

IN RE: PETITION FOR ZONING VARIANCE
NEC Back River Neck Road
and Poles Road
15th Election District
5th Councilmanic District
McDonald's Corporation
Petitioner

BEFORE THE
ZONING COMMISSIONER
OF BALTIMORE COUNTY
Case No. 90-90-A

AMENDED ORDER

WHEREAS, The Petitioner herein requested a variance from Section 413.2f to permit three (3) signs having 322 total square feet in lieu of the permitted 100 square feet, in accordance with Petitioner's Exhibits 1 and 2; and,

WHEREAS, in an Order issued on October 2, 1989, the Petitioner was granted the relief requested, in part, subject to restrictions; and,

WHEREAS, pursuant to said Order, the Petitioner was granted, but not limited to, a total of 80 square feet of signage for a two-sided menu board; and,

WHEREAS, the Petitioner's request for a "drive-thru" double faced sign consisting of a total of 31 square feet was denied; and,

WHEREAS, by correspondence dated October 5, 1989, the Petitioner, by its attorney, E. Harrison Stone, filed a request for reconsideration stating that the request for one side of the said menu board is to be eliminated which has the effect of reducing the signage request by 40 square feet, 9 square feet more than the requested 31 square feet for the "drive-thru" strip sign; and,

WHEREAS, the Petitioner subsequently requested, pursuant to the request for reconsideration, and in consideration of the reduction of 40 square feet of signage on the menu board, permission to erect the "drive-thru" strip consisting of 31 square feet; and

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WHEREAS, in the opinion of the Zoning Commissioner, said amendment does not result in a substantive change to the relief requested, nor is it contrary to the health, safety or general welfare of the community.

THEREFORE, IT IS ORDERED by the Zoning Commissioner for Baltimore County, this 17th day of October, 1989, that the Order dated October 3, 1989, be and is hereby amended so as to permit the requested "drive-thru" strip sign of a total of 31 square feet in consideration of the reduction of one side of the subject menu board, resulting in the reduction of 40 square feet of signage, and;

IT IS FURTHER ORDERED, that all other terms, conditions, and restrictions of the original Order of October 3, 1989, shall remain in full force and effect.

J. Robert Haines
J. ROBERT HAINES
Zoning Commissioner
for Baltimore County

JRH:mmm

cc: Peoples Counsel

cc: E. Harrison Stone, Esquire, 102 W. Pennsylvania Avenue, Towson, Maryland 21204

cc: Mr. James T. Dresher, Jr., 1339 E. MacPhail Road, BelAir, Md. 21014

cc: Mr. Joe Smiley, 6421 Rockledge Court, Elkridge, Md.

cc: Mr. Tony Cortea, c/o STV-Lyon Assoc., 21 Governors Court, Baltimore, Md. 21207

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IN RE: PETITION FOR ZONING VARIANCE
NEC Back River Neck Road
and Poles Road
15th Election District
5th Councilmanic District
McDonald's Corporation
Petitioner

BEFORE THE
ZONING COMMISSIONER
OF BALTIMORE COUNTY
Case No. 90-90-A

FINDINGS OF FACT AND CONCLUSIONS OF LAW

The Petitioner herein requests a variance from Section 413.2f to permit three (3) signs having 322 total square feet in lieu of the permitted 100 square feet, in accordance with Petitioner's Exhibits 1 and 2.

The Petitioner was represented by E. Harrison Stone, Esquire, who appeared and testified. Appearing on behalf of the Petitioner was Mr. James T. Dresher, Jr., Mr. J. Smiley and Mr. Tony Cortea of STV/Lyon Associates. There were no Protestants.

Testimony and evidence indicated that the subject property located on the corner of Back River Neck Road and Poles Road is zoned B.L.-CNS and is improved with a McDonald's Restaurant. The Petitioner is desirous of replacing the current identification sign along Back River Neck Road with a larger one for increased visibility.

Pursuant to the Planning and Zoning comments dated September 1, 1989, the Petitioner has agreed to reduce the size of the proposed identification sign, thereby reducing the total square footage from 322 square feet to 220 square feet. The Petitioner's request also includes a "drive thru" double faced sign, consisting of a total of 31 square feet and a menu board, consisting of two sides, 40 square feet per side for a total 80 square feet.

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Date 10/18/89
By *M. Cortea*

Mr. Cortea testified that the larger sign is required to increase visibility for this restaurant along Back River Neck Road, in view of the existing concentration of poles and signage in this area.

Testimony indicated that the posted speed along this route is 35 miles per hour, and the existing sign is of insufficient size to safely inform motorists of the restaurant's location.

Mr. Cortea testified, that in his opinion, the requirements of Section 307 of the B.C.Z.R are satisfied by the facts of this case. He testified that if the requested signage is granted, it would have no adverse impact on the health, safety or general welfare of the community.

An area variance may be granted where strict application of the zoning regulations would cause practical difficulty to the Petitioner and his property. McLean v. Soley, 270 Md. 208 (1973). To prove practical difficulty for an area variance, the petitioner must meet the following:

- 1) whether strict compliance with requirement would unreasonably prevent the use of the property for a permitted purpose or render conformance unnecessarily burdensome;
- 2) whether the grant would do substantial injustice to applicant as well as other property owners in the district or whether a lesser relaxation than that applied for would give substantial relief; and
- 3) whether relief can be granted in such fashion that the spirit of the ordinance will be observed and public safety and welfare secured.

Anderson v. Bd. of Appeals, Town of Chesapeake Beach, 22 Md. App. 28 (1974).

It is clear from the testimony that if the variance is granted, in part, such use as proposed would not be contrary to the spirit and intent

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Date 10/18/89
By *M. Cortea*

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of the B.C.Z.R. and would not result in substantial detriment to the public good.

After due consideration of the testimony and evidence presented, it is clear that a practical difficulty and unreasonable hardship would result if the requested variances were not granted in part. It has been established that the requirements from which the Petitioner seeks relief would unduly restrict the use of the land due to the special conditions unique to this particular parcel. In addition, the variances requested will not be detrimental to the public health, safety and general welfare.

However, in the Zoning Commissioner's opinion, variance request No. 2, referenced on Petitioner's Exhibit 1, specifically, the "drive-thru" signage, is excessive.

Pursuant to the advertisement, posting of the property, and public hearing on this Petition held, and for the reasons given above, the relief requested should be granted in part and denied in part.

THEREFORE, IT IS ORDERED by the Zoning Commissioner for Baltimore County this 3rd day of Oct., 1989 that the Petition for a Zoning Variance from Section 413.2f to permit 3 signs having 189 total square feet in lieu of the permitted 100 square feet, in accordance with Petitioner's Exhibits 1 and 2, be and is hereby GRANTED, in part, as to the requested identification sign; and,

IT IS FURTHER ORDERED that, pursuant to Petitioner's request for variance, the requested "drive-thru" sign referenced on Petitioner's Exhibit 1, is hereby DENIED, and,

IT IS FURTHER ORDERED that, pursuant to Petitioner's request for a variance, that the requested menu board signage, referenced on Petitioner's

er's Exhibit 1, is hereby GRANTED, subject, however, to the following restrictions which are conditions precedent to the relief granted herein:

- 1) The Petitioner may apply for its building permit and be granted same upon receipt of this Order; however, Petitioner is hereby made aware that proceeding at this time is at its own risk until such time as the 30-day appellate process from this Order has expired. If, for whatever reason, this Order is reversed, the Petitioner would be required to return, and be responsible for returning, said property to its original condition.
2. The requested identification sign shall contain no more than a total of 220 square feet of signage.
3. Petitioner shall submit to the Zoning Commissioner's office by no later than March 1, 1990 a new site plan prepared by a registered professional engineer and/or land surveyor, which clearly identifies all buildings and signage, their size and area dimensions, their exact location on the subject property, their distances from all property lines, and any other information as may be required to be a certified site plan.

J. Robert Haines
J. ROBERT HAINES
Zoning Commissioner
for Baltimore County

JRH:mmm

cc: Peoples Counsel

cc: E. Harrison Stone, Esquire, 102 W. Pennsylvania Avenue, Towson, Maryland 21204

cc: Mr. James T. Dresher, Jr., 1339 E. MacPhail Road, BelAir, Md. 21014

cc: Mr. Joe Smiley, 6421 Rockledge Court, Elkridge, Md.

cc: Mr. Tony Cortea, c/o STV-Lyon Assoc., 21 Governors Court, Baltimore, Md. 21207

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PETITION FOR ZONING VARIANCE
TO THE ZONING COMMISSIONER OF BALTIMORE COUNTY:

The undersigned, legal owner(s) of the property situate in Baltimore County and which is described in the description and plat attached hereto and made a part hereof, hereby petition for a Variance from Section 413.2f to permit 3 signs having 322 total square feet in lieu of the permitted 100 square feet.

of the Zoning Regulations of Baltimore County, to the Zoning Law of Baltimore County; for the following reasons: (Indicate hardship or practical difficulty)

1. Strict compliance with signage requirements would unreasonably prevent use of property for a permitted purpose and would be unnecessarily burdensome.
2. Relief can be granted in such fashion that the spirit of the ordinance will be observed and public safety and welfare are observed.

Property is to be posted and advertised as prescribed by Zoning Regulations.

I, or we, agree to pay expenses of above Variance advertising, posting, etc., upon filing of this petition, and further agree to and are to be bound by the zoning regulations and restrictions of Baltimore County adopted pursuant to the Zoning Law for Baltimore County.

I/We do solemnly declare and affirm, under the penalties of perjury, that I/we, the undersigned, owner(s) of the property subject of this Petition.

BALTIMORE COUNTY, MARYLAND
OFFICE OF FINANCE & REVENUE DIVISION
MISCELLANEOUS CASH RECEIPT
No. 057649
DATE 10/18/89 ACCOUNT R-00115
AMOUNT \$ 100.00
RECEIVED FROM H. STONE
BY CK Elgy
102 W. Pennsylvania Avenue
Towson, Maryland 21204
City and State
Attorney's Telephone No. (301) 823-1800
Name, address and phone number of legal owner, contract purchaser or representative to be contacted
Name
Address
Phone No.
d Boulevard
Corporate Park (301) 290-0589
Phone No.
ryland 21045

ORDER RECEIVED FOR FILING
Date 10/18/89
By *J. Robert Haines*

ORDERED By the Zoning Commissioner of Baltimore County, this 28 day of Oct., 1989, that the subject matter of this petition be advertised, as required by the Zoning Law of Baltimore County, in two newspapers of general circulation throughout Baltimore County, that property be posted, and that the public hearing be held before the Zoning Commissioner of Baltimore County in Room 104, County Office Building in Towson, Baltimore County, on the 8th day of Sept., 1989, at 12 o'clock P.M.

J. Robert Haines
J. ROBERT HAINES
Zoning Commissioner of Baltimore County

Filed 6/15/89
BY *J. Robert Haines*
ANY TIME OR DAY
± HC HEARING.

ST LYON ASSOCIATES
ENGINEERS ARCHITECTS PLANNERS
21 GOVERNORS COURT
BALTIMORE, MD 21207-2724
301/944-9112 FAX 301/298-2794
Tel 87999
ZONING DESCRIPTION FOR
McDONALD'S CORPORATION
NORTHEAST CORNER OF BACK RIVER NECK ROAD AND POLES ROAD
BALTIMORE COUNTY, MARYLAND

BEGINNING FOR THE SAME at a point formed by the intersection of the east side of Back River Neck Road (60 feet wide) and the north side of Poles Road (60 feet wide), thence running along the east side of Back River Neck Road North 34°48'35" West 217.50 feet, thence leaving the east side of Back River Neck Road and running the five following courses and distances;

1. North 55°11'25" East 36.00 feet,
 2. North 29°43'31" East 121.50 feet,
 3. North 55°11'25" East 127.66 feet,
 4. South 85°49'22" East 15.35 feet,
 5. South 40°49'22" East 158.00 feet, to intersect the north side of Poles Road, thence running along the north side of Poles Road the following three courses and distances,
 6. South 29°43'31" West 222.80 feet,
 7. By a curve to the right having a radius of 243.92 feet and a length of 84.90 feet, said curve being subtended by a chord bearing South 39°41'48" West 84.47 feet, thence along a site flare or fillet,
 8. North 86°11'11" West 24.69 feet to the point of beginning.
- Containing 1.4870 acres of land, more or less.

Mark A. Riddle
STV/LYON ASSOCIATES
Mark A. Riddle
MD Reg. Property Line Surveyor No. 244

June 15, 1987



STV ENGINEERS, Engineers Architects Planners Interior Designers Professional Member Firms
STV: Michael Lynn & Associates, STV/Lyon Associates, STV/H.D. Nottingham, STV/Sanders & Thomas, STV/Selvie Stevenson Value & Knott

ROYSTON, MUELLER, McLEAN & REID
ATTORNEYS AT LAW
SUITE 600
100 WEST PENNSYLVANIA AVENUE
TOWSON, MARYLAND 21204-4575
(410) 823-1800
TELETYPE FAX (410) 828-7850

October 5, 1989
OCT 6 1989
ZONING OFFICE

J. Robert Haines, Zoning Commissioner
for Baltimore County
111 W. Chesapeake Avenue
Towson, Maryland 21204

Re: McDonald's Restaurant at Jack River Neck and Poles Roads
Case No. 90-90-A

Dear Commissioner Haines:

In your recent opinion in the above case, dated October 3, 1989, you permitted us to have the larger identification sign of 109 sq. ft., and a 2-sided menu board of 80 sq. ft., for a total of 189 sq. ft.

What was denied was the footage for the "drive thru" sign totaling 31 sq. ft.

As mentioned in my letter to you of September 13, 1989, we no longer find it necessary to have a two-sided menu board; one side being sufficient, which has the effect of reducing the signage request by 40 sq. ft., 9 sq. ft. more than the 31 sq. ft. "drive-thru" strip.

Upon that assumption, would you please reconsider your original Order and permit us to have the 109 sq. ft. I.D. sign, a one-sided menu board of 40 sq. ft., and the drive-thru strip of 31 sq. ft. The total is 180 sq. ft.

Thanking you for your consideration, I am,

Sincerely yours,

E. Harrison Stone

ESS:pf

cc: Mr. James Drescher, Edgewood Corporation
Mr. Joseph Smiley, McDonald's Corporation
Mr. Tony Cortez, STV/Lyon

ROYSTON, MUELLER, McLEAN & REID
ATTORNEYS AT LAW
SUITE 600
100 WEST PENNSYLVANIA AVENUE
TOWSON, MARYLAND 21204-4575
(410) 823-1800
TELETYPE FAX (410) 828-7850

September 13, 1989
SEP 14 1989
ZONING OFFICE

J. Robert Haines, Zoning Commissioner for
Baltimore County
111 W. Chesapeake Avenue
Towson, Maryland 21204

Re: McDonald's Restaurant at Back River Neck and Poles Rds.
Case No. 90-90-A

Dear Commissioner Haines:

As you will recall, at our hearing in the above-entitled case on September 8, 1989, we advised the Commissioner that we wished to reduce our original signage request down from 322 total square feet to 220 square feet. This was based upon a reduction in size of the McDonald's main I.D. sign from a total of 211 square feet to 109 square feet.

In revising our plat in order to display those figures, we determined that such signage could be reduced an additional 40 square feet. The reason for this is that on the original plat, we included a menu board of two sides, each side containing 40 square feet, for a total of 80 square feet. After reflection, it was determined that we only needed a menu board containing one side, which permitted us to amend our request by an additional 40 square foot reduction.

Therefore, to summarize, we are requesting that we be permitted to have total free-standing signage of 180 square feet, instead of the permitted 100 square feet. Contained in this 180 figure, is 109 square feet for the I.D. sign (54.5 square feet for each side), 31 square feet for the Drive Thru

ROYSTON, MUELLER, McLEAN & REID

September 13, 1989
J. Robert Haines,
Zoning Commissioner for Baltimore County
Page 2

strip (each side containing 15.5 square feet), and 40 square feet for the menu board. Enclosed are three (3) copies of the Amended Plat reflecting the above.

Thank you for your consideration in this matter.

Sincerely yours,

E. Harrison Stone

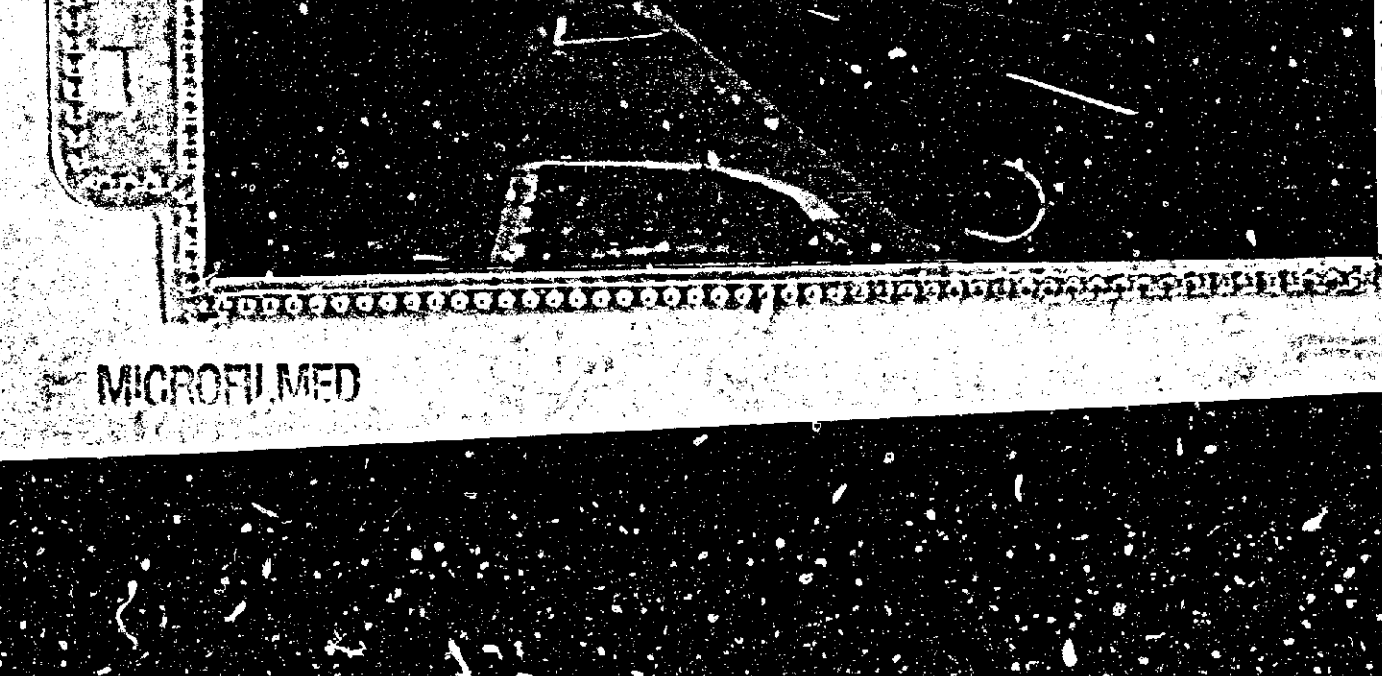
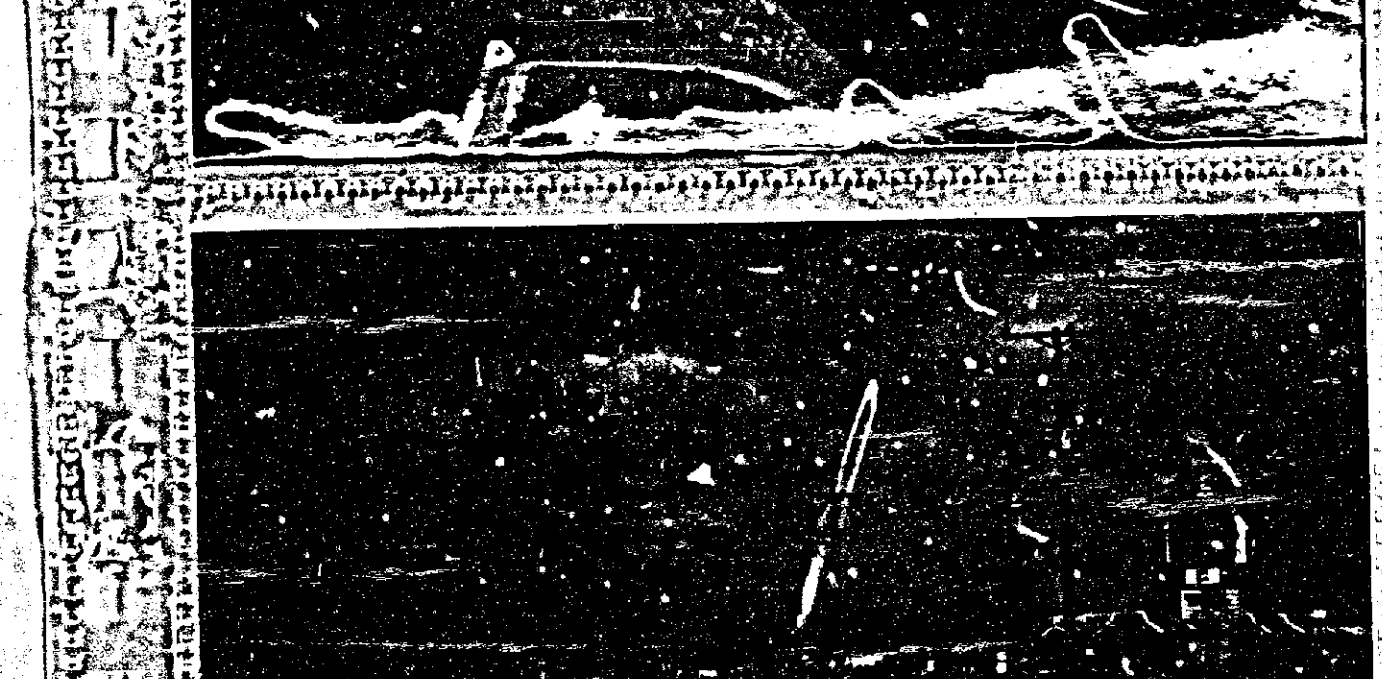
ESS:pf
Enclosures

cc: Mr. James Drescher, McDonald's Corporation
Mr. Joseph Smiley, McDonald's Corporation
Mr. Tony Cortez, STV/Lyon

PETITIONER(S) EXHIBIT (3)



PETITIONER(S) EXHIBIT (4)



PETITIONER(S) SIGN-IN SHEET

E. Harrison Stone, ESQ.

James T. Drescher, Jr.

JOE SMILEY

TONY CORTEZ

103 W. JENNA AVE.
TOWSON, MD 21204

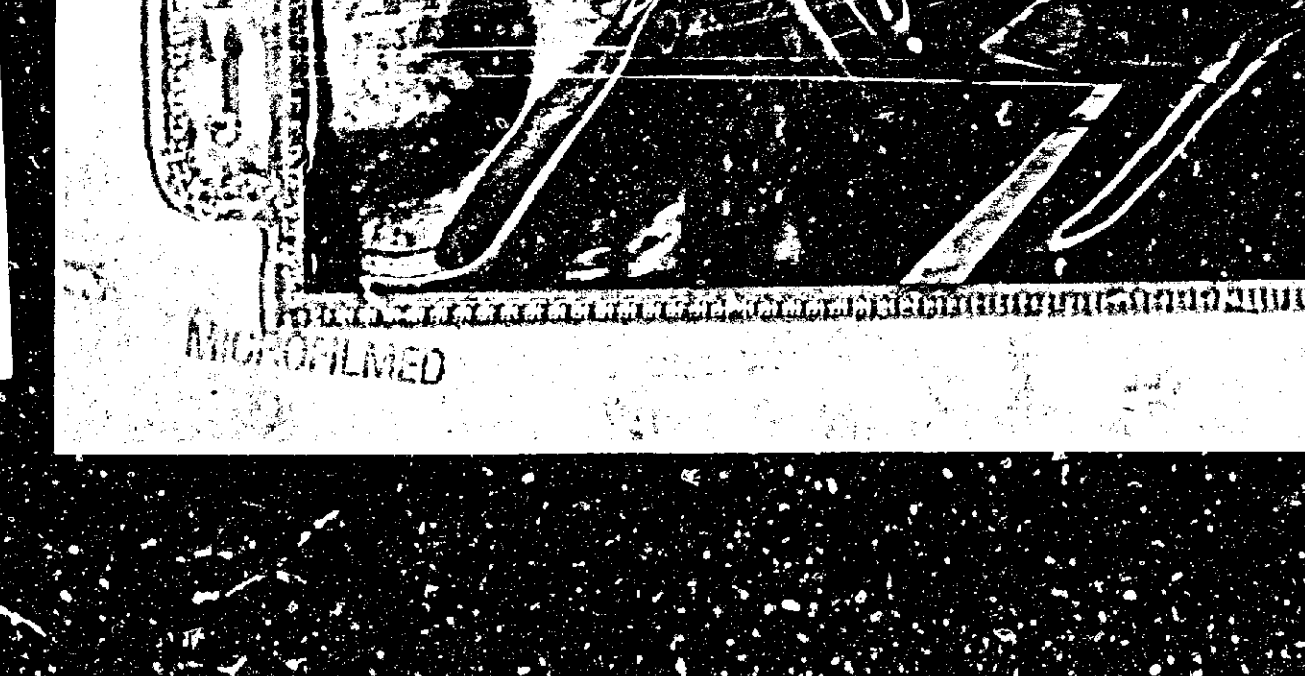
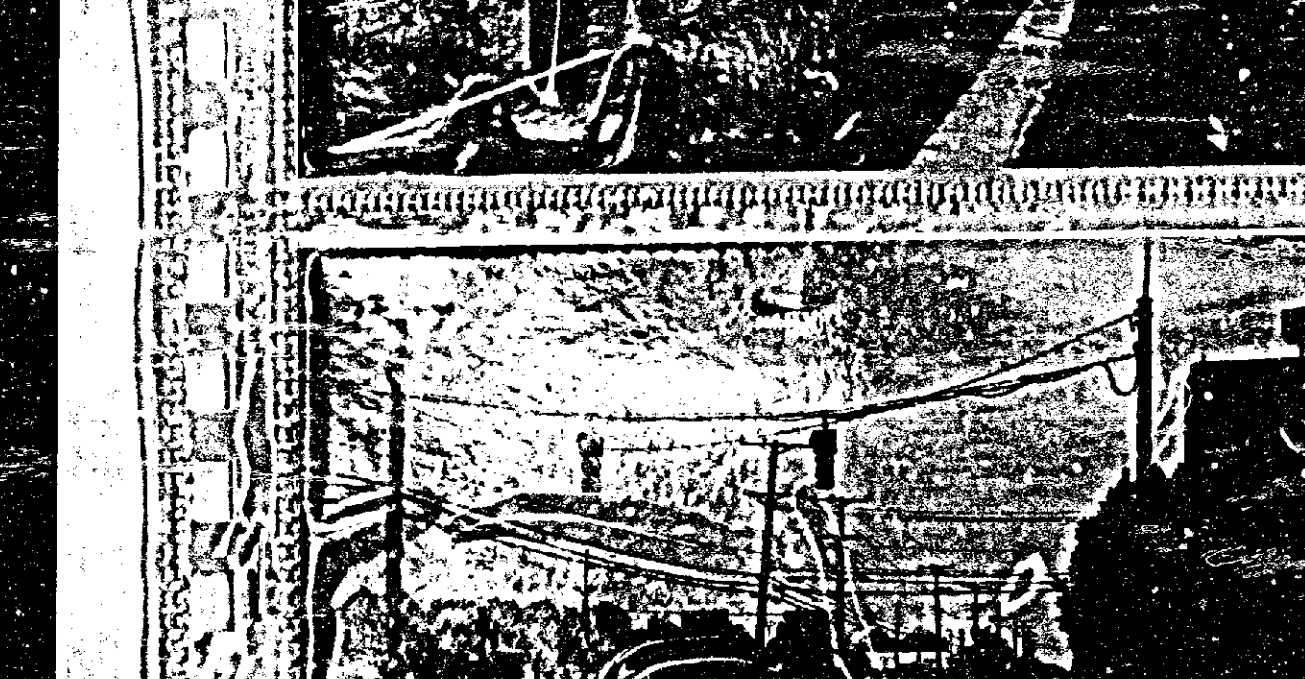
6421 ROCKLEDGE CT, ELKTON, MD

21 GOVERNORS CT, BALTIMORE, MD

PETITIONER(S) EXHIBIT (4)



PETITIONER(S) EXHIBIT (4)



CERTIFICATE OF POSTING

DEPARTMENT OF BALTIMORE COUNTY

Towson, Maryland

District: 15th
Period for: 1 month
Publication: McDonald's Corporation
Location of property: NE corner Back River Neck & Poles Rds.
Location of sign: 109 sq. ft. I.D. sign, 40 sq. ft. menu board, 31 sq. ft. drive-thru sign
Number of signs: 1

CERTIFICATE OF PUBLICATION

TOWSON, MD. August 18, 1989

THIS IS TO CERTIFY that the annexed advertisement was published in THE JEFFERSONIAN, a weekly newspaper printed and published in Towson, Baltimore County, Md., appearing on August 17, 1989.



PO 15174
M34123
90-90-1
Price \$37.43

new sign request. JAH

Baltimore County
Department of Public Works
Bureau of Traffic Engineering
Courts Building, Suite 405
Towson, Maryland 21204
(301) 887-3554

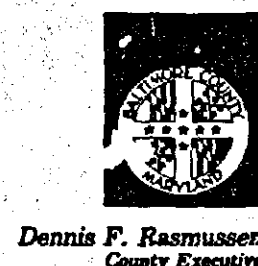
July 24, 1989

Mr. J. Robert Haines
Zoning Commissioner
County Office Building
Towson, MD 21204

RECEIVED

AUG 3 1989

ZONING OFFICE



Dennis F. Rasmussen
County Executive

Dear Mr. Haines:

The Bureau of Traffic Engineering has no comments for items number 525, 526, 527, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 557, 558 and 559.

Very truly yours,

Michael S. Flanigan
Michael S. Flanigan
Traffic Engineer Associate II

MSF/lab

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BALTIMORE COUNTY DEPARTMENT OF ENVIRONMENTAL
PROTECTION AND RESOURCE MANAGEMENT

7/11/89
Date

Zoning Commissioner
Office of Planning and Zoning
County Office Building
Towson, Maryland 21204

Zoning Item # 553, Zoning Advisory Committee Meeting of June 27, 1989

Property Owner: McDonald's Corporation

Location: NE Corner Back River Neck & Pikes Road District: 15

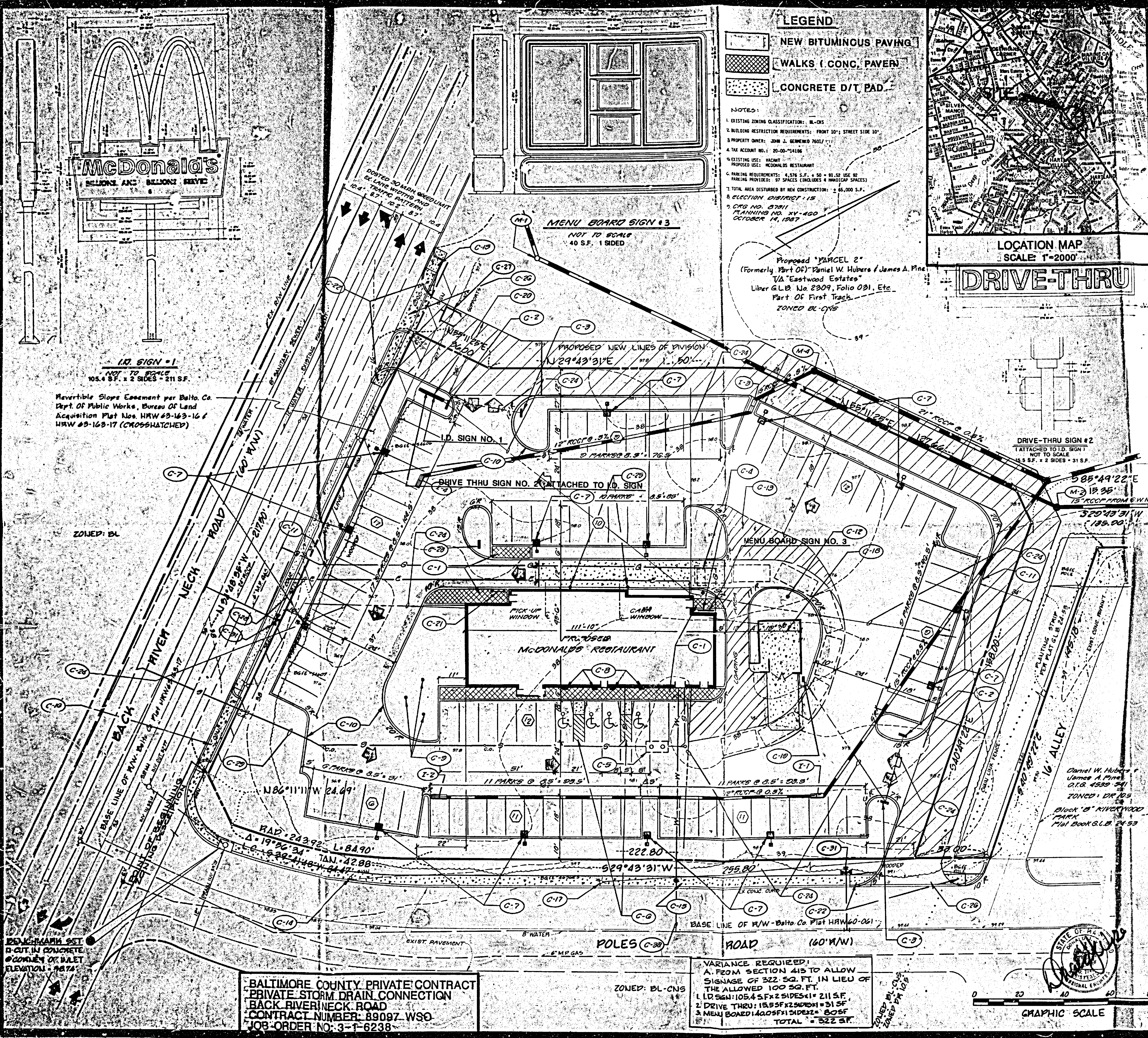
Water Supply: metro Sewage Disposal: metro

COMMENTS ARE AS FOLLOWS:

- (☒) Prior to approval of a Building Permit for construction, renovation and/or installation of equipment for any existing or proposed food service facility, complete plans and specifications must be submitted to the Plans Review Section, Bureau of Regional Community Services, for final review and approval.
- () Prior to new installation(s) of fuel burning equipment, the owner shall contact the Bureau of Air Quality Management, 887-3775, to obtain requirements for such installation(s) before work begins.
- () A permit to construct from the Bureau of Quality Management is required for such items as spray paint processes, underground gasoline storage tank(s) (5,000 gallons or more) and any other equipment or process which exhausts into the atmosphere.
- () A permit to construct from the Bureau of Air Quality Management is required for any charbroiler generation which has a total cooking surface area of five (5) square feet or more.
- () Prior to approval of a building Permit Application for renovations to existing or construction of new health care facilities, complete plans and specifications of the building, food service area and type of equipment to be used for the food service operation must be submitted to the Plans Review and Approval Section, Division of Engineering and Maintenance, State Department of Health and Mental Hygiene for review and approval.
- () Prior to any new construction or substantial alteration of public swimming pool, wading pool, bathhouse, saunas, whirlpools, hot tubs, water and sewerage facilities or other appurtenances pertaining to health and safety; two (2) copies of plans and specifications must be submitted to the Baltimore County Department of Environmental Protection and Resource Management for review and approval. For more complete information, contact the Water Quality Monitoring Section, Bureau of Regional Community Services, 687-6500 x 315.
- () Prior to approval for a nursery school, owner or applicant must comply with all Baltimore County regulations. For more complete information, contact the Division of Maternal and Child Health.
- () If lubrication work and oil changes are performed at this location, the method providing for the elimination of waste oil must be in accordance with the State Department of the Environment.
- () Prior to razing of existing structure(s), petitioner must contact the Division of Waste Management at 887-3745, regarding removal and/or disposal of potentially hazardous materials and solid wastes. Petitioner must contact the Bureau of Air Quality Management regarding removal of asbestos, 887-3775.
- () Any abandoned underground storage tanks containing gasoline, waste oil, solvents, etc., must have the contents removed by a licensed hauler and tank removed from the property or properly backfilled. Prior to removal or abandonment, owner must contact the Division of Waste Management at 887-3745.
- () Soil percolation tests, have been _____, must be _____, conducted.
 - () The results are valid until _____.
 - () Soil percolation test results have expired. Petitioner should contact the Division of Water and Sewer to determine whether additional tests are required.
- () Where water wells are to be used as a source of water supply, a well meeting the minimum Baltimore County Standards must be drilled.
- () In accordance with Section 13-117 of the Baltimore County Code, the water well yield test
 - () shall be valid until _____.
 - () is not acceptable and must be retested. This must be accomplished prior to conveyance of property and approval of Building Permit Applications.
- () Prior to occupancy approval, the potability of the water supply must be verified by collection of bacteriological and chemical water samples.
- (☒) If submission of plans to the County Review Group is required, a Hydrogeological Study and an Environmental Effects Report must be submitted. For more information contact the Division of Environmental Management at 887-3980.
- () In order to subdivide this property, the owner or developer will be required to comply with the subdivision regulations of the State of Maryland and Baltimore County. If there are any questions regarding the subdivision process, please contact the Land Development Section at 887-2762.
- () Others _____

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C. D. Strick
BUREAU OF WATER QUALITY AND RESOURCE
MANAGEMENT



- GENERAL NOTES:**
- McDonald's Road Sign and Base are by the Sign Contractor. Conduit and Wiring are by the General Contractor.
 - Bases, Anchor Bolts, Conduit, and Wiring for All Other Signs are by the General Contractor.
 - 1/2" Empty Conduit to Locations Shown at the Lot Perimeter for Lot Lighting is by the General Contractor. Light Fixtures, Bases, Poles, Conduit, and Wiring are by the Owner/Operator.
 - Bases for Flagpoles are by the General Contractor. Anchor Bolts are by the Flagpole Supplier.
 - Proposed Utilities are Shown in Schematic Only. Exact Locations shall be Field Determined to Allow for the Most Economical Installation.
 - The Contractor shall Coordinate with All Utility Companies to Determine Exact Point of Service Connection at Existing Utility. Refer to the Building Electrical and Plumbing Drawings for Utility Service Entrances Locations, Sizes, and Circuiting.
 - All Elevations Shown are in Reference to the Benchmark and must be Verified by the General Contractor At Groundbreak.
 - Finish Walk and Curb Elevations shall be 6" Above Finish Pavement.
 - All Landscape Areas shall be Rough Graded to 8" Below Top of All Walks and Curbs. Finish Grading, Landscaping, and Sprinkler Systems are by the Owner/Operator.

PETITIONER'S EXHIBIT 1

PAVING SPECIFICATION:
(Minimum 3" Total Compacted Asphalt Thickness.)

1" SURFACE COURSE (90%
2" BINDER COURSE (90%
6" CRUSHED AGG. BASE
COURSE 100-60
GEOTEXTILE FABRIC
COMPACTED SUBGRADE

Note: McDonald's Engineer Reserves The Right To Request A Compaction Test And/Or A Core Sample. If Tests Prove Correct, The Above Specifications, Tests Will Be At The Expense Of McDonald's. Otherwise, G.C. Will Be Charged.

LOT LIGHTING RECOMMENDATION:

**NEW 1000 WATT METAL HALIDE
BY BEACON ILLUMINATION**

Note: Electrical Contractor To Ground Lot Lighting As Noted.

PARKING INFORMATION:

Total Spaces:	93 Spaces	8.5 x 18 @ 90°
	4 HANDICAP Spaces	8 x 18 @ 90°
	Spaces	x @ °
	Spaces	x @ °

UTILITY INFORMATION:

Size:	Type:	Location:
Sanitary Sewer - 8"		
Water - 12"		BACK RIVER
Storm Sewer - 24" RCP		NECK ROAD
Electric		
Gas - 6" M.P.		

SURVEY INFORMATION:

Prepared By: STAYLON ASSOCIATES
21 GOVERNORS COURT
BALTIMORE, MARYLAND 21207

Dated: 5/22/87

LEGEND:

Sanitary Sewer - S	Gas - G
Water - W	Lot Light - LP-30
Storm Sewer - E	Existing Elevation (76.5)
Electric - E	Proposed Elevation (77.0)

PLAN SCALE: 1" = 20'

STREET ADDRESS:
[BACK RIVER NECK & POLES ROAD]

CITY: [BALTIMORE, MARYLAND]

STATE:

COUNTY: [BALTIMORE - COUNTY]

**PLAT TO ACCOMPANY PETITION
FOR ZONING VARIANCE**

McDonald's

These plans and specifications are the property of McDonald's Corporation and shall not be reproduced without their written permission.

MD 1453

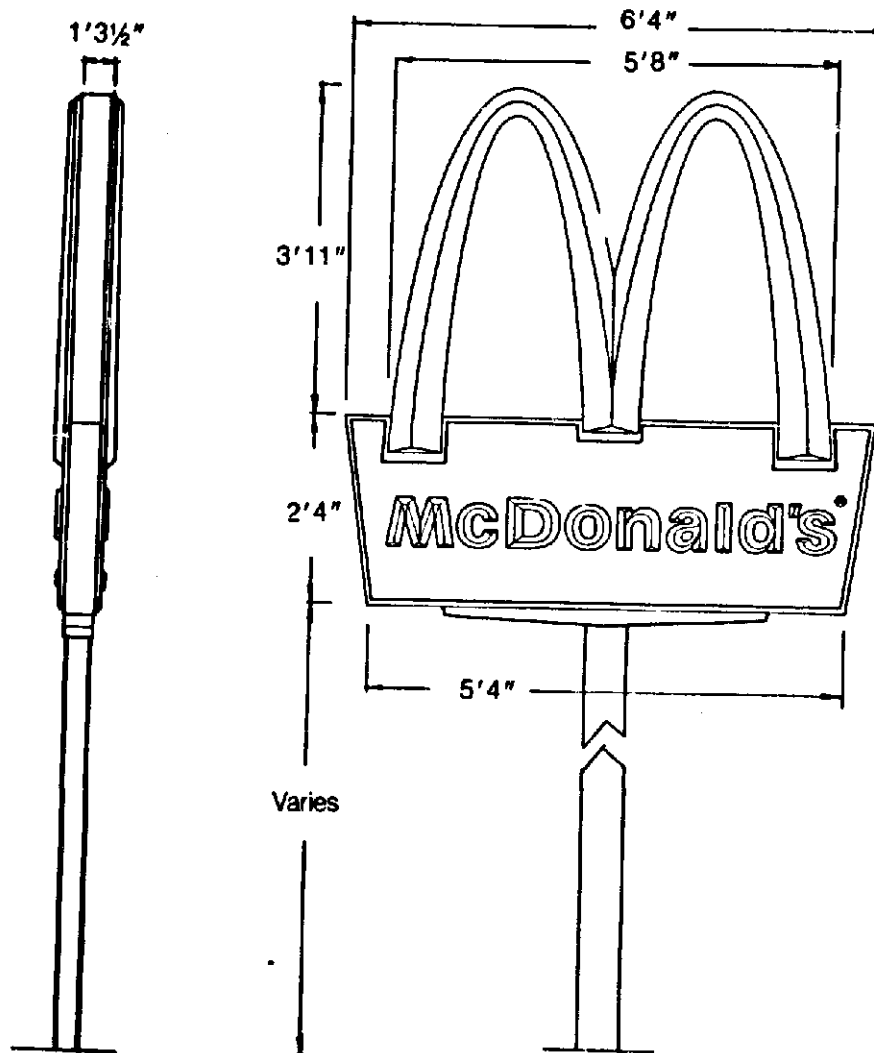
PLAN APPROVALS:		CO-SIGN SIGNATURES:	
Signature: (2 required)	Date:	Signature:	Date:
Regional Mgr.		Regional Mgr.	
Const. Mgr.		Const. Mgr.	
Operations Dept.		Operations Dept.	
Real Estate Dept.		Real Estate Dept.	
Contractor		Contractor	
Owner		Owner	

REGIONAL DWG. NO.: 553

CORPORATE DWG. NO.: SP-1

NOTE:
top 12" of bolt, nuts,
and washer to be hot-dip galv.

70-25 ROAD SIGN



Colors

White Letters with Black Stripe
Red Background
Yellow Arches
Yellow Arch Cabinet
Dark Umber Emblem Cabinet
Approximate Area
25 sq. ft.
Approximate Weight
275 lbs.

ELECTRICAL

Arch Lamps: 7 ea. F24T12CWHO
Arch Ballasts: 1 ea. France 448D
1 ea. France 348D
Emblem Lamps: 1 ea. F72T12CWHO
1 ea. F64T12CWHO
Emblem Ballasts: 1 ea. France 268D
Service: 1 ea. 15 Amp Circuit,
120V, 60 HZ
Load: 5.8 Amps

NOTE: Sign is U.L. approved.

Installation

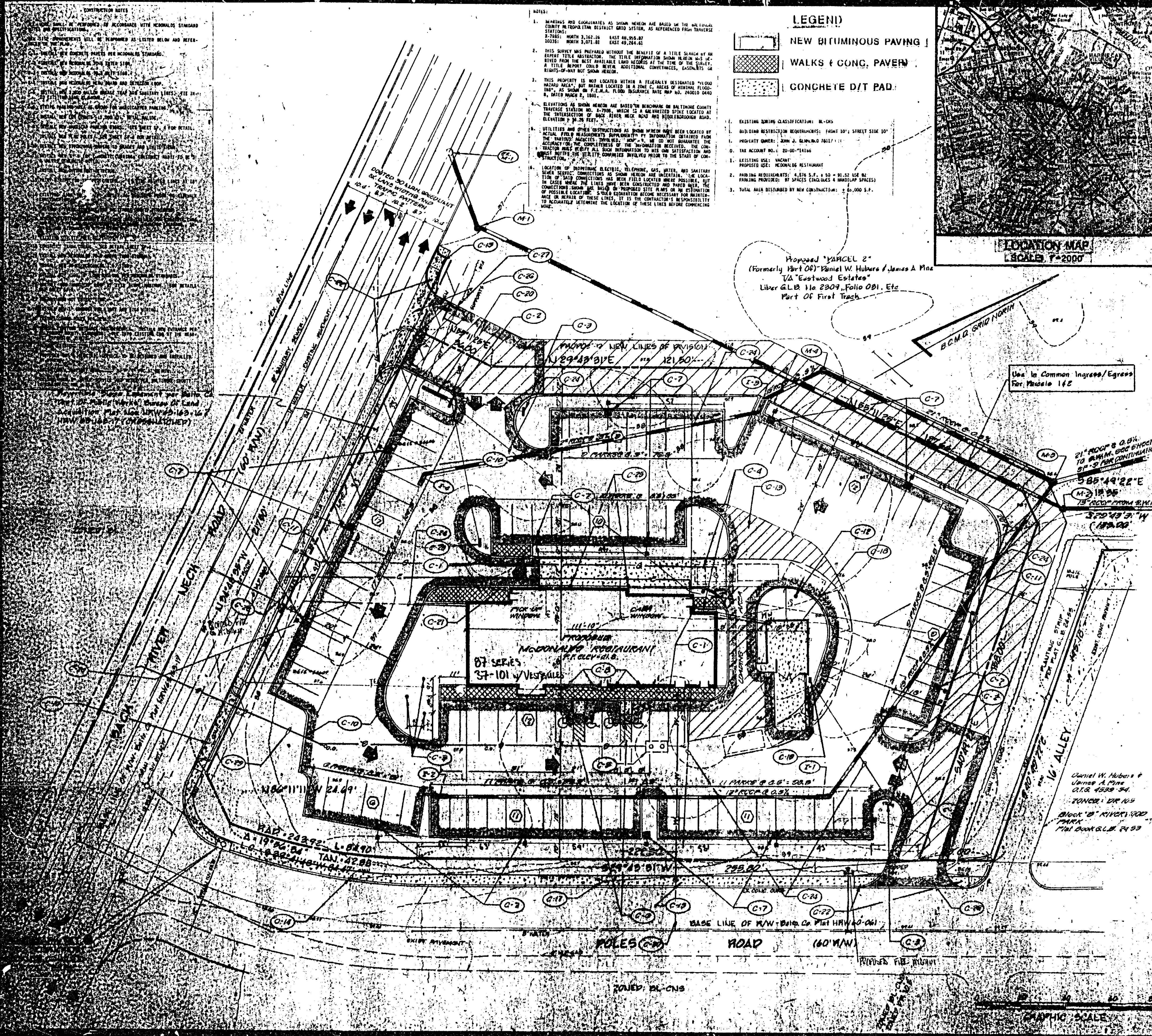
NOTE: Refer to target survey for placement and angle.

1. Install upright (see upright design)
2. Lift sign by eye bolts in ends of McDonald's section and hold above upright mounting plate.
3. Connect wiring to electrical service provided in upright.
4. Set sign onto upright and secure with provided hardware. (Be sure wires are not pinched)
5. Install and secure decorative member
6. Check sign for proper operation
7. Clean and touch-up sign.
NOTE: Side with hinge should face direction from which sign is serviced.
8. Remove crating from job site immediately.



Original sign

TENCON
A Division of Plast-Lite, Inc.



CONSTRUCTION NOTES

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH MCDONALD'S STANDARD SPECIFICATIONS.

2. ALL UTILITIES SHALL BE LOCATED AND DEPTH SHALL BE DETERMINED BY THE CONTRACTOR PRIOR TO CONSTRUCTION.

3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

4. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.

5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES.

6. THE CONTRACTOR SHALL MAINTAIN THE EXISTING CURB AND GUTTER CONDITIONS.

7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL DEBRIS AND WASTE MATERIALS.

8. THE CONTRACTOR SHALL MAINTAIN THE EXISTING DRAINAGE SYSTEM.

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LEGEND

NEW BITUMINOUS PAVING

WALKS & CONC. PAVEN

CONCRETE D/T PAD



- GENERAL NOTES:**
- McDonald's Road Sign and Base are by the Site Contractor. Conduit and Wiring are by the General Contractor.
 - Bases, Anchor Bolts, Conduit and Wiring for All Other Signs are by the General Contractor.
 - 4" Empty Conduit to Locations Shown at the Lot Perimeter for Lot Lighting by the General Contractor. Lighting Fixtures, Bases, Poles, Conduit, and Wiring are by the Owner/Operator.
 - Bases for Flagpoles are by the General Contractor. Anchor Bolts are by the Flagpole Supplier.
 - Proposed Utilities are Shown in Schematic Only. Exact Locations shall be Field Determined to Allow for the Most Economical Installation.
 - The Contractor shall Coordinate with All Utility Companies to Determine Exact Point of Service Connection at Existing Utility. Refer to the Building Electrical and Plumbing Drawings for Utility Service Entrance Locations, Sizes, and Circuiting.
 - All Elevations Shown are in Reference to the Benchmark and must be Verified by the General Contractor At Groundbreak.
 - Finish Walk and Curb Elevations shall be 6" Above Finish Pavement.
 - All Landscape Areas shall be Rough Graded to 8" Below Top of All Walks and Curb. Finish Grading, Landscaping, and Sprinkler Systems are by the Owner/Operator.
 - All FUL TO BE HANDLED BY 4500 GLENN.

PAVING SPECIFICATION:
(Minimum 2" Total Compacted Asphalt Thickness)

1" SURFACE COURSE (18M)
2" BINDER COURSE (18M)
6" CRUSHED AGG. BASE, COURSE (CR-6)
GEOTEXTILE FABRIC
COMPACTED SUBGRADE

Note: McDonald's Engineer Reserves The Right To Request A Compaction Test And/Or A Core Sample. If Tests Prove Correct, For Above Specifications. Tests Will Be At The Expense Of McDonald's. Otherwise, G.C. Will Be Charged.

LOT LIGHTING RECOMMENDATION:

NEW 1000 WATT METAL HALIDE BY BEACON ILLUMINATION

Note: Electrical Contractor To Circuit Lot Lighting As Noted.

PARKING INFORMATION:

Total Spaces:	93 Spaces	8.5 x 18 @ 90°
4 HANDICAP Spaces:	8 x 18 @ 90°	
Spaces:	x	w
Spaces:	x	w

UTILITY INFORMATION:

Size:	Type:	Location:
Sanitary Sewer	8"	
Water	12"	BACK RIVER
Storm Sewer	24"RCCP	NECK ROAD
Electric		
Gas	6" M.P.	

SURVEY INFORMATION:

Prepared By: STAYLON ASSOCIATES
21 GOVERNORS COURT
BALTIMORE, MARYLAND 21207

Dated: 5/22/97

LEGEND:

Sanitary Sewer	S	Gas	G
Water	W	Lot Light	LP-30
Storm Sewer	SS	Existing Elevation	(78.5)
Electric	E	Proposed Elevation	(77.0)

PLAN SCALE: 1" = 20'

STREET ADDRESS:
501 BACK RIVER NECK & POLES ROAD

CITY: BALTIMORE, MARYLAND

COUNTY: BALTIMORE COUNTY

(SITE PLAN)

McDonald's

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19-294

SP-1

PLAN APPROVALS:

Signature	Date
Regional Mgr.	
County Mgr.	
Operations Dept.	
Real Estate Dept.	
Customer	
Owner	

REGIONAL DWG. NO.: 19-294

CORPORATE DWG. NO.: B097032-SI-7419

DATE: 5/22/97

BY: JONIC