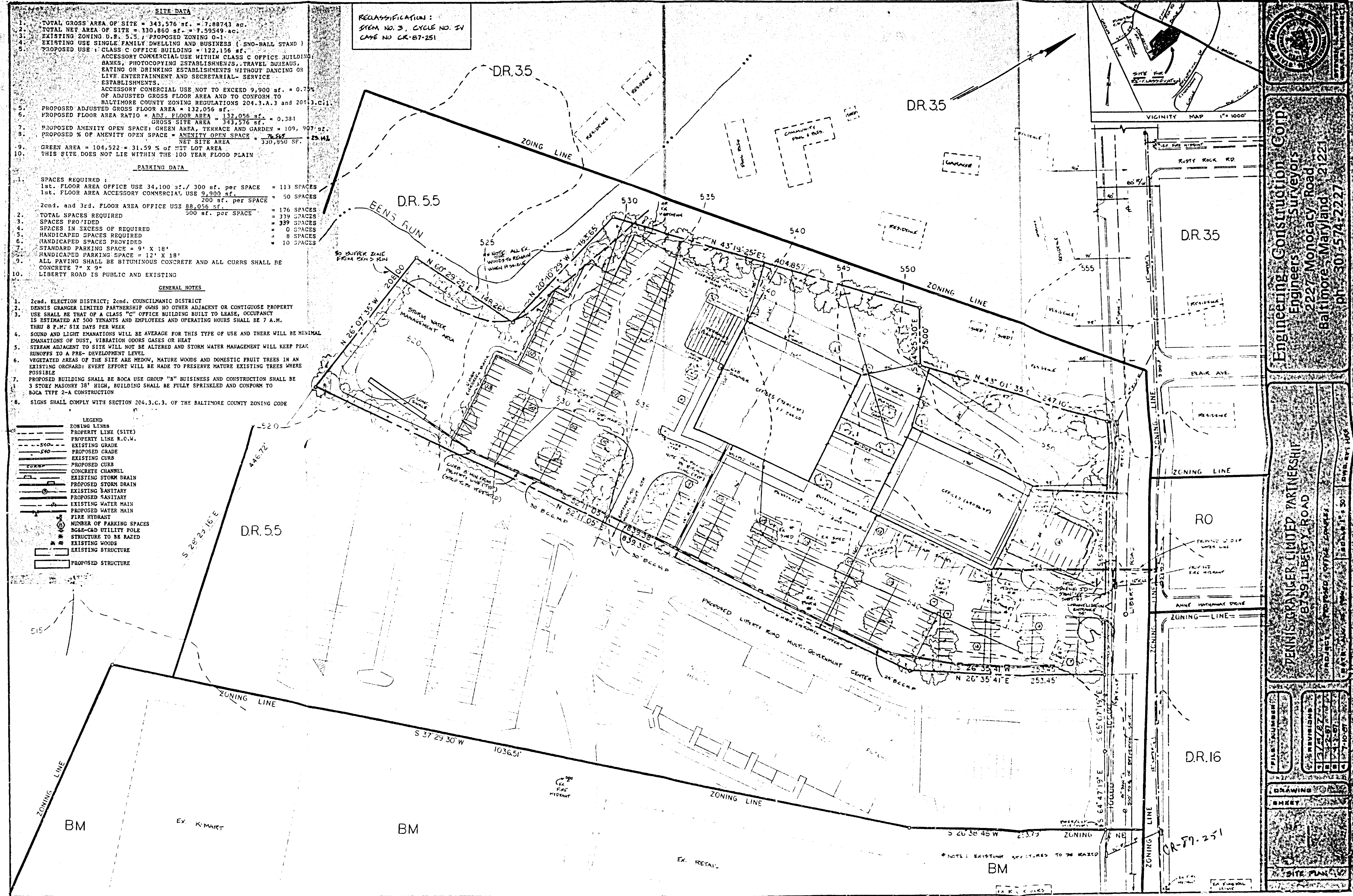
- SPACES REQUIRED:
  - 1st. FLOOR AREA OFFICE USE 34,100 sq. ft. / 300 sq. ft. per SPACE = 113 SPACES
  - 1st. FLOOR AREA ACCESSORY COMMERCIAL USE 9,900 sq. ft. / 200 sq. ft. per SPACE = 50 SPACES
  - 2nd, and 3rd. FLOOR AREA OFFICE USE 88,056 sq. ft. / 200 sq. ft. per SPACE = 176 SPACES
- TOTAL SPACES REQUIRED = 339 SPACES
- SPACES PROVIDED = 339 SPACES
- SPACES IN EXCESS OF REQUIRED = 0 SPACES
- HANDICAPPED SPACES REQUIRED = 8 SPACES
- HANDICAPPED SPACES PROVIDED = 10 SPACES
- STANDARD PARKING SPACE = 9' x 18'
- HANDICAPPED PARKING SPACE = 12' x 18'
- ALL PAVING SHALL BE BITUMINOUS CONCRETE AND ALL CURBS SHALL BE CONCRETE 7" x 9"
- LIBERTY ROAD IS PUBLIC AND EXISTING

**GENERAL NOTES**

- 2nd. ELECTION DISTRICT; 2nd. COUNCILMANIC DISTRICT
- DENNIS GRANGER LIMITED PARTNERSHIP OWNS NO OTHER ADJACENT OR CONTIGUOUS PROPERTY USE SHALL BE THAT OF CLASS "C" OFFICE BUILDING BUILT TO LEASE. OCCUPANCY IS ESTIMATED AT 500 TENANTS AND EMPLOYEES AND OPERATING HOURS SHALL BE 7 A.M. THRU 8 P.M. SIX DAYS PER WEEK
- SOUND AND LIGHT EMANATIONS WILL BE AVERAGE FOR THIS TYPE OF USE AND THERE WILL BE MINIMAL EMANATIONS OF DUST, VIBRATION ODORS GASES OR HEAT
- STREAM ADJACENT TO SITE WILL NOT BE ALTERED AND STORM WATER MANAGEMENT WILL KEEP PEAK RUNOFFS TO A PRE-DEVELOPMENT LEVEL
- VEGETATED AREAS OF THE SITE ARE MEADOW, MATURE WOODS AND DOMESTIC FRUIT TREES IN AN EXISTING ORCHARD; EVERY EFFORT WILL BE MADE TO PRESERVE MATURE EXISTING TREES WHERE POSSIBLE
- PROPOSED BUILDING SHALL BE BOCA USE GROUP "B" BUSINESS AND CONSTRUCTION SHALL BE 3 STORY MASONRY 38' HIGH, BUILDING SHALL BE FULLY SPRINKLED AND CONFORM TO BOCA TYPE 2-A CONSTRUCTION
- SIGNS SHALL COMPLY WITH SECTION 204.3.C.3. OF THE BALTIMORE COUNTY ZONING CODE

RECLASSIFICATION:  
STEM NO. 3, CYCLE NO. IV  
CASE NO. CR-87-251

- LEGEND**
- ZONING LINES
  - PROPERTY LINE (SITE)
  - PROPERTY LINE R.C.W.
  - EXISTING GRADE
  - PROPOSED GRADE
  - EXISTING CURB
  - PROPOSED CURB
  - CONCRETE CHANNEL
  - EXISTING STORM DRAIN
  - PROPOSED STORM DRAIN
  - EXISTING SANITARY
  - PROPOSED SANITARY
  - EXISTING WATER MAIN
  - PROPOSED WATER MAIN
  - FIRE HYDRANT
  - NUMBER OF PARKING SPACES
  - BOCA-CAD UTILITY POLE
  - STRUCTURE TO BE RAZED
  - EXISTING WOODS
  - EXISTING STRUCTURE
  - PROPOSED STRUCTURE



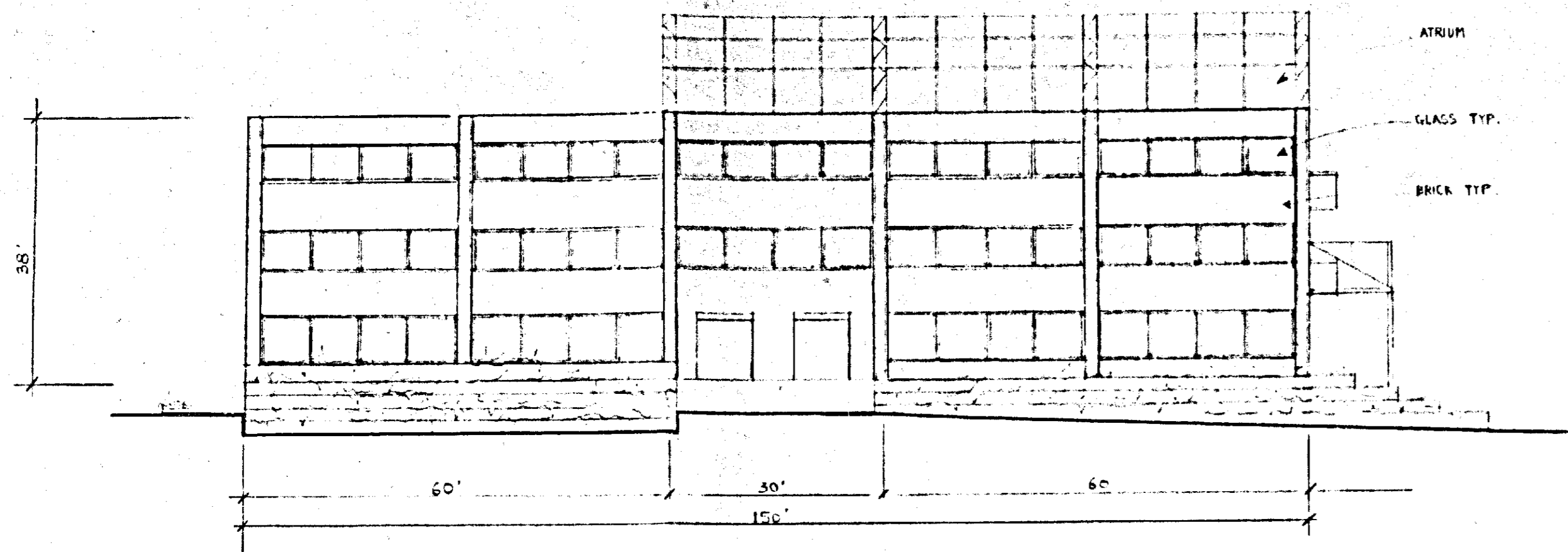
Engineering Construction Corp  
Engineers Surveyors  
2227 Monocacy Road  
Baltimore, Maryland 21221  
ph: 301-574-2227

DENNIS GRANGER LIMITED PARTNERSHIP  
8739 LIBERTY ROAD  
Baltimore, Maryland 21286  
ph: 301-574-2227

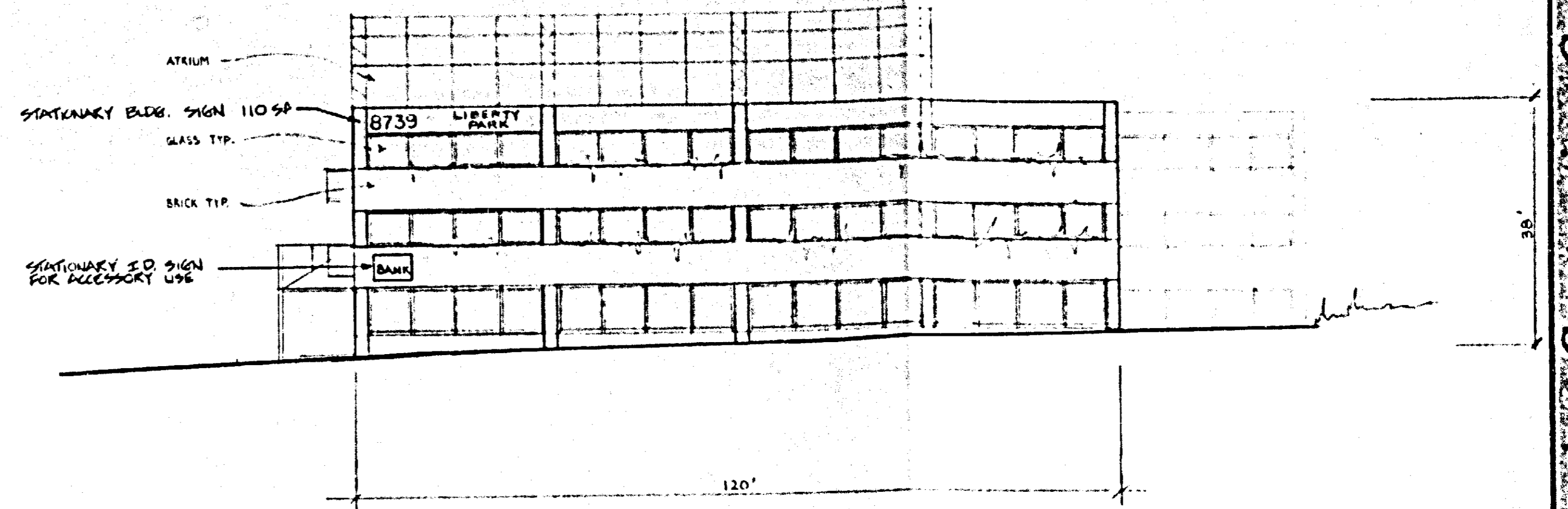
FILE NUMBER	3/25/87
REVISIONS	1-2-87
DRAWING SHEET	1 OF 2
SITE PLAN	

\*NOTE: EXISTING STRUCTURES TO BE RAZED

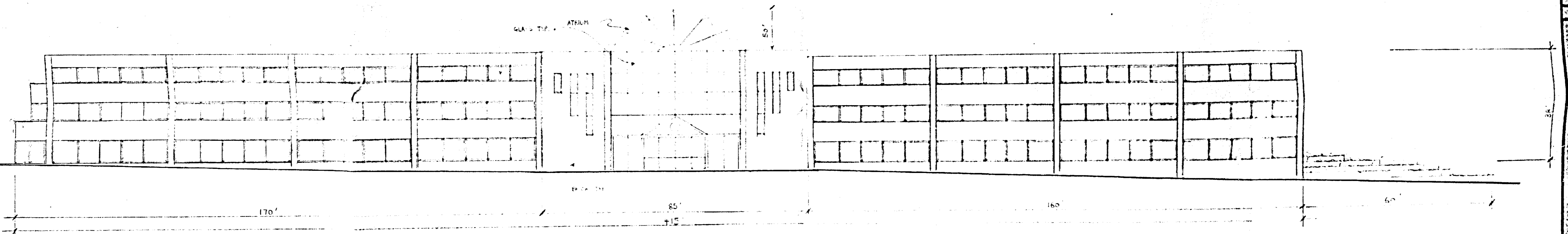
CR-87-251



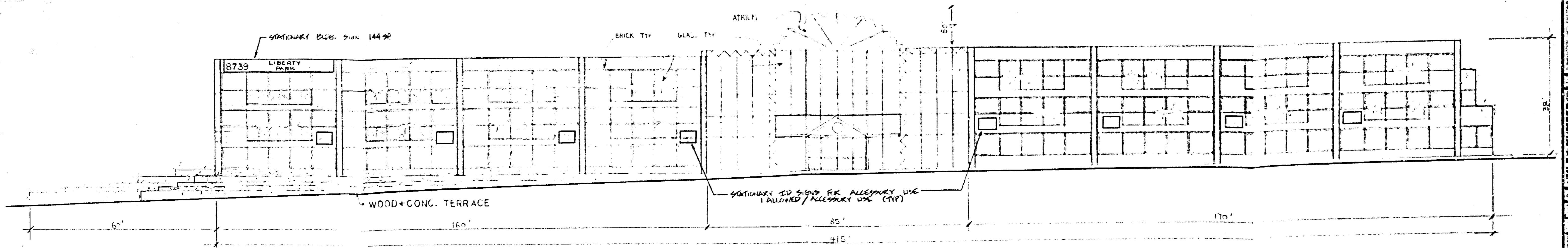
SOUTH ELEVATION



NORTH ELEVATION



WEST ELEVATION



EAST ELEVATION



Engineering Construction Corp.  
 Engineers Surveyors  
 2227 Monocacy Road  
 Baltimore, Maryland 21221  
 Ph: 501-574-2227

DENNIS GRANGER LIMITED PARTNERSHIP  
 8739 LIBERTY ROAD  
 BALTIMORE, MARYLAND 21221  
 PROPOSED OFFICE COMPLEX

FILE NO.	DATE

DRAWING SHEET

ELEVATION PLAN







**ENGINEERING CONSTRUCTION CORP.**  
Engineers Developers Surveyors  
2227 Monocacy Rd., Baltimore, Md. 21221

**Environmental Impact Statement**  
For Proposed Development At 8739 Liberty Road

The existing site is 7.59 acres which is used primarily as a residence, road side stand and farm. Mature hardwoods cover 52,000 s.f. or 15% of the site, existing impervious surfaces cover 37,000 s.f. or 11% and the balance or 74% of the site has been cultivated for agricultural use as a truck farm with an orchard of fruit trees currently in production. The proposed development would be a well landscaped Office Park retaining 31.6% green area, 67% impervious surfaces and the remaining 1.4% of space would be landscaped terraces and gardens.

Careful planning of this project has resulted in a facility that is unobtrusive to the existing community and has a minimal impact on the existing environmental and ecological systems of this site and the adjacent lands. A comprehensive design was developed to accomplish this by including the following items:

- 60% of the existing mature hardwoods on this site will remain undisturbed, and every effort will be made to integrate existing trees into proposed landscaped areas where clearing is necessary. The majority of areas to be cleared have been previously disturbed by agricultural cultivation.
- The existing topography has been utilized in the site design in order to keep grading to a minimum, which will avoid deep cuts and fills and minimize grading costs. Following existing contours was

- contd.  
also necessary since our site is relatively narrow and existing grades must be met on each side. This system also encourages the use of natural drainage patterns.
- The majority of the site is comprised of Glenelg Loam (GcB2) which will pose few restrictions on construction activities. The rear or Southwest portion of this site contains Glenville Silt Loam (GnS) which is a hydric soil. The areas containing hydric soils will not be developed.

Probable impact on the environment will be increased storm water runoff, which will be kept at pre-development peak discharge levels by site management of storm water and reduction of vegetated areas. Development will result in a loss of 40% of the existing hardwood timber and a 59% loss of pervious areas due to incorporation of buildings and impervious paving.

Probable impact on ecological systems would be a loss of existing habitat for birds, small mammals and reptiles, due to clearing of wooded areas. Clearing and removal of agricultural fields and orchards would reduce feeding areas for the animals which habitate on this site. There is no evidence or documentation of rare or endangered species of fauna and flora on this site. Vegetation lost on this site due to clearing is similar to vegetation on adjacent parcels and the majority of it is domestically cultivated. Displaced wildlife could find suitable refuge and permanent habitat on residential and resource conservation land to the South and West of this site since adjacent properties carry similar stands of mature hardwoods.

Direct consequences resulting from this development are, loss of vegetation and wildlife habitats. Indirect consequences resulting from the proposed

office park are increased sewage discharge to public sanitary sewers, and increased consumption of public water. It can be assumed that potential occupants would have located nearby regardless of this proposed building, thus causing the same uses of public and quasi public facilities.

Environmental effects that cannot be avoided are, increase in soil erosion during construction although a comprehensive soil erosion control program will be initiated to minimize this effect, and increased storm water runoff caused by reduction of pervious areas with buildings and paving. As mentioned above, storm water runoff will be controlled by on site storm water management facilities. Use of pervious paving and infiltration as an alternative to a storm water management detention or retention pond may be feasible. Prior to making that change, extensive soil borings and soil analysis must be performed. The cost of pervious paving and infiltration would not be substantially more than the proposed system.

The long term effect of this development would be to create a well landscaped Office Park with a wooded area capable of supporting and sustaining the types of wildlife existing on this site in a permanent setting in harmony with the future development of this community. Short term use of the land for construction will include clearing of vegetation and some mature trees, resulting in loss of wildlife habitats which could possibly be recovered in the existing woods saved and newly planted areas. Final planting plans call for proposed undisturbed and landscaped areas to be 111% of the area of the existing mature woods. This is not inclusive of domestic orchard cultivation.

There is no irreversible or irretrievable commitment of resources that would result from this development since 60% of existing hardwoods will be undisturbed and domestically cultivated vegetation in a renewable resource.

If you have any questions, please feel free to call me at 574-2227.  
I hereby certify the above facts, statements, comments and opinions by my seal and signature.

Sincerely yours,



Steven K. Broyles, P.E.  
Md St Reg # 14429

SKB/ph

**RECLASSIFICATION OF 8739 LIBERTY ROAD FROM D.R. 5.5 TO O-2**

Reclassification is hereby requested on the basis that the character and the neighborhood have changed since the adoption of the 1984 Comprehensive Zoning Map for Baltimore County, Maryland. We contend that the purchase of 7.7328 acres of property adjacent to our site on the South-East side, by Baltimore County, and the plans to use this as the Liberty Road Multi-Government Center constitutes a change in neighborhood and use.

Our contentions are based on the following facts, statements and documents:

- Under the current 1984 Comprehensive Zoning Map the property we are requesting reclassification of and the contiguous parcel owned by Baltimore County, are both zoned D.R. 5.5, and are of similar size, shape and nature.
- The proposed use for the Liberty Road Multi-Government facility as shown on our site plan and as shown on plans by NCP Inc., of 401 Washington Avenue, Towson, Maryland 21204, dated 5/21/85, is for a Class B Office Building or office use which is similar to the proposed use for the above mentioned parcel to be reclassified.
- A meeting on 7/23/85 was held with the Liberty Communities Development Corporation Inc., owners of Brenbrook - Kmart Shopping Center, owners of Dennis Cranger Limited Partnership and representatives of Baltimore County to discuss the impact of the proposed Multi-Government facility on the adjacent property owners.

It is apparent that the Liberty Road Multi-Government Center is a departure from the current use and zoning. It is also obvious that there is a great need for the services and benefits that a quality office park would offer to the communities' residents and businesses. Our proposed use of the adjacent

property would compliment the services provided by this Multi-Government Center. In a cooperative effort to further accommodate the needs of the community and the proposed Multi-Government Center we feel we can offer the following:

- Our existing curb cut on Liberty Road could provide vehicular access for the Multi-Government Center. We are willing to give egress from our property to Liberty Road for the proposed Park & Ride and the Multi-Government Center as shown on the proposed plan. The location of this road would be established after consulting with Baltimore County Traffic Engineering and establishing a mutually beneficial location. We could therefore improve the traffic patterns on Liberty Road by minimizing ingress and egress.
- Hawaiian Island Snow Cone Inc., located in a seasonal road side stand at 8739 Liberty Road is an existing use which has been alleged to be nonconforming use in the past. Our proposed use for this site would necessitate this structure being razed and the use discontinued.
- To minimize the impact of our proposed Office Park to the residential community northwest of our site we will provide a heavily landscaped area with park-like attributes to preserve the esthetics of the community. Furthermore, there will be no parking or outside illumination in this area.

We feel this proposed use would be in continuum with the spirit and intent of the proposed zoning and would promote harmony between the residential and commercial segments of this community. We hereby attest to the facts, comments and statements set forth in this proposal. Should there be any questions please direct them to our representative Steven K. Broyles, P.E.

Zell R. Margolis, Att. *Zell R. Margolis, Att.*  
Joel Margolis, Att. *Joel Margolis, Att.*  
Steven K. Broyles, P.E. *Steven K. Broyles, P.E.*

**CERTIFICATE OF POSTING**  
ZONING DEPARTMENT OF BALTIMORE COUNTY  
Towson, Maryland

CR-97-251

District 2 Date of Posting February 24, 1987  
Posted for: Reclassification  
Petitioner: Dennis Cranger Limited Partnership  
Location of property: 8739 Liberty Road, Towson, Md.  
Location of Signs: In front of subject property, 8739 Liberty Rd.  
Remarks:  
Posted by: S. J. Kratochvil Date of return: February 27, 1987  
Number of Signs: 1

**CERTIFICATE OF PUBLICATION**

TOWSON, MD. FEBRUARY 26, 1987

THIS IS TO CERTIFY that the annexed advertisement was published in THE JEFFERSONIAN, a weekly newspaper printed and published in Towson, Baltimore County, Md., appearing on February 26, 1987.

THE JEFFERSONIAN,

Publisher

Cost of Advertising  
53.63

PETITION FOR RECLASSIFICATION  
Case No. CR-97-251  
LOCATION: Southeast corner of Liberty Road, 843 feet Northwest of the intersection of Breesebrook Drive, 8739 Liberty Road.  
PUBLIC HEARING: Tuesday, March 17, 1987, at 10:00 a.m.  
The County Board of Appeals for Baltimore County, by authority of the Baltimore County Charter, will hold public hearing.  
To identify the property from an O.R. 5.5 Zone to a O-2 Zone.  
All that parcel of land in the 2nd Election District of Baltimore County.  
RESIZING FOR THE SAME as a parcel located on the Southern side of Liberty Road 843 feet right-of-way, and parcel 843 feet measured on a North-Southerly direction from the corner line of Breesebrook Drive and the Southern side of the Liberty Road 843 feet right-of-way. Said parcel also having Baltimore County coordinates North 24 30' 31.00" East 104 39' 20.00" feet.  
1. Thence running South 24 30' 31" East 104 39' 20" feet to a point.  
2. Thence running South 25 11' 05" West 839 38 feet to a point.  
3. Thence running North 26 07' 35" West 208 00 feet to a point.  
4. Thence running North 67 23' 35" East 148 26 feet to a point.  
5. Thence running North 20 10' 25" West 143 45 feet to a point.  
6. Thence running North 63 19' 25" East 604 93 feet to a point.  
7. Thence running South 67 23' 35" East 79 00 feet to a point.  
8. Thence running North 43 31' 35" East 247 18 feet to a point.  
9. Thence running South 65 08' 17" East 317 91 feet to a point of beginning containing 7.7328 acres of land, more or less, as recorded in Baltimore County Land Records Liber E H R. J. 8888, Folio 64.  
Being the property of Dennis Cranger Limited Partnership, as shown on the site plan hereto, with the Zoning Department.  
By Order of  
WILLIAM T. HAINES  
Chairman  
County Board of Appeals  
Baltimore County  
2253 Feb. 26

**LEGAL NOTICE**

PETITION FOR RECLASSIFICATION  
Case No. CR-97-251  
LOCATION: Southeast side of Liberty Road, 843 feet Northwest of the intersection of Breesebrook Drive, 8739 Liberty Road.  
PUBLIC HEARING: Tuesday, March 17, 1987, at 10:00 a.m.  
The County Board of Appeals for Baltimore County, by authority of the Baltimore County Charter, will hold a public hearing.  
To identify the property from a D.R. 5.5 Zone to a O-2 Zone.  
All that parcel of land in the 2nd Election District of Baltimore County.

**CERTIFICATE OF PUBLICATION**  
RCR44

Pikesville, Md., Feb. 26, 1987

I HEREBY CERTIFY that the annexed advertisement was published in THE NORTHWEST STAR, a weekly newspaper published in Pikesville, Baltimore County, Md., appearing on March 17, 1987.  
First publication appearing on the 24th day of March, 1987.  
Second publication appearing on the \_\_\_\_\_ day of \_\_\_\_\_, 1987.  
Third publication appearing on the \_\_\_\_\_ day of \_\_\_\_\_, 1987.

THE NORTHWEST STAR

*William F. Haines*  
Manager

Cost of Advertisement: 278.00



County Board of Appeals of Baltimore County

Room 200 Court House
Towson, Maryland 21204
(301) 494-3180
March 22, 1988

Zell Margolis, Esquire
Dennis Granger Ltd. Partnership
1313 Court Square Building
200 E. Lexington Street
Baltimore, MD 21202

RE: Case No. CR-87-251
Dennis Granger Ltd. Partnership

Dear Mr. Margolis:

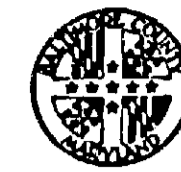
Enclosed is a copy of the final Opinion and Order issued today by the County Board of Appeals regarding the subject case.

Sincerely,

Kathleen C. Weidenhammer
Administrative Secretary

Encl.

cc: Steven K. Broyles, P.E.
Phyllis Cole Friedman, Esquire
Ms. Doris Sugar
Liberty Community Development Corp.
c/o Jim Janas
James Earl Kraft
P. David Fields
James G. Hoswell
J. Robert Haines
Ann M. Nastarowicz
James E. Dyer
Robyn Clark
Arnold Jablon, County Attorney



County Board of Appeals of Baltimore County

Room 200 Court House
Towson, Maryland 21204
(301) 494-3180
October 19, 1987

NOTICE OF ASSIGNMENT

NO POSTPONEMENTS WILL BE GRANTED WITHOUT GOOD AND SUFFICIENT REASONS. REQUESTS FOR POSTPONEMENTS MUST BE IN WRITING AND IN STRICT COMPLIANCE WITH BOARD RULE 2(b). ABSOLUTELY NO POSTPONEMENTS WILL BE GRANTED WITHIN FIFTEEN (15) DAYS OF SCHEDULED HEARING DATE IN ACCORDANCE WITH RULE 2(c), COUNTY COUNCIL BILL #59-79.

CASE NO. CR-87-251 DENNIS GRANGER LTD. PARTNERSHIP
SW/s Liberty Rd., 500' NW c/1 Brenbrook Drive
2nd Election District
Reclass.--D.R. 5.5 to 0-1
3/17/87 - Amended plans submitted at open hearing.

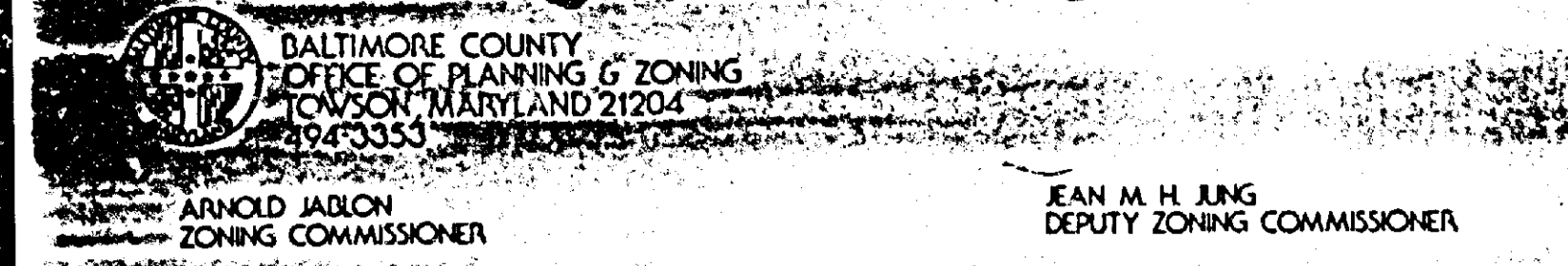
ASSIGNED FOR: THURSDAY, FEBRUARY 25, 1988, at 10 a.m.

CC: Dennis Granger Ltd. Part. Petitioner
c/o Zell Margolis, Esq.
Steven K. Broyles Professional Engineer
James E. Kraft
Phyllis C. Friedman People's Counsel
Doris Sugar
Jim Janas
Norman E. Gerber
James Hoswell
J. Robert Haines
Ann Nastarowicz
James E. Dyer
Margaret duBois

June Holmen, Secretary

10/19/87-Following notified of hearing set for Thursday, Feb. 25, 1988, at 10 a.m.:

Dennis Granger Ltd. Part
Steven K. Broyles
James E. Kraft
Phyllis C. Friedman
Doris Sugar
Jim Janas
N. Gerber, J. Hoswell
J. R. Haines, A. Nastarowicz, J. Dyer, M. duBois



March 10, 1987

Zell Margolis, Esquire
1313 Court Square Building
200 East Lexington Street
Baltimore, Maryland 21202

RE: PETITION FOR ZONING RECLASSIFICATION
SW/S Liberty Rd., 500' NW of the c/1 of Brenbrook Dr. (8739 Liberty Rd.)
2nd Election District - 2nd Councilmanic District
Dennis Granger Limited Partnership - Petitioner
Case No. CR-87-251

Dear Mr. Margolis:

This is to advise you that \$289.71 is due for advertising and posting of the above property. This fee must be paid before an Order is issued.

THIS FEE MUST BE PAID AND THE RECLASSIFICATION SIGN AND POST RETURNED TO THE BALTIMORE COUNTY ZONING OFFICE ON THE DAY OF THE BOARD OF APPEALS' HEARING OR THE ORDER WILL NOT BE ISSUED.

Please make your check payable to "Baltimore County, Maryland" and remit it to Ms. Margaret E. du Bois, Zoning Office, Room 113, County Office Building, Towson, Maryland 21204, before the hearing.

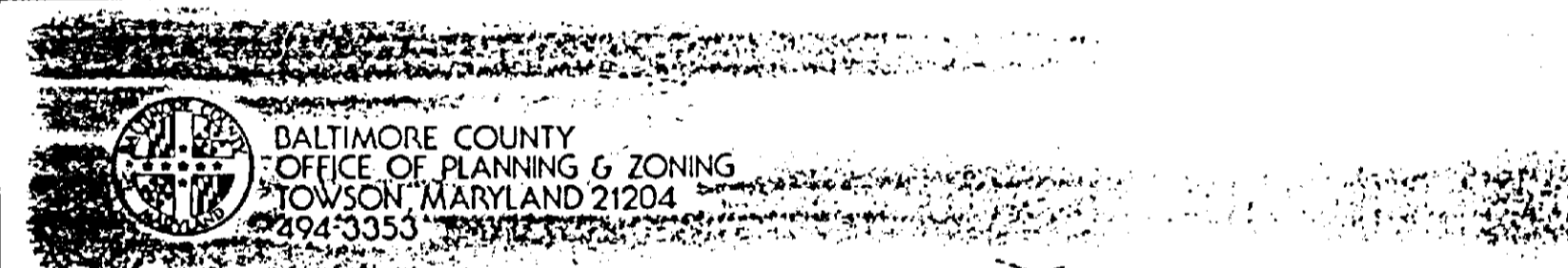
Sincerely,

Arnold Jablon
Zoning Commissioner

AJ:med

7/15/87 -Notice sent to following -hearing set for Thursday, July 30 at 9:30 am:

Dennis Granger, Ltd.
c/o Zell Margolis, Esq.
Steven K. Broyles, P.E.
Ms. Doris Sugar
Mr. Jim Janas
James Earl Kraft
Phyllis Cole Friedman, Esq.
Norman E. Gerber
James G. Hoswell
Arnold Jablon
Jean M. H. Jung
James E. Dyer
Margaret E. du Bois



ARNOLD JABLON
ZONING COMMISSIONER
JEAN M H JUNG
DEPUTY ZONING COMMISSIONER

March 10, 1987

Zell Margolis, Esquire
1313 Court Square Building
200 East Lexington Street
Baltimore, Maryland 21202

RE: PETITION FOR ZONING RECLASSIFICATION
SW/S Liberty Rd., 500' NW of the c/1 of Brenbrook Dr. (8739 Liberty Rd.)
2nd Election District - 2nd Councilmanic District
Dennis Granger Limited Partnership - Petitioner
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BALTIMORE COUNTY, MARYLAND
OFFICE OF FINANCE - REVENUE DIVISION
MISCELLANEOUS CASH RECEIPT
No. 33070
DATE 2/17/87 ACCOUNT 1-21-87-2000
SIGN & POST
LST - \$25.00 LST AMOUNT \$ 214.71
FEE CHARGED Zell Margolis, Esquire, 200 E. Lexington St., Suite 1313, Baltimore, MD 21202
ADVERTISING & POSTING COSTS BY CASE CR-87-251

Zell Margolis, Esquire
1313 Court Square Building
200 East Lexington Street
Baltimore, Maryland 21202
February 10, 1987

9/18/87 -On Planning Board agenda 9/17/87; Per Hoswell -okay for hearing. He will send appropriate paperwork.

NOTICE OF HEARING

RE: PETITION FOR ZONING RECLASSIFICATION
SW/S Liberty Rd., 500' NW of the c/1 of Brenbrook Dr. (8739 Liberty Rd.)
2nd Election District
Dennis Granger Limited Partnership - Petitioner
Case No. CR-87-251

TIME: 10:00 a.m.

DATE: Tuesday, March 17, 1987

PLACE: Room 218, Courthouse, Towson, Maryland

3/17/87 - Continued in Open hearing. Amended site plans submitted; transmitted to Planning for processing. To reschedule for hearing at later date. NOTE: requested change per amended plans - D.R. 5.5 to 0-1.

William T. Hackett
William T. Hackett, Chairman
County Board of Appeals

WTH:med

THIS IS TO ADVISE YOU THAT YOU WILL BE BILLED BY THE ZONING OFFICE FOR ADVERTISING AND POSTING COSTS WITH RESPECT TO THIS CASE APPROXIMATELY A WEEK BEFORE THE HEARING. THIS FEE MUST BE PAID AND THE SIGN AND POST RETURNED TO THE ZONING OFFICE ON THE DAY OF THE HEARING OR THE ORDER WILL NOT BE ISSUED.

W.T.H.

cc: Steven K. Broyles, P.E.
2227 Monocacy Road
Baltimore, Maryland 21221
People's Counsel for Baltimore County

BALTIMORE COUNTY, MARYLAND

INTER-OFFICE CORRESPONDENCE

TO: Mr. William T. Hackett, Chairman, Board of Appeals
FROM: W. Carl Richards, Jr., Zoning Coordinator
SUBJECT: Case No. CR-87-251
Dennis Granger Limited Partnership

In review of the amended plan submitted to the Board of Appeals at a public hearing on July 30, 1987, pursuant to Section 2-40.1(L) and (M), Article V, this office requests that for clarification certain minor changes be made to the submittal prior to final hearing:

- 1. The required percentage and area quantity of Open Space and allowed floor area ratio should be included with the provided figures.
2. The requirements of S.204.3.C.1 should be addressed including the allowed percentage of accessory commercial uses and the percentage of the proposal.
3. A note should be added that no other signs visible outdoors are proposed other than what is shown on the plans. Also, the proposed square footage, regulation section, and allowed square footage for each sign should be included on the plan.

RECEIVED
COUNTY BOARD OF APPEALS
1987 AUG 21 A 11:41

WCR, Jr.:med

ccs: Mr. James E. Dyer, Zoning Supervisor
Mr. James Hoswell, Planning and Zoning
Mr. Stephen K. Broyles
Engineering Construction Corp.
2227 Monocacy Road
Baltimore, Maryland 21221
File

Reclassification is hereby requested on the basis that the character and the neighborhood have changed since the adoption of the 1984 Comprehensive Zoning Map for Baltimore County, Maryland. We contend that the purchase of 7.7328 acres of property adjacent to our site on the South-East side, by Baltimore County, and the plans to use this as the Liberty Road Multi-Government Center constitutes a change in neighborhood and use.

Our contentions are based on the following facts, statements and documents:

- 1. Under the current 1984 Comprehensive Zoning Map the property we are requesting reclassification of and the contiguous parcel owned by Baltimore County, are both zoned D.R. 5.5, and are of similar size, shape and nature.
2. The proposed use for the Liberty Road Multi-Government facility as shown on our site plan and as shown on plans by NCP Inc., of 401 Washington Avenue, Towson, Maryland 21204, dated 5/21/85, is for a Class B Office Building or office use which is similar to the proposed use for the above mentioned parcel to be reclassified.
3. A meeting on 7/23/85 was held with the Liberty Communities Development Corporation Inc., owners of Brenbrook - Kmart Shopping Center, owners of Dennis Granger Limited Partnership and representatives of Baltimore County to discuss the impact of the proposed Multi-Government facility on the adjacent property owners.

It is apparent that the Liberty Road Multi-Government Center is a departure from the current use and zoning. It is also obvious that there is a great need for the services and benefits that a quality office park would offer to the communities' residents and businesses. Our proposed use of the adjacent

OFFICE COPY

property would compliment the services provided by this Multi-Government Center. In a cooperative effort to further accommodate the needs of the community and the proposed Multi-Government Center we feel we can offer the following:

- 1. Our existing curb cut on Liberty Road could provide vehicular access for the Multi-Government Center. We are willing to give egress from our property to Liberty Road for the proposed Park & Ride and the Multi-Government Center as shown on the proposed plan. The location of this road would be established after consulting with Baltimore County Traffic Engineering and establishing a mutually beneficial location. We could therefore improve the traffic patterns on Liberty Road by minimizing ingress and egress.
2. Hawaiian Island Snow Cone Inc., located in a seasonal road side stand at 8739 Liberty Road is an existing use which has been alleged to be nonconforming use in the past. Our proposed use for this site would necessitate this structure being razed and the use discontinued.
3. To minimize the impact of our proposed Office Park to the residential community northwest of our site we will provide a heavily landscaped area with park-like attributes to preserve the esthetics of the community. Furthermore, there will be no parking or outside illumination in this area.

We feel this proposed use would be in continuum with the spirit and intent of the proposed zoning and would promote harmony between the residential and commercial segments of this community. We hereby attest to the facts, comments and statements set forth in this proposal. Should there be any questions please direct them to our representative Steven K. Broyles, P.E..

Zell R. Margolis, Att. [Signature]
Joel Margolis, Att. [Signature]
Steven K. Broyles, P.E. [Signature]



County Board of Appeals of Baltimore County

Room 200 Court House
Towson, Maryland 21204
(301) 494-3100

July 14, 1987

NOTICE OF ASSIGNMENT

NO POSTPONEMENTS WILL BE GRANTED WITHOUT GOOD AND SUFFICIENT REASONS. REQUESTS FOR POSTPONEMENTS MUST BE IN WRITING AND IN STRICT COMPLIANCE WITH BOARD RULE 2(b). ABSOLUTELY NO POSTPONEMENTS WILL BE GRANTED WITHIN FIFTEEN (15) DAYS OF SCHEDULED HEARING DATE IN ACCORDANCE WITH RULE 2(c), COUNTY COUNCIL BILL #59-79.

CASE NO. CR-87-251

DENNIS GRANGER LTD. PARTNERSHIP
SW/s Liberty Road, 500' NW c/1 Brenbrook Drive
2nd Election District
2nd Councilmanic District
Petition for Zoning Reclassification -
from D.R. 5.5 to O-1.

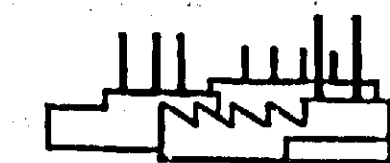
which was continued in open hearing on March 17, 1987 has been set for hearing on July 30, 1987 at 9:30 a.m. for the purpose of accepting amended site plan only--

ASSIGNED FOR:

THURSDAY, JULY 30, 1987 at 9:30 a.m.

- cc: Dennis Granger Ltd. Partnership Petitioner
c/o Zell Margolis, Esquire (General Partner /Counsel)
Steven K. Broyles, P.E. Professional Engineer
Ms. Doris Sugar Requested Notification
Mr. Jim Janas
James Earl Kraft
Phyllis Cole Friedman People's Counsel
Norman E. Gerber
James G. Hoswell
Arnold Jablon
Jean M. H. Jung
James E. Dyer
Margaret E. du Bois

Kathi Weidenhammer
Administrative Secretary



ENGINEERING CONSTRUCTION CORP.

Engineers, Planners, Surveyors
2227 Monocacy Rd., Baltimore, Md. 21221
Phone 301-574-2227

July 30, 1987

Mr. James C. Hoswell
Planner II
Baltimore County Office of Planning & Zoning
401 Bosley Avenue
Towson, Maryland 21204

Re: Item No.3 Cycle IV
Case No. CR-87-251
Petitioner: Dennis Granger Limited Partnership
Reclassification Petition

Dear Mr. Hoswell:

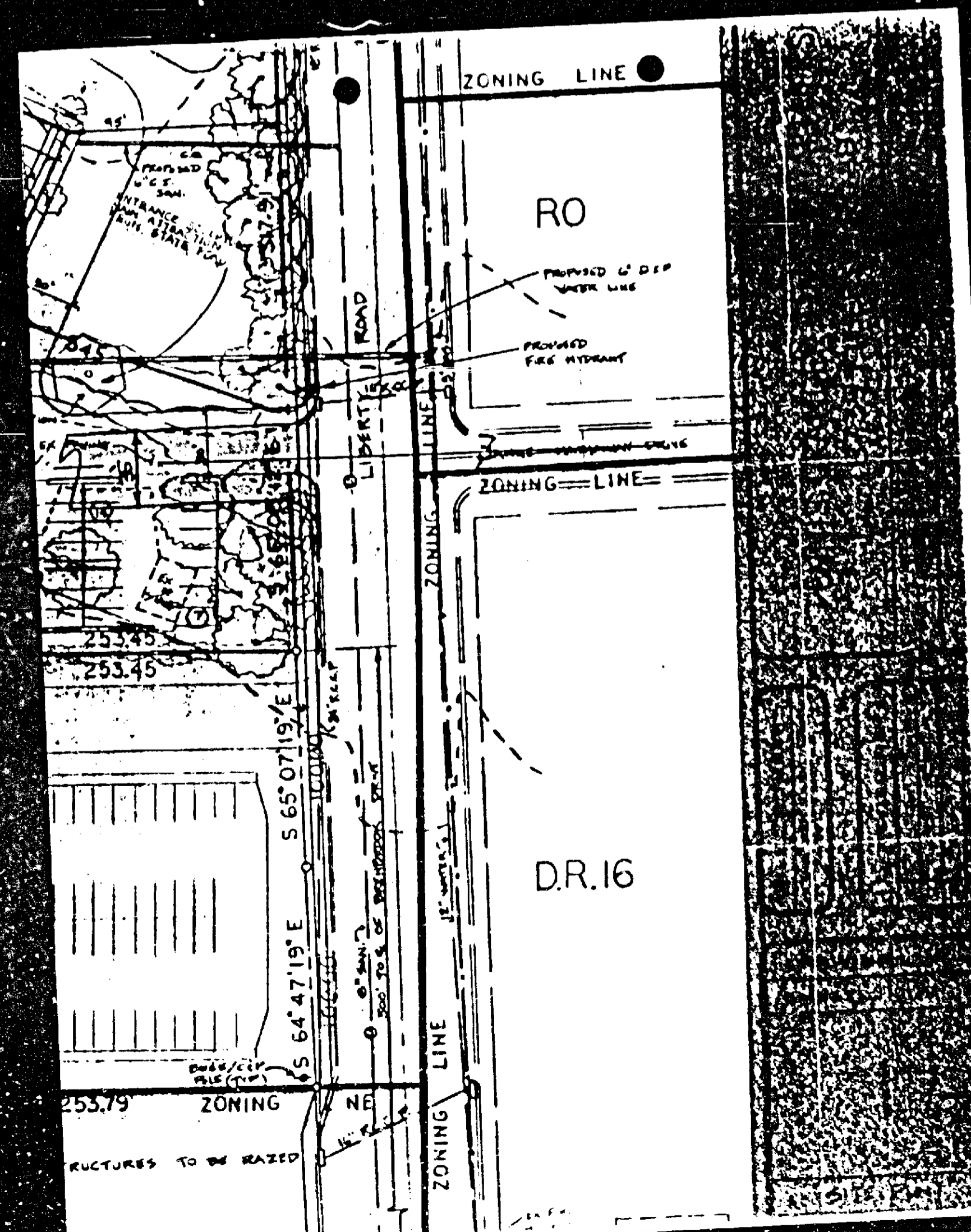
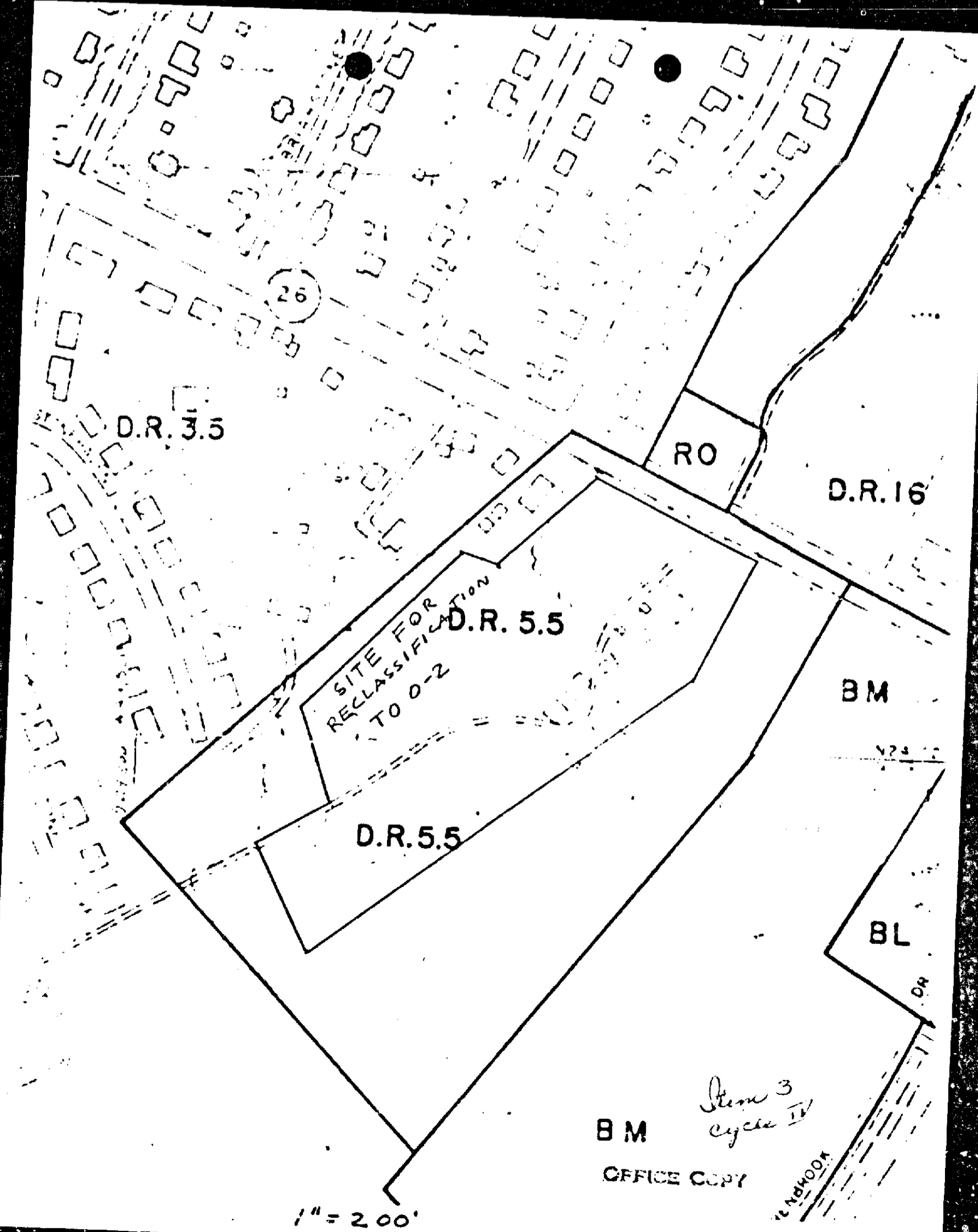
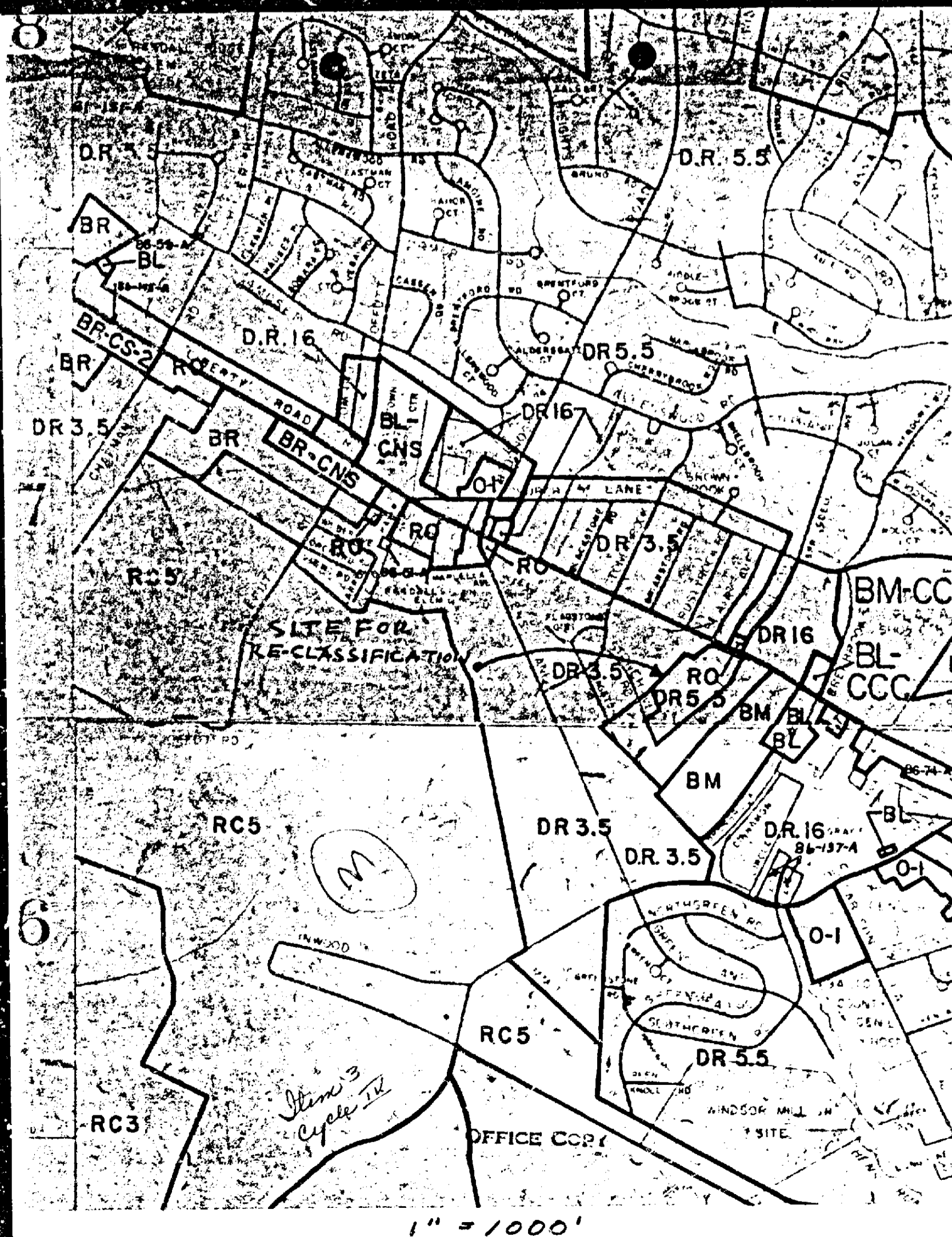
Please find enclosed a copy of the revised site plan and elevation drawings for the above referenced project. We have made the changes as suggested by Planning and Zoning at the joint meeting on April 3, 1987. If you have any questions please call.

Sincerely Yours,



Steven K. Broyles, P.E.
Md St Reg #14429

SKB/ph



BALTIMORE COUNTY ZONING PLANS ADVISORY COMMITTEE

March 9, 1987

COUNTY OFFICE BLDG. 111 W. Chassepote Ave. Towson, Maryland 21204

Zell Margolis, Esquire 1313 Court Square Building 200 E. Lexington St. Baltimore, Maryland 21202

RE: Item No. 3 - Cycle No. IV Case No. R-87-251 Petitioner: Dennis Granger Limited Partnership Reclassification Petition

Dear Mr. Margolis:

This reclassification petition has been timely filed with the Board of Appeals for a public hearing within the October-April reclassification cycle (Cycle IV). It has been reviewed by the Zoning Plans Advisory Committee. The review and enclosed comments from the Committee are intended to provide you and the Board of Appeals with an insight as to possible conflicts or problems that could arise from the requested reclassification or uses and improvements that may be specified as part of the request. They are not intended to indicate the appropriateness of the zoning action requested.

If it has been suggested that the petition forms, descriptions, briefs, and/or the site plans be amended so as to reflect better compliance with the zoning regulations and/or commenting agencies' standards and policies, you are requested to review these comments, make your own judgment as to their accuracy and submit the necessary amendments to this office on or before March 10, 1987. In the event that any requested amendments are not received prior to this date, the petition will be advertised as originally submitted.

In view of the fact that the submitted site plan does not indicate a proposed use at this time, the comments from this Committee are general in nature. If the request is granted and an additional hearing is required at a later date, more detailed comments will be submitted at that time.

If you have any questions concerning the enclosed comments, please feel free to contact the Zoning Office at 494-3391 or the commenting agency.

Very truly yours, James E. Dyer, Chairman, Zoning Plans Advisory Committee

JED:kbb (MS018)

Enclosures

cc: Steven K. Broyles, P.E. Engineering Construction Corp. 2227 Monocacy Road Baltimore, Maryland 21221



Maryland Department of Transportation State Highway Administration

RECEIVED NOV 18 1986

ZONING OFFICE

November 7, 1986

Mr. William Hackett, Chairman, Board of Appeals, County Office Bldg., Towson, Md. 21204

Att: James Dyer

Re: October 1986 - April 1987 Zoning Reclassification Cycle IV ITEM: #3. Proposed Owner: Dennis Granger Limited Partnership Contract Purchaser: --- Location: SW/S Liberty Road, Route 26, 500' NW centerline Brenbrook Drive Existing Zoning: D.R. 5.5 Election District: 2nd Acres: 7.6 Proposed Zoning: 0-2

Dear Mr. Hackett:

On review of the submittal of August 25, 1986 and field inspection, the State Highway Administration offers the following comments.

We (State Highway Administration - Bureau of Engineering Access Permits) strongly recommend that all access for the proposed Office Park be by way of a standard 35' entrance aligned with Anne Hathaway Drive.

Very truly yours,

Charles Lee, Chief, Bureau of Engineering Access Permits

By: George Wittman

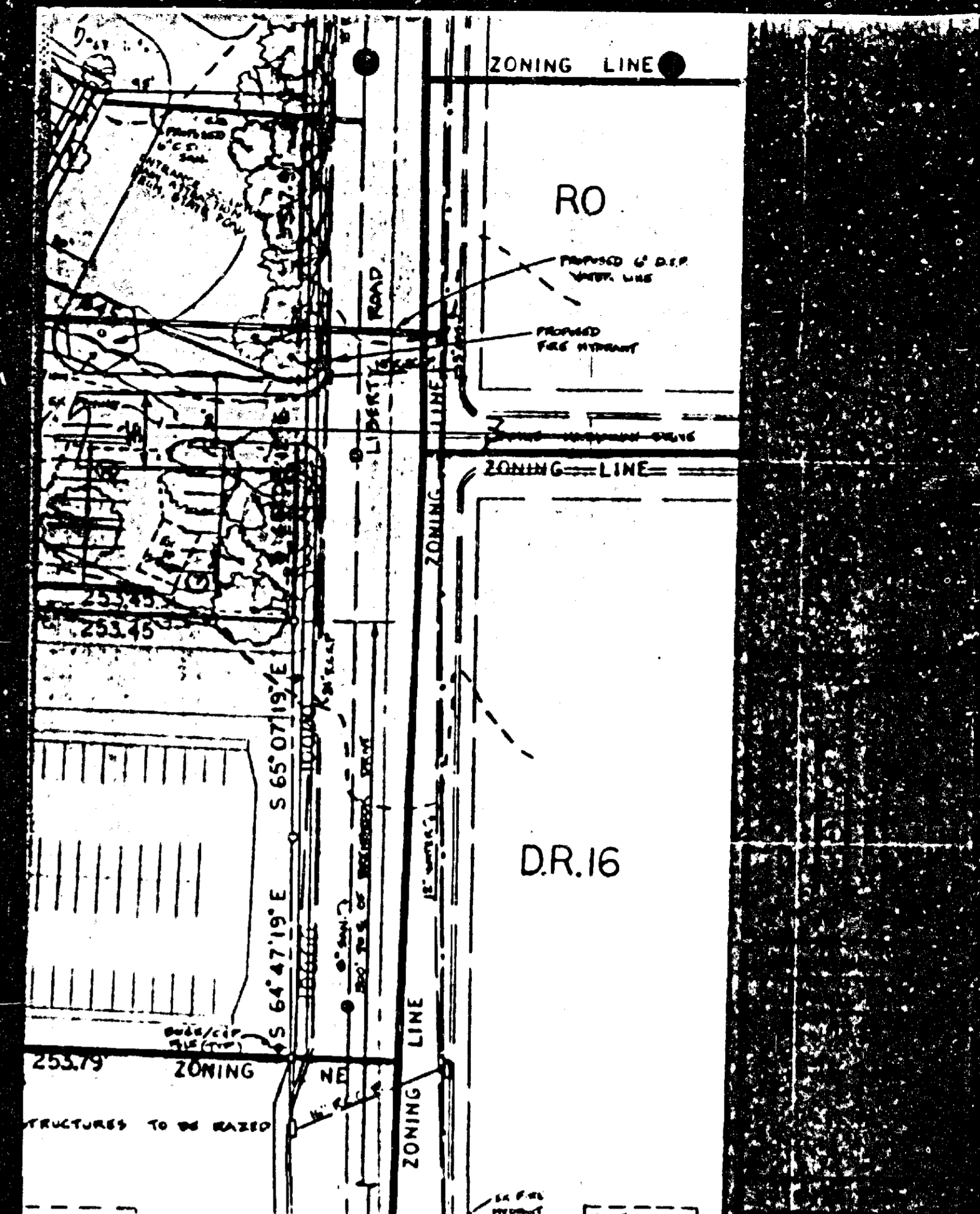
CL:GW:maw

Attachment

cc: Mr. J. Ogle

My telephone number is (301) 659-1350

Teletypewriter for Impaired Hearing or Speech 383-7555 Baltimore Metro - 565-0451 D.C. Metro - 1-800-492-5082 Statewide Toll Free P.O. Box 717/707 North Calvert St., Baltimore, Maryland 21203-0717



Maryland Department of Transportation State Highway Administration

87-251

Richard H. Trainor, Secretary, Hal Kassoff, Administrator

September 8, 1987

Mr. William Hackett, Chairman, Board of Appeals, County Office Building, Towson, Maryland 21204

RE: Baltimore county October 1986-April 1987 Zoning Reclassification Cycle IV Item: #3 Proposed Owner: Dennis Granger Limited Partnership Contract Purchaser: --- Location: SW/S Liberty Road Maryland Route 26 500' NW centerline Brenbrook Drive Existing Zoning: D.R. 5.5 Election District: 2nd Acres: 7.6 Proposed Zoning: 0-2 Revised Comments

Dear Mr. Hackett:

On review of the revised site plan of July 10, 1987, for #8739, Liberty Road, Maryland Route 26, showing a directional Right In and Right Out entrance, the State Highway Administration Bureau of Engineering Access Permits finds the concept generally acceptable.

It is requested that all Baltimore County Permits be held until S.H.A. Permit is applied for with the posting of a bond or letter of credit to guarantee construction.

Very truly yours,

George Wittman, Acting Chief-Bureau of Engineering Access Permits

By: George Wittman

CJM-GW/es

My telephone number is (301) 333-1350

Teletypewriter for Impaired Hearing or Speech 383-7555 Baltimore Metro - 565-0451 D.C. Metro - 1-800-492-5082 Statewide Toll Free 707 North Calvert St., Baltimore, Maryland 21203-0717

BALTIMORE COUNTY, MARYLAND

INTER-OFFICE CORRESPONDENCE

TO: William F. Hackett - Appeals Board Date: December 11, 1986

FROM: Charles E. Burnham, Plans Review Chief, Department of Permits & Licenses

SUBJECT: October, 1986 - April, 1987 Zoning Reclassification - Cycle IV

Item # 3 Property Owners: Dennis Granger Limited Partnership Contract Purchaser: --- Location: SW/S Liberty Road, 500' NW c/l Brenbrook Drive Existing Zoning: D.R. 5.5 Proposed Zoning: 0-2 Acres: 7.6 District: 2nd.

The proposed construction shall comply with the Baltimore County Building Code in effect at the time the building permit is applied for. That Code is currently as amended and adopted known as Baltimore County Council Bill #17-85.

Several amendments in this Bill will have a direct effect on its construction. A full review of the construction plans for Code compliance will be performed when a building permit is applied for.

CEB/vv



BALTIMORE COUNTY FIRE DEPARTMENT TOWSON, MARYLAND 21204-2586 494-4500

PAUL H. REINCKE, CHIEF

October 22, 1986

Mr. Arnold Jablon, Zoning Commissioner, Office of Planning and Zoning, Baltimore County Office Building, Towson, Maryland 21204

Attention: William Hackett, Chairman, County Board of Appeals

RE: Property Owner: Dennis Granger Limited Partnership

Location: SW/S Liberty Road, 5000' centerline Brenbrook Drive

Item No.: 3 Zoning Agenda: Cycle IV

Gentlemen:

Pursuant to your request, the referenced property has been surveyed by this Bureau and the comments below marked with an "X" are applicable and required to be corrected or incorporated into the final plans for the property.

(X) 1. Fire hydrants for the referenced property are required and shall be located at intervals of 300 feet along an approved road in accordance with Baltimore County Standards as published by the Department of Public Works.

( ) 2. A second means of vehicle access is required for the site.

( ) 3. The vehicle dead end condition shown at \_\_\_\_\_

EXCEEDS the maximum allowed by the Fire Department.

( ) 4. The site shall be made to comply with all applicable parts of the Fire Prevention Code prior to occupancy or beginning of operation.

(X) 5. The buildings and structures existing or proposed on the site shall comply with all applicable requirements of the National Fire Protection Association Standard No. 101 "Life Safety Code", 1976 edition prior to occupancy.

( ) 6. Site plans are approved, as drawn.

( ) 7. The Fire Prevention Bureau has no comments at this time.

REVIEWER: [Signature] Noted and Approved: [Signature] Planning Group Fire Prevention Bureau Special Inspection Division

/mb



BALTIMORE COUNTY OFFICE OF PLANNING AND ZONING TOWSON, MARYLAND 21204 494-3211

NORMAN E. GERBER, DIRECTOR

Mr. Arnold Jablon, Zoning Commissioner, County Office Building, Towson, Maryland 21204

CYCLE IV, OCT. TO APR. 1986-87

October 15, 1986

Re: Zoning Advisory Meeting of October 14, 1986 Item # CYCLE IV-#3 Property Owner: DENNIS GRANGER LIMITED Location: PARTNERSHIP SW/S LIBERTY RD, 500' NW & BRENBROOK DRIVE

Dear Mr. Jablon:

The Division of Current Planning and Development has reviewed the subject petition and offers the following comments. The items checked below are applicable.

- (X) There are no site planning factors requiring comment at this time.
(X) A County Review Group Meeting is required.
(X) A County Review Group meeting was held and the minutes will be forwarded by the Bureau of Public Services.
( ) This site is part of a larger tract; therefore it is defined as a subdivision. The plan must show the entire tract.
( ) A record plat will be required and must be recorded prior to issuance of a building permit.
( ) The access is not satisfactory.
( ) The circulation on this site is not satisfactory.
( ) The parking arrangement is not satisfactory.
( ) Parking calculations must be shown on the plan.
( ) This property contains soils which are defined as wetlands, and development on these soils is prohibited.
( ) Construction in or alteration of the floodplain is prohibited under the provisions of Section 22-98 of the Development Regulations.
( ) Development of this site may constitute a potential conflict with the Baltimore County Master Plan.
( ) The amended Development Plan was approved by the Planning Board on
( ) Landscaping: Must comply with Baltimore County Landscape Manual.
( ) The property is located in a deficient service area as defined by Bill 178-79. No building permit may be issued until a Reserve Capacity Use Certificate has been issued. The deficient service area is re-evaluated annually by the County Council.

(X) Additional comments: IF SUBJECT PROPERTY IS REZONED, ANY FUTURE DEVELOPMENT AT THE SITE MUST MEET THE REQUIREMENTS OF BILL 178-79 "THE DEVELOPMENT REGULATIONS"

David Fields, Acting Chief, Current Planning and Development

cc: James Hoswell