

IN RE: PETITION FOR SPECIAL HEARING
RE: Corner Edmondson Avenue
and Harlem Lane
(6132 Edmondson Avenue)
1st Election District
1st Councilmanic District
Anthony C. Stilling, et ux
Petitioner

* BEFORE THE
* DEPUTY ZONING COMMISSIONER
* OF BALTIMORE COUNTY
* Case No. 90-166-SPH

FINDINGS OF FACT AND CONCLUSIONS OF LAW

The Petitioner herein requests a special hearing to approve an amendment to the previously approved site plan in Case No. 87-233-X to accommodate 14 additional parking spaces, 12 front to back and 2 regular, in accordance with Petitioner's Exhibit 1.

The Petitioners appeared, testified and were represented by Jeffrey Kotz, Esquire. Also appearing on behalf of the Petition was William P. Monk, Land Use Planning & Zoning Consultant. Appearing as an interested party was Ann Power, President, on behalf of Eden Terrace Homeowners' Association. There were no Protestants.

Testimony indicated that the subject property, known as 6132 Edmondson Avenue, consists of 0.284 acres zoned B.L.-C.N.S., and is improved with a one story brick building currently used as a service garage. Said property was the subject matter of previous zoning Case No. 87-233-X in which a special exception was granted to permit the conversion of the subject building from what Petitioners called a delapidated gasoline service station to a service garage. Petitioner thereafter obtained a building permit for and constructed an addition to the existing building to provide an additional 2,637 sq.ft. of service area consisting of 5 more service bays. Said addition was larger than that set forth in the site plan approved in Case No. 87-233-X but in accordance with his permit appli-

cation. Additionally, the driveway in Edmondson Avenue was relocated but Petitioners contend said change was found to be within the spirit and intent of the originally approved plan by the Zoning Office. Mr. Stilling proceeded with the building addition and site improvements in the winter of 1988 and spring of 1989. Petitioners did not landscape the front of the property as approved but instead, at considerable expense, substituted the plantings as depicted in Petitioner's Exhibit 4 which have been determined to be unacceptable.

As a result of a complaint filed with the Zoning Office, an inspection of the property revealed Petitioner was not in compliance with the previously approved site plan and was advised to file the instant Petition to obtain approval of the modifications made to the originally approved site plan in Case No. 87-233-X. Petitioners have agreed to landscape the property as required by the County.

In an effort to meet parking needs generated by this type of business, which Petitioners believe exceeds the minimum required under the parking regulations, Petitioners request permission to park vehicles in accordance with Section 409.4 of the Baltimore County Zoning Regulations (B.C.Z.R.) which provides for vehicle parking by attendants when there is no direct access to an aisle. Testimony indicated that the proposed parking arrangement will provide 14 additional parking spaces, as set forth in Petitioner's Exhibit 1, and will minimize overflow parking on the site which is of concern to the Eden Terrace Homeowners' Association as expressed by its President, Ms. Power. Mr. Stilling testified that neither his customers nor employees park on Edmondson Avenue or Harlem Lane and approval of the parking as requested will permit Petitioners the ability to keep cars off adjoining side streets. Petitioners further testified as

to the improvements made on the property and the pride they have taken in developing the site. Testimony indicated that since their purchase of the property nearly five years ago, they have invested a considerable sum of money to clean up the site for which they've received compliments from their neighbors. Further testimony indicated the relief requested will not result in any detriment to the health, safety or general welfare of the community and that the relief requested meets the requirements of Section 502.1 of the B.C.Z.R. Ms. Power testified the Eden Terrace Homeowners' Association, which consists of 48 families who reside on the opposite side of Edmondson Avenue from the property, wanted to make sure that cars associated with the subject property did not park on the adjoining residential properties and that the subject property was landscaped in a manner to prevent what she termed as "an industrial look."

It is clear that the B.C.Z.R. permits the use proposed in a B.L.-C.N.S. zone by special exception and such use was previously granted. It is equally clear that the proposed use and modifications to the previously approved site plan would not be detrimental to the primary uses in the vicinity. Therefore, it must be determined if the conditions as delineated in Section 502.1 are satisfied.

The Petitioner had the burden of adducing testimony and evidence which would show that the proposed use met the prescribed standards and requirements set forth in Section 502.1 of the B.C.Z.R. The Petitioner has shown that the proposed use would be conducted without real detriment to the neighborhood and would not adversely affect the public interest. The facts and circumstances do not show that the proposed use at the particular location described by Petitioner's Exhibit 1 would have any adverse impact above and beyond that inherently associated with such a spe-

cial exception use, irrespective of its location within the zone. Schultz v. Pruitt, 432 A.2d 1319 (1981).

The proposed use will not be detrimental to the health, safety, or general welfare of the locality, nor tend to create congestion in roads, streets, or alleys therein, nor be inconsistent with the purposes of the property's zoning classification, nor in any other way be inconsistent with the spirit and intent of the B.C.Z.R.

After reviewing all of the testimony and evidence presented, it appears that the relief requested in the Petition for Special Hearing should be granted with certain restrictions as more fully described below.

Pursuant to the advertisement, posting of the property and public hearing on this Petition held, and for the reasons given above, the relief requested in the special hearing should be granted.

THEREFORE, IT IS ORDERED by the Deputy Zoning Commissioner for Baltimore County this 16th day of February, 1990 that the Petition for Special Hearing to amend the previously approved site plan in Case No. 87-233-X and to permit parking pursuant to Section 409.4 of the B.C.Z.R., and in accordance with Petitioner's Exhibit 1, be and is hereby GRANTED, subject, however, to the following restrictions which are conditions precedent to the relief granted:

- 1) The Petitioner is hereby made aware that proceeding at this time is at his own risk until such time as the 30-day appellate process from this Order has expired. If, for whatever reason, this Order is reversed, the Petitioner would be required to return, and be responsible for returning, said property to its original condition.
- 2) All employee and/or customer parking shall be provided on site and prohibited on Harlem Lane. Petitioners shall at all times keep records concerning license tags of employees', customers' and their vehicles and permit the Zoning Office access to same upon request to insure compliance with this Order.

- 4 -

3) Petitioners shall submit a landscaping plan for approval by the Baltimore County Landscape Planner within thirty (30) days of the date of this Order. Said plan shall include tree plantings along Edmondson Avenue and Harlem Lane as determined necessary by the Planning Office to screen the parking as well as landscaping required by the Baltimore County Landscape Manual. A copy of the approved landscaping plan shall be submitted to the Zoning Commissioner's Office for inclusion in the case file.

4) Petitioners shall at all times maintain the landscaping as approved by the Baltimore County Landscape Planner including that placed in the public right-of-way.

5) Petitioners shall submit proof that the site plan submitted has obtained the approval of the State Highway Administration and Baltimore County's Department of Traffic Engineering within thirty (30) days of the date of this Order.

6) The 24 parking spaces along Edmondson Avenue shall be used only by Petitioners and/or employees of Petitioners' business to move cars in and out for service. Further, said parking shall be limited to the manner set forth in the approved site plan.

7) There shall be no outside storage of damaged or disabled vehicles at any time.

8) When applying for a building permit, the site plan and landscaping plan filed must reference this case and set forth and address the restrictions of this Order.

ANN M. NASTAROWICZ
Deputy Zoning Commissioner
for Baltimore County

AMN:bjs

Baltimore County
Zoning Commissioner
Office of Planning & Zoning
Towson, Maryland 21204
(301) 887-3333

J. Robert Haines
Zoning Commissioner

February 6, 1990

Jeffrey Kotz, Esquire
502 Washington Avenue, Suite 320
Towson, Maryland 21204

RE: PETITION FOR SPECIAL HEARING
NE/Corner Edmondson Avenue and Harlem Lane
(6132 Edmondson Avenue)
1st Election District - 1st Councilmanic District
Anthony C. Stilling, et ux - Petitioners
Case No. 90-166-SPH

Dear Mr. Kotz:

Enclosed please find a copy of the decision rendered in the above-captioned matter. The Petition for Special Hearing has been granted in accordance with the attached Order.

In the event any party finds the decision rendered is unfavorable, any party may file an appeal to the County Board of Appeals within thirty (30) days of the date of this Order. For further information on filing an appeal, please contact Ms. Charlotte Radcliffe at 887-3391.

Very truly yours,

ANN M. NASTAROWICZ
Deputy Zoning Commissioner
for Baltimore County

AMN:bjs

cc: Ms. Ann Power, President
Eden Terrace Homeowners' Association
122 Forest Avenue, Baltimore, Md. 21228

People's Counsel

File

PETITION FOR SPECIAL HEARING
TO THE ZONING COMMISSIONER OF BALTIMORE COUNTY:

The undersigned, legal owner(s) of the property situate in Baltimore County and which is described in the description and plat attached hereto and made a part hereof, hereby petition for a Special Hearing under Section 500.7 of the Baltimore County Zoning Regulations, to determine whether or not the Zoning Commissioner and/or Deputy Zoning Commissioner should approve a revised site plan to accommodate 14 additional parking spaces (12 along back and 2 regular) which would be used to address the additional demand for on-site parking based upon the increased volume of business which was generated by the enlargement of the service garage operation per Order # 87-233X (approved 12/18/86). Property is to be posted and advertised as prescribed by Zoning Regulations.

I, or we, agree to pay expenses of the above Special Hearing advertising, posting, etc., upon filing of this Petition, and further agree to and are to be bound by the zoning regulations and restrictions of Baltimore County adopted pursuant to the Zoning Law for Baltimore County.

I/We do solemnly declare and affirm, under the penalties of perjury, that I/we are the legal owner(s) of the property which is the subject of this Petition.

Contract Purchaser:

(Type or Print Name)

Signature

Address

City and State

Attorney for Petitioner:

(Type or Print Name)

Signature

Address

City and State

Attorney's Telephone No.:

Legal Owner(s):

Anthony C. Stilling

(Type or Print Name)

Signature

(Type or Print Name)

Signature

Address

City and State

Name, address and phone number of legal owner, contract purchaser or representative to be contacted

William P. Monk

Name

100 W. Pennsylvania Ave., Suite 305

Address

Towson, MD 21204

Phone No. 494-8931

ORDERED By The Zoning Commissioner of Baltimore County, this 26 day of February, 1990, that the subject matter of this petition be advertised, as required by the Zoning Law of Baltimore County, in two newspapers of general circulation throughout Baltimore County, that property be posted, and that the public hearing be had before the Zoning Commissioner of Baltimore County in Room 108, County Office Building in Towson, Baltimore County, on the 14th day of February, 1990, at 9:30 o'clock P.M.

J. Robert Haines
Zoning Commissioner of Baltimore County

RECEIVED BY: [Signature] DATE: 2-7-90

ZONING DESCRIPTION
6132 Edmondson Avenue
Baltimore County, Maryland

BEGINNING on the north side of Edmondson Avenue, 60 feet wide, at a distance 40 feet east of the centerline of Harlem Lane, (50 feet wide) at its intersection with Edmondson Avenue, thence leaving the northernmost side of Edmondson Avenue and running the following courses and distances:

- 1) R=15 feet, L=24.57 feet
 - 2) R=231.03 feet, L=76.96 feet
 - 3) North 03 degrees 39 minutes 45 seconds West 55.04 feet
 - 4) South 89 degrees 55 minutes East 98.52 feet
 - 5) South 34 degrees 42 minutes 20 seconds East 103.6 feet
 - 6) R=1462.40 feet, L=127.30 feet to the point of beginning
- Containing 12,376 square feet in the First Election District.

#23

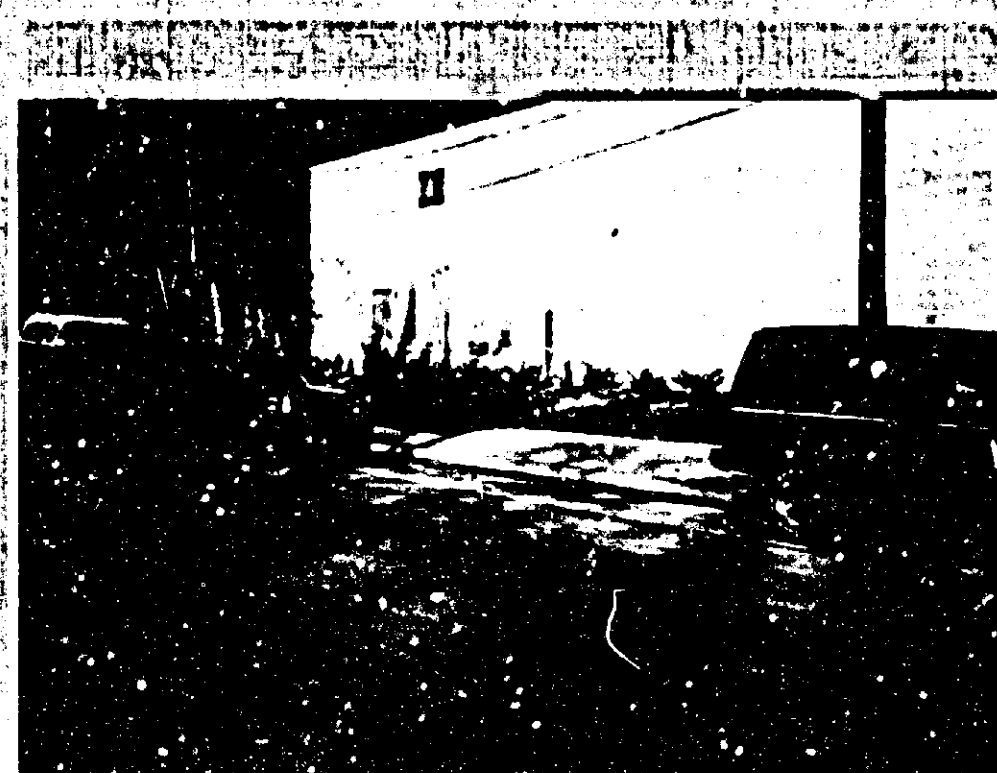
#23

PLEASE PRINT CLEARLY PETITIONER(S) SIGN-IN SHEET

NAME	ADDRESS
Anthony C. Stilling	416 TOWSON AVE. BALD 21224
William P. Monk	1121 TOWSON AVE. BALD 21224
Bill Monk	12345 BALD NE
	SUITE 305
	TOWSON MD 21204
Jeffrey M. Kotz	507 WASHINGTON AVE, SUITE 200
	TOWSON, MD 21204

WILLIAM MONK, INC.

LAND USE PLANNING • ENVIRONMENTAL PLANNING • ZONING



Harlan
Petitioner's Exhibit 3

WILLIAM MONK, INC.

LAND USE PLANNING • ENVIRONMENTAL PLANNING • ZONING



WILLIAM MONK, INC.

LAND USE PLANNING • ENVIRONMENTAL PLANNING • ZONING



Edmondson Ave

Petitioner's Exhibit 4

ROSOLO AND SILVERMAN, P.A.
SUITE 320, NOTTINGHAM CENTRE
502 WASHINGTON AVENUE
TOWSON, MARYLAND 21204
(301) 339-7100

January 12, 1990

Ann M. Nastorowicz, Esquire
Deputy Zoning Commissioner
111 West Chesapeake Avenue
Towson, Maryland 21204

Re: Catonsville Car Care Center
6132 Edmondson Avenue
Baltimore County, Maryland
Case No.: 87-233-X

Dear Ms. Nastorowicz:

As you know, the hearing in the above matter was held on November 14, 1989. Since the zoning violation case has been rescheduled for February 7, 1990, I would greatly appreciate your advising me as to when you think a decision will be reached in this matter. Obviously, depending on the outcome of your decision, I will need to advise my clients accordingly on how we will be proceeding on the zoning violation case.

Please call me if you have any questions. Thank you for your cooperation.

Very truly yours,
ROSOLO AND SILVERMAN, P.A.

Jeffrey M. Kotz

JMK/jw

cc: Mr. Anthony C. Stilling
Mr. William P. Monk

RECEIVED
JAN 16 1990

ZONING OFFICE

CATONSVILLE 2000, INC.

"Working For A Better Catonsville Community"

OFFICERS

Michael L. DeLuca
President
Richard W. Decker
Vice President
William Holley
Treasurer
Stephen W. Whalen, Jr.
Secretary

Writer's Phone #: 747-2900
Writer's Address: 2 W. Rolling Crossroads
Suite #203
Catonsville, MD 21228
November 9, 1989

DIRECTORS

Thomas E. Booth
Richard W. Decker
Michael L. DeLuca
William Holley
Bertha Marley
Fran Medicus
Harry McGurk
James W. Mohler
Louis Moraberg
Craig O'Donnell
Paul Stock
Henry Stansbury
Jean Walsh
Stephen W. Whalen, Jr.

STANDING COMMITTEES

LAND USE PLANNING
Henry Stansbury
Chairman

TRAFFIC & PARKING
Harry McGurk
Chairman

STREETScape & ARCHITECTURE
Fran Medicus
Chairman

RESOURCE MATERIALS
Stephen W. Whalen, Jr.
Chairman

ADVISOR TO THE BOARD
William Huey
First District Planner
Baltimore County
Office of Community Planning

Mr. J. Robert Haines
Baltimore County Zoning Commission
111 W. Chesapeake Avenue
Room #109
Towson, Maryland 21204

Re: Case 90-166 SPH
6132 Edmondson Avenue

Dear Mr. Haines:

It is the general view point of the Catonsville 2000, Inc.'s zoning committee that the above site is always over-crowded. It is also our opinion that the operator could do a better job at scheduling his work or possibly be encouraged to find storage and additional parking elsewhere.

We would also encourage you to insist on better screening than now exists. Possibly encouraging them to create a large mound of dirt around the lot with thicker shrubs and trees.

A copy of authorization from Catonsville 2000, Inc. is enclosed.

Mr. Haines, we trust that you will, and encourage you to try to maintain the integrity of the neighborhood for the neighbors, along with permitting the business to remain successful.

If you should have any questions please feel free to call me at 747-2900. I may not be able to attend the hearing on Tuesday.

Sincerely,
James W. Mohler

JWM/lam
CAT2000#2
Enclosures:
cc: Anthony C. Stilling
William P. Monk
Jean Walsh
Fran Medicus
Tom Booth
Mike DeLuca
Paul Stock

CATONSVILLE 2000, INC.

"Working For A Better Catonsville Community"

OFFICERS

Michael L. DeLuca
President
Richard W. Decker
Vice President
William Holley
Treasurer
Stephen W. Whalen, Jr.
Secretary

Writer's Phone #: 747-2900
Writer's Address: 2 W. Rolling Crossroads
Suite #203
Catonsville, Maryland 21228

September 27, 1988

To Whom It May Concern:

Please be advised that, at a meeting of the Board of Directors of Catonsville 2000, Inc., held Wednesday, September 14, 1988, the Board proposed, considered and unanimously passed the following resolution and authorization, a quorum being present.

"Any one or more of the following Board members shall be and is hereby authorized to represent the position of Catonsville 2000, Inc. to any planning, review or zoning board or commissioner or appeals board of Baltimore County, including representation at any CRG meeting, variance, special exception or special hearing, or any appeal thereof, on any issue involving Catonsville 2000's designated study area of postal zip code 21228 (Catonsville), south of Baltimore National Pike:

Jean Walsh
Fran Medicus
Thomas Booth
James Mohler"

Entered into the minutes of the Board meeting of September 14, 1988, and hereby certified to be true and correct on the date first written above:

Attest: Stephen W. Whalen, Jr. (SEAL)
Corporate Secretary

CERTIFICATE OF POSTING

ZONING DEPARTMENT OF BALTIMORE COUNTY
Towson, Maryland

District: 1st
Posted for: Special Hearing
Petitioner: Anthony C. Stilling
Location of property: 6132 Edmondson Avenue and Baltimore
6132 Edmondson Avenue
Location of Sign: South side of Edmondson Avenue on front
of subject property on 6132 Edmondson Avenue
Remarks: See map
Posted by: Anthony C. Stilling
Number of Signs: 1

CERTIFICATE OF PUBLICATION

TOWSON, MD. Oct 20, 1989

THIS IS TO CERTIFY, that the annexed advertisement was published in THE JEFFERSONIAN, a weekly newspaper published in Towson, Baltimore County, Md., once in each of 1 successive weeks, the first publication appearing on Oct 19, 1989.

THE JEFFERSONIAN,

S. Zeke Orlean
Publisher

PG 17315
ref M34247
ca 90-166-SPH
price \$84.10

NOTICE OF HEARING

The Zoning Commission of Baltimore County, by authority of the Zoning Act and Regulations of Baltimore County, will hold a public hearing on the proposed Special Hearing Case No. 90-166-SPH, NEC Edmondson Avenue and Harlem Lane, 1st Election District, 1st Councilmanic District, Baltimore County, Maryland 21204, on Tuesday, November 14, 1989 at 9:30 a.m.

Petition for Special Hearing
Case Number: 90-166-SPH
NEC Edmondson Avenue and Harlem Lane
1st Election District
1st Councilmanic District
Petitioner(s): Anthony C. Stilling
Hearing Date: Tuesday, November 14, 1989 at 9:30 a.m.

Special Hearing: To approve a revised site plan to accommodate 16 additional parking spaces (12 piggy-back and 4 regular) which would be used to address the additional demand for on-site parking based upon the increased volume of business which was generated by the enlargement of the service garage (see 90-233-X approved 12/18/86).

In the event that the petition is granted, a building permit may be issued within the thirty (30) day appeal period. The Zoning Commission will, however, entertain any request for a stay of the issuance of said permit during this period for good cause shown. Such request must be in writing and received in this office by the date of the hearing set above or presented at the hearing.

NOTE: If "PHASE II" of the "SNOW EMERGENCY PLAN" is in effect in Baltimore County on the above hearing date, the hearing will be postponed. In the event of snow, telephone 887-3351 to confirm hearing date.)

J. ROBERT HAINES
Zoning Commissioner of Baltimore County
Oct 19, 1989

CERTIFICATE OF PUBLICATION

THIS IS TO CERTIFY, that the annexed advertisement was published in the CATONSVILLE TIMES, a weekly newspaper published in Baltimore County, Md., once in each of 1 successive weeks, the first publication appearing on Oct 19, 1989

CATONSVILLE TIMES

S. Zebe Olson
Publisher

PO 17315
reg M 34247
ca 90-166-SPH
price \$ 84.10

Baltimore County
Zoning Commissioner
Office of Planning & Zoning
Towson, Maryland 21204
(301) 887-3353

J. Robert Haines
Zoning Commissioner

Mr. Anthony C. Stilling
6132 Edmondson Avenue
Baltimore, Maryland 21208

Re: Petition for Special Hearing
CASE NUMBER: 90-166-SPH
NEC Edmondson Avenue and Harlem Lane
6132 Edmondson Avenue
1st Election District - 1st Councilmanic
Petitioner(s): Anthony C. Stilling
HEARING: TUESDAY, NOVEMBER 14, 1989 at 9:30 a.m.

Dear Mr. Stilling:

Please be advised that \$ 193.20 is due for advertising and posting of the above captioned property.

THIS FEE MUST BE PAID AND THE ZONING SIGN & POST SET(S) RETURNED ON THE DAY OF THE HEARING ON THE ORDER SHALL NOT ISSUE. DO NOT REMOVE THE SIGN & POST SET(S) FROM THE PROPERTY UNTIL THE DAY OF THE HEARING.

Please make your check payable to Baltimore County, Maryland. Bring the check and the sign & post set(s) to the Zoning Office, County Office Building, 111 W. Chesapeake Avenue, Room 113, Towson, Maryland fifteen (15) minutes before your hearing is scheduled to begin.

Be advised that should you fail to return the sign & post set(s), there will be an additional \$50.00 added to the above amount for each such set not returned.

Very truly yours,

J. Robert Haines
J. ROBERT HAINES
ZONING COMMISSIONER

JRH:gs
cc: Jeffrey Katz, Esq.
File

NOTE:
(If "PHASE II" of the "SNOW EMERGENCY PLAN" is in effect in Baltimore County on the above hearing date, the hearing will be postponed. In the event of snow, telephone 887-3351 to confirm hearing date.)

Baltimore County
Zoning Commissioner
Office of Planning & Zoning
Towson, Maryland 21204
(301) 887-3353

J. Robert Haines
Zoning Commissioner

September 26, 1989

NOTICE OF HEARING

The Zoning Commissioner of Baltimore County, by authority of the Zoning Act and Regulations of Baltimore County will hold a public hearing on the property identified herein in Room 108 of the County Office Building, located at 111 W. Chesapeake Avenue in Towson, Maryland on follows:

Petition for Special Hearing
CASE NUMBER: 90-166-SPH
NEC Edmondson Avenue and Harlem Lane
6132 Edmondson Avenue
1st Election District - 1st Councilmanic
Petitioner(s): Anthony C. Stilling
HEARING: TUESDAY, NOVEMBER 14, 1989 at 9:30 a.m.

Special Hearing: To approve a revised site plan to accommodate 16 additional parking spaces (12 piggy-back and 4 regular) which would be used to address the additional demand for on-site parking based upon the increased volume of business which was generated by the enlargement of the service garage operation per Order 90-233-X (approved 12/18/86).

In the event that this Petition is granted, a building permit may be issued within the thirty (30) day appeal period. The Zoning Commissioner will, however, entertain any request for a stay of the issuance of said permit during this period for good cause shown. Such request must be in writing and received in this office by the date of the hearing set above or presented at the hearing.

NOTE:
(If "PHASE II" of the "SNOW EMERGENCY PLAN" is in effect in Baltimore County on the above hearing date, the hearing will be postponed. In the event of snow, telephone 887-3351 to confirm hearing date.)

J. Robert Haines
J. ROBERT HAINES
ZONING COMMISSIONER
BALTIMORE COUNTY, MARYLAND

JRH:gs
cc: Anthony C. Stilling
Jeffrey Katz, Esq.
Councilman Hickernell
Kathy Cooper
File

BALTIMORE COUNTY, MARYLAND

INTER-OFFICE CORRESPONDENCE

TO: James Dyer
Zoning Supervisor
FROM: James Thompson
Zoning Enforcement Coordinator
SUBJECT: Item No. 23 (if known)
Petitioner: Stilling (if known)

VIOLATION CASE #
LOCATION OF VIOLATION 6132 Edmondson Ave
DEPENDANT Stilling ADDRESS

Please be advised that the aforementioned petition is the subject of an active violation case. When the petition is scheduled for a public hearing, please notify the following persons:

NAME ADDRESS
Kathy Cooper 310 Harlem Lane 21228
Councilman Hickernell MS 2201

After the public hearing is held, please send a copy of the Zoning Commissioner's Order to the Zoning Enforcement Coordinator, so that the appropriate action may be taken relative to the violation case.

Baltimore County
Zoning Commissioner
County Office Building
111 West Chesapeake Avenue
Towson, Maryland 21204

Account: B 601-6150
Number: 284

receipt

Date
B 600-*****132228-214F
Please make check payable to Baltimore County
Cashier Validation

WILLIAM MONK, INC.

LAND USE PLANNING • ENVIRONMENTAL PLANNING • ZONING
July 18, 1989

Mr. J. Robert Haines
Zoning Commissioner
111 W. Chesapeake Avenue
Towson, MD 21204

Re: 6132 Edmondson Avenue; Case #97-233-X, Special Hearing request, filed w/Baltimore County 7/14/89

Dear Commissioner Haines:

On behalf of my client and the applicant, Anthony Stilling, I am requesting an expedited hearing date for the above referenced matter. The building addition is complete and portions of the landscaping (along the side of the building) are in place. A landscape plan was submitted and approved at the time the administrative approval for the addition was granted. In addition, all modifications to the addition were water quality and stormwater management issues were addressed and resolved at that time. These conditions should reduce the amount of Baltimore County staff review required significantly.

The only issues which remain are the restructuring of the parking area and a slight modification to the location of the driveway entrance.

Mr. Stilling would like to proceed with the completion of the landscape work along Edmondson Avenue and Harlem Lane (which is required and would remain constant regardless of the outcome of the special hearing) and due to the fact that a significant amount of macadam needs to be removed along with the attractive raised brick planter which is not in conformance with the Zoning Commissioner's Order, we would like to proceed with these issues before the inclement weather sets in.

I believe that this request is within the purview of the Zoning Commissioner and given these extenuating circumstances, we respectfully request an early hearing date.

Cordially,
William P. Monk
William P. Monk

cc: Anthony Stilling
Jeffrey Katz
Ann Nastarowicz

RECEIVED
JUL 21 1989
ZONING OFFICE

**BALTIMORE COUNTY
OFFICE OF PLANNING AND ZONING
SIGNATURE AND CERTIFICATION
BLOCK**

- I CERTIFY that this Final Landscape Plan meets all requirements of (check where appropriate):
☐ - Baltimore County Landscape Manual
☒ - CRG or Waiver No. 86-197
☐ - Special Exception/Hearing/Variance No. 90-166-SPH
☐ - Rezoning, Documented Site Plan No.
- Within 1 year of receipt of a Use and Occupancy the County will be notified through a Certificate of Compliance that all required landscaping has been installed in accordance with the approved Landscape Plan.

Owner: Anthony C. Stilling
Address: 6132 Edmondson Avenue, Baltimore MD 21228
Phone: 301-788-1211

Signature: Anthony C. Stilling

Landscape Architect: N/A Prepared by: William P. Monk, Inc.
Address: 100 W. Pennsylvania Avenue, Suite 305
Towson, MD 21204 Phone: 301-494-8931

Signature: Benjamin F. Brockway
Benjamin F. Brockway

Reviewed and Approved

Supervisor's Signature: [Signature]

County Landscape Planner:

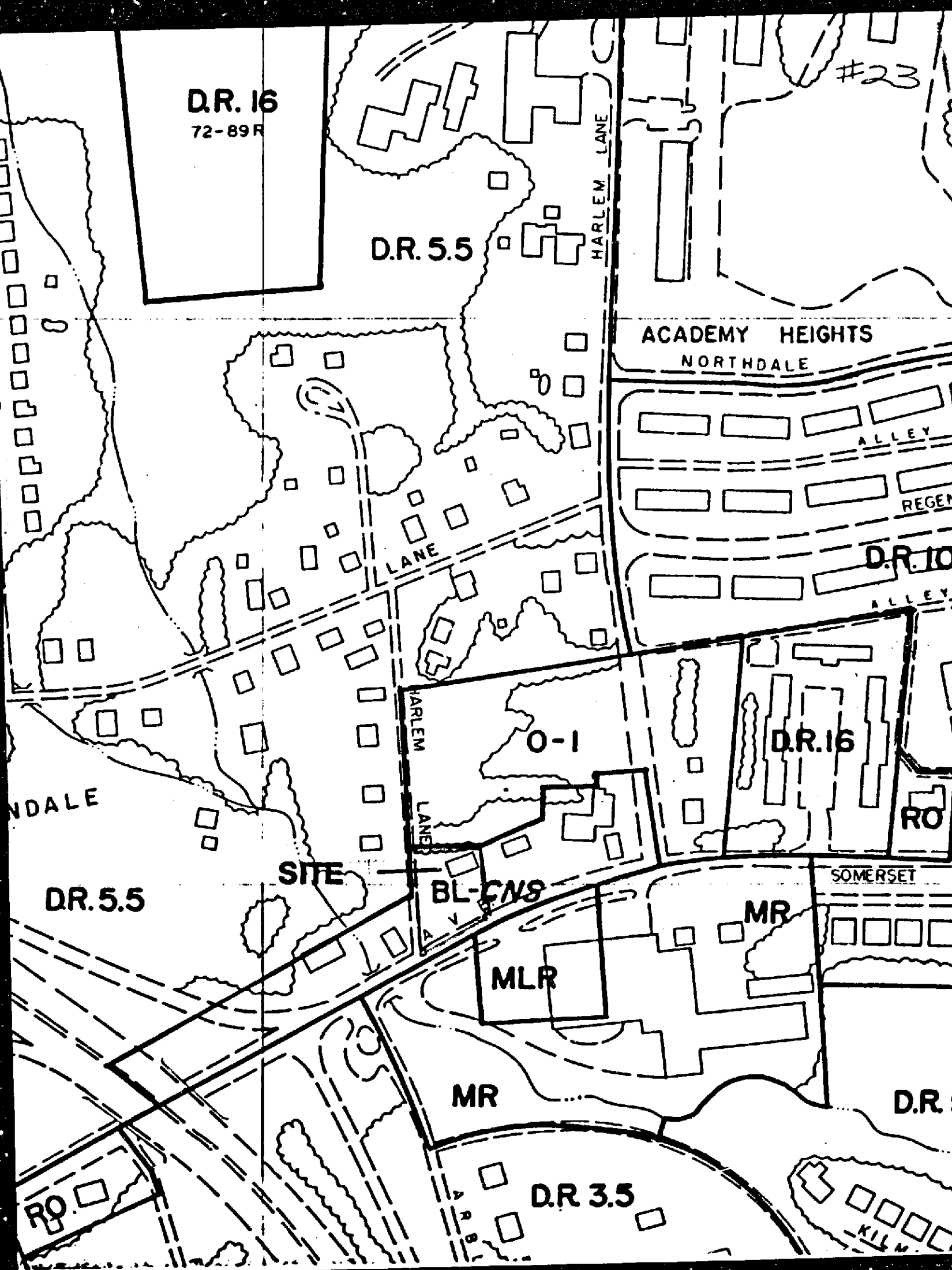
Date:

Signature:

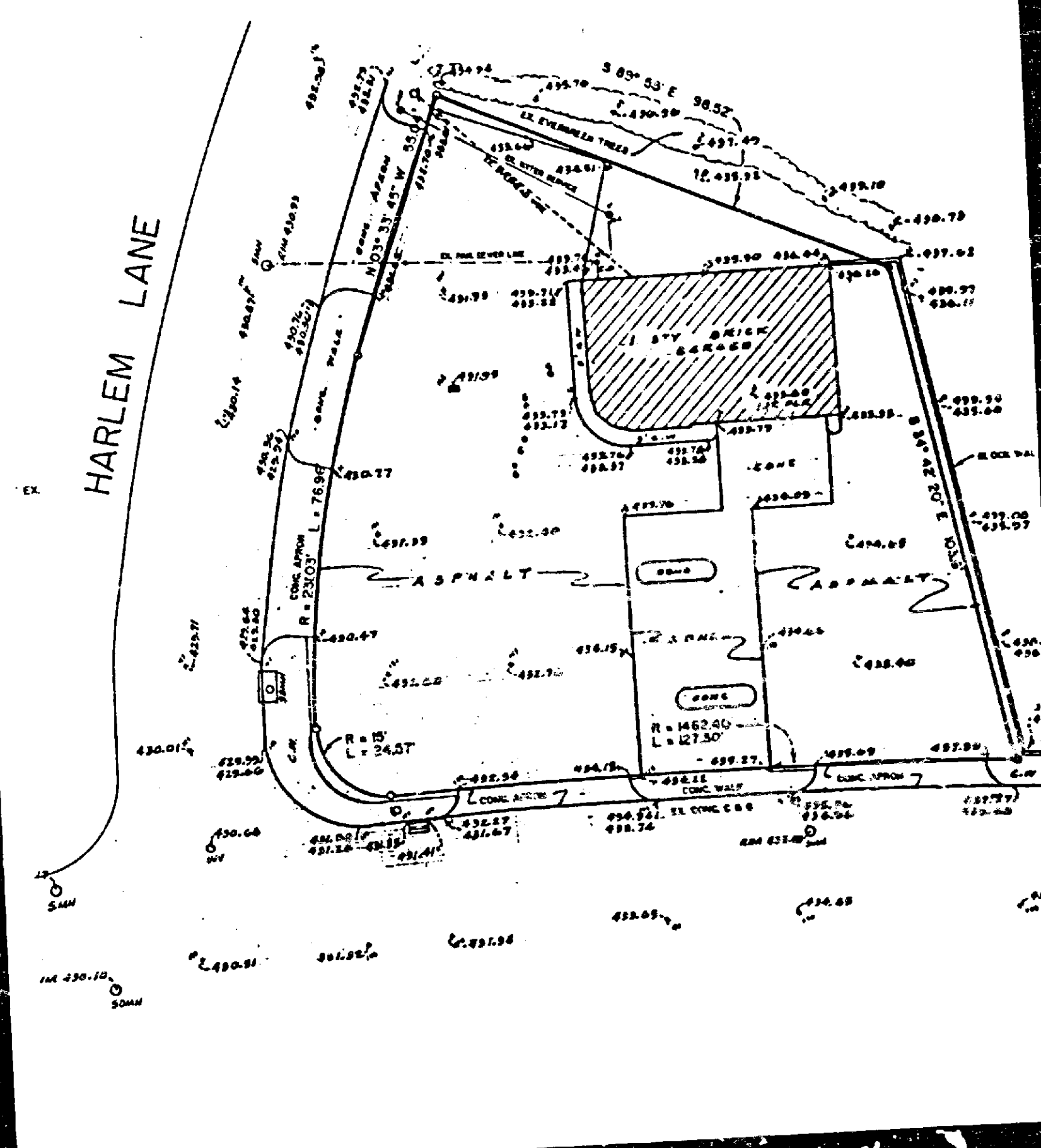
OFFICE OF PLANNING AND ZONING
LANDSCAPE PLAN APPROVER

SIGNFORM, TXTPAB

by [Signature]
Date 7-20-89



NO SCALE



BALTIMORE COUNTY ZONING PLANS ADVISORY COMMITTEE

October 31, 1989

COUNTY OFFICE BLDG.
111 W. Chesapeake Ave.
Towson, Maryland 21204

Jeffrey Kotz, Esquire
502 Washington Avenue, Suite 320
Towson, MD 21204

RE: Item No. 23, Case No. 90-166-SPH
Petitioner: Anthony C. Stilling
Petition for Special Hearing

Dear Mr. Kotz:

The Zoning Plans Advisory Committee has reviewed the plans submitted with the above referenced petition. The following comments are not intended to indicate the appropriateness of the zoning action requested, but to assure that all parties are made aware of plans or problems with regard to the development plans that may have a bearing on this case. Director of Planning may file a written report with the Zoning Commissioner with recommendations as to the suitability of the requested zoning.

Enclosed are all comments submitted from the members of the Committee at this time that offer or request information on your petition. If similar comments from the remaining members are received, I will forward them to you. Otherwise, any comment that is not informative will be placed in the hearing file. This petition was accepted for filing on the date of the enclosed filing certificate and a hearing scheduled accordingly.

IT WOULD BE APPRECIATED IF YOU WOULD RETURN YOUR WRITTEN COMMENTS TO MY OFFICE, ATTENTION JULIE WINIARSKI. IF YOU HAVE ANY QUESTIONS REGARDING THIS, PLEASE CONTACT HER AT 887-3391.

Very truly yours,

James E. Dyer
JAMES E. DYER
Chairman
Zoning Plans Advisory Committee

JED:jw

Enclosures

cc: Mr. Anthony C. Stilling
Mr. William P. Monk

Baltimore County
Zoning Commissioner
Office of Planning and Zoning
Towson, Maryland 21204
(301) 887-3353
J. Robert Haines
Zoning Commissioner



Dennis F. Rasmussen
County Executive

Your petition has been received and accepted for filing this
26th day of August, 1989.

J. Robert Haines
J. ROBERT HAINES
ZONING COMMISSIONER

Received By:

James E. Dyer
Chairman,
Zoning Plans Advisory Committee

Petitioner: Anthony C. Stilling
Petitioner's Attorney: Jeffrey Kotz

NOV. 14, 1989

BALTIMORE COUNTY, MARYLAND
INTER-OFFICE CORRESPONDENCE

TO: J. Robert Haines
Zoning Commissioner
DATE: November 3, 1989
FROM: Pat Keller, Deputy Director
Office of Planning and Zoning
SUBJECT: Anthony C. Stilling, Item 23
Zoning Petition No. 90-166

The Petitioner requests a special hearing to approve a revised site plan which indicates an additional 12 piggy back and 2 regular parking spaces.

Analysis of the site plan and a meeting with Mr. William Monk indicates that the additional spaces will be used for storage purposes. The reduction in the size of the individual spaces will not adversely impact internal circulation since adequate customer parking exists along the east side property line.

Staff supports the Petitioner's request and recommends the following conditions should the request be granted:

- Employee parking shall be provided on site and parking on Harlem Lane should be strictly prohibited.
- Street trees shall be planted along Edmondson Avenue and Harlem Lane.
- A landscape plan must be submitted for approval prior to any improvement of the subject property. A note shall be included on the landscape plan indicating that any landscaping provided in the public right-of-way shall be maintained by the property owner.

If there should be any further questions or if this office can provide additional information, please contact Jeffrey Long in the Office of Planning at 887-3211.

PK/JL/pat

11/6/89 initial site comments jw

NOV 08 1989

J. Robert Haines
Page 2
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Staff also recommends that the Zoning Commissioner or his designee visit the property prior to final consideration of the subject request.

If there should be any further questions or if this office can provide additional information, please contact Jeffrey Long in the Office of Planning at 887-3211.

PK/JL/pat

NOV 08 1989

Baltimore County
Fire Department
800 York Road
Towson, Maryland 21204-2586
(301) 887-4500
Paul H. Reincke
Chief

AUGUST 2, 1989



Dennis F. Rasmussen
County Executive

J. Robert Haines
Zoning Commissioner
Office of Planning and Zoning
Baltimore County Office Building
Towson, MD 21204

RE: Property Owner: ANTHONY C. STILLING
Location: 6132 EDMONDSON AVENUE
Item No.: 23 Zoning Agenda: AUGUST 1, 1989

Gentlemen:

Pursuant to your request, the referenced property has been surveyed by this Bureau and the comments below are applicable and required to be corrected or incorporated into the final plans for the property.

5. The buildings and structures existing or proposed on the site shall comply with all applicable requirements of the National Fire Protection Association Standard No. 101 "Life Safety Code", 1988 edition prior to occupancy.

REVIEWER: *Capt. [Signature]* Noted and Approved *Capt. [Signature]*
Planning Group Fire Prevention Bureau
Special Inspection Division

JK/kek

NOV 08 1989

Baltimore County
Department of Public Works
Bureau of Traffic Engineering
County Office Building, Suite 405
Towson, Maryland 21204
(301) 887-3554

RECEIVED
AUG 3 1989

ZONING OFFICE
NOV 3 1989



Dennis F. Rasmussen
County Executive

Mr. J. Robert Haines
Zoning Commissioner
County Office Building
Towson, MD 21204

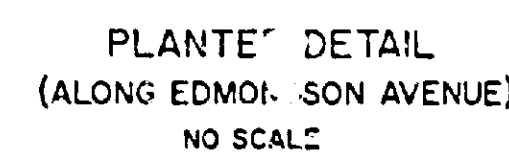
Dear Mr. Haines:

The Bureau of Traffic Engineering has no comments for items number 21, 22, 23, and 24.

Very truly yours,

Michael S. Planigan
Michael S. Planigan
Traffic Engineer Associate II

MSP/lab



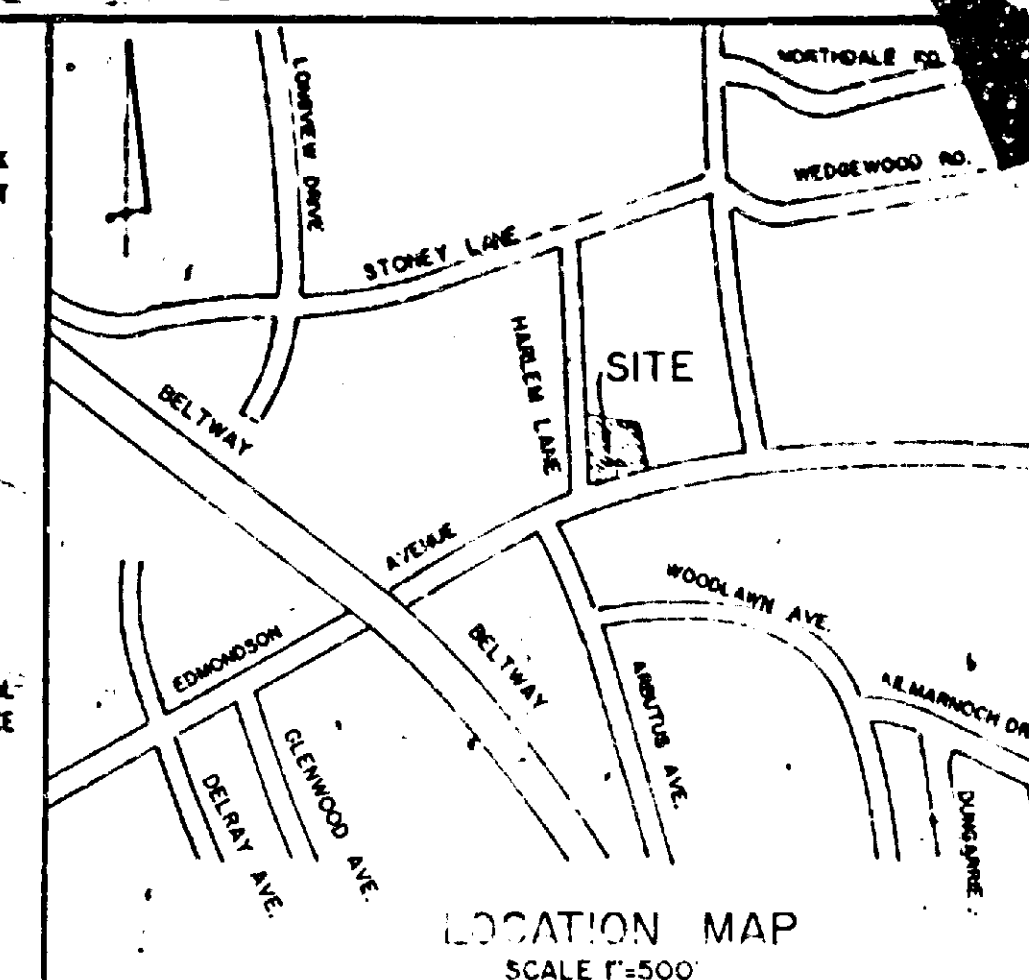
NOTE : SOD SWALE WITH CANARYGRASS - REED-SO



- DISCUSSION:**
- 1) Refer to 1952 Harvard Students and Specifications for Soil Testing and Sampling (S-1) as standard practice. Detailed specifications for soil practice specified herein.
- 2) With the approval of the sediment control Inspector, steeper field slopes may be left to erode naturally. However, detailed specifications for sediment control practices require prior approval of the sediment control Inspector and the Baltimore County Soil Conservation District.
- 3) At the end of each work day, all sediment control practices will be cleaned and left in approved condition.
- 4) Following initial disturbance or redistribution, permanent or temporary stabilization shall be completed within a) some 24-hour period on the surface of the disturbed area, b) within 72 hours on steep slopes, and all slopes greater than 3:1 horizontal to 1 vertical (3:1) and less than 4:1 within 10 days or to other disturbed or graded areas on the project site.
- 5) Any changes to the grading prepared on this plan require re-submittal to the Baltimore County Soil Conservation District for approval.
- 6) Detailed plan will be provided for all disturbed areas. Refer to 1952 Harvard Students and Specifications for Soil Testing and Sampling (S-1), Appendix C, pp. 61.01 and 61.02 for acceptable methods and specifications for disturbed areas.
- 7) Any variation from the sequence of operations stated on this plan requires the approval of the sediment control Inspector and the Baltimore County Soil Conservation District prior to the initiation of the change.
- 8) Erosion cut or borrow material shall go to or come from, respectively, a) slope b) an approved sediment control plan.
- The following form may be used as applicable:
- Refer to "Harvard's Contribution to Waterway Construction" by the Water Resources Administration (1964), dated January, 1966 for standard details and detailed specifications of such practice specified herein for waterway construction.

SEQUENCE OF OPERATION NOTES

1. NOTIFY BULTECH CORP. DEPARTMENT OF PERMITS AND LICENSES, SERMENT CONTROL DIVISION, 614-724-1224, AT LEAST 48 HOURS PRIOR TO SITES VISITING AND
 2. CLEAR AND GRASS FOR EROSION CONTROL MEASURES AND PLYWOOD CURBS
 3. INSTALL WALL SERMENT CONTROL DIVISION AND NOTICES
 4. NOTIFY BULTECH CORP. DEPARTMENT OF PERMITS AND LICENSES, SERMENT CONTROL DIVISION, UPON COMPLETION OF SAIL INSTALLATION.
 5. WITH THE APPROVAL OF BULTECH CORP. DEPARTMENT OF PERMITS AND LICENSES AND THE SEDIMENT CONTROL INSPECTOR, CLEAR AND GRASS REMINDER OF SITE
- GRAZING FOR PROPOSED ADDITION TO BARN
1. TO PRECLUDE POSSIBLE EROSION, THE EXISTING PAVING SHALL REMAIN AS LONG AS POSSIBLE DURING CONSTRUCTION
 2. REMOVE 10' WIDE ASPHALT SURFACE OF EXISTING PAVING TO EXPOSE STONE SUB BASE MATERIAL ALONG HAPLEN LANE
 3. ADD STONE AS REQUIRED TO INSTALL STABILIZED CONSTRUCTION ENTRANCE ALONG HAPLEN LANE
 4. ALL SUMP TRUCKS & REMOVING EXCESS ON SITE EXCAVATION OR HAULING ADDITIONAL MATERIAL TO THE SITE MUST REMAIN ON THE STABILIZED CONSTRUCTION ENTRANCE
 5. THE EXCAVATED AREA SHALL BE LIMITED TO THE CONTRACTOR'S GRADING EQUIPMENT
 6. EXCAVATE TO REMOVE THE EXISTING UNDERGROUND TANKS AND EXCAVATE FOR THE BUILDING ADDITION
 7. CONSTRUCT BUILDING AND RELOCATE UTILITIES AS REQUIRED
- GRAZING FOR PROPOSED PLANTING AREAS
1. REMOVE 8' WIDE ASPHALT SURFACE OF EXISTING PAVING TO EXPOSE STONE SUB BASE MATERIAL WITHIN PROPOSED PLANTING AREA, SEE PLANTER DETAIL ON THIS SHEET 1. THIS AREA WILL SERVE AS STONE SEDIMENT FILTER UNTIL PLANTER IS FILLED
 2. REMOVE STABILIZED CONSTRUCTION ENTRANCE ALONG HAPLEN LANE
 3. INSTALL BERN CUPD
 4. FILL PLANTER WITH TOPSOIL AND EARTH. INSTALL PLANTS AND MULCH PLANTING AREA WITHIN 14 DAYS AFTER PLACING TOPSOIL



GENERAL CONSTRUCTION NOTES

1. TOPOGRAPHIC SURVEY DATED MAY 1987
2. CONTRACTOR SHALL OBTAIN PERMITS FROM BALTIMORE COUNTY.
3. ALL DAMAGES TO THE PUBLIC RIGHT-OF-WAY SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
4. PROPOSED SITE CONSTRUCTION:
 - A. PROPOSED CURB SHALL BE BALTIMORE COUNTY "MODULATED CURB" (SEE DETAIL R 20 1) USING M3, SNA, BAND - SN.
 - B. PROPOSED PARKING LOT PAVING SHALL BE:
 - 3" BITUMINOUS CONCRETE (M3, SNA, BAND - SN) ON
 - 8" BASE COURSE (M3, SNA, CR - 8)
 - C. EXISTING 10-INCH WATER LINE AND SANITARY SEWER LINE SHALL BE RELOCATED REPAIRS TO PROVIDE NEW HYDRAULIC CUFF LENGTH AND NEW WALL FOOTINGS AND CO FOOTINGS.
5. EXISTING UNIMPROVED FUEL STORAGE TANKS (8" - 40,000 GALL.) SHALL BE REMOVED IN ACCORDANCE WITH BALTIMORE COUNTY REQUIREMENTS. CONTRACTOR SHALL BACKFILL AND COMPACT TRENCH AS DIRECTED BY THE SOILS ENGINEER. EXTEND BUILDING WALL FOOTINGS TO BOTTOM OF TRENCH TO UNIMPROVED SUITABLE BEARING SOILS.
6. PARKING SPACE FOR HANDICAPPED PERSON SHALL HAVE SIGN AND POST. PAVING SHALL BE PAINTED WITH "HANDICAPPED SYMBOL - WHEELCHAIR".
7. CONTRACTOR SHALL CALL "MISS UTILITY" 48 HOURS PRIOR TO STARTING CONSTRUCTION.

SITE DEVELOPMENT NOTES

1. SITE AREA : .05121, 12,376 S.F. @ 6.234 ACRES;
2. EXISTING ZONING : BULKING
3. ZONED REF. : #742-297
4. TAX ACCT. NUMBER : 01-20-000500
5. COUNCILMANIC DISTRICT : 1,C1
6. CENSUS TRACT : 4007.01
7. WATERSHED : 25 : 5-8 SEWER : 71
8. EXISTING USE : SERVICE STATION - 2 BAYS - 1,510 S.F.
9. PROPOSED USE : SERVICE GARAGE - 7 BAYS, 3,975 S.F.
NO FEET, FENCED OR PAINTING TO BE DONE ON PROPOSED
10. PARKING REQUIREMENTS : 3,975 S.F. @ 500 = 17.75 SPACES
USE 18 SPACES (1 INCLUDING 1 M.C.)
11. PARKING PROVIDED : 24 SPACES (INCLUDING 1 A.C.) (SEE **20**)
17 SPACES OUTSIDE + 7 INSIDE
12. SOILS : C10 - CHILLON - URBAN LAND COMPOSED 0 TO 15% SLOPE
LIMITATIONS - PARKING LOTS - SEVERE
- BUILDING - SLIGHT TO MODERATE
- NOTE : SITE IS PRESENTLY PAVED, PROPOSED ADDITION TO BE
PAVED ON FILL INTERIUM.
13. STORM WATER MANAGEMENT UNDER DEVELOPMENT : 30' - 80' - 87
14. EXISTING ON-SITE WATER AND SEWER SERVICE CONNECTIONS TO BE USED
15. ESTIMATED A.D.I. : 3,975 S.F. @ (SERVICE GARAGE) = 121.1000
= 40 ADT
16. OPEN SPACE PROVIDED : 2,950 S.F. (10.0% OF SITE)
17. PETITIONATOR SPECIAL EXCEPT N
JASE & FRANKS, CHANGE FROM 645
STATION TO REPAIRING SHOP, DATED
JSC 10, 1986 (See Petition Notes)
18. BUILDING AREA COMPUTATIONS
EXIST. GARAGE : 1,500 S.F.
PROPOSED ADDITION : 2,475 S.F.
TOTAL = 4,137 S.F.

TOTAL = 4,157 #s	
2/5/62	REMOVED PLASTER DETAIL, SANDED REINFORCEMENT
	SHALL 4 WALL TIES AS DIRECTED BY DEPT.
2-28-62	NOTES ADDED FOR JOINTING
3-19-61	WORK ORDER ADDED
DATE	REVISIONS

SITE 8 SEDIMENT CONTROL PLAN

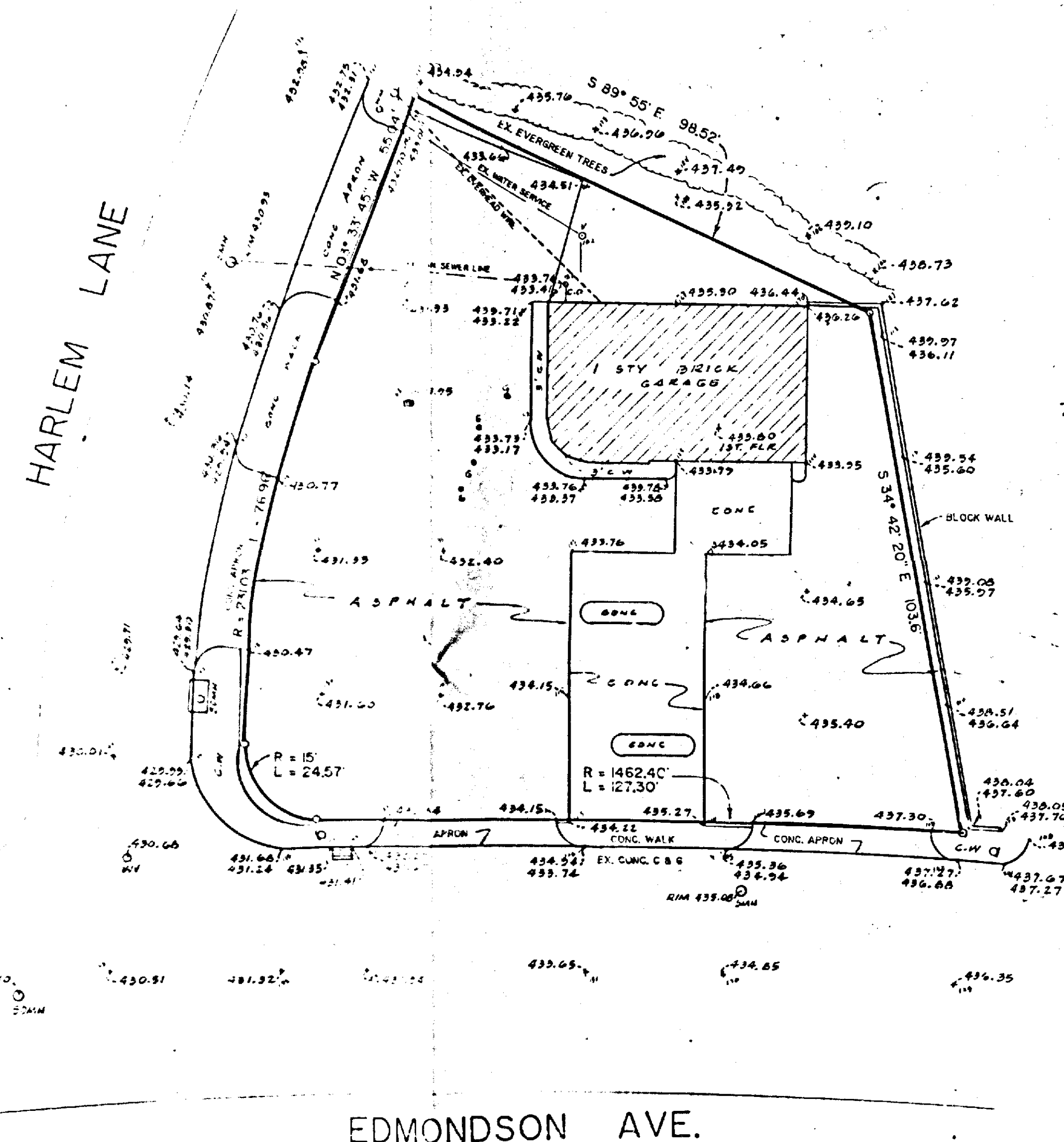
CATONSVILLE CAR
CARE CENTER
6132 EDMONDSON AVENUE
ELECTION DISTRICT NO.

BALTIMORE COUNTY MARYLAND
SCALE: AS SHOWN JULY 6, 1987

DRAWING NO. 6729

Prepared By:
H. MALMUD & ASSOC., INC.
100 CHURCH LANE
BALTIMORE, MARYLAND 212
PHONE (301) 653-9511

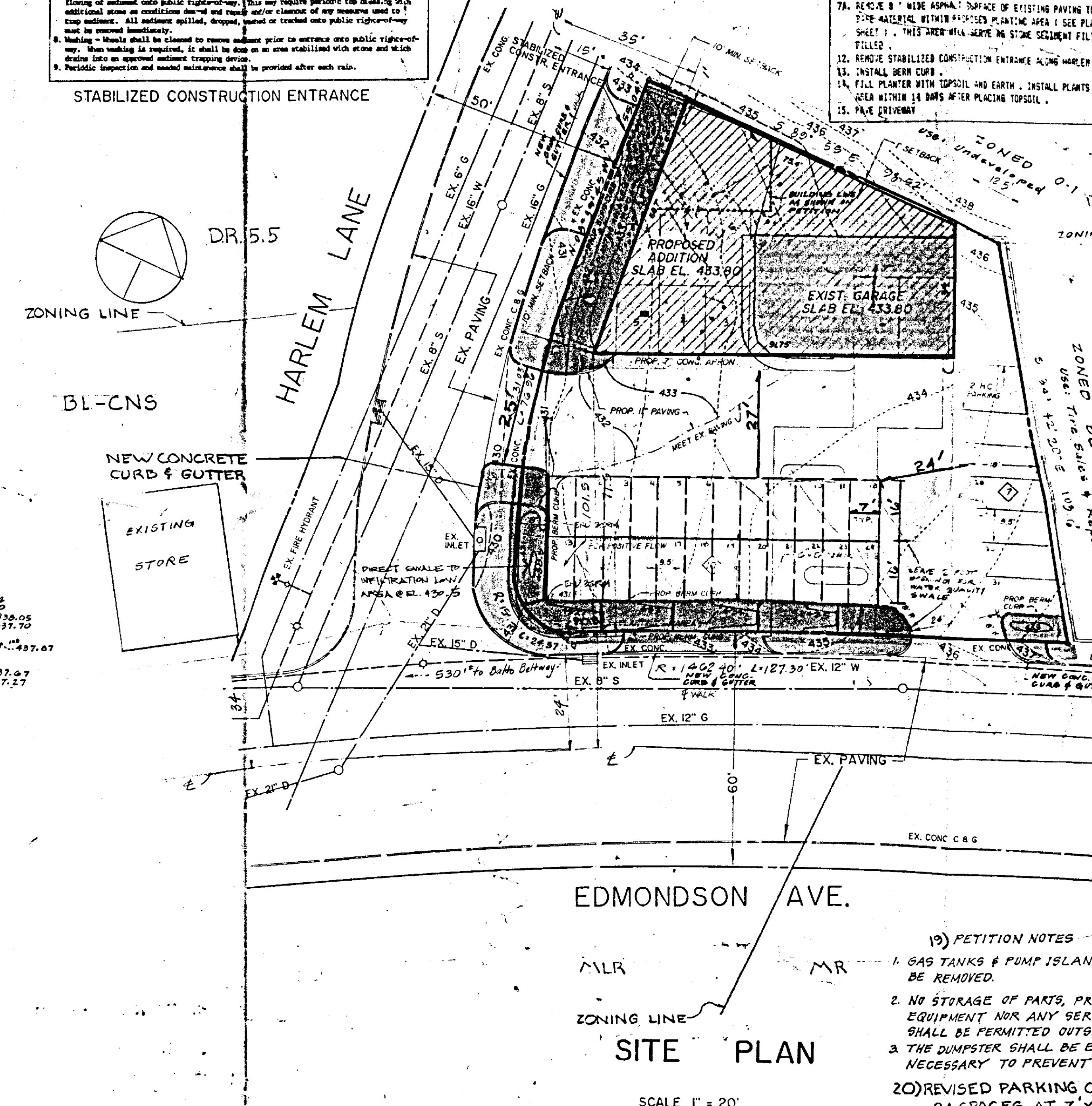
SP-1



TOPOGRAPHIC SURVEY

SCALE 1" = 20'

EDMONDSON / AVE



REVISED SITE PLAN

TO ACCOMPANY SPECIAL HEARING APPLICATION

AMENDMENT TO CASE #87-233X

SEDIMENT CONTROL NOTES
DISTURBED AREA = 6,200 SF (0.14 ACRE)
STABILIZED AREA = 2,000 sf (0.05 ACRE)

PETITIONER'S EXHIBIT

19) PETITION NOTES:

1. GAS TANKS & PUMP ISLANDS SHALL BE REMOVED.
2. NO STORAGE OF PARTS, PRODUCTS OR EQUIPMENT NOR ANY SERVICE WORK SHALL BE PERMITTED OUTSIDE THE BUILDING
3. THE DUMPSTER SHALL BE EMPTIED AS NECESSARY TO PREVENT OVERFLOWING
- 20) REVISED PARKING CALCULATION
- | |
|------------------------|
| 24 SPACES AT 7' x 16' |
| 7 SPACES AT 8.5' x 18' |
| <u>7 SERVICE BAYS</u> |
| <u>38 SPACES</u> |
- 21) LANDSCAPING TO BE IN CONFORMANCE WITH APPROVED LANDSCAPE PLAN

Owner:
ANTHONY C. STILLING
6132 EDMONDSON AVE
BALTO, MD. 21228

Prepared By:
H. MALMUD & ASSOC., INC.
100 CHURCH LANE
BALTIMORE, MARYLAND 212
PHONE (301) 653-9511

DRAWING NO. 9729

SP-1

CONTRACTOR'S CERTIFICATION

IF WE HEREBY CERTIFY THAT ANY CLEANSING, GRADING, CONSTRUCTION AND / OR DEVELOPMENT WILL BE DONE IN ACCORDANCE TO THIS PLAN AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATION OF ATTENDANCE AT A DEPARTMENT OF AGRICULTURE RESOURCES APPROVED TRAINING PROGRAM AT THE COUNTY OF SHERMAN AND PERSONNEL BECOMING INVOLVED IN THE PROJECT. I / WE ALSO CERTIFY THAT THE SITE WILL BE INSPECTED AT THE END OF EACH WORKING DAY AND THAT ANY NEEDED MAINTENANCE WILL BE COMPLETED SO AS TO INSURE THAT ALL RESTORATION PRACTICES ARE LEFT IN SUFFICIENT CONDITION. I / WE AUTHORIZED THE SIGNATURE OF EITHER AN OFFICIAL OR AGENT OF THE MULTICOUNTY BOARD OF SUPERVISORS DISTRICT BOARD OF SUPERVISORS OF THEIR AUTHORIZED AGENTS.

CONTRACTOR SIGNATURE

DATE

COUNTY OF SHERMAN

CONSULTANT'S CLASSIFICATION

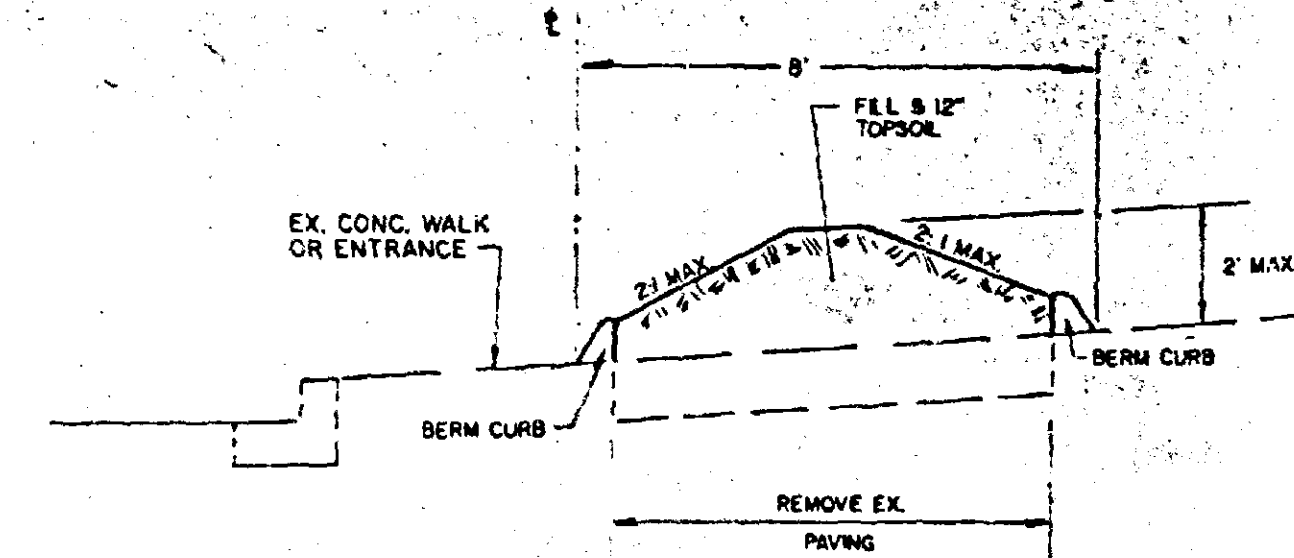
I CERTIFY THAT THIS PLAN OF EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND FEASIBLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE, AND THAT THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HAWAIIAN COUNTY SOIL CONSERVATION DISTRICT AND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL. I HAVE REVIEWED THIS EROSION AND SEDIMENT CONTROL PLAN AND THE COVER SHEET.

SIGNATURE Robert H. Miller DATE 7-9-57

ADDRESS : 170 COLUMBIA LANE
BALTIMORE, MD. 212

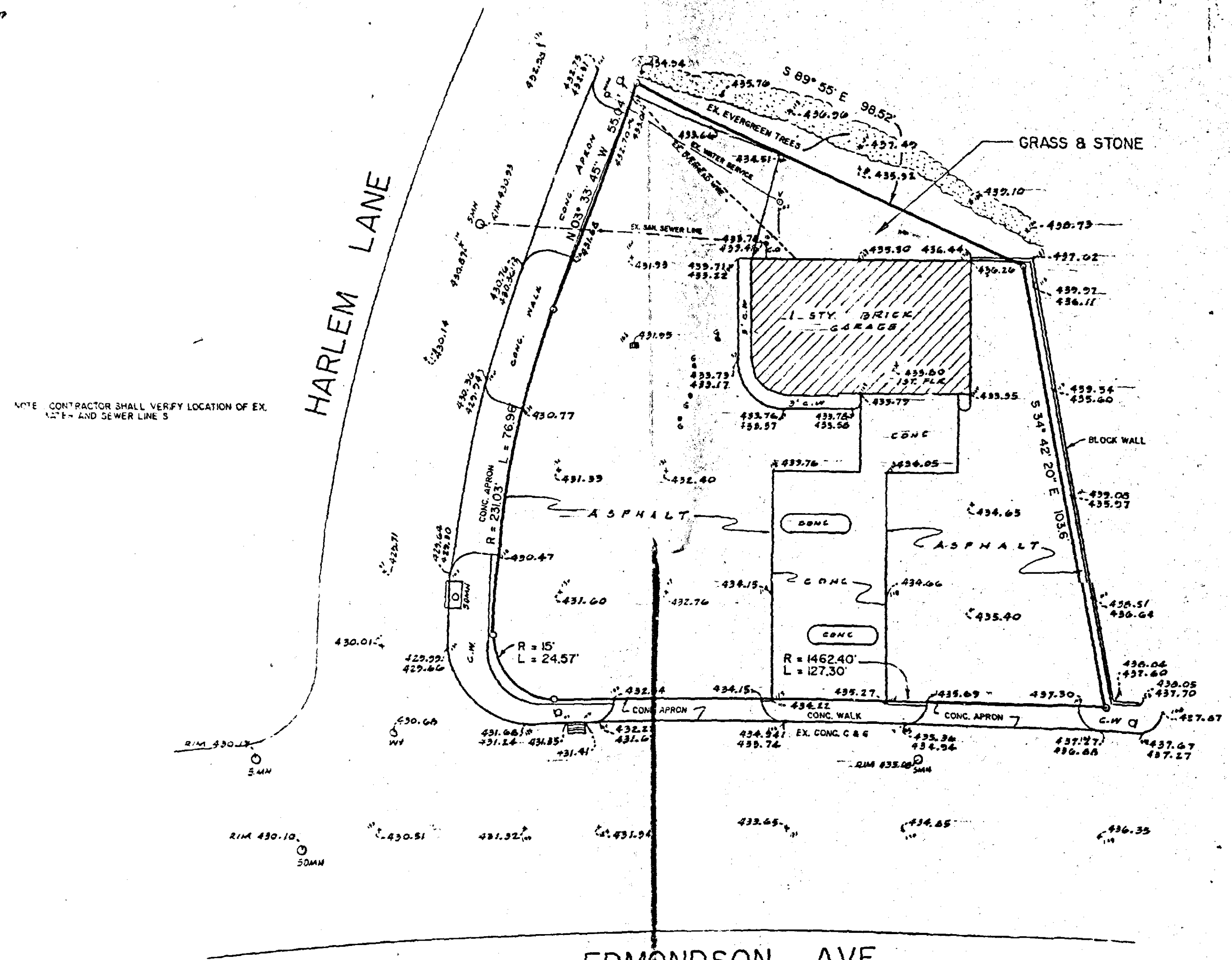
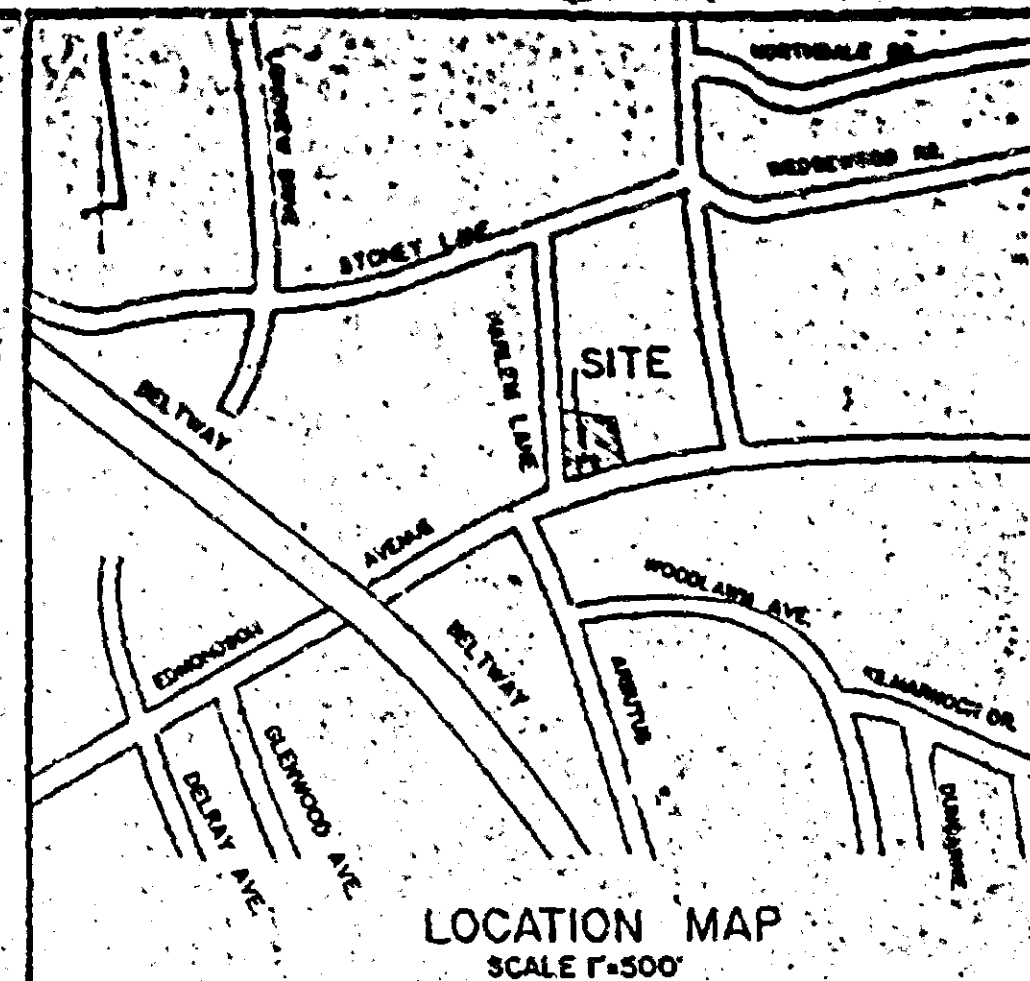
TABLE 1. ASSOCIATION





PLANTER DETAIL
(ALONG EDMONDSON AVENUE)
NO SCALE

KEY	BOARY	BOTANICAL NAME	COMMON NAME	SIZE
1	5	ACER RUBRUM	RED MAPLE	2" - 3 1/2"
2	5	PINUS STROBUS	EASTERN WHITE PINE	7" - 8"
3	21	EDONTYMS KATSCHOWSKY	SPREADING EVONYMUS	24" - 30"



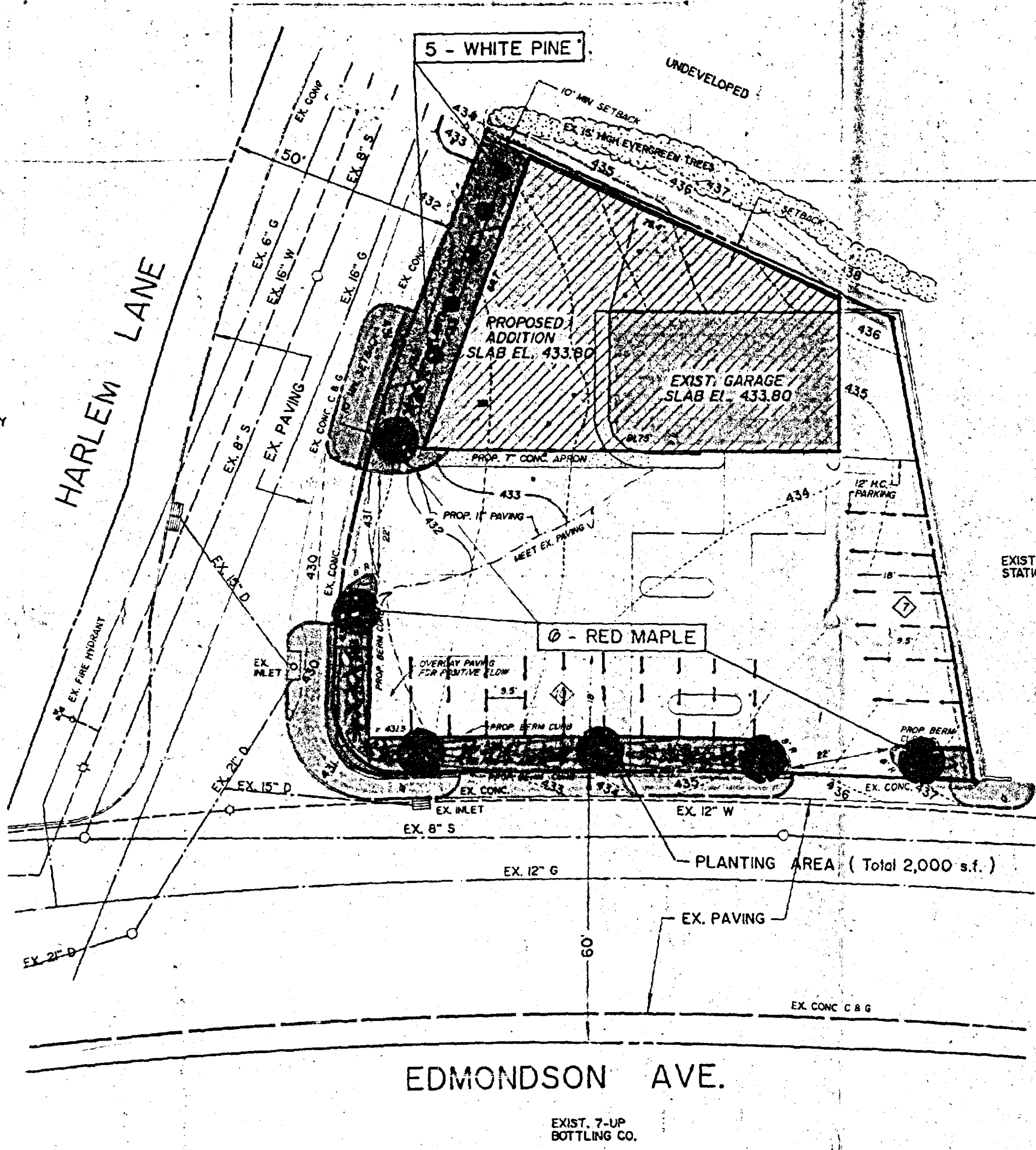
TOPOGRAPHIC SURVEY
SCALE 1" = 20'
EXISTING CONDITION



LANDSCAPE ARCHITECT'S CERTIFICATION
I CERTIFY THAT THE SCENERIC PLAN SHOWN HEREIN IS CONSISTENT WITH THE GOAL AND INTENT OF THE BALTIMORE COUNTY LANDSCAPE MANUAL (MAY 7, 1984) AND MEETS ALL APPLICABLE POLICY, GUIDELINES AND ORDINANCES.
Samuel P. Stilling
SAMUEL P. STILLING, No. R.L.A. No. 381
DATE: 2/13/87

OWNER'S CERTIFICATION
I CERTIFY THAT THE PLANTING PLAN SHOWN HEREIN IS CONSISTENT WITH APPLICABLE POLICY, GUIDELINES AND ORDINANCES, AND THAT ALL PLANT MATERIAL TO BE FURNISHED WILL BE NURSERY-GROWN IN ACCORDANCE WITH SPECIFICATIONS STATED IN THE BALTIMORE COUNTY LANDSCAPE MANUAL DATED MAY 7, 1984.
Anthony C. Stilling
OWNER: ANTHONY C. STILLING
DATE: 2-22-87

LANDSCAPE REQUIREMENTS
1 TREE PER 40 L.F. OF ROAD FRONTAGE = 275/40 = 7 TREES
1 TREE PER 12 PARKING SPACES = 175/12 = 15 TREES
REQUIRED TOTAL 9 TREES
TOTAL TREES PROVIDED 10 TREES



SITE PLAN
SCALE 1" = 20'
PROPOSED CONDITION

NOTE: SEE SITE & SEDIMENT CONTROL PLAN FOR GRADE REVISIONS AS PER DEPT. OF ENVIR. PROTECTION IN WATER RESOURCES MANAGEMENT (WATER QUALITY SWALE)

SEDIMENT CONTROL NOTES
DISTURBED AREA = 6,200 SF (0.14 ACRE)
STABILIZED AREA = 2,000 SF (0.05 ACRE)

PETITIONER'S EXHIBIT 2

MICROFILMED

Owner:
ANTHONY C. STILLING
6132 EDMONDSON AVE.
BALTO, MD. 21208

1 TREE PER 40 LF OF ROAD = 7 TREES
1 TREE PER 12 PARKING SPACES = 2 TREES
REQUIRED TOTAL 9 TREES
PROVIDED TOTAL 11 TREES

CRG PLAN WAIVER APPROVED: W 87-249, 9-2-87
BUILDING PERMIT #
CONTROL #

DATE	REVISION
2-5-87	CHANGES MADE AS PER COMMENTS
LANDSCAPE PLAN	
CATONSVILLE CAR CARE CENTER	
6132 EDMONDSON AVENUE	
BALTIMORE COUNTY	MARYLAND
SCALE: AS SHOWN	SEPT. 22, 1987
Prepared By: H. MALMUD & ASSOC., INC. 100 CHURCH LANE BALTIMORE, MARYLAND 21208 PHONE (301) 633-9511	DRAWING NO. 8721
SP-2	