

IN THE MATTER OF THE APPLICATION OF
LEROY M. MERRITT, FOR A ZONING
RECLASSIFICATION OF PROPERTY LOCATED
ON THE WEST SIDE OF COMMERCE DRIVE,
175' NORTH OF CENTERLINE OF WASHINGTON
BLVD. (3700-3798 COMMERCE DRIVE)
13TH ELECTION DISTRICT
1ST COUNCILMANIC DISTRICT
BALTIMORE COUNTY
CASE NO. CR-89-451

OPINION

This case comes before the Board for zoning reclassification from O.T. (Office and Technology) to M.L.-I.M. The twenty-two acre parcel of land is in the First Councilmanic District, at the junction of I-95, I-695 and U.S. 1. The case was heard this day in its entirety.

Opening remarks in this matter by Counsel for the Petitioner emphasized that the original objectives and purposes for the O.T. zone in 1984 for this parcel by the County Council have been rendered impractical in the past five years by newly designated and more attractive locations in O.T. zones in the area. The Petitioner's overall holdings in the area total 80 acres, all of which were zoned M.L. in the 1970's. The subject parcel was rezoned O.T. in 1984 with the purpose of attracting high-tech industry to the County.

People's Counsel defended the O.T. zoning of the parcel, remarking that the location offers a unique vantage point for a high-tech industry at the "gateway to Baltimore County" location.

In support of the Petition for Reclassification, Counsel for the property owner presented several witnesses who testified to the difficulties of the O.T. zoning at this location. Mr. Anthony Hille, Deputy Director of Baltimore County Dept. of Economic Development, reviewed the features required of a property for high-tech utilization. Mr. Hille mentioned several major corporations who rejected the site because of its limited access and lack of essential amenities expected in the O.T. zone. With the 1988 zoning of large acreage of government

Leroy M. Merritt
Case No. CR-89-451

owned property in this southwestern section of Baltimore County, at the UMBC and Spring Grove Campuses, Mr. Hille testified to the difficulty of a private developer in marketing any site for O.T. use, particularly the subject property.

Mr. Randy Warren, employee with the Merritt Company, reviewed the present trend in developing commercial sites with buildings that provide flex options for the lessee in the M.L.-I.M. zone, which predominates in the subject area. Since 1984, there was little or no interest in the location for O.T. development for reasons stated by Mr. Hille. In the 1988 Comprehensive Map Process, a change was not requested in hopes an O.T. use would occur, and the fact that they were not familiar with the pending UMBC - Spring Grove O.T. zoning of 300 acres. Mr. Warren ascertained that this nearby O.T. area has ruined his site's potential.

Mr. David Bavar, a commercial realtor serving the Merritt Company, reviewed several factors that detract from the high-tech use of the subject parcel. Mr. Bavar cited the deficiencies of poor accessibility, neighboring industrial users, and a lack of certain amenities in the area that go with providing services to high-tech employees. Mr. Bavar emphasized that M.L. land and the proposed documented use is needed in this part of the County. It was his opinion that it is an error to keep the O.T. zoning at this site.

Mr. William Kirwin, land planner and developer, appeared as an expert witness involved with the site since 1983. Mr. Kirwin reviewed the requirements of an O.T. site today, allowing for lakes, recreational activity, parking and amenities for the health and well being of people. He cited the example of other highly desirable O.T. locations in Baltimore County and the size they offer to provide essential amenities to attract high-tech industry. Mr. Kirwin reviewed various illustrative exhibits depicting the proposed M.L. use of the parcel and its configuration in the proposed documented plan. He pointed to the transportation deficiencies of the site for O.T. use versus the assets of an M.L., flex

Leroy M. Merritt
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space use. Building elevation drawings were explained by this expert witness that bore out the fact that the documented site of five flex office/warehouse buildings would not be seen from the interstate highways. Access to the site would be from the U.S. 1 route utilized by various industrial users.

In respect to the high-tech potential for the site, Mr. Kirwin referred to Section 207.2 of the Baltimore County Zoning Regulations (BCZR) and its intent for the O.T. zone. His remarks pointed to various shortcomings of the parcel and the error of the zoning. There are no trends to office-tech use in the area, which has predominantly industrial use.

In opposition to the Petition for Reclassification, People's Counsel offered Mr. Pat Keller, Deputy Director of Planning and Zoning which recommended denial of this Petition to the Planning Board of Baltimore County. Acknowledging the fact that the Planning Board agreed to the zoning requested in this case, Mr. Keller reviewed a list of suggestions for the documented site plan in the event the County Board of Appeals granted the zoning reclassification.

The case for the Petitioner in this matter was thoroughly and convincingly presented in proving that the subject parcel as an office and technology zone has become impractical, and in error. Foremost in highlighting this error is the definition of the O.T. zone as stated in 207.2 BCZR as it is applicable to the subject location. Aerial photographs identify predominantly industrial warehouse utilization in the entire town center area of this site. This O.T. zoned site is not in the proximity of a town center, residential growth, nor is it highly accessible. In fact the site has an access difficulty for traffic approaching the location via the inter-state highways, which do not have conveniently located exits to the location. In consideration of all the amenities that are prescribed for the office-technology location, the mere size of this site precludes the absence of these recommendations. Coupled with the existing

Leroy M. Merritt
Case No. CR-89-451

warehouse utilization of the neighboring properties, it is obvious that the Petitioner's property is practically obsolete as a high-tech location and hardly qualifies.

The opinion that the UMBC and Spring Grove office and technology zoning of 300 acres makes the subject site unattractive is understandable to this Board. As different counties and developers endeavor to attract high-tech industry, testimony in this case has clearly stated the difficulty of marketing land for the O.T. use. Prior to the UMBC designation, there may have been merit in the O.T. zone for the subject parcel, but as testified by several expert witnesses in this case, the Baltimore County Government will certainly promote the UMBC - Spring Grove acreage rather than the inaccessible parcel of the Petitioner.

Although this property was not an issue in the 1988 Comprehensive Map Process, testimony and convincing evidence gives strong indication that this site is not conducive to utilization as an office-technology zone. For the various reasons covered in the above, this Board is of the opinion that the reclassification of the subject parcel of 21.6 acres from O.T. to M.L.-I.M. should be granted and will so order.

In view of the stated willingness of the Petitioner to cooperate and accept suggestions for this documented plan, the Board stipulates that the proposals by the Director of Planning and Zoning be included in the documented plan.

Leroy M. Merritt
Case No. CR-89-451

ORDER

It is therefore this 14th day of November, 1989 by the County Board of Appeals of Baltimore County ORDERED that the Petition for Reclassification of the property from O.T. to M.L.-I.M. be and the same is hereby GRANTED.

Any appeal from this decision must be made in accordance with Rules B-1 through B-13 of the Maryland Rules of Procedure.

COUNTY BOARD OF APPEALS
OF BALTIMORE COUNTY

William T. Hackett, Chairman
Harry E. Buchheit, Jr.
Arnold G. Fortman



County Board of Appeals of Baltimore County
COUNTY OFFICE BUILDING, ROOM 315
111 W. CHESAPEAKE AVENUE
TOWSON, MARYLAND 21204
(301) 887-3180

November 14, 1989

John B. Howard, Esquire
Venable, Baetjer & Howard
210 Allegheny Avenue
Towson, Maryland 21204

Re: Case No. CR-89-451
Leroy M. Merritt

Dear Mr. Howard:

Enclosed please find a copy of the final Opinion and Order issued this date by the County Board of Appeals in the subject case.

Sincerely,

Linda Lee M. Kuszmaul
Legal Secretary

Enclosure

cc: Mr. Leroy M. Merritt
Mr. James Earl Kraft
Phyllis C. Friedman - People's Counsel
P. David Fields
Pat Keller
J. Robert Haines
Ann M. Nastarowicz
James E. Dyer
W. Carl Richards, Jr.
Docket Clerk - Zoning
Arnold Jablon, County Attorney



County Board of Appeals of Baltimore County

COUNTY OFFICE BUILDING
111 W. CHESAPEAKE AVENUE
TOWSON, MARYLAND 21204
(301) 887-3180

HEARING ROOM - - -
Room 315, County Office Building
September 12, 1989

NOTICE OF POSTPONEMENT AND REASSIGNMENT

NO POSTPONEMENTS WILL BE GRANTED WITHOUT GOOD AND SUFFICIENT REASONS. REQUESTS FOR POSTPONEMENTS MUST BE IN WRITING AND IN STRICT COMPLIANCE WITH BOARD RULE 2(b). NO POSTPONEMENTS WILL BE GRANTED WITHIN FIFTY (50) DAYS OF SCHEDULED HEARING DATE UNLESS IN FULL COMPLIANCE WITH RULE 2(c), COUNTY COUNCIL BILL NO. 59-79.

CASE NO. CR-89-451 LEROY M. MERRITT
(Reclassification) W/S Commerce Drive, 175' N c/l Washington Blvd. (3700-3798 Commerce Drive)
13th Election District; 1st Councilmanic District
O.T. to M.L.-I.M.

2/28/89 - Petition filed for reclassification - Cycle I.

which was scheduled for September 12, 1989 has been continued in open hearing at the request of People's Counsel for Baltimore County and has been

REASSIGNED FOR: WEDNESDAY, OCTOBER 25, 1989 at 10:30 a.m.

cc: John B. Howard, Esquire Counsel for Petitioner
Robert A. Hoffman, Esquire
Leroy M. Merritt Petitioner/Legal Owner
James Earl Kraft Baltimore County Board of Education
Phyllis C. Friedman People's Counsel for Baltimore County

P. David Fields
Pat Keller
J. Robert Haines
Ann M. Nastarowicz
James E. Dyer
W. Carl Richards, Jr.
Docket Clerk - Zoning
Arnold Jablon, County Attorney

Linda Lee M. Kuszmaul
Legal Secretary

Baltimore County
Zoning Commissioner
Office of Planning & Zoning
Towson, Maryland 21204
(301) 887-3333
J. Robert Haines
Zoning Commissioner

Date: 9.9.89

Mr. Leroy Merritt
2066 Lord Baltimore Drive
Baltimore, Maryland 21207

Re: Petition for Zoning Re-classification
CASE NUMBER: CR89-451
W/S Commerce Drive, 175' N c/l Washington Blvd.
#3700 - 3798
13th Election District - 1st Councilmanic
Hearing Scheduled: September 12, 1989

Dear Mr. Merritt:

This is to advise you that \$467.04 is due for advertising and posting of the above property. This fee must be paid before an Order is issued.

THIS FEE MUST BE PAID AND THE RECLASSIFICATION SIGN AND POST RETURNED TO THE BALTIMORE COUNTY ZONING OFFICE ON THE DAY OF THE BOARD OF APPEALS' HEARING OR THE ORDER WILL NOT BE ISSUED.

Please make your check payable to "Baltimore County, Maryland" and remit it to Ms. G. Stephens, Zoning Office, Room 113, County Office Building, 111 W. Chesapeake Avenue, Towson, Maryland 21204, before the hearing.

Very truly yours,
J. Robert Haines
Zoning Commissioner

cc: John B. Howard, Esq.
File

NOTICE OF HEARING

Petition for Zoning Reclassification
Case Number: CR-89-451
W/S Commerce Drive, #3700-3798, 175' N c/l Washington Blvd.
Petitioner(s): Leroy M. Merritt

Petition to reclassify the property from an O.T. zone to an M.L.-I.M. zone.

TIME: 10:00 a.m.
DATE: TUESDAY, SEPTEMBER 12, 1989
LOCATION: Room 301, County Office Building, 111 W. Chesapeake Avenue, Towson, Maryland 21204

cc: John B. Howard, Esq.
Leroy M. Merritt
People's Counsel
Board of Appeals

THIS IS TO ADVISE YOU THAT YOU WILL BE BILLED BY THE ZONING OFFICE FOR ADVERTISING AND POSTING COSTS WITH RESPECT TO THIS CASE APPROXIMATELY A WEEK BEFORE THE HEARING. THIS FEE MUST BE PAID AND THE SIGN AND POST RETURNED TO THE ZONING OFFICE ON THE DAY OF THE HEARING OR THE ORDER WILL NOT BE ISSUED.

W.T.H.

10-2 113 52 25 63

PETITION FOR ZONING RE-CLASSIFICATION SPECIAL EXCEPTION AND/OR VARIANCE

TO THE COUNTY BOARD OF APPEALS OF BALTIMORE COUNTY:

The undersigned, legal owner(s) of the property situate in Baltimore County and which is described in the description and plat attached hereto and made a part hereof, hereby petition (1) that the zoning status of the herein described property be re-classified, pursuant to the Zoning Law of Baltimore County, from an O.T. zone to an M.L.-I.M. zone, for the reasons given in the attached statement; and (2) for a Special Exception, under the said Zoning Law and Zoning Regulations of Baltimore County, to use the herein described property, for _____

and (3) for the reasons given in the attached statement, a variance from the following sections of the Zoning Law and Zoning Regulations of Baltimore County:

SEE ATTACHED

Property is to be posted and advertised as prescribed by The Baltimore County Code.

I, or we, agree to pay expenses of above Re-classification, Special Exception and/or Variance, posting, etc., upon filing of this petition, and further agree to and are to be bound by the zoning regulation and restrictions of Baltimore County adopted pursuant to the Zoning Law for Baltimore County.

Contract Purchaser:	Legal Owner(s):	MAP 50 SC
(Type or Print Name)	LoRoy M. Merritt	24
Signature	(Type or Print Name)	DATE 2/26/90
Signature	Leroy M. Merritt	200
Address	Signature	1000
City and State	(Type or Print Name)	DP
Signature	Signature	
Attorney for Petitioner:	2086 Lord Baltimore Drive 298-2600	
(Type or Print Name)	Address	Phone No.
John B. Howard, Esquire	Baltimore, Maryland 21207	
Signature	City and State	
210 Allegheny Avenue	Name, address and phone number of legal owner, con-	
Towson, Maryland 21204	tract purchaser or representative to be contacted	
City and State	John B. Howard, Esquire	
Attorney's Telephone No.: 923-4111	Name	
	210 Allegheny Avenue	
	Towson, Maryland 21204 823-4111	
	Address	Phone No.



Baltimore County, Maryland received
PEOPLE'S COUNSEL
ROOM 304, COUNTY OFFICE BUILDING 89 SEP 11 PM 4:05
111 WEST CHESAPEAKE AVENUE
TOWSON, MARYLAND 21204
887-2866/118

PHYLLIS COLE FRIEDMAN
People's Counsel

PETER MAX ZIMMERMAN
Dep. People's Counsel

September 11, 1989

The Honorable
Lawrence E. Schmidt
Acting Chairman
County Board of Appeals
Room 315, County Office Building
111 W. Chesapeake Avenue
Towson, Maryland 21204

RE: Leroy M. Merritt, Petitioner
Zoning Case No. CR-89-451

Dear Mr. Schmidt:

I must respectfully confirm that it is necessary to request a continuance in this case. There has been a sudden death in the family of the People's Counsel, Phyllis Cole Friedman, who is scheduled to try the case.

I have spoken with Robert A. Hoffman, Esquire, this afternoon, and he has stated that he has no objection to the continuance. We will cooperate in Mr. Hoffman's request that the case be rescheduled as soon as reasonably possible consistent with the Board's schedule.

It is my understanding, under these circumstances, and based on my telephone conversation with you, that the continuance will be granted.

Sincerely yours,

Peter Max Zimmerman
Peter Max Zimmerman
Deputy People's Counsel

cc: Robert A. Hoffman, Esquire

PMZ:sh

NOTICE OF HEARING

Petition for Zoning Reclassification
Case Number: CR-89-451
W/S Commerce Drive, #3700-3798, 175' N c/l Washington Blvd.
Petitioner(s): Leroy M. Merritt

Petition to reclassify the property from an O.T. zone to an M.L.-I.M. zone.

TIME: 10:00 a.m.
DATE: TUESDAY, SEPTEMBER 12, 1989
LOCATION: Room 301, County Office Building, 111 W. Chesapeake Avenue, Towson, Maryland 21204

WILLIAM T. HACKETT, CHAIRMAN
County Board of Appeals

cc: John B. Howard, Esq.
Leroy M. Merritt
People's Counsel
Board of Appeals

THIS IS TO ADVISE YOU THAT YOU WILL BE BILLED BY THE ZONING OFFICE FOR ADVERTISING AND POSTING COSTS WITH RESPECT TO THIS CASE APPROXIMATELY A WEEK BEFORE THE HEARING. THIS FEE MUST BE PAID AND THE SIGN AND POST RETURNED TO THE ZONING OFFICE ON THE DAY OF THE HEARING OR THE ORDER WILL NOT BE ISSUED.

W.T.H.

10-2 113 52 25 63

RECEIVED
COUNTY BOARD OF APPEALS
SEP 11 1989

RE: PETITION FOR RECLASSIFICATION : BEFORE THE COUNTY BOARD OF APPEALS
FROM O.T. TO M.L.-I.M. ZONE :
W/S Commerce Dr., #3700-3798, : OF BALTIMORE COUNTY
175' N C/L Washington Blvd.
13th Election District :
1st Councilmanic District :

LEROY M. MERRITT, Petitioner : Zoning Case No. CR-89-451
: : : : :
ENTRY OF APPEARANCE

Please enter the appearance of the People's Counsel in the above-captioned matter. Notices should be sent of any hearing dates or other proceedings in this matter and of the passage of any preliminary or final order.

Phyllis Cole Friedman
Phyllis Cole Friedman
People's Counsel for Baltimore County

Peter Max Zimmerman
Peter Max Zimmerman
Deputy People's Counsel
Room 304, County Office Building
111 W. Chesapeake Avenue
Towson, Maryland 21204
(301) 887-2188

I HEREBY CERTIFY that on this 13th day of July, 1989, a copy of the foregoing Entry of Appearance was mailed to John B. Howard, Esquire, 210 Allegheny Avenue, Towson, Maryland 21204, Attorney for Petitioner.

Peter Max Zimmerman
Peter Max Zimmerman

89 JUL 13 AM 8:32
RECEIVED
COUNTY BOARD OF APPEALS

Baltimore County
Fire Department
Towson, Maryland 21204-2506
484-4500

Paul H. Reinke
Chief

William Hackett,
Chairman, Board of Appeals
Office of Planning and Zoning
Baltimore County Office Building
Towson, MD 21204

Re: Property Owner: Leroy M. Merritt

Location: W/S Commerce Drive, #3700-3798,
175' N centerline Washington Blvd.
Item No.: One (1) Zoning Agenda: 4/89-10/89

Gentlemen:

Pursuant to your request, the referenced property has been surveyed by this Bureau and the comments below marked with an "x" are applicable and required to be corrected or incorporated into the final plans for the property.

- () 1. Fire hydrants for the referenced property are required and shall be located at intervals or _____ feet along an approved road in accordance with Baltimore County Standards as published by the Department of Public Works.
- () 2. A second means of vehicle access is required for the site.
- () 3. The vehicle dead end condition shown at _____ EXCEEDS the maximum allowed by the Fire Department.
- () 4. The site shall be made to comply with all applicable parts of the Fire Prevention Code prior to occupancy or beginning of operation.
- (X) 5. The buildings and structures existing or proposed on the site shall comply with all applicable requirements of the National Fire Protection Association Standard No. 101 "Life Safety Code," 1988 edition prior to occupancy.
- () 6. Site plans are approved, as drawn.
- () 7. The Fire Prevention Bureau has no comments at this time.

REVIEWER: *Carl J. Kelly* 4-14-89 Noted and Approved: *Carl J. Kelly*
Planning Group Fire Prevention Bureau
Special Inspection Division

/s/

Baltimore County
Department of Public Works
Bureau of Traffic Engineering
Courts Building, Suite 405
Towson, Maryland 21204
(301) 887-3554

May 10, 1989

Mr. William Hackett
Chairman, Board of Appeals
County Office Building
Towson, Maryland 21204

Zoning Reclassification Cycle 1
Item No. 1

April - October, 1989

Property Owner:
Case No./Hearing Date:
Location:
Existing Zoning:
Election District:
Councilmanic District:
Acres:
Proposed Zoning:

Leroy M. Merritt
CR89-451; September 12, 1989
W/S Commerce Drive No. 3700-3798
175' N. centerline Washington Blvd.
O.T.
13th
1st
21.63
M.L. - I.M.

Dear Mr. Hackett:

The existing O.T. zoning for this 21.63 acres site can be expected to generate 5200 trips per day. This site with M.L. - I.M. zoning can be expected to generate approximately 1120 trips per day.

Very truly yours,
Michael S. Flanagan
Michael S. Flanagan
Traffic Engineer Associate II

MSP/lw

LAW OFFICES
COOK, HOWARD, DOWNES & TRACY
210 ALLEGHENY AVENUE
P.O. BOX 5517
TOWSON, MARYLAND 21204
TOWSON (301) 823-4111
TELECOPIER (301) 823-0147
205 EAST BROADWAY
P.O. BOX 8
BEL AIR, MARYLAND 21014
BEL AIR (301) 823-8864
BALTIMORE (301) 876-1851
DIRECT DIAL NUMBER
823-4111
FEBRUARY 28, 1989
COUNTY BOARD OF APPEALS OF
BALTIMORE COUNTY
Room 315, County Office Building
Towson, Maryland 21204
Re: Petition for Reclassification
22.51 acres located west of Washington Boulevard and
southeast of the intersection of I-95 and I-695 (the
Baltimore Beltway)
Councilmanic District: First
Election District: Thirteenth
Existing Zoning: OT
Proposed Zoning: ML-IM
Leroy M. Merritt, Petitioner
Dear Board Members:
This firm represents Leroy M. Merritt, owner of the
referenced property (the "Property"), who is requesting
reclassification of 22.51 acres from the OT (Office and
Technology) to the ML (Manufacturing, Light) zone, as well as the
application of the IM (Industrial, Major) district to the
Property. Mr. Merritt is proceeding under Section 2-58.1(1) of
the Zoning Regulations and is including documentation relating to

County Board of Appeals of
Baltimore County
February 28, 1989
Page 2
the proposed use of the Property as a planned office/warehouse
development, a part of the "Beltway Business Community".
The requested reclassification is warranted, because the
zoning of the Property as OT on the 1988 Baltimore County
Comprehensive Zoning Map was clearly a mistake or error. This
erroneous zoning is attributable to the County Council's failure
to review the OT classification of the Property in light of the
application of OT zoning to two much larger parcels (the "Spring
Grove parcel" and the "UMBC parcel") not far to the west of the
Property and just outside the Baltimore Beltway. Because of the
fact that these newly-designated OT parcels are nearby, are much
larger, and are publicly or quasi-publicly owned and therefore
have ready access to public resources that can be invested to
promote high-technology development, it is unreasonable to expect
that the Property will be able to attract a fair share of this
type of growth.
On the other hand, the Property is well-suited for ML zoning
and for the office/warehouse development shown on the documented
site plan. This development would tie into similar development
already underway on ML-zoned lands owned by Mr. Merritt and
located directly to the northeast of the Property. It would also
be consistent with ML zoning to the east and to the south, on the
opposite side of the Beltway, and with the large number of
industrial and warehouse uses in the area.
The Property was zoned ML-IM prior to 1974, when Mr. Merritt
acquired it, and until 1976, when it was reclassified to MLR-IM.
It retained the MLR-IM designation, despite a request for change
during the 1984 comprehensive rezoning process, until 1984.
Immediately to the northeast were returned to their former ML-IM
classification, and the Property was placed in the newly-created
OT zone. At that time, there were no other areas designated for
OT zoning in this part of Baltimore County.
However, in the 1988 comprehensive rezoning process, there
were two requests submitted and granted for substantial amounts
of OT zoning. Issue No. 1-093 (the "Spring Grove parcel")
involved nearly 195 acres, owned by the quasi-public Maryland
Economic Development Corporation, at the site of the former
Spring Grove State Hospital. Issue No. 1-096 involved 80 acres
in the southern portion of the campus of the University of
Maryland, Baltimore County. Both of these sites are located
within 3 miles of the Property and, because of their much larger
size and, most important, their public or quasi-public ownership,
they are natural prospects to absorb the kind of mixed-use

County Board of Appeals of
Baltimore County
February 28, 1989
Page 3
office/high technology/high-density residential development for
which the OT zone is designed.
Mr. Merritt, owner of the Property, was unaware, before the
filing deadline for 1988 comprehensive zoning map issues, of the
proposals for OT zoning on the Spring Grove and UMBC parcels, and
therefore he did not raise the zoning of the Property as a 1988
map issue. The County Council accordingly had no occasion to
map issue. The County Council should be adjusted in light of the
focus its attention on the Property or to consider whether the
zoning of the Property should be adjusted in light of the
creation of the new OT zones just to the west. Because it did
not adequately take into account the implications of its other
zoning actions on the Property, the County Council erroneously
continued the Property's existing OT classification. Indeed, it
is submitted that had the Council considered this Property's
classification on the 1988 Comprehensive Map it would have
been rezoned to the ML-IM zone requested here.
For the reasons indicated, the Petitioner respectfully
submits that the zoning of the Property should be changed from OT
to ML and that the adjacent IM district should be expanded to
include the Property.
Sincerely yours,
John B. Howard
John B. Howard

APR 25 1989
NOTICE OF HEARING
Petition for Zoning Reclassification
Case Number: CR-89-451
W/S Commerce Drive, #3700-3798, 175' N c/l Washington Blvd.
Petitioner(s): Leroy M. Merritt
Petition to reclassify the property from an OT zone to an M.L.-I.M. zone.
TIME: 10:00 a.m.
DATE: TUESDAY, SEPTEMBER 12, 1989
LOCATION: Room 301, County Office Building, 111 W. Chesapeake
Avenue, Towson, Maryland 21204
WILLIAM T. HACKETT, CHAIRMAN
County Board of Appeals
cc: John B. Howard, Esq.
Leroy M. Merritt
People's Counsel
Board of Appeals
THIS IS TO ADVISE YOU THAT YOU WILL BE BILLED BY THE ZONING OFFICE FOR
ADVERTISING AND POSTING COSTS WITH RESPECT TO THIS CASE APPROXIMATELY A
WEEK BEFORE THE HEARING. THIS FEE MUST BE PAID AND THE SIGN AND POST
RETURNED TO THE ZONING OFFICE ON THE DAY OF THE HEARING OR THE ORDER WILL
NOT BE ISSUED.
W.T.H.

THE JEFFERSONIAN
THURSDAY, MAY 11, 1988 - SEC. C - PAGE 1
PUBLIC NOTICE
RECLASSIFICATION AND REDISTRICTING PETITIONS ACCEPTED
FOR FILING BY BALTIMORE COUNTY BOARD OF APPEALS FOR THE APRIL, 1989 -
OCTOBER, 1989 ZONING RECLASSIFICATION CYCLE I
WESTERN SECTION
NORTHERN SECTION
CENTRAL SECTION
EASTERN SECTION
LISTINGS OF PETITIONS: Numbers in the listings are keyed to the map above
BY ORDER OF
WILLIAM T. HACKETT,
CHAIRMAN, COUNTY BOARD OF APPEALS
FOR BALTIMORE COUNTY AND
DIRECTOR OF PLANNING AND ZONING

NOTICE OF HEARING
PETITION FOR ZONING RECLASSIFICATION
Petition for Zoning Reclassification
Case Number: CR-89-451
W/S Commerce Drive, #3700-3798, 175' N c/l Washington Blvd.
Petitioner(s): Leroy M. Merritt
Point of beginning being located westerly 175 feet from the point of intersection
of the centerlines of Commerce Drive and Washington Boulevard chosen in a clockwise
direction:
1 - North 12° 30' 33" West 15.64 feet
2 - North 89° 56' 25" West 734.60 feet
3 - North 42° 33' 35" West 560.42 feet
4 - North 48° 15' 58" West 50.00 feet
5 - North 54° 23' 58" West 100.00 feet
6 - North 38° 46' 46" West 152.22 feet
7 - North 14° 21' 08" West 109.66 feet
8 - North 28° 13' 54" West 341.28 feet
9 - North 08° 53' 19" West 159.24 feet
10 - North 04° 09' 25" East 43.63 feet
11 - North 39° 13' 14" East 396.12 feet
12 - North 18° 25' 37" East 449.00 feet
13 - North 34° 30' 46" East 27.66 feet
14 - North 85° 01' 09" East 82.64 feet
15 - a curve to the left having a radius of 1335.00 feet, a length of 554.70
feet and a chord of North 17° 05' 37" East 520.89 feet
16 - a curve to the left having a radius of 823.09 feet, a length of 335.67
feet and a chord of North 47° 31' 04" East 327.58 feet and
17 - North 82° 35' 14" East 182.79 feet to the place of beginning.
(Containing 21.51 acres of land more or less)
Petition to reclassify the property from an OT zone to an M.L.-I.M. zone.
TIME: 10:00 a.m.
DATE: TUESDAY, SEPTEMBER 12, 1989
LOCATION: Room 301, County Office Building, 111 W. Chesapeake
Avenue, Towson, Maryland 21204
WILLIAM T. HACKETT, CHAIRMAN
County Board of Appeals

County Board of Appeals of
Baltimore County
Room 315, County Office Building
Towson, Maryland 21204
Re: Petition for Reclassification
22.51 acres located west of Washington Boulevard and
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Technology) to the ML (Manufacturing, Light) zone, as well as the
application of the IM (Industrial, Major) district to the
Property. Mr. Merritt is proceeding under Section 2-58.1(1) of
the Zoning Regulations and is including documentation relating to

County Board of Appeals of
Baltimore County
February 28, 1989
Page 2
the proposed use of the Property as a planned office/warehouse
development, a part of the "Beltway Business Community".
The requested reclassification is warranted, because the
zoning of the Property as OT on the 1988 Baltimore County
Comprehensive Zoning Map was clearly a mistake or error. This
erroneous zoning is attributable to the County Council's failure
to review the OT classification of the Property in light of the
application of OT zoning to two much larger parcels (the "Spring
Grove parcel" and the "UMBC parcel") not far to the west of the
Property and just outside the Baltimore Beltway. Because of the
fact that these newly-designated OT parcels are nearby, are much
larger, and are publicly or quasi-publicly owned and therefore
have ready access to public resources that can be invested to
promote high-technology development, it is unreasonable to expect
that the Property will be able to attract a fair share of this
type of growth.
On the other hand, the Property is well-suited for ML zoning
and for the office/warehouse development shown on the documented
site plan. This development would tie into similar development
already underway on ML-zoned lands owned by Mr. Merritt and
located directly to the northeast of the Property. It would also
be consistent with ML zoning to the east and to the south, on the
opposite side of the Beltway, and with the large number of
industrial and warehouse uses in the area.
The Property was zoned ML-IM prior to 1974, when Mr. Merritt
acquired it, and until 1976, when it was reclassified to MLR-IM.
It retained the MLR-IM designation, despite a request for change
during the 1984 comprehensive rezoning process, until 1984.
Immediately to the northeast were returned to their former ML-IM
classification, and the Property was placed in the newly-created
OT zone. At that time, there were no other areas designated for
OT zoning in this part of Baltimore County.
However, in the 1988 comprehensive rezoning process, there
were two requests submitted and granted for substantial amounts
of OT zoning. Issue No. 1-093 (the "Spring Grove parcel")
involved nearly 195 acres, owned by the quasi-public Maryland
Economic Development Corporation, at the site of the former
Spring Grove State Hospital. Issue No. 1-096 involved 80 acres
in the southern portion of the campus of the University of
Maryland, Baltimore County. Both of these sites are located
within 3 miles of the Property and, because of their much larger
size and, most important, their public or quasi-public ownership,
they are natural prospects to absorb the kind of mixed-use

County Board of Appeals of
Baltimore County
February 28, 1989
Page 3

office/high technology/high-density residential development for which the OT zone is designed.

Mr. Merritt, owner of the Property, was unaware, before the filing deadline for 1988 comprehensive zoning map issues, of the proposals for OT zoning on the Spring Grove and UMHC parcels, and therefore he did not raise the zoning of the Property as a 1988 map issue. The County Council accordingly had no occasion to focus its attention on the Property or to consider whether the zoning of the Property should be adjusted in light of the creation of the new OT zones just to the west. Because it did not adequately take into account the implications of its other zoning actions on the Property, the County Council erroneously continued the Property's existing OT classification. Instead, it is submitted that had the Council considered this property's zoning classification on the 1988 Comprehensive Map it would have been rezoned to the ML-IM zone requested here.

For the reasons indicated, the Petitioner respectfully submits that the zoning of the Property should be changed from OT to ML and that the adjacent IM district should be expanded to include the Property.

Sincerely yours,
John B. Howard
John B. Howard

JBH/ema

McCARTHY & ASSOCIATES, INC.
REGULATORY AND ENVIRONMENTAL
CONSULTANTS

Environmental Impact Assessment
for Beltway Business Community,
Baltimore County, Maryland

Item #1
Cycle I

Environmental Impact Assessment

Existing Conditions

The area under consideration includes a sand and gravel pit located within the sand and gravel pit. This area is that encompasses the majority of the property. This area is so badly disturbed that grass will not grow on much of the site. Virginia pine and black locust are beginning to encroach on the perimeter of the sand and gravel pit. Without the vegetation cover, erosion is currently a problem.

There are two sediment control ponds on the property, located within the sand and gravel pit. The first pond is located west of Commerce Drive and approximately in the center of the property. This pond has been drained by a small breach in the center of its berm. Presently, it contains hydric soil and hydrophytic vegetation. This pond would probably dry out completely if the entire berm is removed and graded even with the surrounding land. The second pond is still functioning to control sediment and is located in the southern end of the sand and gravel pit just northeast of Parcel 'A'.

Forested areas are present on the property with soft woods on the more recently disturbed areas and hardwoods on the more well-established sites. The forest stand in the northern section is a mixture of Virginia pine and deciduous trees. The area has been forested for approximately 30 years. A forest buffer exists between the sand and gravel pit and the Beltway, within this buffer is a small stand of white oak and southern red oak that is approximately 75 years old. A much younger stand of black locust and Virginia pine is found on the southern perimeter of the sand and gravel pit with an age of between 10 and 15 years.

Proposed Development

The proposed buildings will cover an area of 4.06 acres. There will be 8.44 acres of roads and parking areas. The remaining 9.13 acres will be landscaped open space.

14458 Old Mill Road #201
Upper Marlboro, MD 20772
(301) 627-7505

The major ecosystem will be to the forest stand in the northern section of the property. This forest has not developed a significant level of diversity with respect to the animal community. This is probably due to its isolation caused by the surrounding highway systems, junkyard and residential development.

Future Impact

The proposed development will probably result in a positive impact to the present environment conditions. At the present time, erosion is a problem due to the lack of vegetation and poor soil structure. Stormwater management and proposed landscaping will greatly reduce on-site erosion.

The forest surrounding the sand and gravel pit to the west and south will probably remain intact and will act as a buffer between the Business Center and the highway systems.

Proposed construction activity in the northern portion of the property will result in the loss of much of existing forest. However, due to the present low quality of the forest, this loss will be negligible.

McCARTHY & ASSOCIATES, INC.
REGULATORY AND ENVIRONMENTAL
CONSULTANTS

Item #1
Cycle I

WETLAND DELINEATION REPORT
FOR THE BELTWAY BUSINESS COMMUNITY
BALTIMORE COUNTY, MARYLAND

PREPARED BY
McCARTHY & ASSOCIATES, INC.

FEBRUARY 1989

14458 Old Mill Road #201
Upper Marlboro, MD 20772
(301) 627-7505

1. PURPOSE AND INTRODUCTION

The property was evaluated for wetlands in February 1989 using the U.S. Army Corps of Engineers' definition of Wetlands and Waters of the United States as defined in 33CFR 328.2. The Corps of Engineers Wetlands Delineation Manual (Technical Report Y-87-1) methodology was used as the guide for the field delineation of wetlands. This analysis required positive indications of soils exhibiting hydric characteristics, presence of a surface or groundwater hydrologic regime, and greater than 50% hydrophytic vegetation for the area in question to be considered wetland. Where positive indications of the above three parameters were observed, the area was considered wetland. When one of the above parameters (mainly soils or vegetation) exhibited change in the field and the soils did not correlate with the vegetation, the area was considered non-wetland. For this site, there is a distinct shift in plant community with soil change. When soil characteristics shifted from hydric to non-hydric, there was a corresponding change in plant community from wetland to non-wetland. Where this shift occurred, the boundary between these two plant communities was flagged, thus, indicating the limit of wetlands and the beginning of upland (non-wetland). This procedure dictated the wetland boundary determination for the entire site.

2. SITE LOCATION

The property is located in Baltimore County, Maryland, north of the Baltimore Beltway and east of Maryland Route 95. Access to the property is from Route 1 on Commerce Drive (Figure 1).

The property comprises 21.43 acres of predominantly sand and gravel pit land. There is approximately five acres of upland hardwood forest at the northern end of the property.

3. NATIONAL WETLAND INVENTORY MAP (NWIM)

The NWIM for this section of Baltimore County (Figure 2) indicates a palustrine open water (POWx) on the southern portion of the property. On-site inspection confirmed the presence of the above wetlands.

4. WETLAND PARAMETERS

A. Hydrology

The wetlands on the northern forested end of the property are a result of spring seepage and surface water runoff.

The wetlands delineated on the southern part of the property exist on the fringe of the sand and gravel pit disturbance. The water is from surface runoff and is sitting in improperly graded areas or impoundments for sediment control.

B. Soils

The soil survey for this portion of Prince George's County (Figure 3) indicates three different soil series on the property (Table 1). One of the soils is classified by Baltimore County as having unnamed hydric inclusions.

The soils on the majority of the property have been disturbed. The sand and gravel pit is such that it will not support vegetation over much of the area and the soil lacks a profile.

Numerous soil samples taken near the waterways exhibited hydric characteristics. Color matrices varied for the hydric soil samples (Table 2).

C. Vegetation

Sections of the property contain a dominant (50% or greater) mixture of facultative (FAC) and facultative-wetland (FACW) species (see Table 3). Such mixtures commonly occur with hydric soils. Where such occurrences were found on the property, we considered these areas wetlands. For instance, in the vicinity of the stream channels and ponded areas, the dominant canopy tree is red maple, with an understory of black willow. The shrub layer is dominated by hazel, alder, and whereas the herbaceous layer contains considerable numbers of soft rush as well as onion grass and broad-leaved cattail.

5. WETLAND DELINEATION

The delineation of the wetlands boundary was conducted primarily using the correlation of soils and vegetation. The hydrologic regime was considered, but soils and vegetation were the primary determining factors due to their more invariant nature. Along the stream valley and pond margins, where the vegetation shifts from hydrophytic to upland species conspicuously and the soils change from hydric to nonhydric, orange polka-dot flagging was placed. This approach guided our delineation of wetlands on the Beltway Business Community.

TABLE 1

Soil Types Present at the Beltway Business Community
(as determined by the Baltimore County Soil Survey)

- LyD - Loamy and clayey land, 15-40% slopes
** Sg - Sand and gravel pits
ShB - Sassafras sandy loam, 2-5% slopes
ShD2 - Sassafras sandy loam, 10-15% slopes, moderately eroded
** Soils known to possess hydric inclusions in Baltimore County.

Table 2

Color Matrices of Hydric Soil Samples
from the Beltway Business Community

Hue	Mottled	Munsell Chart/Value/Chroma
Gray	yes	10YR 5/1
Gray	yes	10YR 5/2
Very dark gray	yes	10YR 3/1
Pinkish gray	yes	7.5Y 7/1

Table 3

Plant Species Observed Within Wetlands
at the Beltway Business Community,
Baltimore County, Maryland

The common name, scientific name, and Corps of Engineers' indicator status are provided for each species. A series of dashes following a species name denotes that a Corps of Engineers' classification has not yet been determined.

A. Canopy

Red maple	<i>Acer rubrum</i>	FAC
Green ash	<i>Fraxinus pennsylvanica</i>	FACW
Black gum	<i>Nyssa sylvatica</i>	FAC
Sycamore	<i>Platanus occidentalis</i>	FACW
Black willow	<i>Salix nigra</i>	FACW

B. Shrub

Hazel alder	<i>Alnus serrulata</i>	OBL
Japanese honeysuckle	<i>Lonicera japonica</i>	FACW
Common elder	<i>Sambucus canadensis</i>	FACW
Common greenbrier	<i>Smilax rotundifolia</i>	FAC

C. Herbaceous

Wild onion	<i>Allium canadense</i>	FACW
Deertongue	<i>Disportheum clandestinum</i>	FACW
Soft rush	<i>Juncus effusus</i>	FACW
Broad-leaved cattail	<i>Typha latifolia</i>	OBL
Cutleaf grape-fern	<i>Pteridium aquilinum</i>	FAC
Stout woodreed	<i>Cinna arundinacea</i>	FACW

BALTIMORE COUNTY ZONING PLANS ADVISORY COMMITTEE

August 29, 1989

COUNTY OFFICE BLDG.
111 W. Chesebrough Ave.
Towson, Maryland 21204

John B. Howard, Esquire
210 Allegheny Avenue
Towson, MD 21204

RE: Case No. CR89-451
Petitioner: Leroy M. Merritt
Reclassification Petition

Dear Mr. Howard:

This reclassification petition has been timely filed with the Board of Appeals for a public hearing within the October-April reclassification cycle (Cycle V). It has been reviewed by the zoning office as to form and content and has also been reviewed by the Zoning Plans Advisory Committee. The review and enclosed comments from the Committee are intended to provide you and the Board of Appeals with an insight as to possible conflicts or problems that could arise from the requested reclassification or uses and improvements that may be specified as part of the request. They are not intended to indicate the appropriateness of the zoning action requested.

If it has been suggested that the petition forms, descriptions, briefs, and/or the site plans be amended so as to reflect better compliance with the zoning regulations and/or commenting agencies' standards and policies, you are requested to review these comments, make your own judgment as to their accuracy and submit the necessary amendments to this office on or before October 26, 1989. In the event that any requested amendments are not received prior to this date, the petition will be advertised as originally submitted.

In view of the fact that the submitted site plan does not indicate a proposed use at this time, the comments from this Committee are general in nature. If the request is granted and an additional hearing is required at a later date, more detailed comments will be submitted at that time.

Page 2

If you have any questions concerning the enclosed comments, please feel free to contact the Zoning Office at 887-3391 or the commenting agency.

Very truly yours,

James E. Dyer
JAMES E. DYER
Chairman
Zoning Plans Advisory Committee

JED:jaw

Enclosures

cc: Mr. Leroy M. Merritt
2066 Lord Baltimore Drive
Baltimore, MD 21207

cc:

Baltimore County
Zoning Commissioner
Office of Planning & Zoning
Towson, Maryland 21204
(301) 887-3353

J. Robert Haines
Zoning Commissioner



Your petition has been received and accepted for filing this 31st day of April, 1989.

J. Robert Haines
J. ROBERT HAINES
ZONING COMMISSIONER

Received By:

James E. Dyer
Chairman,
Zoning Plans Advisory Committee

Petitioner: Leroy M. Merritt

Petitioner's Attorney: John B. Howard



Maryland Department of Transportation
State Highway Administration

Richard H. Tranter
Secretary
Hal Kassoff
Administrator

April 24, 1989

Mr. J. Robert Haines
Zoning Commissioner
County Office Building
Towson, Maryland 21204

Attn: Mr. James Dyer

Re: Baltimore County
Zoning Reclassification
Petition
Leroy M. Merritt
CR89-451
September 12, 1989
175' North of
Washington Blvd.
(Route 1-S)
(Item #1 - Cycle I)

Dear Mr. Haines:

After reviewing the submittal for the Leroy M. Merritt Property, we have the following comment.

We have forwarded this plan to our Planning Department with concern to any impact to this site from our future beltway improvements.

We will send you revised comments when received.

If you have any questions, please contact Larry Brocato at 333-1350.

Very truly yours,

Creighton J. Mills, Jr.
Creighton J. Mills, Jr., Chief
Engineering Access Permits
Division

LB:maw

cc: Mr. John Howard, Esq.
Mr. J. Ogle

RECEIVED
APR 27 1989
ZONING OFFICE

My telephone number is (301) 333-1350

Teletypewriter for Impaired Hearing or Speech
383-7555 Baltimore Metro - 585-0451 D.C. Metro - 1-800-492-5082 Statewide Toll Free
707 North Calvert St., Baltimore, Maryland 21203-0717



Maryland Department of Transportation
State Highway Administration

Richard H. Tranter
Secretary
Hal Kassoff
Administrator

May 8, 1989

Mr. J. Robert Haines
Zoning Commissioner
County Office Building
Towson, Maryland 21204
Attn: James Dyer

Re: Baltimore County
Zoning Reclassification
Petition
Leroy M. Merritt
CR-89-451
9/12/89
W/S Commerce Drive
175' North of Washington
Boulevard
US 1-S
(item #1 Cycle I)

Dear Mr. Haines:

This is a follow up to our letter dated April 24th. We are informing you there will be no impact to this site from our future beltway improvements.

However, we will require our Hydraulic Section review this plan concerning the outfall of the storm water management facility into State Highway Administration (SHA) right-of-way. This review process must be complete prior to issuance of building permits.

If you have any questions, contact Larry Brocato (333-1350).

Very truly yours,

Creighton J. Mills, Jr.
Creighton J. Mills, Jr., Chief
Engineering Access Permits
Division

LB/es

cc: Mr. John B. Howard
Mr. J. Ogle

RECEIVED
MAY 15 1989

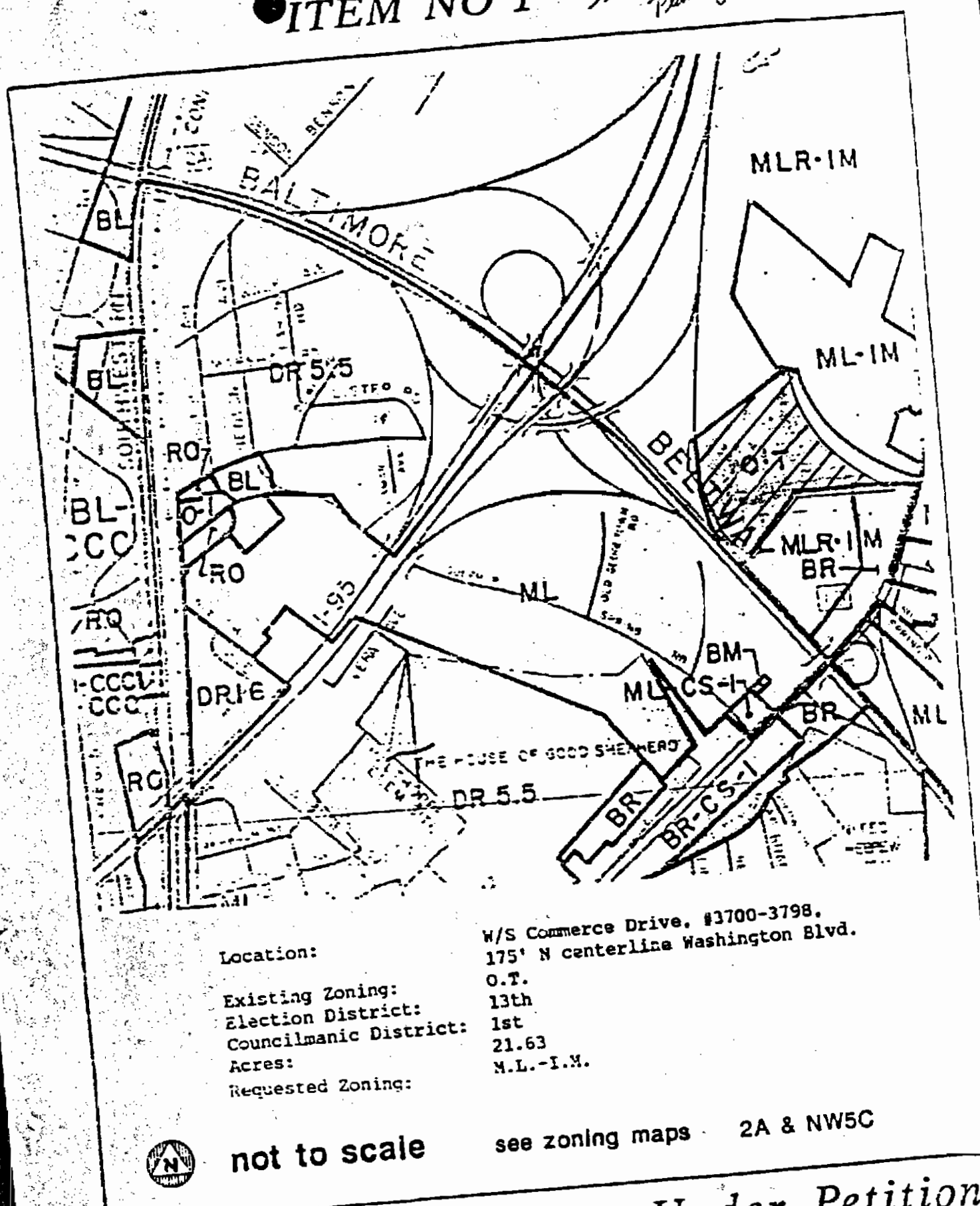
ZONING OFFICE

My telephone number is (301) 333-1350

Teletypewriter for Impaired Hearing or Speech
383-7555 Baltimore Metro - 585-0451 D.C. Metro - 1-800-492-5082 Statewide Toll Free
707 North Calvert St., Baltimore, Maryland 21203-0717

ITEM NO 1

See page 9.10
Planning Comments
89-451



Location of Property Under Petition

CYCLE I, ITEM 1

EXISTING ZONING/LAND USE: OT, Vacant

PROPOSED ZONING/LAND USE: ML-IM, Office/Warehouse development
(Documented Site Plan)

SURROUNDING ZONING:

Northeast: ML-IM
Southeast: MLR-IM and BR
Southwest: ML (other side of I-695)
Northwest: MLR-IM

SURROUNDING LAND USES:

Northeast: Office/warehouse development (other side of Commerce Drive)
Southeast: Vacant land
Southwest: Industrial (other side of I-695)
Northwest: Vacant land and I-95/I-695 interchange

SUMMARY AND RECOMMENDATIONS:

The petitioner has submitted a documented site plan for a parcel of land 21.63+ acres (not including road) in size. In reference to this request staff provides the following information:

- The proposed land use as provided within the documented site plan is a flex office/warehouse development consisting of 5 buildings with a total of 177,050 square feet. Ultimate buildout under existing OT zoning would be approximately 539,295 square feet.
- The zoning history has fluctuated between various manufacturing zones and most recently an OT zone.

1976	ML-IM to MLR-IM	Approved
1980	MLR-IM to ML-IM	Denied
1984	MLR-IM to ML-IM	Denied
	OT	Approved
- The actual trips per day generated by the proposed development will be significantly less than the OT zone. Access to the site from I-95 and I-695 is limited at this point in time.
- Public water and sewer service to the site is adequate to serve the designated zoning.
- The documented site plan includes 1) site plan; 2) landscape plan; and 3) building elevations. Staff has provided a list of deficiencies with the plan as proposed.

-7-

- The I-95 corridor between Washington D.C. and Baltimore is evolving as a high technology office area. This particular site has a high level of visibility and represents a continuation of this corridor which should be maintained.
- The existing OT zoning which provides for a high technology employment center should remain for more intensive development.

Based upon the analysis conducted, staff finds no error in the existing zoning and recommends denial of the applicant's request.

ANALYSIS: ZONING HISTORY

During the 1976 Comprehensive Zoning Map Process the property was zoned from ML-IM to MLR-IM. On the 1980 Comprehensive Zoning Map Process the petitioner requested a zoning change from MLR-IM to ML-IM which was denied. At the time of the 1984 Comprehensive Zoning Map Process the petitioner requested a change from MLR-IM to ML-IM but was denied and changed to OT.

LAND USE

The petitioner has a parcel of land that is approximately 21.63 acres in size (not including road). The property is zoned OT - Office and Technology Zone.

The zone was designed to "be located in areas of high accessibility or in proximity to a town center. And in such other areas which because of a unique combination of characteristics, such as visibility, relationship to surrounding areas, accessibility, or infrastructure capacity, provide opportunity for employment intensive development." (Sec. 207.2 B.C.Z.R.)

The range of permitted uses includes office, electronic communications, hotels/motels, laboratories, research institutes and warehouse uses are not to exceed 30% of the gross floor area or 60% by special exception. Auxiliary uses should not to exceed 3,000 square feet per use and include employee serving banks, eating or drinking establishments, etc. The OT zone allows a building height of 150 feet when located near a town center or 60 feet outside a town center. At least 25% of the able floor area ratio for new buildings is .35. In addition to Sec. 22-104 of the Development Regulations is provided in the existing zoning provides for a reasonable and flexible use of the site.

-8-

The petitioners request for ML-IM zoning was accompanied with a documented site plan. The documented site plan is consistent with the zoning being requested for the site. The site will be developed in the following manner:

Buildings	5
Office	44,263 square feet
Warehouse	132,787 square feet
Parking	474 spaces required 490 spaces provided
Hours of Operation	7:00 AM to 10:00 PM

The proposed use is a moderate truck and automotive trip generator.

TRAFFIC/ACCESS

The ultimate buildout of the site under existing zoning could result (.55 (f.a.r.) x 22.51 (acres)) in approximately 539,295 square feet of office and technology uses. The documented site plan submitted by the petitioner shows an office/-warehouse complex of 177,050 square feet in size. The general intensity of employment is less than what could be provided in the OT zone.

WATER/SEWER

The site is served by public water and sewer. Water and sewer service appear to be adequate. The area is rated W-1, S-1 on the Master Water and Sewer Plan.

DOCUMENTED SITE PLAN

The petitioner has submitted a documented site plan that includes: 1) site layout; 2) landscape plan; and 3) building elevations and cross sections. The site plan and landscaping are extremely well designed and laid out. Adequate site distance, buffer yards, and open space is being provided on site. The site layout appears to function for the use proposed. The site plan as submitted by the petitioner, however, is deficient in the following areas:

1. No more than 12 parking spaces should be provided without a landscape peninsula.
2. Employee amenity areas eating or gathering outside of the structures should be provided.
3. A sidewalk or pathway system should be incorporated into the project.

4. Lighting of the site should not exceed .2 candles at the property line.
5. A complete sign program and signage details (size, lettering, etc.) should be submitted by the petitioner.
6. A statement outlining the applicant's intent not to apply for any variances especially to signage is critical for this location.
7. Areas of excess paving that are not necessary for parking, service areas, or truck movement should be eliminated.
8. Landscaping should be provided directly adjacent to the buildings where feasible or practical.
9. Architectural details such as the use of red brick and roof color should be specified.

APPROVED/PROPOSED PLANS

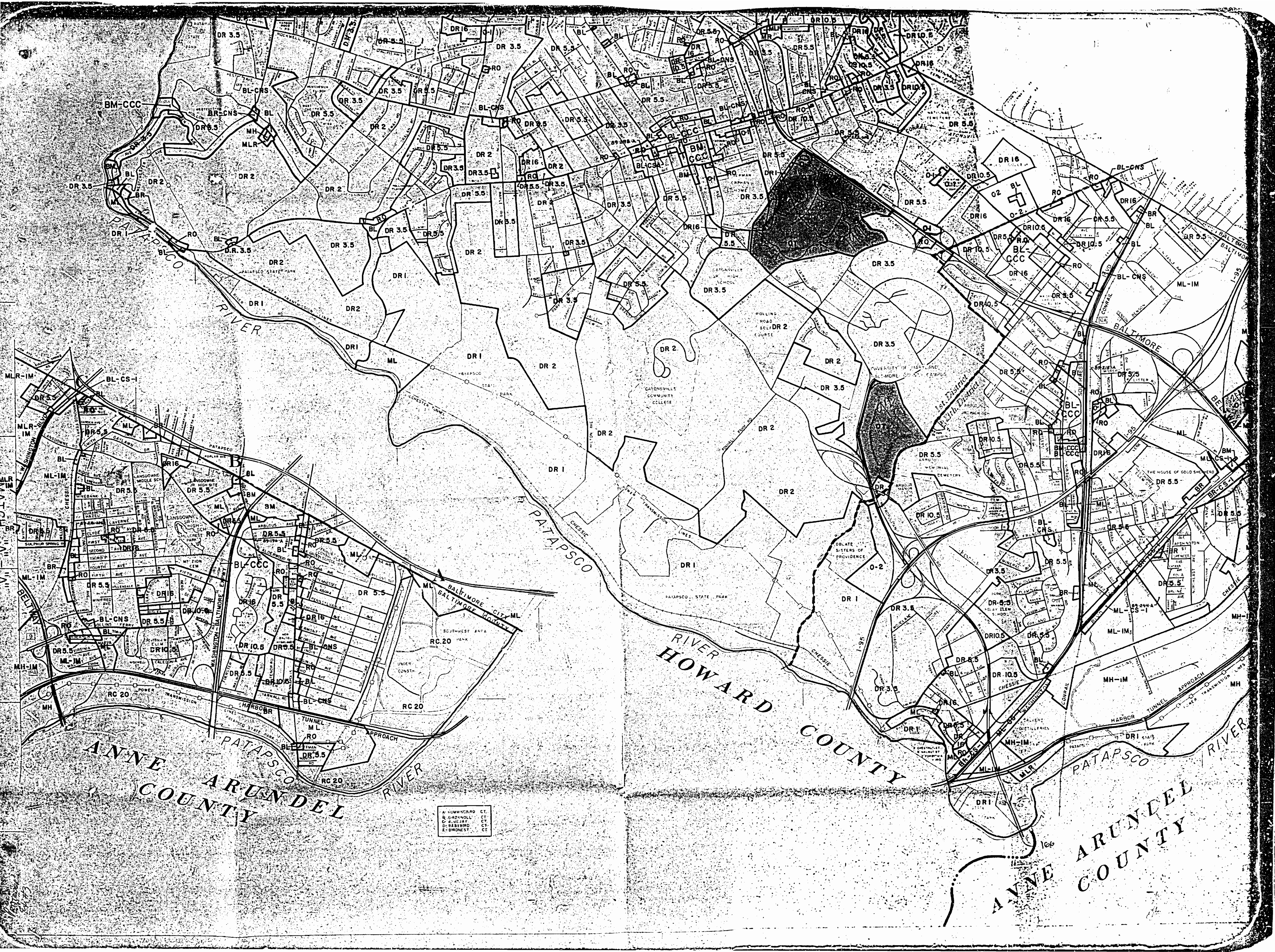
The petitioners site is located on the southeast corner of the I-95/I-695 interchange. This area lies outside of the Catonsville, Arbutus, Lansdowne, Halethroe study areas. The I-95 corridor between Washington D.C. and Baltimore City is generally recognized on a regional level as a high technology office and research corridor. Nodes along this corridor include Burtonsville, Laurel, Columbia, BWI Airport, Catonsville, and Baltimore City. This particular site lies within this corridor, has high visibility, commands a significant view, and should remain as designated for an office technology office park and development.

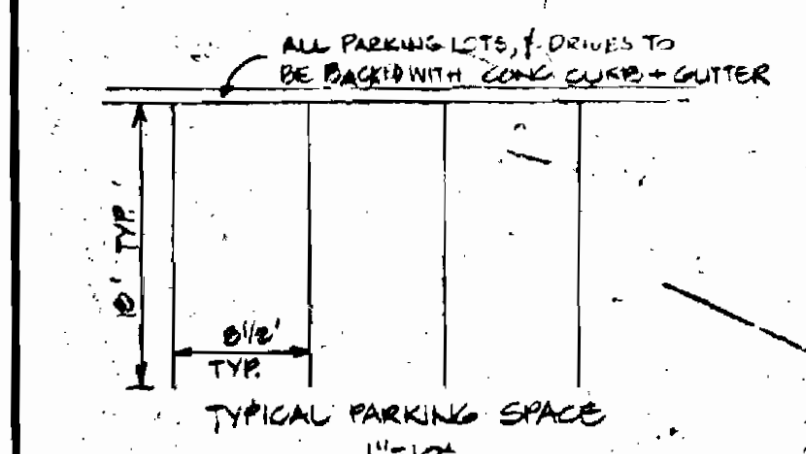
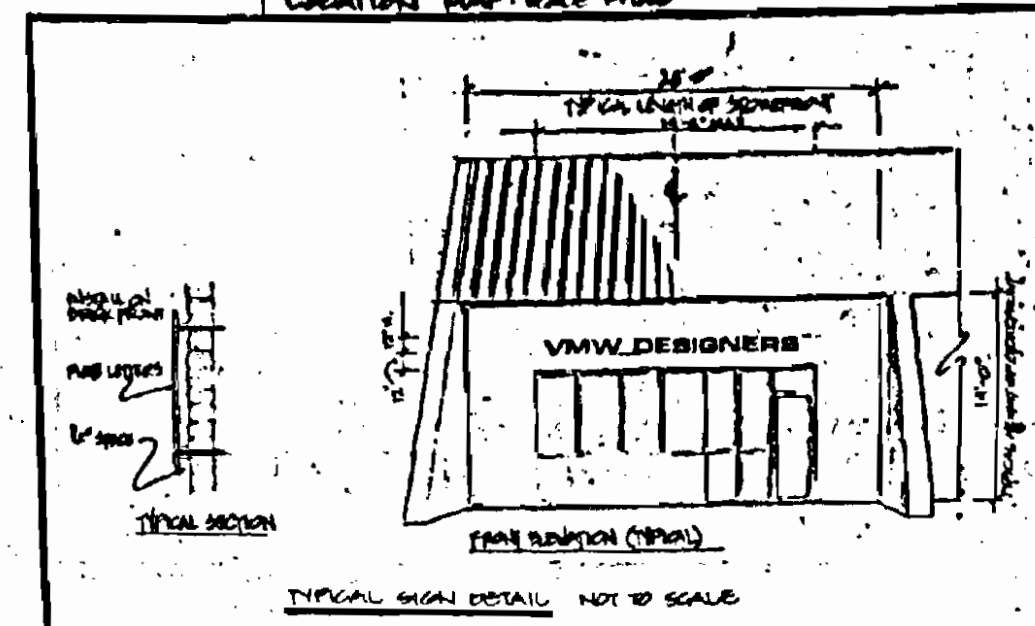
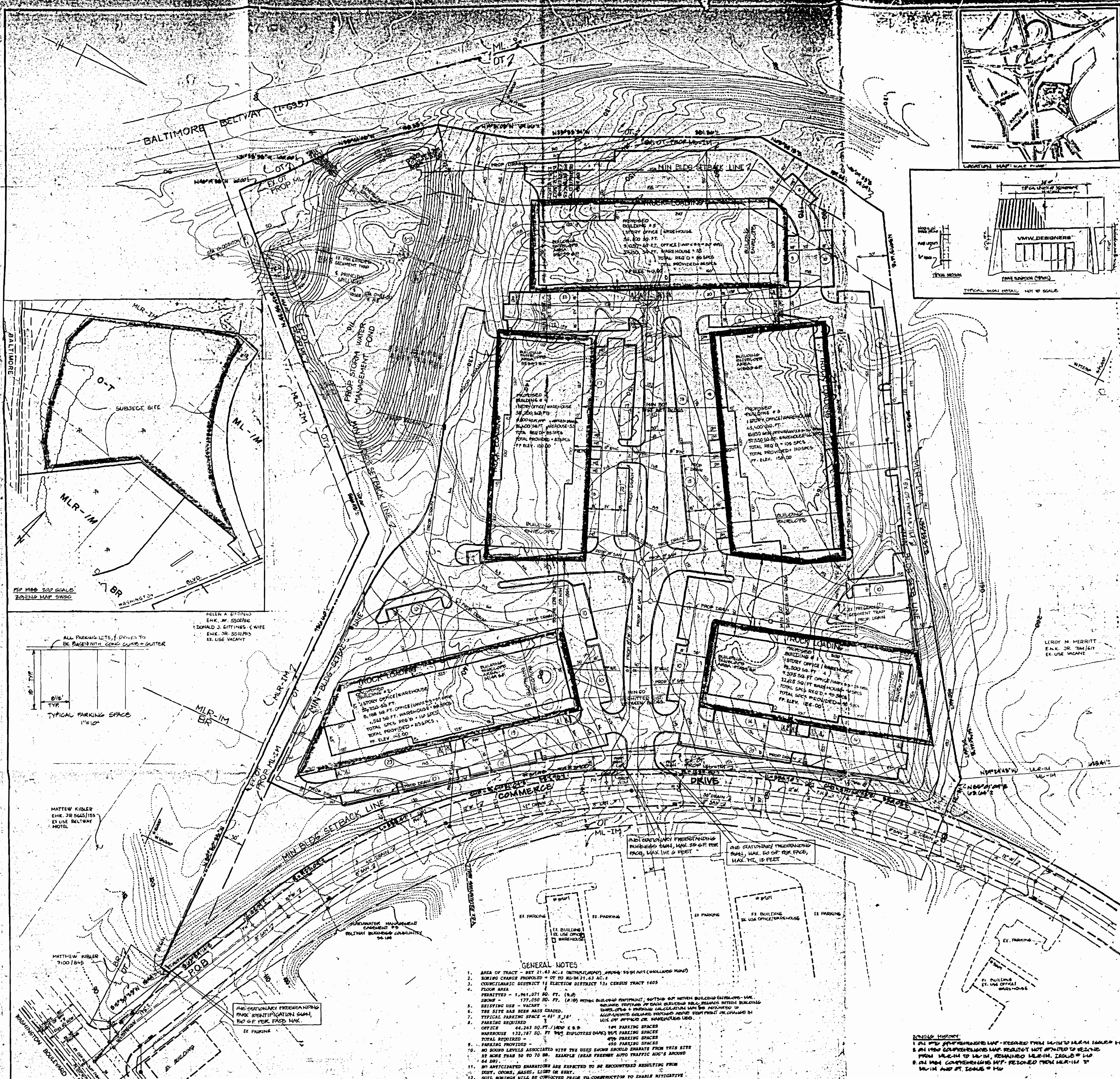
The County recognizes the need for the particular type of development proposed by the applicant. As part of the 1989 Master Plan particular recommendations and zoning are being proposed to accommodate this type of use. The development of this site for this use would affectively pre-empt the use of the property for a higher intensity employment center as envisioned in the OT zone.

INTERAGENCY COMMENTS

See Appendix







MATTHEW KIBLER
ENR. JR. 5665/153
EX. USE BELTWAY
MOTEL

HELEN A. SITTING
ENR. JR. 5502/156
DONALD J. SITTING & WIFE
ENR. JR. 5502/156
EX. USE VACANT

LEROY M. HERRITT
ENR. JR. 714/17
EX. USE VACANT

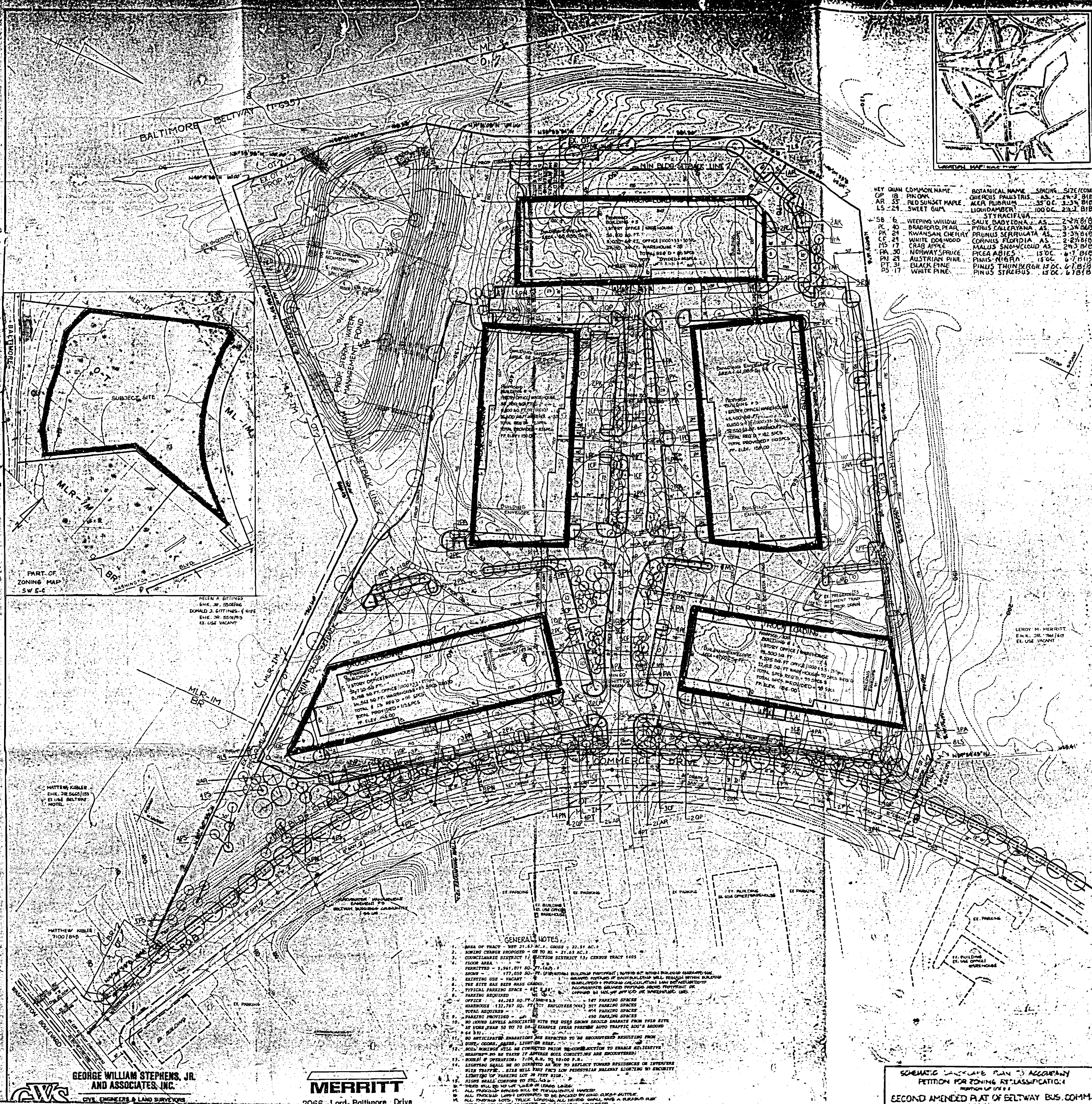
GENERAL NOTES

1. AREA OF TRACT - NET 21.63 AC. (WITHIN MAP) 21.63 AC. (W/OUT MAP)
2. ZONING CHANGE PROPOSED - OT TO ML-IM 21.63 AC.
3. COMMERCIAL DISTRICT 13 ELECTION DISTRICT 13 CENSUS TRACT 1405
4. FLOOR AREA
PERMITTED - 1,961,071 SQ. FT. (5.0)
SHOWN - 1,777,050 SQ. FT. (5.0) WITHIN BUILDING FOOTPRINT, 60% OF EACH BUILDING AREA, REMAIN WITHIN BUILDING
5. EXISTING USE - VACANT
6. THE SITE HAS BEEN REDEVELOPED
7. TYPICAL PARKING SPACE - 11' x 20'
8. PARKING REQUIRED
OFFICE 44,263 SQ. FT. / 1000 E & S
WAREHOUSE 132,787 SQ. FT. 240 EMPLOYEES (240) 240 PARKING SPACES
TOTAL REQUIRED - 440 PARKING SPACES
9. PARKING PROVIDED - 440 PARKING SPACES
10. NO SOUND LEVELS ASSOCIATED WITH THE USES SHOWN SHOULD EXCEED 55 DBA AT 30 FEET FROM THE SOURCE
11. NO ANTICIPATED EXHAUSTION ARE EXPECTED TO BE ENCOUNTERED RESULTING FROM DUST, OILS, GASES, LIGHT OR HEAT
12. SOIL BORINGS WILL BE CONDUCTED PRIOR TO CONSTRUCTION TO DETERMINE NECESSARY
13. BORINGS TO BE TAKEN AT 100' DEPTH TO DETERMINE NECESSARY
14. LIGHTING SHALL BE SO DIRECTED AS NOT TO REFLECT TOWARD RESIDENTS OR INTERFERE WITH TRAFFIC. SITE WILL VARY FROM LOW PEDESTRIAN WALKWAY LIGHTING TO SECURITY LIGHTING OF PARKING LOT TO TALL HIGH
15. SIGNAGE SHALL CONFORM TO SEC. 100.0
16. THERE SHALL BE NO HOT LINES OR LEASE LINES
17. ALL PARKING SPACES SHALL BE PERMANENTLY MARKED
18. ALL PARKING LOTS & DRIVEWAYS TO BE PAVED BY CONC. CURB & GUTTER
19. ALL PARKING LOTS, TRUCK LOADING AND DRIVES SHALL HAVE A DURABLE DUST FEE

GEORGE WILLIAM STEPHENS, JR.
AND ASSOCIATES, INC.

OWNER / DEVELOPER
MERRITT
2066 Lord Baltimore Drive

FAT TO ACCOMPANY
PETITION FOR ZONING RECLASSIFICATION
SECTION OF LOT 10
SECOND AMENDED PLAT OF BELTWAY BUS COMM.
BY 10151
PLAT FOR LOT 10



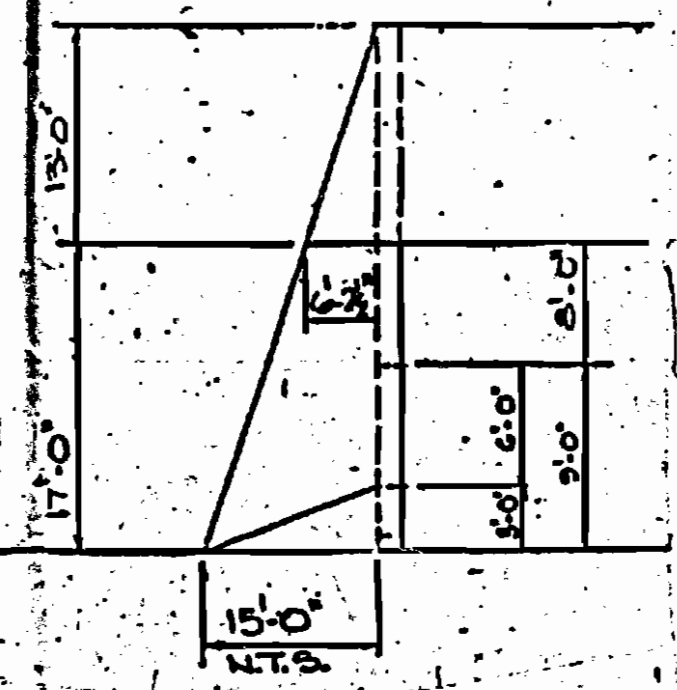
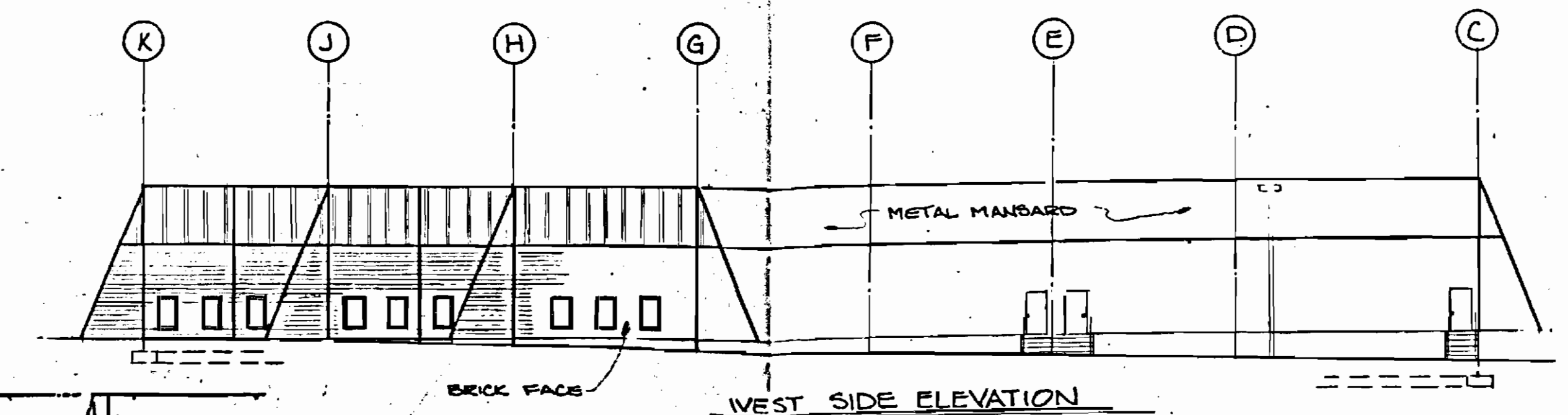
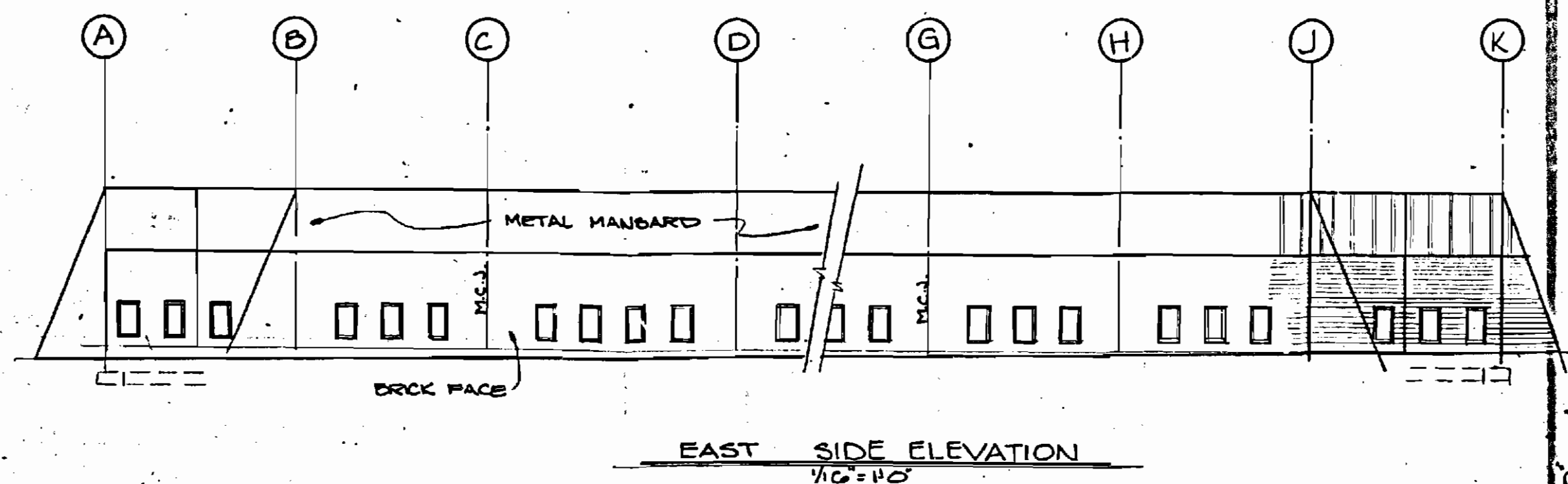
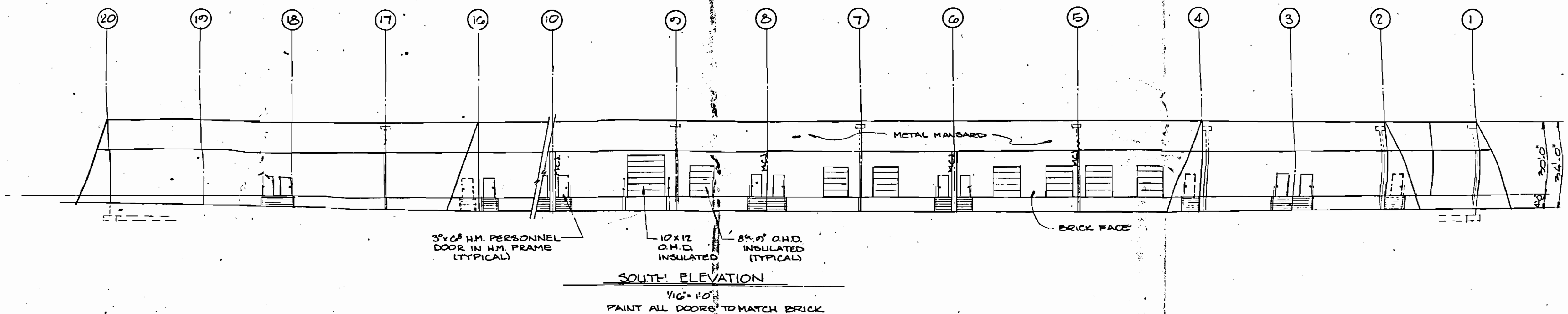
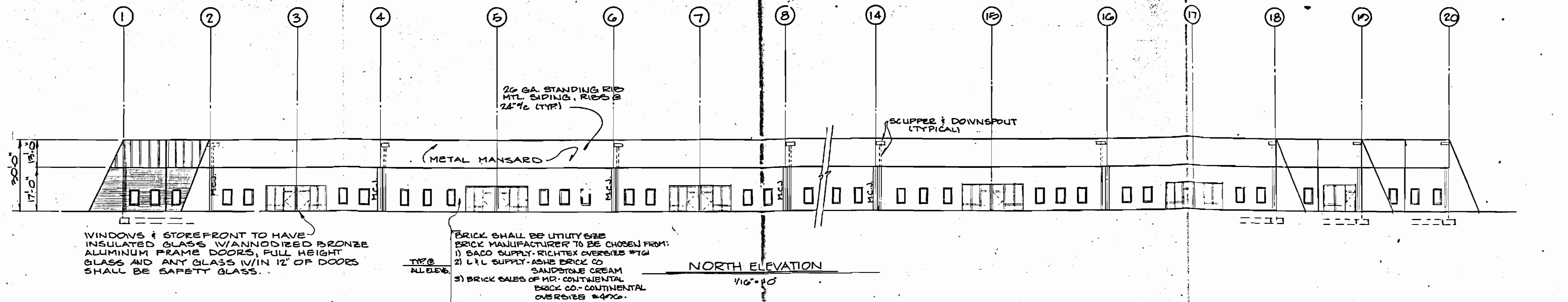
KEY	COMMON NAME	BOTANICAL NAME	SPACING	SIZE/FORM
GP	18	PI. OAK	35' OC.	2 1/2" x 8 1/2"
AR	53	RED SUNSET MAPLE	35' OC.	3 1/2" x 8 1/2"
LS	24	SWEET GUM	100' OC.	2 1/2" x 8 1/2"
SB	6	WEeping WILLOW	STRATIFIED	
PC	40	BRADFORD PEAR	35' OC.	2 1/2" x 8 1/2"
PK	24	KWANSAN CHERRY	35' OC.	3 1/2" x 8 1/2"
CF	21	WHITE DOGWOOD	35' OC.	2 1/2" x 8 1/2"
MS	17	CRAp APPLE	35' OC.	2 1/2" x 8 1/2"
PA	30	NORWAY SPRICE	15' OC.	6 1/2" x 8 1/2"
PN	29	AUSTRIAN PINE	15' OC.	6 1/2" x 8 1/2"
PT	31	BLACK PINE	15' OC.	6 1/2" x 8 1/2"
PS	17	WHITE PINE	15' OC.	6 1/2" x 8 1/2"

- GENERAL NOTES**
1. AREA OF TRACT - NET 21.63 AC. GROSS - 22.51 AC.
 2. ZONING CHANGE PROPOSED - OR TO BE - 21.63 AC.
 3. COUNCILMAN DISTRICT 11, RECTOR DISTRICT 13, CENSUS TRACT 1405
 4. FLOOR AREA - 1,561,071 SQ. FT. (625,000 SQ. FT. BLDG. FLOOR AREA, 936,071 SQ. FT. PARKING LOT AREA)
 5. EXISTING USE - VACANT
 6. THE SITE HAS BEEN REDEVELOPED
 7. TYPICAL PARKING SPACE - 300 SQ. FT.
 8. PARKING REQUIRED - 1,561,071 SQ. FT. / 300 SQ. FT. = 5,204 SPACES
 9. OFFICE - 44,283 SQ. FT. EMPLOYEES (MAX) 187 PARKING SPACES
 10. WAREHOUSE - 1,517,787 SQ. FT. EMPLOYEES (MAX) 814 PARKING SPACES
 11. TOTAL REQUIRED - 5,204 + 814 = 6,018 SPACES
 12. PARKING PROVIDED - 6,018 SPACES
 13. NO SOUND LEVELS ASSOCIATED WITH THE USES SHOWN SHOULD EXHAUST FROM THIS SITE AT MORE THAN 50 TO 70 DB-A EXCEPT NEAR FREIGHT AUTO TRAFFIC ADJACENT
 14. NO ANTICIPATED EMERGENCIES ARE EXPECTED TO BE ENCOUNTERED RESULTING FROM THIS PROJECT
 15. SOIL BORINGS WILL BE CONDUCTED PRIOR TO CONSTRUCTION TO DETERMINE EXISTING CONDITIONS AND TO DETERMINE THE DEPTH OF THE SUBSOIL
 16. ALL UTILITIES WILL BE RELOCATED PRIOR TO CONSTRUCTION
 17. ALL UTILITIES WILL BE RELOCATED PRIOR TO CONSTRUCTION
 18. ALL UTILITIES WILL BE RELOCATED PRIOR TO CONSTRUCTION
 19. ALL UTILITIES WILL BE RELOCATED PRIOR TO CONSTRUCTION
 20. ALL UTILITIES WILL BE RELOCATED PRIOR TO CONSTRUCTION

SCHEMATIC LANDSCAPE PLAN TO ACCOMPANY
PETITION FOR ZONING RECLASSIFICATION
SECTION OF THE
SECOND AMENDED PLAN OF BELTWAY BUS COMM.
MAY 1988

GEORGE WILLIAM STEPHENS, JR.
AND ASSOCIATES, INC.
CIVIL ENGINEERS & LAND SURVEYORS

MERRITT
2066 Lord Baltimore Drive

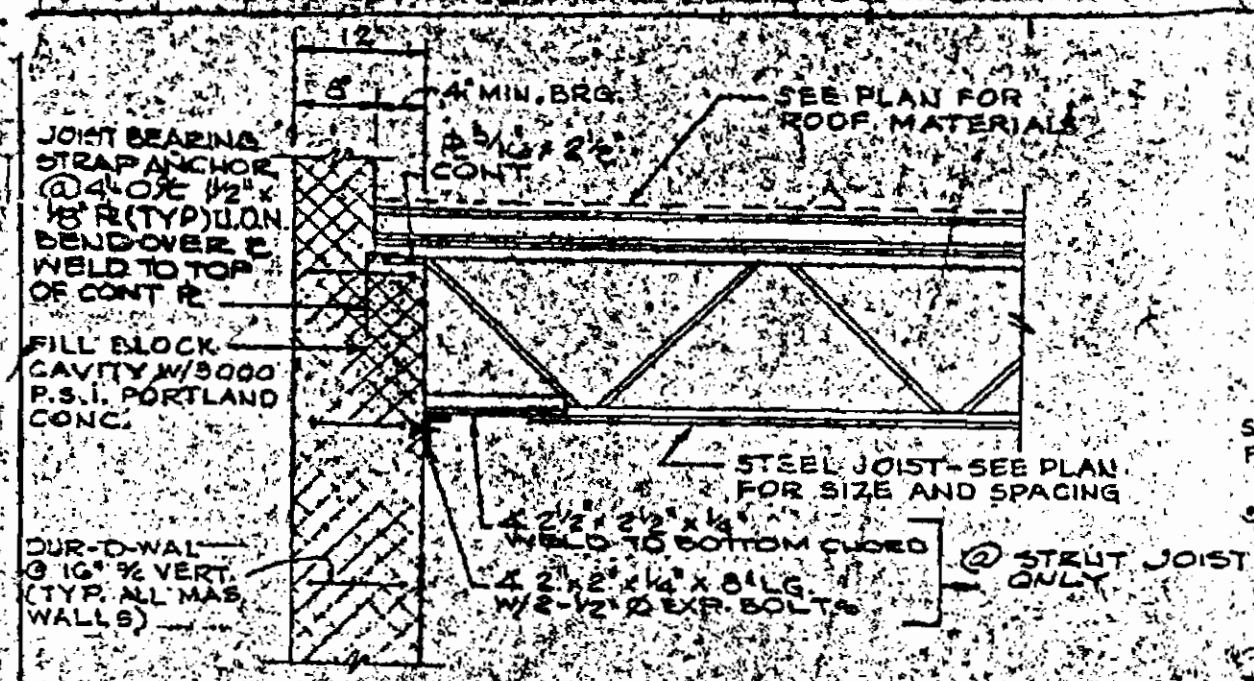


BELTWAY BUSINESS COMMUNITY BUILDING NO. 3

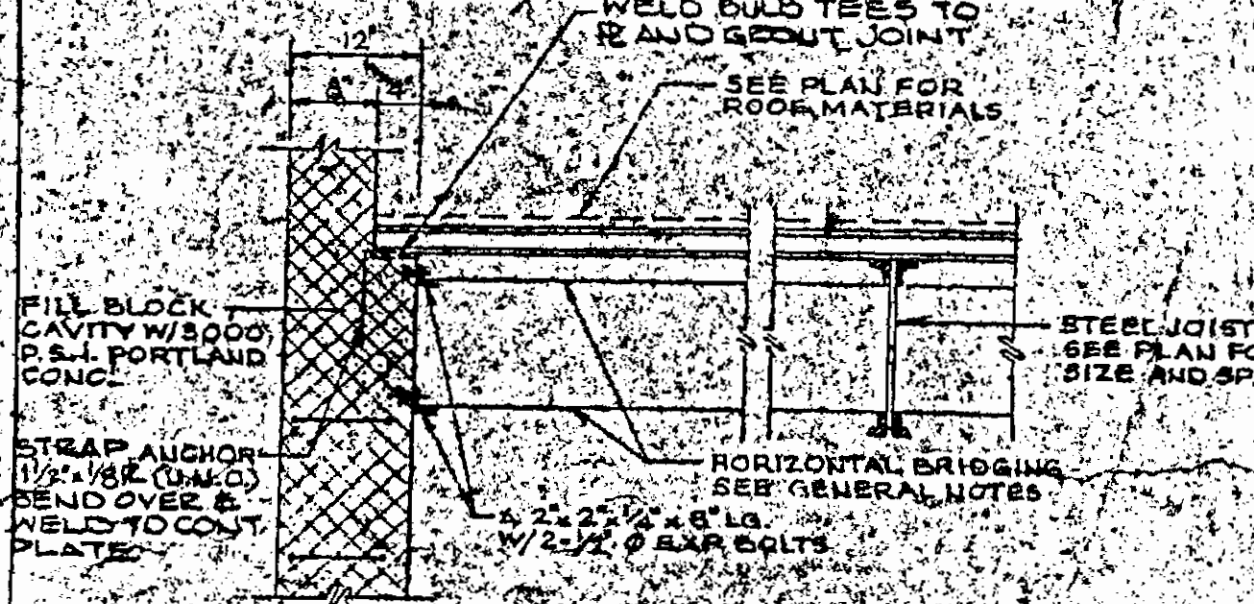
CARROLL ENGINEERING INC.
 61 EAST PADONIA RD., SUITE C, TIMONIUM, MD. 21093 / (301) 252-6211

ELEVATIONS

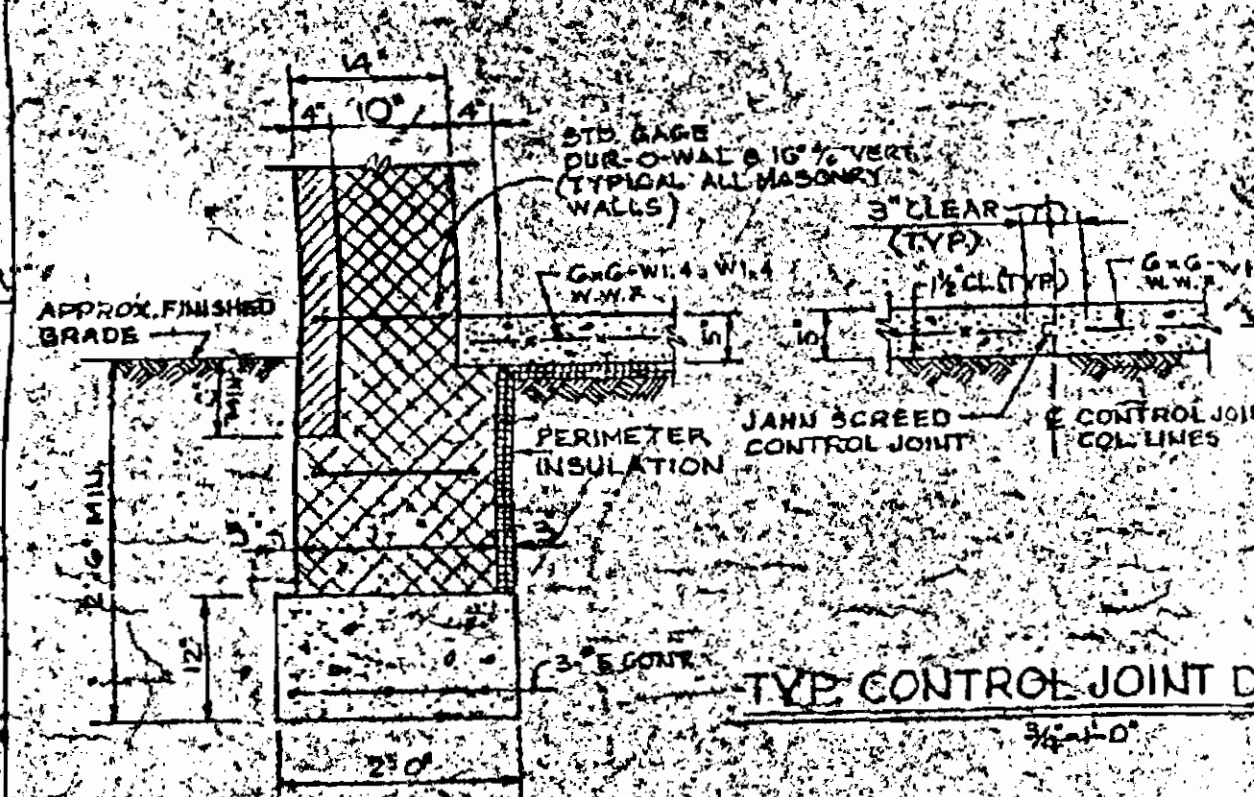
DATE	DESIGNED BY	DRAWN BY	CHECKED BY	SCALE	NO.
MAY 6, 1988	B.S. CO. A	UQ	JAC	1/16" = 1'-0"	3 of 5



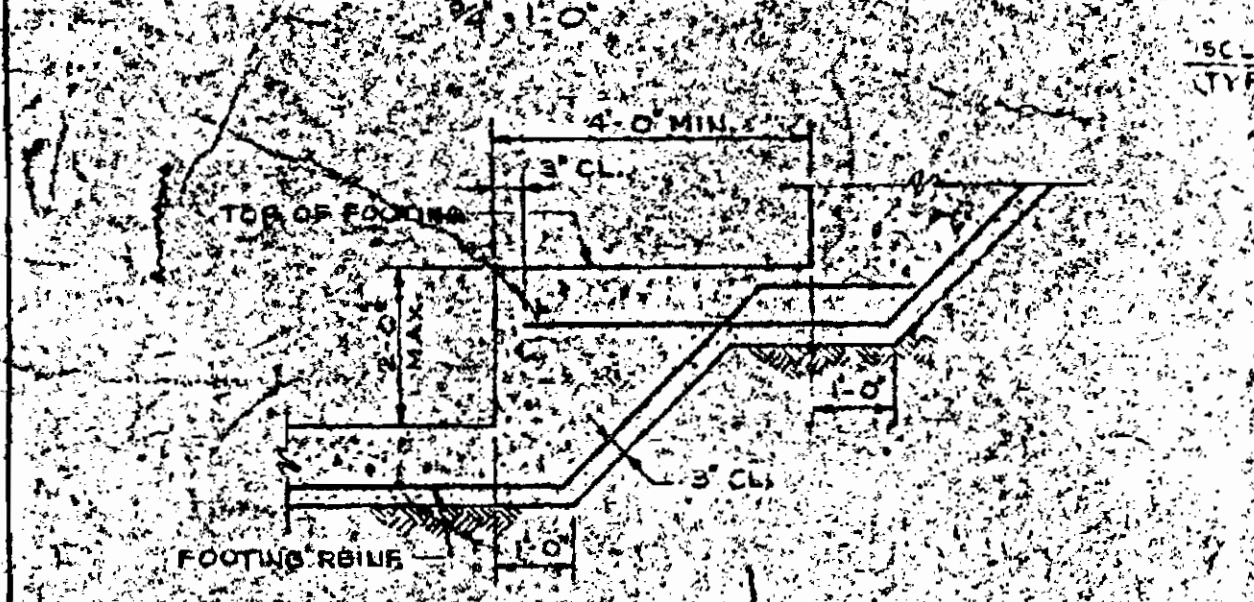
TYP. JOIST BEARING WALLS



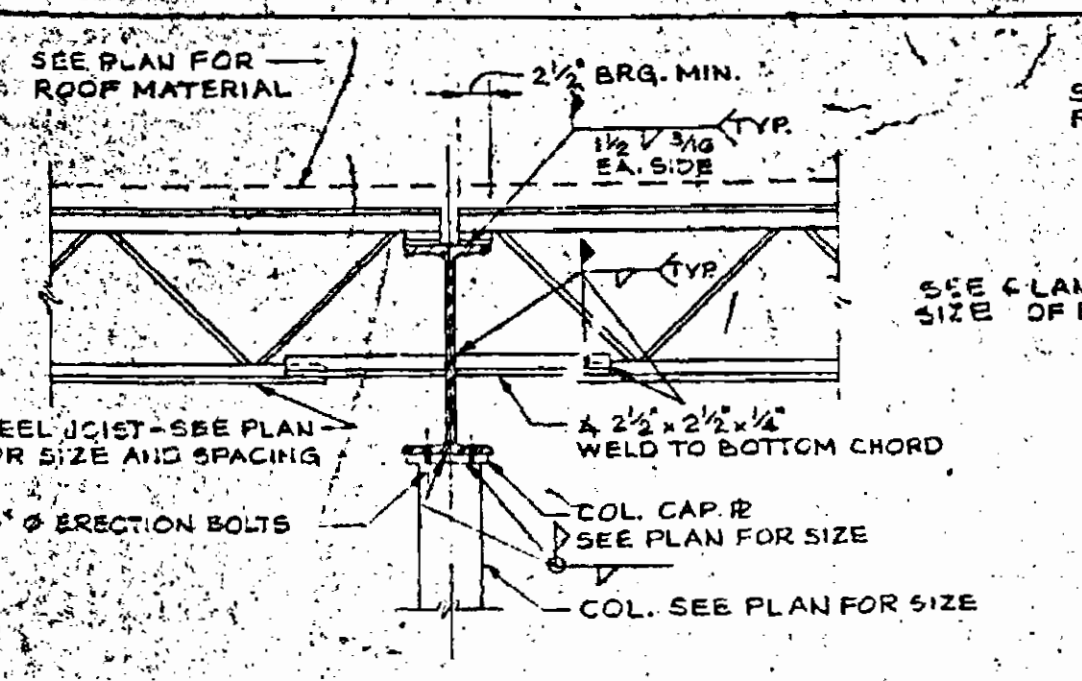
TYP. WHEN JOIST IS PARALLEL TO WALL



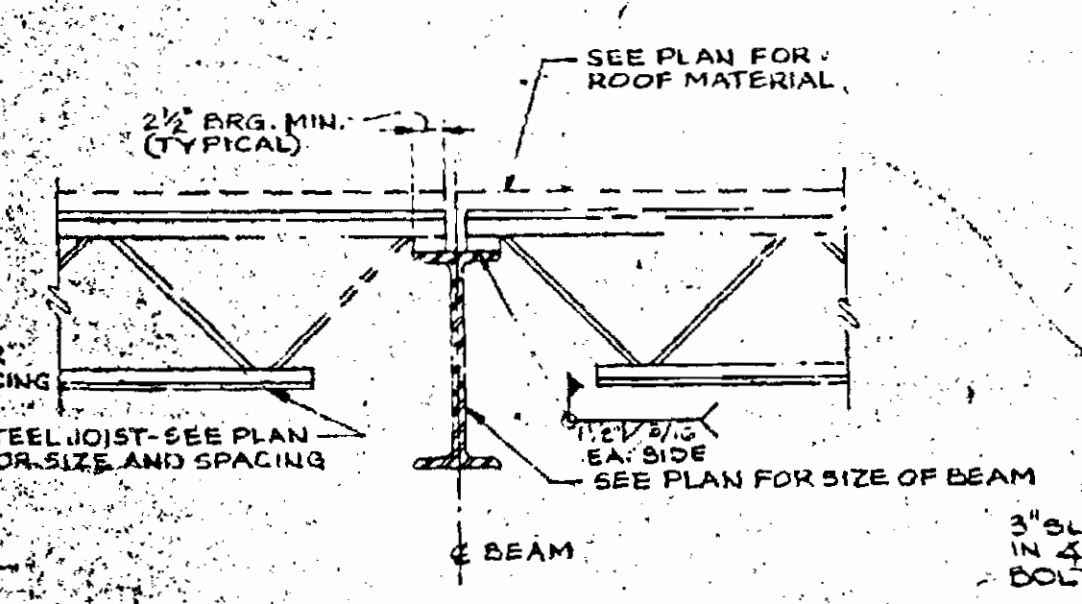
TYP. EXTERIOR BEARING WALL



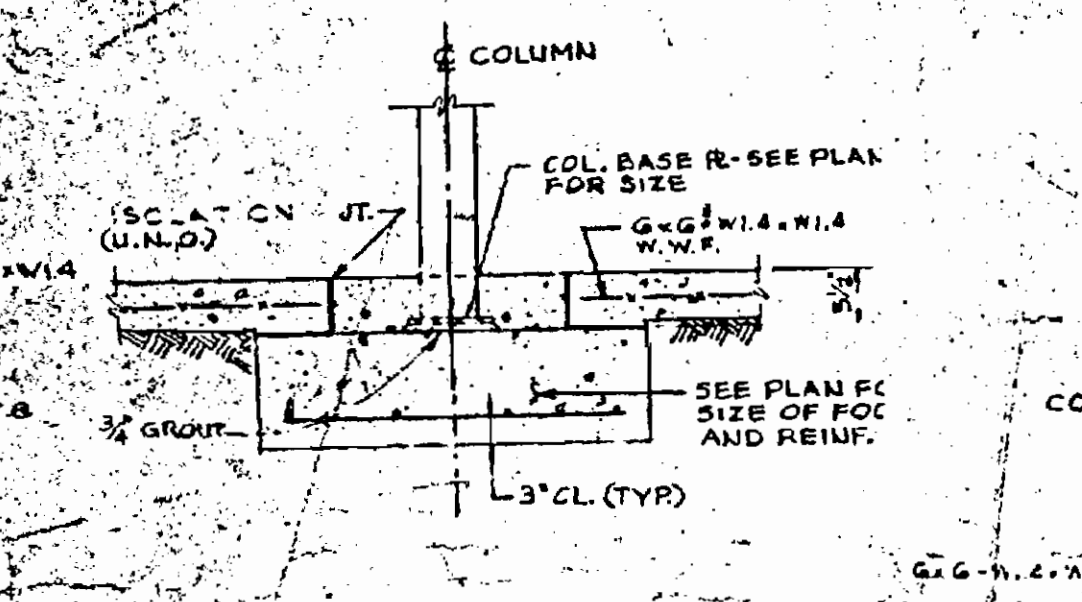
TYP. STEPPED FOOTING DETAIL



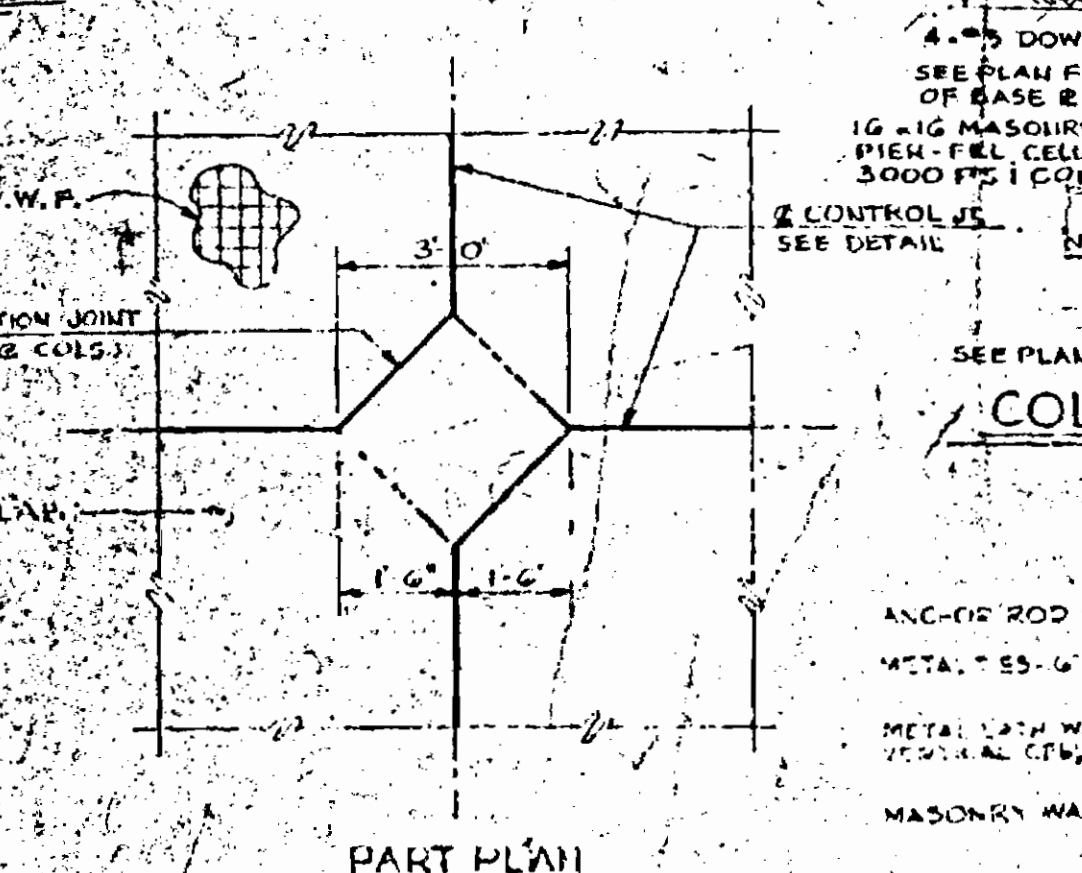
TYP. (S.J.) STRUT JOIST CONNECTION @ COL.



TYP. JOIST BEARING DETAIL @ BEAM

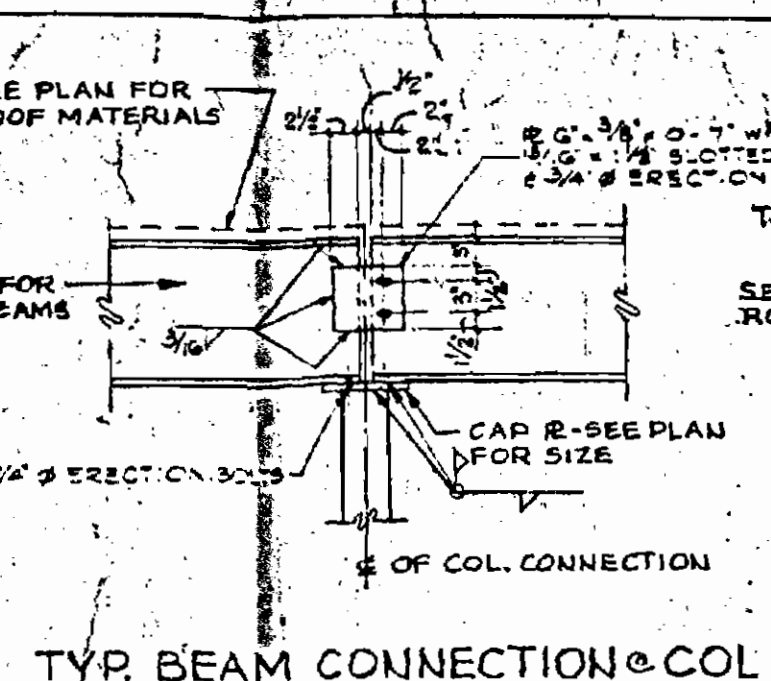


COLUMN ON FOOTING

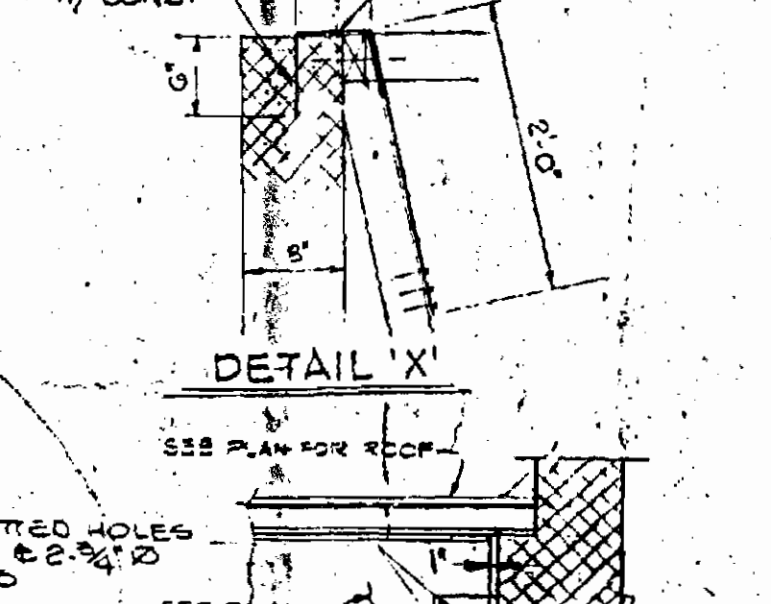


PART PLAN

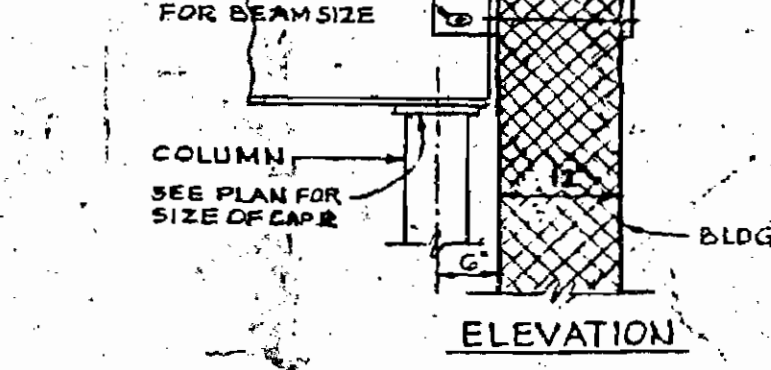
TYP. FOR ISOLATION & CONTROL JOINTS @ COLS.



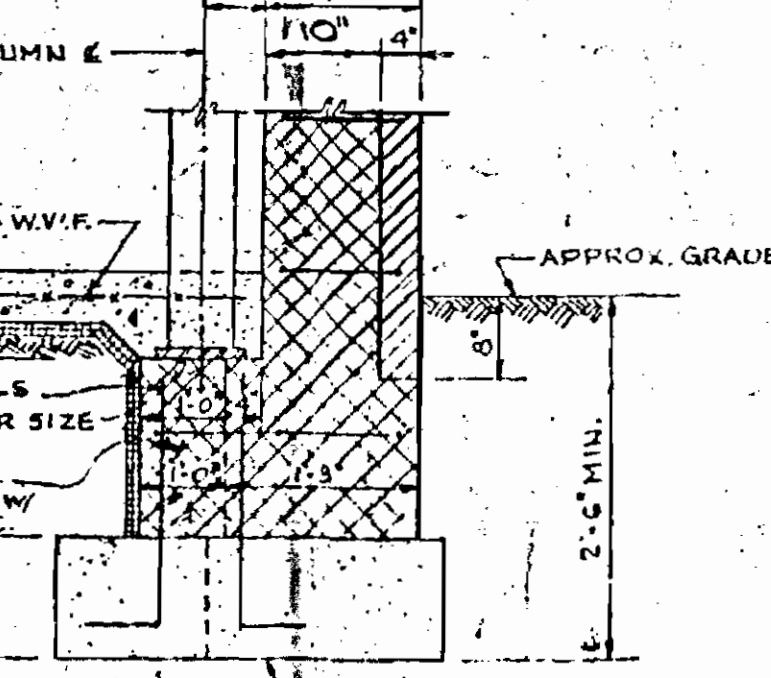
TYP. BEAM CONNECTION @ COL.



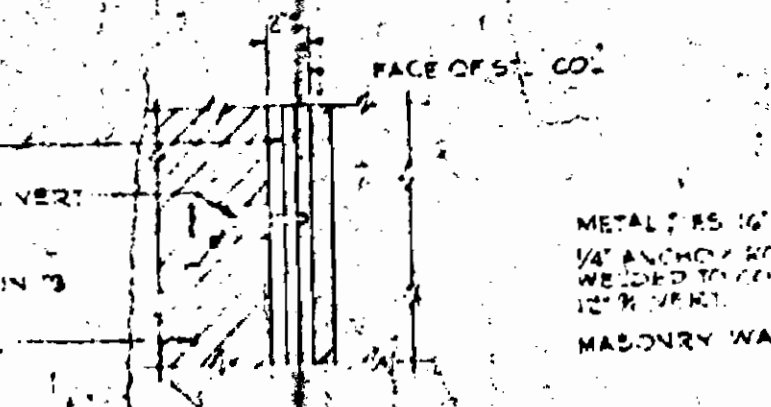
DETAIL 'X'



WALL CONNECTION @ END OF BM. RUN

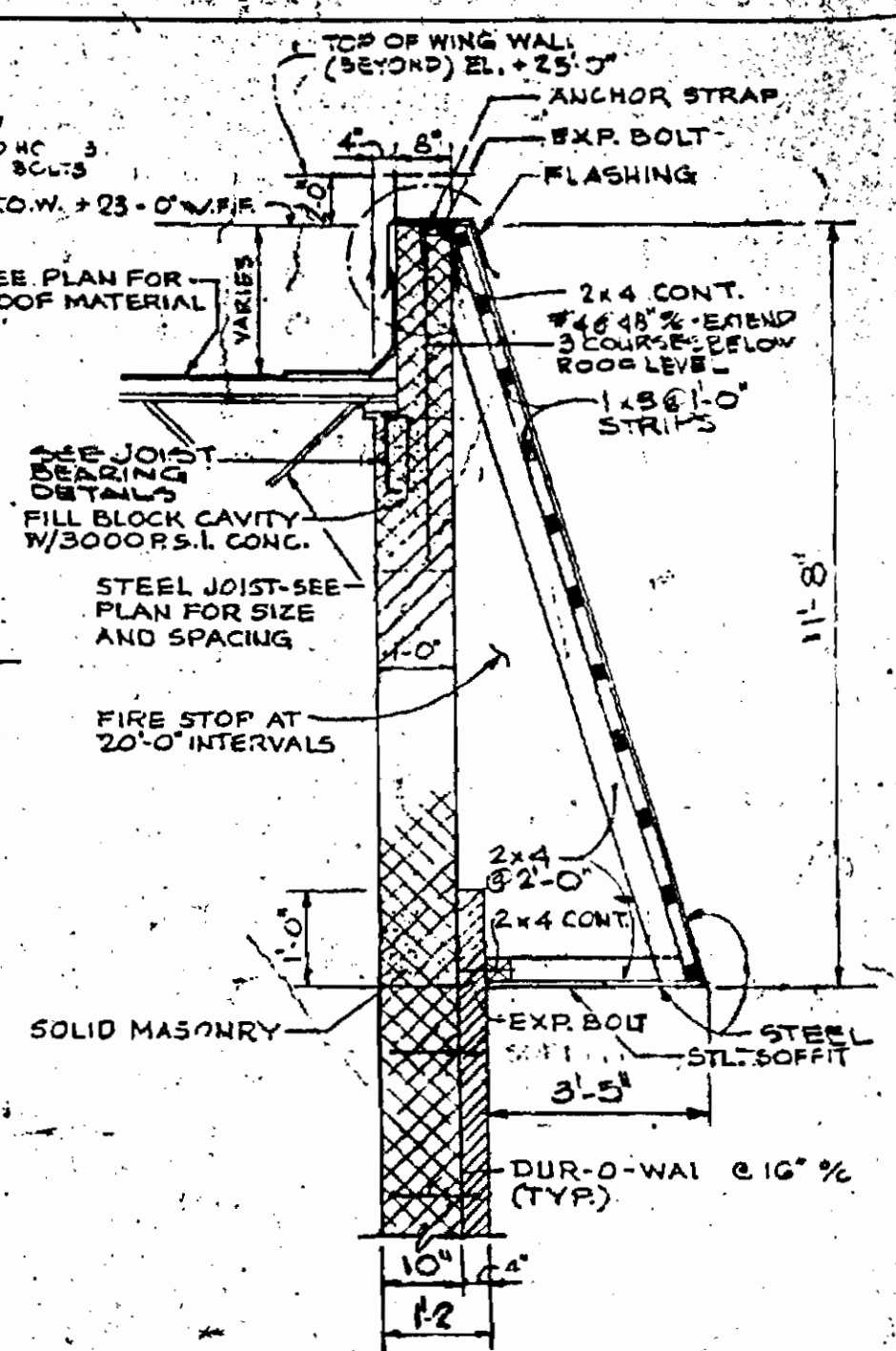


COL. @ EXTERIOR BEARING WALL

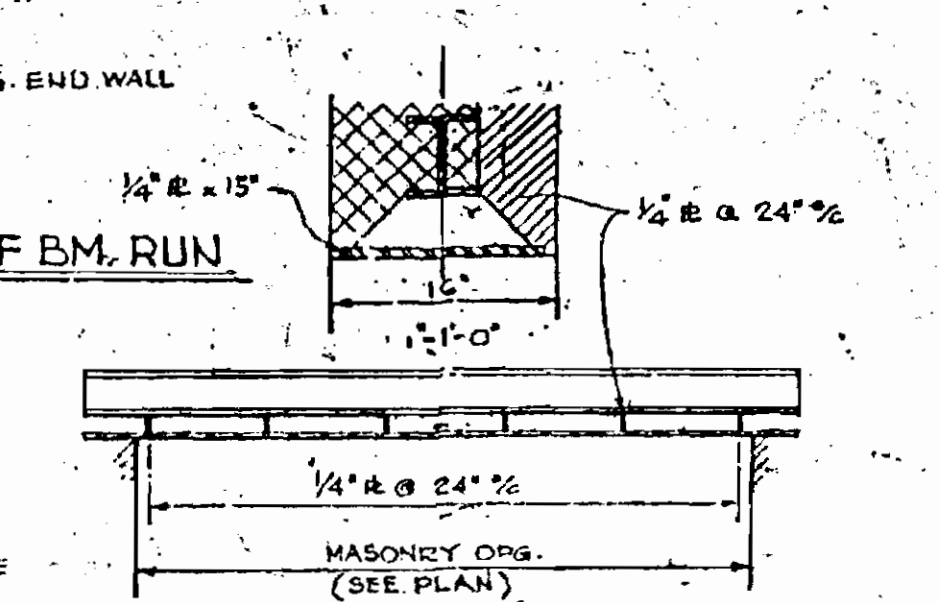


ELEVATION

WALL ANCHORAGE DETAIL

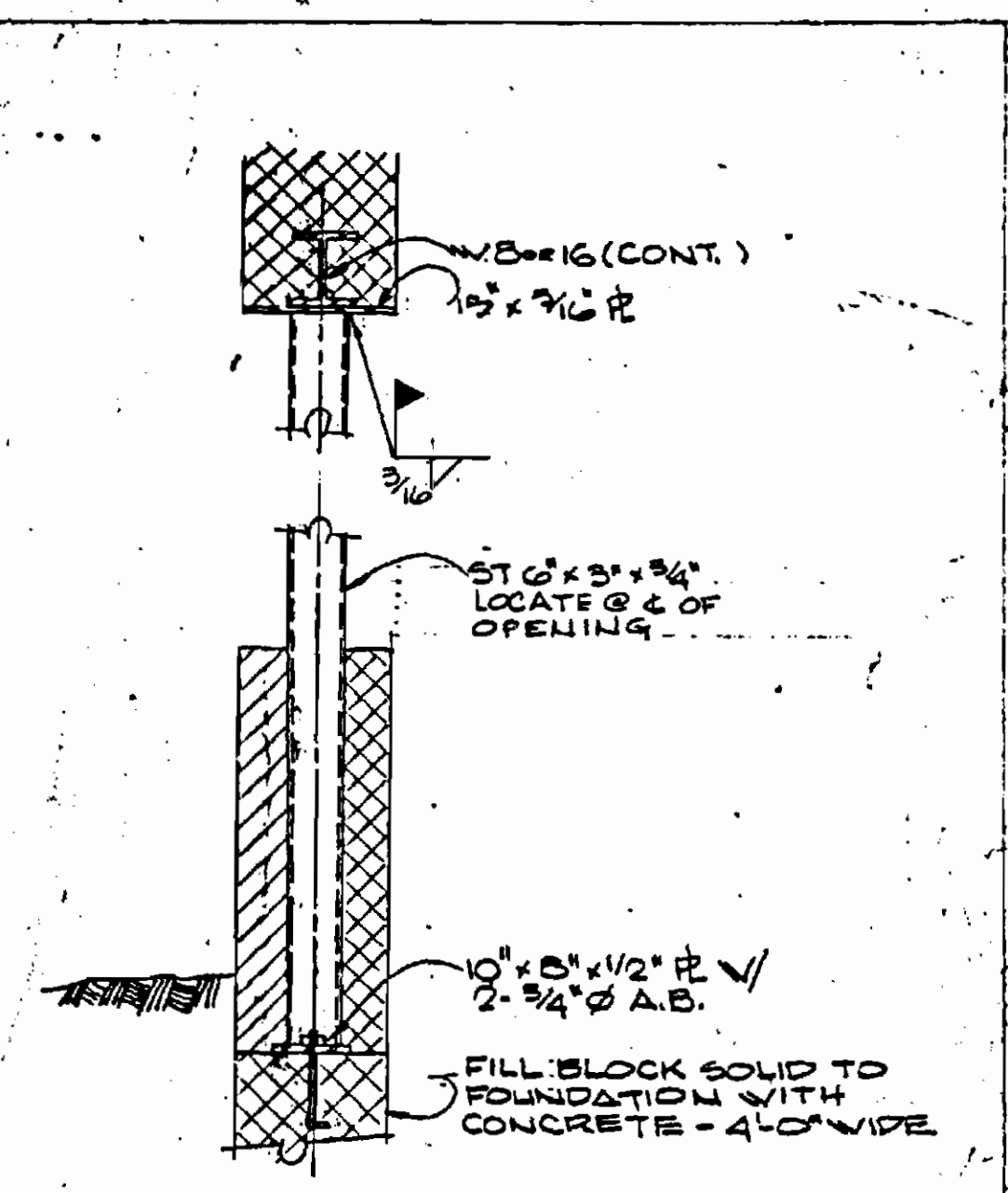


TYP. EXTERIOR TRIM OVERHANG



DETAIL LINTEL L3

(L-3 W8x10 @ 12\"/>



LINTEL SECTION

BELTWAY BUSINESS COMMUNITY BLDG. NO. 3		CARROLL ENGINEERING INC. 201 PADONIA RD. WEST, TIMOTHUM, MD. 21093 / (301) 252-6211	
DETAILS			
5-0-7	8510-04	CET	4-5

GENERAL NOTES

DESIGN AND LIVE LOADS

ROOF - (GREATER OF MINIMUM LIVE LOAD OR SNOW LOAD) - 30PSF
WIND - IN ACCORDANCE WITH B.O.C.A., 80 MPH BASIC WIND VELOCITY
SLAB-ON-GRADE - 500LBS. PER SQUARE FOOT
USE GROUP - MIXED - DESIGNED TOS - 1
CONSTRUCTION TYPE - 2-C
BUILDING SHALL BE FULLY SPRINKLERED

FOUNDATIONS

THE FOOTINGS HAVE BEEN DESIGNED FOR AN ASSUMED SAFE SOIL BEARING CAPACITY OF 3000PSF UNLESS OTHERWISE NOTED ON PLANS, AND ALL FOOTINGS SHALL PROJECT AT LEAST 1'-0" INTO SOIL HAVING SUCH MINIMUM BEARING VALUE. THE BOTTOMS OF ALL EXTERIOR FOOTINGS SHALL BE AT LEAST 2'-6" BELOW EXTERIOR FINISHED GRADE. ALL FOOTINGS SHALL BEAR UPON UNDISTURBED SOIL OR PROPERLY COMPACTED FILL REGARDLESS OF ELEVATIONS GIVEN. WHERE FOOTINGS ARE INDICATED TO BE PLACED ON COMPACTED FILL, SUCH FILL SHALL BE COMPACTED TO NOT LESS THAN 95% OF MAXIMUM DRY DENSITY IN ACCORDANCE WITH ASTM D698. COMPACTON SHALL BE PERFORMED UNDER THE DIRECTION OF A COMPETENT SOILS ENGINEER AND IN ACCORDANCE WITH THE SPECIFICATIONS. SHOULD IT BE NECESSARY TO VARY THE ELEVATIONS GIVEN IN ORDER TO SATISFY THESE MINIMUM REQUIREMENTS, THE ARCHITECT/ENGINEER SHALL BE NOTIFIED AND THE NECESSARY INSTRUCTION FOR THE PREPARATION OF A SATISFACTORY FOUNDATION WILL BE ISSUED.

CONCRETE

ALL CONCRETE SHALL CONFORM TO THE PROVISIONS OF ACI BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE (ACI 318-83) AND ACI SPECIFICATIONS FOR STRUCTURAL CONCRETE IN BUILDINGS (ACI 301-72) (REVISED 1981).

MINIMUM ULTIMATE 28 DAY COMPRESSIVE STRENGTH OF CONCRETE SHALL BE 3000 PSI.

REINFORCEMENT

UNLESS OTHERWISE SHOWN OR NOTED, ALL CONCRETE REINFORCING BARS SHALL BE DEFORMED BILLET STEEL CONFORMING TO ASTM A615-82 (61) GRADE 60. WELDED WIRE FABRIC (WFF) SHALL CONFORM TO ASTM A185-79. REINFORCING BAR SUPPORTS AND SPACERS SHALL CONFORM TO ACI 318-80 DETAILING MANUAL.

SLABS-ON-GRADE

EXCEPT AS OTHERWISE NOTED, ALL INTERIOR SLABS-ON-GRADE SHALL CONFORM TO "GUIDE FOR CONCRETE FLOOR SLAB CONSTRUCTION" (ACI 302.1R-80) AND SHALL HAVE MINIMUM REINFORCING OF 6x6-41.4 x W1.4 WVF, LOCATED 2" BELOW TOP OF SLAB. CONTROL JOINTS SHALL BE PROVIDED WHERE INDICATED THUS (C.J.) ON PLAN. CONTROL JOINTS MAY BE INSTALLED AS FOLLOWS:

- SLABS MAY BE POURED IN CONTINUOUS ALTERNATE STRIPS WITH TRANSVERSE CONTROL JOINTS SAW-CUT (1/4 MINIMUM) AFTER POURING AND KEYED CONTROL JOINTS BETWEEN FIRST POUR STRIP AND SUBSEQUENT INFILL STRIPS OR
- SLABS MAY BE POURED IN CHECKERBOARD PATTERN WITH KEYED CONTROL JOINTS BETWEEN ADJACENT POURS.
- AT KEYED CONTROL JOINTS AND INSULATION JOINTS, STOP WVF EACH SIDE OF JOINT. AT SAW-CUT CONTROL JOINTS, CUT ALTERNATE WIRES CROSSING JOINT.
- WHERE CONSTRUCTION JOINTS ARE REQUIRED AT LOCATIONS OTHER THAN INDICATED CONTROL JOINTS, THEY SHALL BE KEYED WITH FULL REINFORCING EXTENDING THROUGH JOINT.

STRUCTURAL STEEL

ALL STRUCTURAL STEEL SHALL CONFORM TO THE AISC SPECIFICATIONS FOR THE DESIGN, FABRICATION, AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS AND TO THE REQUIREMENTS OF ASTM A36-81A UNLESS OTHERWISE NOTED. ALL WELDING SHALL BE IN ACCORDANCE WITH AWS CODE FOR WELDING IN BUILDING CONSTRUCTION (AWS D1.1) AND SHALL BE PERFORMED BY CERTIFIED WELDERS. ALL WELDS SHALL BE MADE WITH AWS E70XX ELECTRODES. UNLESS OTHERWISE NOTED, ALL BOLTED CONNECTIONS SHALL BE MADE WITH A325-B2 BOLTS. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY TEMPORARY GUYING AND BRACING TO BRACE AND HOLD THE STEEL FRAME IN ALIGNMENT UNTIL ALL WALLS AND ROOF ARE IN PLACE.

OPEN WEB STEEL JOISTS

- OPEN WEB STEEL JOISTS SHALL BE FABRICATED AND ERECTED IN ACCORDANCE WITH THE LATEST EDITION OF THE STEEL JOIST INSTITUTE STANDARD SPECIFICATIONS AND CODE OF STANDARD PRACTICE AND SHALL BE FABRICATED BY A SJI MEMBER COMPANY.
- HORIZONTAL BRIDGING SHALL BE PROVIDED AS SHOWN ON THE PLANS IN ACCORDANCE WITH THE SJI RECOMMENDATIONS. ANCHORS AT EACH LINE OF BRIDGING SHALL BE PROVIDED. ALL BRIDGING SHALL BE IN PLACE AND ANCHORED BEFORE DECK INSTALLATION. BRIDGING SHALL BE WELDED TO JOISTS AND BEAMS AND ANCHORED TO MASONRY AS INDICATED. END BAYS OF EACH RUN JOISTS SHALL HAVE BOTH HORIZONTAL AND DIAGONAL BRIDGING UNLESS NOTED OTHERWISE.
- END ANCHORAGE SHALL BE PROVIDED AT MASONRY AND STEEL SUPPORTS IN ACCORDANCE WITH SJI STANDARD SPECIFICATIONS.

CONCRETE MASONRY

- CONCRETE MASONRY CONSTRUCTION SHALL CONFORM TO ALL REQUIREMENTS OF BUILDING CODE REQUIREMENTS FOR CONCRETE MASONRY STRUCTURES (ACI 531-79) (REVISED 1983) AND TO ACI SPECIFICATION FOR CONCRETE MASONRY CONSTRUCTION (ACI 531.1-76) (REVISED 1983).
- MORTAR AND GROUT FOR NON-REINFORCED MASONRY SHALL CONFORM TO THE REQUIREMENTS OF ASTM C 270-80, TYPE S.
- MORTAR AND GROUT FOR REINFORCED MASONRY SHALL CONFORM TO THE REQUIREMENTS OF ASTM C 476-71 (1976), TYPE PL.
- ALL UNITS SHALL BE GRADE N, TYPE 1 WITH MINIMUM COMPRESSIVE STRENGTH $F_m = 2,000$ PSI ON NET CROSS SECTION, UNLESS OTHERWISE NOTED AND SHALL CONFORM TO THE REQUIREMENTS OF THE FOLLOWING STANDARDS:
HOLLOW LOAD-BEARING UNITS: ASTM C90-78
SOLID LOAD-BEARING UNITS: ASTM C145-75
HOLLOW NON-LOAD-BEARING UNITS: ASTM C129-60 (1975)
CONCRETE BUILDING BRICK: ASTM C 55-75
- WHERE MASONRY WALLS OF HOLLOW UNITS OR MASONRY BONDED WALLS ARE DECREASED IN THICKNESS, OR WHERE THE THICKNESS OF ANY CELLULAR MASONRY UNIT WITHIN A WALL IS LESS THAN THE THICKNESS OF A SIMILAR MASONRY UNIT IMMEDIATELY BELOW, THE WALL SHALL BE FILLED SOLIDLY WITH CONCRETE OR OTHERWISE CONSTRUCTED SOLID FOR AT LEAST ONE COURSE (8" MIN.) IMMEDIATELY BELOW SUCH LEVEL WHERE THE THICKNESS CHANGES. EXCEPT AS OTHERWISE SHOWN, CELLS IN MASONRY UNDER BEARING AREAS FOR BEAMS, LINTELS, JOISTS AND SLABS SHALL BE FILLED SOLIDLY WITH CONCRETE FOR AT LEAST ONE COURSE (8" MIN.) IMMEDIATELY BELOW SUCH BEARING.

LINTELS

ALL OPENINGS IN MASONRY WALLS AND PARTITIONS, INCLUDING DUCT OPENINGS AND RECESSES FOR MECHANICAL TRADERS OR EQUIPMENT, SHALL BE PROVIDED WITH LINTELS AS FOLLOWS:

- LINTELS IN CONCRETE MASONRY WALLS SHALL, UNLESS OTHERWISE INDICATED, BE PRECAST OR CAST-IN-PLACE CONCRETE TO MATCH THE TEXTURE, APPEARANCE AND THICKNESS OF THE WALLS OR PARTITIONS IN WHICH THEY ARE PLACED. SUCH LINTELS SHALL HAVE A MINIMUM BEARING OF 8" AT EACH END AND SHALL BE REINFORCED WITH 1 #4 BAR TOP AND BOTTOM FOR EACH 4" OF WALL THICKNESS OR FRACTION THEREOF. FOR OPENINGS UP TO 6'-0", 1 #5 BAR TOP AND BOTTOM FOR OPENINGS FROM 6'-1" TO 8'-0" AND 2 #5 CROSSED TIES AT TOP FOR ALL OPENINGS. Lintel depth shall be equal to one block course (8" MIN.).
- LINTELS IN BRICK MASONRY, BRICK WITH BLOCK BACK-UP OR SET WALLS SHALL, UNLESS OTHERWISE INDICATED, HAVE A MINIMUM BEARING OF 8" AT EACH END AND SHALL BE ONE 1-1/2 x 3-1/2 x 5/16 (LLV) FOR EACH 4" OF WALL THICKNESS OR FRACTION THEREOF FOR OPENINGS UP TO 6'-0" AND ONE 1-1/2 x 3-1/2 x 5/16 (LLV) FOR OPENINGS FROM 6'-1" TO 8'-0".
- SEE LINTEL SCHEDULE FOR OTHER LINTELS.

BRICK MASONRY

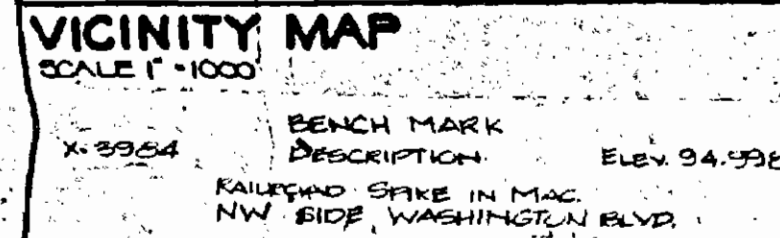
- BRICK MASONRY CONSTRUCTION SHALL CONFORM TO ALL REQUIREMENTS OF THE BUILDING CODE REQUIREMENTS FOR ENGINEERED BRICK MASONRY, SCPI 1969.
- MORTAR AND GROUT FOR NON-REINFORCED MASONRY SHALL CONFORM TO THE REQUIREMENTS OF ASTM C 270-80, TYPE S.
- MORTAR AND GROUT FOR REINFORCED MASONRY SHALL CONFORM TO THE REQUIREMENTS OF ASTM C 476-71 (1976), TYPE PL.
- ALL BRICK SHALL HAVE MINIMUM COMPRESSIVE STRENGTH $F_m = 2,000$ PSI, TYPE SW UNLESS OTHERWISE NOTED.
- FACING BRICK SHALL BE TYPE FBS UNLESS OTHERWISE NOTED.

BELTWAY BUSINESS
COMMUNITY
BLDG. #3

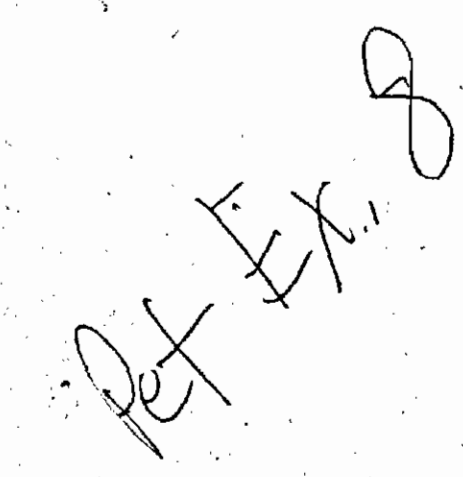
CARROLL ENGINEERING INC.
201 PARKWAY RD. WEST TUCUMCUM, MO. 64686 (417) 252-0711

GENERAL NOTES

5-088 85.10.04 CEMU J.C. 505



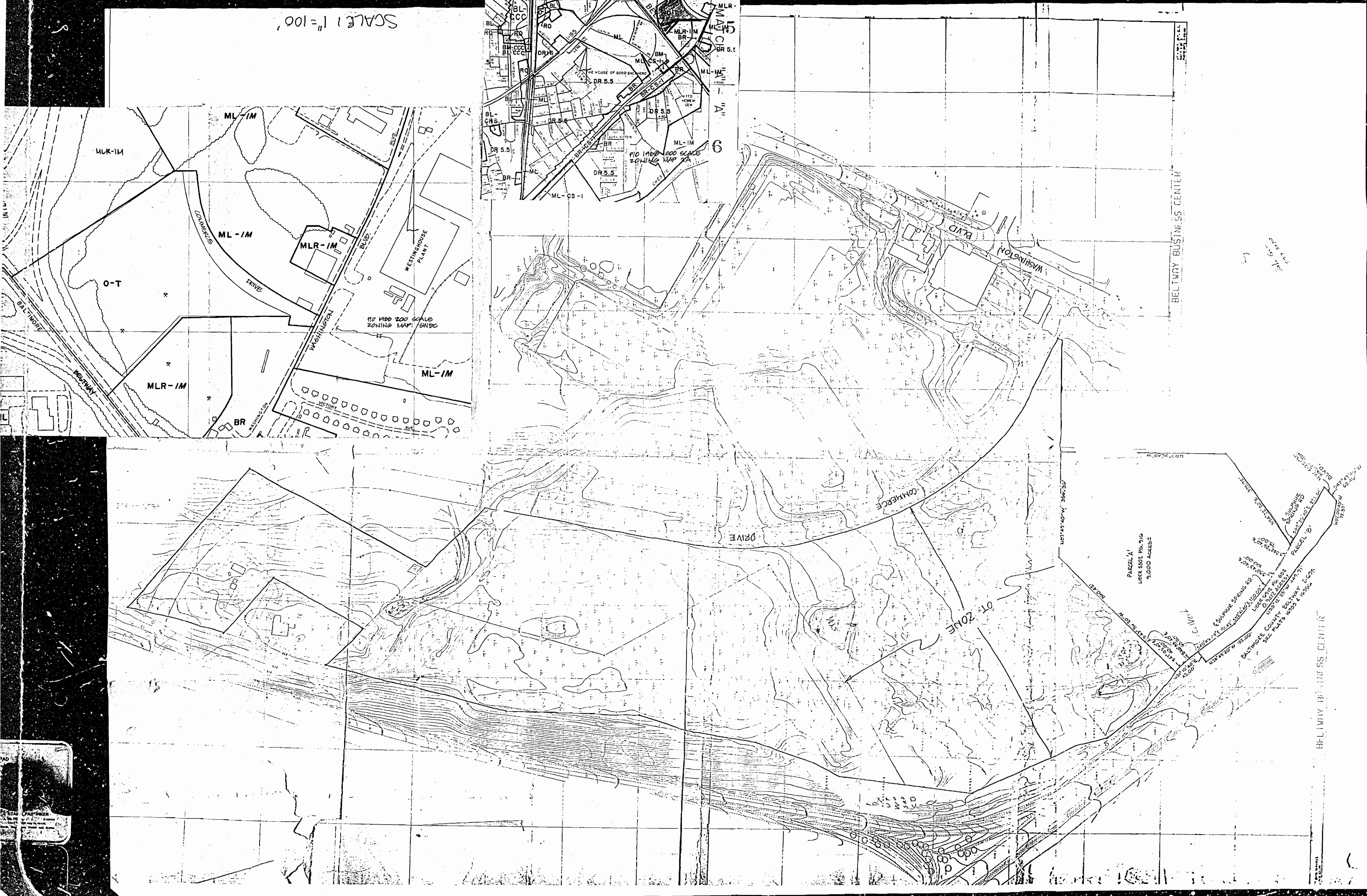
BELTWAY BUSINESS
COMMUNITY
LOT 1 150--



SITE DATA
1 LOT ACAGE
2 ZONING
3 BLDG #1
AREA
PARKING
BLDG #2
AREA
PARKING
BLDG #3
AREA
PARKING
BLDG #4
AREA
PARKING
BLDG #5
AREA
PARKING
4 HANDRAILS &
PAVING IS AD

23,5475 AC
ML IM
30,000 SF
OD SF
35,325 SF
77 SF
130,000 SF
121 EP
55,100 SF
120 SF
52,400 SF
79 SF
ED WHERE
STEEP SLOPES

	DAFT McCUNE WALKER INC. LAND PLANNING CONSULTANTS LANDSCAPE ARCHITECTS ENGINEERS SURVEYORS 200 EAST PENNSYLVANIA AVENUE TOWSON, MD 21204 TELEPHONE: 301-296-3333																	
SITE PLAN LOT 2 BELTWAY BUSINESS COMMUNITY PRINTED SEP 08 1969 DAFT McCUNE WALKER INC. ELECTION DISTRICT 18 BALTO. CO., MD																		
	SCALE: 1" = 50' JOB ORD. NO. 84134 ISSUE DATE 1-8-68																	
<table border="1" style="width: 100%;"> <thead> <tr> <th>DATE</th> <th>REVISIONS</th> </tr> </thead> <tbody> <tr> <td>11/10/68</td> <td>REVISED DATE 11/10/68</td> </tr> <tr> <td>11/10/68</td> <td>REVISED DATE 11/10/68</td> </tr> <tr> <td>11/10/68</td> <td>REVISED DATE 11/10/68</td> </tr> <tr> <td>11/10/68</td> <td>REVISED DATE 11/10/68</td> </tr> <tr> <td>11/10/68</td> <td>REVISED DATE 11/10/68</td> </tr> </tbody> </table>	DATE	REVISIONS	11/10/68	REVISED DATE 11/10/68	11/10/68	REVISED DATE 11/10/68	11/10/68	REVISED DATE 11/10/68	11/10/68	REVISED DATE 11/10/68	11/10/68	REVISED DATE 11/10/68	<table border="1" style="width: 100%;"> <tr> <td style="height: 20px;"></td> </tr> <tr> <td style="height: 20px;"></td> </tr> <tr> <td style="height: 20px;"></td> </tr> <tr> <td style="height: 20px;"></td> </tr> <tr> <td style="height: 20px;"></td> </tr> </table>					
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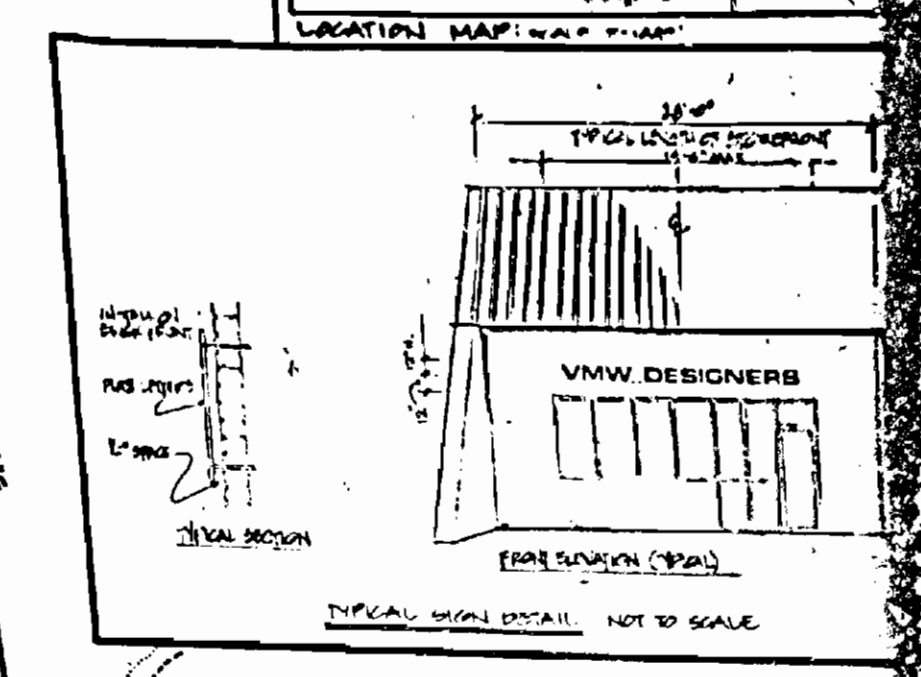


80 ACRES

BELTWAY BUSINESS COMMUNITY

BALTIMORE CO, MARYLAND
SCALE 1"=100'

ELECTION DISTRICT 13
MARCH 10, 1989



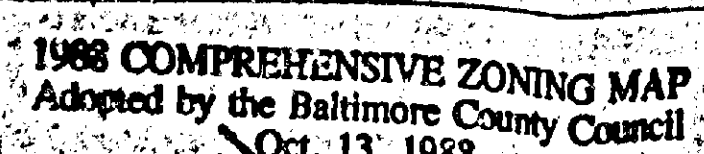
- CR-89-451/a
Leroy Merritt

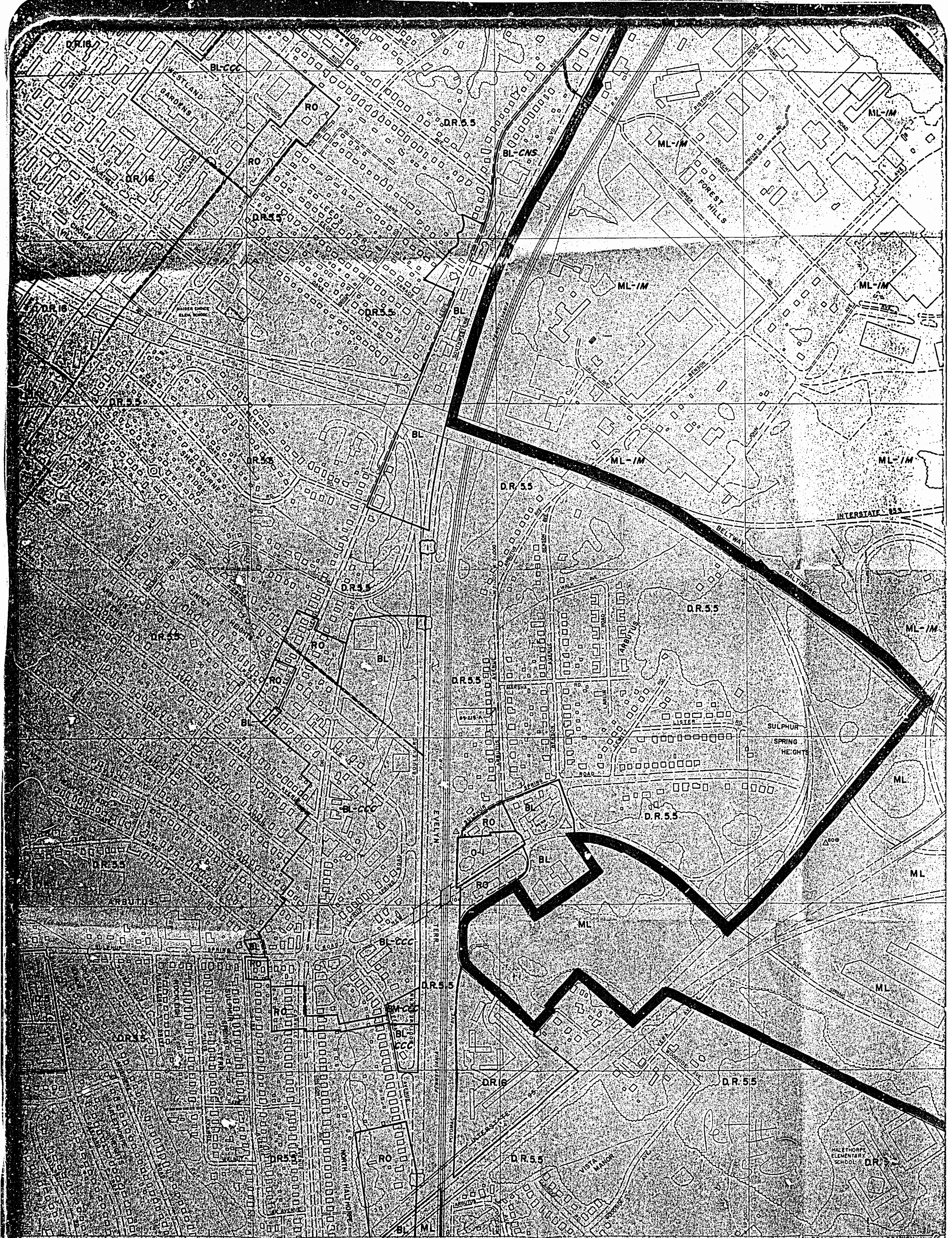
ZONING HISTORY
ON 1960 COMPREHENSIVE MAP - REZONED FROM MUR-14 TO MUR-14
S ON 1960 COMPREHENSIVE MAP. REQUEST NOT GRANTED TO RE
FROM MUR-14 TO MUR-14, REMAINED MUR-14. ISSUE # 14
S ON 1964 COMPREHENSIVE MAP. REZONED FROM MUR-14 TO
MUR-14 AND IT ISSUE # 140

GWS **GEORGE WILLIAM STEPHENS, JR.**
AND ASSOCIATES, INC.
 CIVIL ENGINEERS & LAND SURVEYORS
 303 ALLEGHENY AVENUE
 TOWSON, MARYLAND 21204

OWNER / DEVELOPER
MERRITT
 2056 Lord Baltimore Drive
 Baltimore, Maryland 21207

Ret #5d





1985 COMPREHENSIVE ZONING MAP
Adopted by the Baltimore County Council
Effective Date: 12/1/85

BALTIMORE COUNTY
OFFICE OF PLANNING AND ZONING

SCALE 1" = 200'	LOCATION HALETHORPE
DATE 12/1/85	