

IN THE MATTER OF THE
THE APPLICATION OF FORTY WEST
AUTO PARK LIMITED PARTNERSHIP
FOR A SPECIAL HEARING AND
VARIANCE ON PROPERTY LOCATED
ON THE SOUTH SIDE OF BALTIMORE
NATIONAL PIKE, 1300' NORTH
WEST OF CENTERLINE OF GEIPE
ROAD (6431 BALTIMORE NATIONAL
PIKE)
1ST ELECTION DISTRICT
1ST COUNCILMANIC DISTRICT

OPINION

Forty West Auto Park Ltd. Partnership hereby appeals the decision of the Zoning Commissioner denying Petitions for a determination that the grid work affixed to the side of a business building located at 6431 Baltimore National Pike is not "signage"; and/or in the alternative to approve a variance in the allowed total square footage of the signs and to allow those signs which project at approximately a 30 degree angle away from the building to extend more than 42" from the wall of the building to which they are affixed. The Office of the People's Counsel for Baltimore County appeared in opposition to the Petitioner's appeal.

Forty West Auto Park Ltd. Partnership (hereinafter referred to as "Forty West") presented the testimony of Dr. Kann, a professional architect with the firm of Kann & Ammon, who testified concerning design considerations for the project including the fact that the property is approximately 100' wide fronting on Baltimore National Pike and approximately 1,000' in depth. The final design phase of the building provided for a building 50' deep of the 100' width of the parcel with approved side yard and front yard variances which allow the building to sit on the property line. As an integral part of the design of this project, planned for auto related retail users, the architect designed a canopy of sawtooth design to be affixed to the building to which signs for the various

Case No. 90-357-SPHA, Forty West Auto Park Ltd. Part.

The building plans submitted to Baltimore County for permits as shown in an Exhibit labelled Petitioner's Exhibit No. 2a bearing a date of August, 1987, illustrated that design. The drawings, and the signs as apparently erected, extend from the building at an approximate 30 degree angle to a distance of 12', measured along an angle perpendicular to the building. The developer, represented by Mark Sherman, 2066 Lord Baltimore Drive, Woodlawn, testified that the signs in issue constitute part of the entire design and concept for the project since it allowed visibility off-site and, in particular, on-site so that persons coming to use the facilities could arrive at their respective destinations at the various retail users safely. The final design eliminated a potential hazard created by requiring drivers on-site to look to the roof and thereby taking their eyes off the bay door for which they were angling their vehicles. Mickey Cornelius, a recognized traffic expert, confirmed the testimony of Mr. Sherman by offering his expert opinion concerning the flow of traffic on-site and the likelihood of hazards arising were the signs to be placed on the roof of the building not projecting at the angles proposed by the drawings.

Mitch Kellman of the Office of Planning and Zoning testified that it was not customary to review the drawings for the buildings for signage at the time that applications were made for building permits. At the time the application came to approve the signs, the Office of Planning and Zoning reviews the drawings for those purposes. In calculating the sign area, which Mr. Kellman admitted was on a case-by-case basis, he included the grids even though he had not seen a similar type sign or canopy utilized. The signs

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themselves do not exceed, that allowed by the Baltimore County Zoning Regulations (BCZR) as outlined in Section 413 although the projection of the signs at the angle of 30 degrees creates a violation since the end of the sign projects more than 42" from the building.

Section 413.2 allows and regulates business signs which may be utilized in any business zone. The uncontradicted testimony demonstrates that the signs themselves do not exceed in terms of square footage, that which would be allowed for this building which testimony reveals is approximately 250' long, therefore allowing for approximately 1,000 square feet of signage (4 square feet per 1 foot length). Section 413.2 refers to the definition of business signs as defined in Section 101. Section 101 defines "business sign" as a "sign" which calls attention to a business, service, industry or other activity conducted on the premises upon which the sign is located. Section 101 defines "sign" as:

"Any structure, part thereof, or device attached thereto or painted or represented thereon, which displays or includes any numeral, letter, word, model, banner, emblem, insignia, device, trademark, or other representation used as, or in the nature of, an announcement, advertisement, direction, warning, or designation of any person, firm, group, organization, place, commodity, product, service, business, profession, enterprise, or industry, which is located upon any land, or any building, or on the outside of a window . . ."

It is clear from the testimony, that the portion of this canopy structure upon which any numeral, letter, words, or the like would be painted or represented thereon, is only that portion of the actual sign which would be affixed to the canopy and is depicted on Petitioner's Exhibit No. 2b. Furthermore, Section 413.2 and the definitions contained in Section 101 do not delineate how one should measure the surface area of the sign. Compare Section 413.3 which in regulating the use of outdoor advertising

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signs says in Section 413.3(a) says that the total surface area of such sign, exclusive of structural supports, shall not exceed 300 square feet and so forth. We believe the intention of the regulation on business signs would treat outdoor advertising signs no differently than business signs, and when coupled with the definition of "sign" contained in Section 101, leads us to the conclusion that the grid work canopy upon which the signs will be placed at Forty West should not be included in the calculation of square footage area of signage.

Section 413.2(d) provides that no sign described in Section 413.2(a), (b), and (c) shall project more than 42" from the building. Clearly the testimony demonstrates that the signs proposed and erected by Forty West will project approximately 12' from the wall. A variance may be granted where strict application of the BCZR would cause practical difficulty to Petitioner and his property. Because of the unique configuration of this property, and its proposed use, and in consideration of the testimony concerning traffic flow and potential hazards, the signs not allowed as proposed it would unreasonably prevent the use of the property for a permitted purpose, would do substantial injustice to the applicant in view of the submission of the sign proposal to Baltimore County along with its building permits in 1987. A relaxation of the requirement would give substantial relief and in that the spirit of the ordinance will be observed and that public safety and welfare will be secured a variance should be granted and the Board will so order.

ORDER

IT IS THEREFORE this 19th day of February, 1991 by the County Board of Appeals of Baltimore County ORDERED that pursuant

Case No. 90-357-SPHA, Forty West Auto Park Ltd. Part.

to the Petition for Special Hearing, the subject aluminum canopy grid work is not signing for the purposes of the BCZR and that the signage, as drawn and submitted, not to exceed 1,024 square feet is hereby APPROVED; and

IT IS FURTHER ORDERED, that a zoning variance to allow the subject signs to be positioned at a 30 degree angle from the side of the building projecting 12' in lieu of the 42" therefrom is hereby APPROVED.

Any appeal from this decision must be made in accordance with Rules B-1 through B-13 of the Maryland Rules of Procedure.

COUNTY BOARD OF APPEALS
OF BALTIMORE COUNTY

William T. Hackett
William T. Hackett, Chairman

Charles Clark
C. William Clark

Lynn B. Moreland
Lynn B. Moreland

IN RE: PETITIONS FOR SPECIAL HEARING AND ZONING VARIANCE 3/9 Balto. National Pike, 1300 ft. NW of c/l of Geipe Road 6431 Baltimore National Pike 1st Election District 1st Councilmanic District
Forty West Auto Park Ltd. Partnership
Petitioner

BEFORE THE
ZONING COMMISSIONER
OF BALTIMORE COUNTY
CASE # 90-357-SPHA

FINDINGS OF FACT AND CONCLUSIONS OF LAW

The Petitioner herein requests, pursuant to the Petition for Special Hearing, a finding that the aluminum grid work indicated on Petitioner's Exhibit No. 1 is not signage for purposes of the Baltimore County Zoning Regulations (B.C.Z.R.) or, in the alternative, a variance to permit 3,173 sq. ft. of signage in lieu of the permitted 1,024 sq. ft., and a zoning variance from Section 413.2.d. to allow the subject signs to be positioned at a 30 degree angle from the side of the building and projecting 12 ft. in lieu of the permitted 42", as more particularly described on Petitioner's Exhibit 1.

The Petitioner, by Marc Sherman, was represented by Robert Hoffman, Esquire. Appearing on behalf of the Petition was Donald Kann, an Architect. Appearing on behalf of Peoples Counsel was Phyllis Friedman, Esquire. There were no Protestants.

Testimony indicated that the subject property known as 6431 Baltimore National Pike consists of 2.2025 acres +/-, zoned B.R. and B.R.-C.S.-2 and is currently improved with an existing retail structure, as indicated on Petitioner's Exhibit No. 1.

Proffered testimony offered on behalf of the Petition indicated that the Petitioner has constructed the subject signage indicated on Petitioner's Exhibits No. 3, 4 and 5 in a manner contrary to the letter of the Baltimore County Zoning Regulations (B.C.Z.R.), and is now seeking variance relief from Sections 413.2.a. and d. of the B.C.Z.R. to permit the continued existence of same. As indicated on Petitioner's Exhibits Nos. 3, 4, and 5, each sign is supported by a substantial aluminum pole and is affixed to a metal grid which runs the length of the building.

Testimony and evidence indicated that the signage protrudes from the side of the subject building at approximately a 30 degree angle, approximately 12 feet from the wall in lieu of the permitted 42 inches. Each individual sign contains approximately 200 sq. ft. of signage. The aluminum grid work consumes approximately 2,173 sq. ft. for a total of 3,173 sq. ft. of signage.

Petitioner contends that, due to the shape of the subject property (100 ft. wide, 950 ft. deep), customers will have a difficult time locating the respective retailers on the site unless the subject signage is permitted to remain. Consequently, the Petitioner asserts that it will suffer an undue hardship and practical difficulty should the requested relief be denied.

The Petitioner requested, pursuant to the Petition for Special Hearing, a finding that the subject grid work is not "signage" for purposes of calculating square footage. Upon visiting the subject site, it was immediately evident that the aluminum grid has been incorporated into the signage theme which greatly enhances the visual impact of the subject signage creating an enormous sign package for this site. It is the opinion of the Zoning Commissioner that the subject "grid" is signage for purposes of the B.C.Z.R. and must be counted in the total square foot calculations.

The Petitioner has also filed a Petition for Zoning Variance to approve 3,173 sq. ft. of signage in lieu of the permitted 1,024 ft. and also a variance from Section 413.2.d to allow the signage to project 12 ft. from the side wall of the subject building in lieu of the permitted 42 inches.

An area variance may be granted where strict application of the zoning regulations would cause practical difficulty to the Petitioner and his property. McLean v. Riley, 270 Md. 208 (1973). To prove practical difficulty for an area variance, the Petitioner must meet the following:

- 1) whether strict compliance with requirement would unreasonably prevent the use of the property for a permitted purpose or render conformance unnecessarily burdensome;
- 2) whether the grant would do substantial injustice to applicant as well as other property owners in the district or whether a lesser relaxation than that applied for would give substantial relief; and
- 3) whether relief can be granted in such fashion that the spirit of the ordinance will be observed and public safety and welfare secured.

Anderson v. Bd. of Appeals, Town of Chesapeake Beach, 22 Md. App. 28 (1974).

In reviewing the evidence, there is insufficient evidence to allow a finding that the Petitioner would experience practical difficulty or unreasonable hardship if the requested variance was denied. The testimony presented by the Petitioner was in support of a matter of a preference rather than of the necessity for the variance. In fact, the Petitioner has created its own practical difficulty and undue hardship. As Petitioner's Exhibits Nos. 3, 4, and 5 clearly indicate, the Petitioner's individual signs are supported by what are essentially aluminum telephone poles, said signage extending approximately 12 feet from the side of the building. Clearly, the

ORDER RECEIVED FOR FILING
Date 5/23/91
By Mr. D. Clark

ORDER RECEIVED FOR FILING
Date 5/23/91
By Mr. D. Clark

ORDER RECEIVED FOR FILING
Date 5/23/91
By Mr. D. Clark

purpose of Section 307 of the B.C.Z.R. is not to cure self created "hardships" resulting from a disregard of the Baltimore County sign regulations; particularly in view of the fact that the Petitioner could have placed the signage on the roof of the subject building as of right, without the need for a variance. The Petitioner has failed to show that compliance would unreasonably prevent the use of the property or be unnecessarily burdensome. Therefore, the variance requested must be denied.

Pursuant to the advertisement, posting of the property, and public hearing on this Petition held, and for the reasons given above, the relief requested, pursuant to the Petitions for Special Hearing and Zoning Variance should be denied.

THEFORE, IT IS ORDERED by the Zoning Commissioner of Baltimore County this 23rd day of July 1990 that pursuant to the Petition for Special Hearing, the Zoning Commissioner finds that the subject aluminum grid is signage for purposes of the B.C.Z.R.; and

IT IS FURTHER ORDERED that a zoning variance to allow 3,173 sq. ft. of signage in lieu of the permitted 1,024 sq. ft. is hereby DENIED; and,

IT IS FURTHER ORDERED that a zoning variance to allow the subject signs to be positioned at a 30 degree angle from the side of the building projecting 12 feet in lieu of the permitted 42 inches therefrom, is hereby DENIED.

J. Robert Haines
J. ROBERT HAINES
Zoning Commissioner for
Baltimore County

JRH:mmm
cc: Peoples Counsel

Note: The petitioner claims that he is not incorporated so an attorney will not be present. Also, I explained to the petitioner that a sign detail must be presented on the site plan or at the hearing to prove a hardship.

Mitch Kellman

214 90-357-SPHA

CERTIFICATE OF PUBLICATION

TOWSON, MD. February 15, 1990

THIS IS TO CERTIFY, that the annexed advertisement was published in THE JEFFERSONIAN, a weekly newspaper published in Towson, Baltimore County, Md., once in each of 1 successive weeks, the first publication appearing on Feb 15, 1990

THE JEFFERSONIAN,

S. Zabe Olson
Publisher

PETITION FOR SPECIAL HEARING TO THE ZONING COMMISSIONER OF BALTIMORE COUNTY: 90-357-SPHA

The undersigned, legal owner(s) of the property situate in Baltimore County and which is described in the description and plat attached hereto and made a part hereof, hereby petition for a Special Hearing under Section 506.7 of the Baltimore County Zoning Regulations to determine whether or not the Zoning Commissioner and/or Deputy Zoning Commissioner should approve Section 413.2 a. 1. to allow approx. 1,000 sq. ft. of signage and 2,173 sq. ft. of aluminum grid work (total 3,173 sq. ft.) in lieu of 1,024 sq. ft. allowed in the Regulation. Section 413.2 d. to allow sign positioned at 30 degrees to the front of the building to project 12'-0" in lieu of 42" provided for in the Regulation.

Property is to be posted and advertised as prescribed by Zoning Regulations.

I, or we, agree to pay expenses of the above Special Hearing advertising, posting, etc., upon filing of this Petition, and further agree to and are to be bound by the zoning regulations and restrictions of Baltimore County adopted pursuant to the Zoning Law for Baltimore County.

I/We do solemnly declare and affirm, under the penalties of perjury, that I/we are the legal owner(s) of the property which is the subject of this Petition.

Contract Purchaser:

(Type or Print Name)

Signature

Address

City and State

Attorney for Petitioner:

(Type or Print Name)

Signature

Address

City and State

Attorney's Telephone No.:

Legal Owner(s):

(Type or Print Name)

Signature

Address

City and State

Name, address and phone number of legal owner, contract purchaser or representative to be contacted

Name

Address

City and State

Phone No.

ORDERED By The Zoning Commissioner of Baltimore County, this 17 day of Jan, 1990, that the subject matter of this petition be advertised, as required by the Zoning Law of Baltimore County, in two newspapers of general circulation throughout Baltimore County, that property be posted, and that the public hearing be held before the Zoning Commissioner of Baltimore County in Room 108, County Office Building in Towson, Baltimore County, on the 16 day of March, 1990, at 2 o'clock P.M.

J. Robert Haines
J. ROBERT HAINES
Zoning Commissioner of Baltimore County

ORDER RECEIVED FOR FILING
Date 12/18/90
By MMK

Baltimore County
Zoning Commissioner
Office of Planning & Zoning
Towson, Maryland 21204
(301) 887-3353

J. Robert Haines
Zoning Commissioner

Forty West Auto Park Limited Partnership
206 Lord Baltimore Drive
Baltimore, Maryland 21207

ATTN: MARC G. SHERMAN

Re: Petitions for Special Hearing and Zoning Variance
CASE NUMBER: 90-357-SPHA
S/S of Baltimore National Pike, 1300' NW of c/l of Geipe Road
6431 Baltimore National Pike
1st Election District - 1st Councilmanic
Petitioner(s): Forty West Auto Park Limited Partnership
HEARING: FRIDAY, MARCH 16, 1990 at 2:00 p.m.

Comments

Please be advised that \$ 135.08 is due for advertising and posting of the above captioned property.

THIS FEE MUST BE PAID AND THE ZONING SIGN & POST SET(S) RETURNED ON THE DAY OF THE HEARING OR THE ORDER SHALL NOT ISSUE. DO NOT REMOVE THE SIGN & POST SET(S) FROM THE PROPERTY UNTIL THE DAY OF THE HEARING.

Please make your check payable to Baltimore County, Maryland. Bring the check and the sign & post set(s) to the Zoning Office, County Office Building, 111 W. Chesapeake Avenue, Room 113, Towson, Maryland fifteen (15) minutes before your hearing is scheduled to begin.

Be advised that should you fail to return the sign & post set(s), there will be an additional \$50.00 added to the above amount for each such set not returned.

Very truly yours,

J. Robert Haines
J. ROBERT HAINES
ZONING COMMISSIONER

JRH:gs

File

PETITION FOR ZONING VARIANCE TO THE ZONING COMMISSIONER OF BALTIMORE COUNTY: 90-357-SPHA

The undersigned, legal owner(s) of the property situate in Baltimore County and which is described in the description and plat attached hereto and made a part hereof, hereby petition for a Variance from Section 413.2 a to allow approx. 1,000 sq. ft. of signage and 2,173 sq. ft. of aluminum grid work (total 3,173 sq. ft.) in lieu of 1,024 sq. ft. allowed in the Regulation & Section 413.2 d. to allow sign positioned at 30 degrees to the front of the building to project 12'-0" in lieu of 42" provided by Reg. 413.2 d. of the Zoning Regulations of Baltimore County to the Zoning Law of Baltimore County for the following reasons: (Indicate hardship or practical difficulty)

The property is located in an existing BR Zone and contains approximately 2.2 acres. However, the frontage is only 100 ft. on Baltimore National Pike and the lot is over 950 ft. deep. This extremely narrow configuration unlike adjacent commercial property represents a practical difficulty and hardship for the owner to install signage which can be reasonably viewed by the customers using the project. The solution which is being requested would limit the signs to the total area allowed in regulation, but utilizes a "nose-tooth" canopy configuration to accomplish improve visibility and is felt to be in the spirit of the Regulations. Property is to be posted and advertised as prescribed by Zoning Regulations.

I, or we, agree to pay expenses of above Variance advertising, posting, etc., upon filing of this petition, and further agree to and are to be bound by the zoning regulations and restrictions of Baltimore County adopted pursuant to the Zoning Law for Baltimore County.

I/We do solemnly declare and affirm, under the penalties of perjury, that I/we are the legal owner(s) of the property which is the subject of this Petition.

Contract Purchaser:

(Type or Print Name)

Signature

Address

City and State

Attorney for Petitioner:

(Type or Print Name)

Signature

Address

City and State

Attorney's Telephone No.:

Legal Owner(s):

(Type or Print Name)

Signature

Address

City and State

Name, address and phone number of legal owner, contract purchaser or representative to be contacted

Name

Address

City and State

Phone No.

ORDERED By The Zoning Commissioner of Baltimore County, this 17 day of Jan, 1990, that the subject matter of this petition be advertised, as required by the Zoning Law of Baltimore County, in two newspapers of general circulation throughout Baltimore County, that property be posted, and that the public hearing be held before the Zoning Commissioner of Baltimore County in Room 108, County Office Building in Towson, Baltimore County, on the 16 day of March, 1990, at 2 o'clock P.M.

J. Robert Haines
J. ROBERT HAINES
Zoning Commissioner of Baltimore County

(over)

Baltimore County
Zoning Commissioner
Office of Planning & Zoning
Towson, Maryland 21204
(301) 887-3353

J. Robert Haines
Zoning Commissioner

February 2, 1990

NOTICE OF HEARING

The Zoning Commissioner of Baltimore County, by authority of the Zoning Act and Regulations of Baltimore County will hold a public hearing on the property identified herein in Room 108 of the County Office Building, located at 111 W. Chesapeake Avenue in Towson, Maryland as follows:

Petitions for Special Hearing and Zoning Variance
CASE NUMBER: 90-357-SPHA
S/S of Baltimore National Pike, 1300' NW of c/l of Geipe Road
6431 Baltimore National Pike
1st Election District - 1st Councilmanic
Petitioner(s): Forty West Auto Park Limited Partnership
HEARING: FRIDAY, MARCH 16, 1990 at 2:00 p.m.

Special Hearings: To allow approximately 1,000 sq. ft. of signage and, 2173 sq. ft. of aluminum grid work (total 3,173 sq. ft.) in lieu of 1,024 sq. ft. allowed and to allow sign positioned at 30 degrees to the front of the building to project 12 feet in lieu of 42 inches.

Variances: To allow approximately 1,000 sq. ft. of signage and, 2173 sq. ft. of aluminum grid work (total 3,173 sq. ft.) in lieu of 1,024 sq. ft. allowed and to allow sign positioned at 30 degrees to the front of the building to project 12 feet in lieu of 42 inches.

In the event that this Petition is granted, a building permit may be issued within the thirty (30) day appeal period. The Zoning Commissioner will, however, entertain any request for a stay of the issuance of said permit during this period for good cause shown. Such request must be in writing and received in this office by the date of the hearing set above or presented at the hearing.

J. Robert Haines
J. ROBERT HAINES
ZONING COMMISSIONER
BALTIMORE COUNTY, MARYLAND

JRH:gs

cc: Forty West AutoPark Limited Partnership
File

STYLYON ASSOCIATES, INC.
ENGINEERS, ARCHITECTS & PLANNERS
21 S. CALVERT STREET
BALTIMORE, MD 21207-1722
301/944-9112

ZONING DESCRIPTION
BURTON W. SMELTZER PROPERTY
NO. 6431 BALTIMORE NATIONAL PIKE
FIRST ELECTION DISTRICT,
BALTIMORE COUNTY, MARYLAND

BEGINNING FOR THE SAME at a point along the southwestern side of Baltimore National Pike (U.S. Route 40), said point being located at the northeasternmost corner of that 18.65 acres + tract conveyed from the Baltimore Gem, Inc. unto Combined Properties Ltd. Partnership, by a deed dated March 31, 1982 and recorded among the Land and Records of Baltimore County, Maryland in Liber E.H.K. Jr. No. 6409, folio 108, thence along said southwestern side of Baltimore National Pike,

1. South 71°15'32" East 100.05 feet, thence leaving Baltimore National Pike and running for the three following courses and distances,
2. South 20°53'26" West 960.43 feet thence,
3. North 70°21'40" West 100.00 feet thence,
4. North 20°53'26" East 958.86 feet to the point of beginning . . . containing 2.2025 acres of land, more or less.

BEING the same parcel of land as described in a conveyance from the First National Bank of Maryland and Ann Wright Frazee unto Burton Wright Smeltzer by a deed dated April 27, 1981 and recorded among the Land Records of Baltimore County, Maryland in Liber E.H.K. Jr. No. 6201, folio 363, etc.

Mark A. Riddle
STYLYON ASSOCIATES, INC.
Mark A. Riddle
Md. Reg. P.L.S. No. 244

November 14, 1984



STY ENGINEERS, Engineers, Architects, Planners, Construction Managers, Professional Member Firm
STY Baltimore Transportation Associates, STY/Lyon Associates, STY/Maryland Consultants Group, STY,
STY/Humphreys & Associates, STY/Sanders & Thomas, STY/Seaton, STY/Squire Stevenson Value & Kinch

Baltimore County
Zoning Commissioner
County Office Building
111 West Chesapeake Avenue
Towson, Maryland 21204

receipt
No. 1748

Date 3/16/90

90-357

PUBLIC HEARING FEES
080 - POSTING SIGNS / ADVERTISING 1 X \$135.08
LAST NAME OF OWNER: FORTY WEST TOTAL: \$135.08

MMK

Cashier Validation: 8 005*****1356d: a 226AF
Please make checks payable to Baltimore County

CERTIFICATE OF POSTING ZONING DEPARTMENT OF BALTIMORE COUNTY 90-357-SPHA Towson, Maryland

District 1st Date of Posting 2-23-90
Posted for Special Hearing & Variance
Petitioner Forty West Auto Park Limited Partnership
Location of property S/S of Baltimore National Pike, 1300' NW of
Chesapeake Ave.
Location of Sign On front of 6431 Baltimore National Pike

Remarks J. R. Riddle Date of return 3-2-90
Posted by J. R. Riddle
Number of Signs 21

RE: PETITION FOR SPECIAL HEARING : BEFORE THE ZONING COMMISSIONER
 PETITION FOR VARIANCE OF BALTIMORE COUNTY
 S/S of Baltimore National Pike, 1300' NW of C/L of Geipe Rd.
 (6431 Baltimore National Pike)
 1st Election District
 1st Councilmanic District
 FORTY WEST AUTO PARK LIMITED : Case No. 90-357-SPHA
 PARTNERSHIP, Petitioner

ENTRY OF APPEARANCE

Please enter the appearance of the People's Counsel in the above-captioned matter. Notices should be sent to any hearing dates or other proceedings in this matter and of the passage of preliminary or final Order.

Phyllis Cole Friedman
 Phyllis Cole Friedman
 People's Counsel for Baltimore County

Peter Max Zimmerman
 Peter Max Zimmerman
 Deputy People's Counsel
 Room 304, County Office Building
 Towson, Maryland 21204
 887-2188

I HEREBY CERTIFY that on this 26th day of February, 1990, a copy of the foregoing Entry of Appearance was mailed to Marc B. Sherman, Partner, Forty West Auto Park Limited Partnership, 2066 Lord Baltimore Dr., Baltimore, MD 21207, Petitioner.

Peter Max Zimmerman
 Peter Max Zimmerman

VENABLE, BAETJER AND HOWARD
 ATTORNEYS AT LAW
 A PARTNERSHIP INCLUDING PROFESSIONAL CORPORATIONS

BALTIMORE, MD
 WASHINGTON, D.C.
 NILES, VA
 ROCKVILLE, MD
 BEL AIR, MD
 210 ALLEGHENY AVENUE
 P.O. BOX 8817
 TOWSON, MARYLAND 21208-8817
 (301) 948-9111
 FAX (301) 948-9147
 JUNE 6, 1990
 301-494-9162

HAND DELIVERY

J. Robert Haines
 Zoning Commissioner
 Baltimore County Office Building
 111 W. Chesapeake Avenue
 Towson, Maryland 21204

Re: Petition for Special Hearing and Variance
 Case #90-357-SPHA

Dear Commissioner Haines:

On behalf of Forty West Auto Park Ltd. Partnership, 2066 Lord Baltimore Drive, Baltimore, Maryland 21207, petitioner, and pursuant to Section 22-32 of the Baltimore County Code, I respectfully request that an appeal from your "Findings of Fact and Conclusions of Law" dated May 23, 1990, be noted on the above referenced case.

Yours truly,
Robert A. Hoffman
 Robert A. Hoffman

RAH:ekm
 cc: Marc Sherman

6-7-90
 ZONING OFFICE

MICKY A. CORNELIUS
 PRINCIPAL

Mickey Cornelius is a registered Professional Engineer with over eight years experience in the Highway Transportation and Traffic Engineering profession. He has served as a consulting traffic engineer for more than six years. His experience includes both the public and private sectors has provided Mr. Cornelius with a broad range of knowledge.

Mr. Cornelius has conducted numerous Traffic Impact Studies throughout the Baltimore-Washington Metropolitan area, from small residential subdivisions to multi-million square foot, mixed use developments. He has served as a

Transportation Planner for the development of Master Plans for both private firms and government agencies. Traffic signal warrant studies, traffic signal design, and traffic control plans are examples of the types of projects Mr. Cornelius has undertaken while practicing as a consulting traffic engineer.

Mr. Cornelius' educational and professional background have qualified him as an expert in the field of traffic engineering and transportation planning before numerous County and municipal planning and zoning boards in Maryland and Pennsylvania.

JOB HISTORY

1984 to Present
 Traffic Engineering Consultant
 1982-1984
 Civil Engineer, Highway Construction
 S.J. Groves and Son Co.

EDUCATIONAL BACKGROUND

B.S. in Civil Engineering with emphasis in Transportation
 The Pennsylvania State University
 Traffic Engineering Courses: Northwestern University Traffic Institute; Polytechnic Institute of New York

PLACES WHERE MR. CORNELIUS HAS QUALIFIED AS AN EXPERT WITNESS

Board of Appeals—Anne Arundel County, Md.
 Board of Appeals—Montgomery County, Md.
 Zoning Hearing Examiner—Montgomery County, Md.
 Zoning Hearing Examiner—Baltimore County, Md.
 County Review Group (CRG)—Baltimore County, Md.
 Board of Appeals—Baltimore County, Md.
 Circuit Court—Baltimore, Md.
 Board of Appeals—Charles County, Md.
 Planning Advisory Board—City of Bowie, Md.
 Mayor and City Council—City of Bowie, Md.
 Planning Board—Howard County, Md.

County Council—Howard County, Md.
 Board of Appeals—Montgomery County, Md.
 Zoning Hearing Examiner—Montgomery County, Md.
 Planning Board—Montgomery County, Md.
 Planning Board—Prince Georges County, Md.
 County Council—Prince Georges County, Md.
 Planning Board—Town of Bel Air, Md.
 Town Commissioners—Town of Bel Air, Md.
 Zoning Hearing Examiner—Town of Bel Air, Md.
 Zoning Hearing Board—Manchester Township, Pa.

The Traffic Group, Inc., Suite 600 40 W. Chesapeake Avenue Towson, Maryland 21204 301-583-8405 Fax 301-321-8458

20-357-SPHA Petitioner 3



County Board of Appeals of Baltimore County

COUNTY OFFICE BUILDING
 111 W. CHESAPEAKE AVENUE
 TOWSON, MARYLAND 21204
 (301) 887-3180

HEARING ROOM - Room 301
 County Office Building

August 23, 1990

NOTICE OF ASSIGNMENT

NO POSTPONEMENTS WILL BE GRANTED WITHOUT GOOD AND SUFFICIENT REASONS. REQUESTS FOR POSTPONEMENTS MUST BE IN WRITING AND IN STRICT COMPLIANCE WITH BOARD RULE 2(b). NO POSTPONEMENTS WILL BE GRANTED WITHIN FIFTEEN (15) DAYS OF SCHEDULED HEARING DATE UNLESS IN FULL COMPLIANCE WITH RULE 2(c), COUNTY COUNCIL BILL NO. 59-79.

CASE NO. 90-357-SPHA

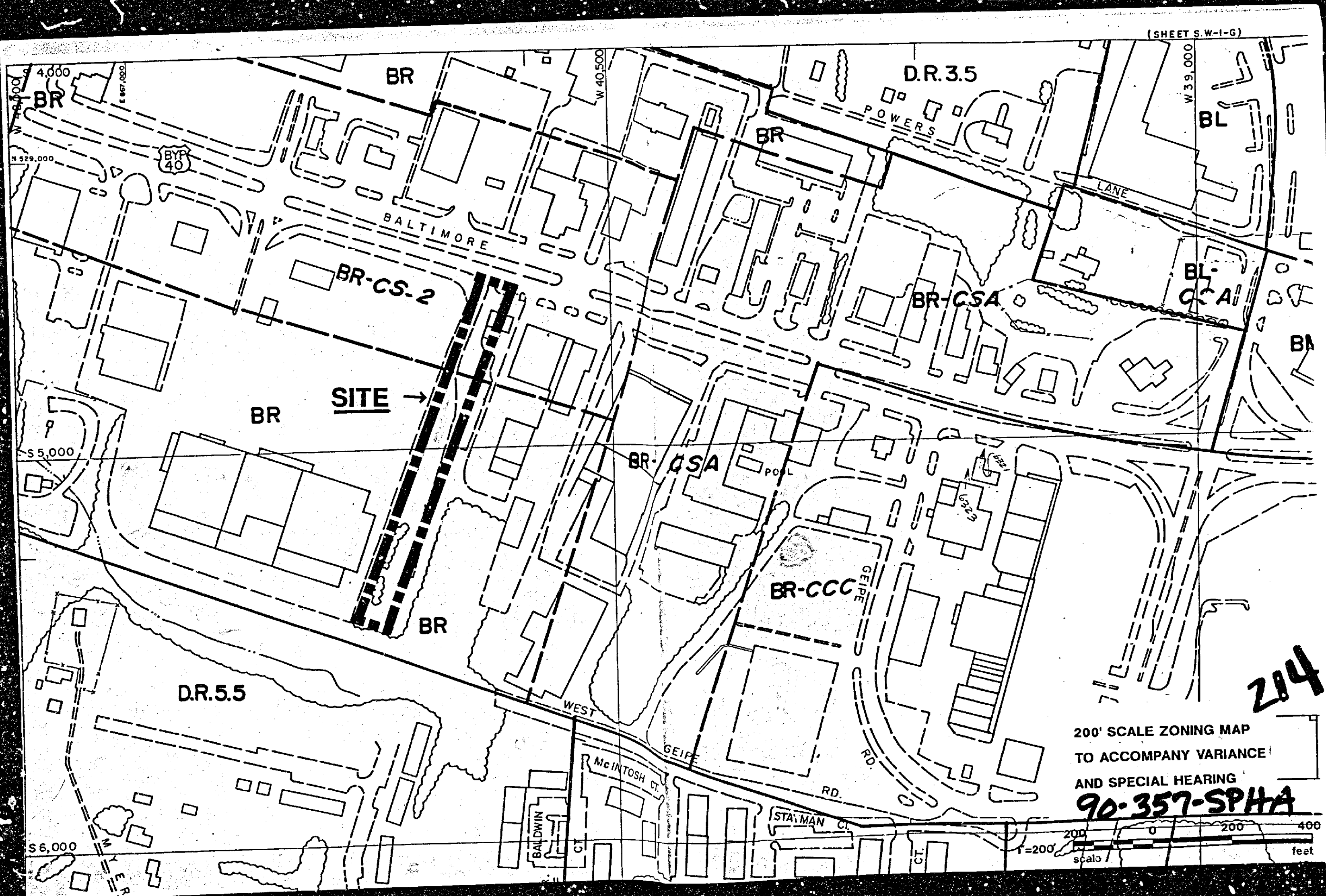
FORTY WEST AUTO PARK LTD. PART.
 S/S Baltimore National Pike, 1300' NW of C/L Geipe Rd. (6431 P. Baltimore National Pike)
 1st Election District
 1st Councilmanic District
 SPH -To find that grid work is not signage; OR IN THE ALTERNATIVE VAR-Signs
 5/23/90 - Z.C.'s Order DENYING Petitions.

TUESDAY, JANUARY 22, 1991 at 10:00 a.m.

ASSIGNED FOR:

cc: Robert A. Hoffman, Esquire Counsel for Petitioner/Appellant
 Marc B. Sherman - Forty West Auto Park Ltd. Part.
 Mr. David Baruch
 People's Counsel for Baltimore County
 P. David Fields
 Pat Keller
 J. Robert Haines
 Ann M. Nastarowicz
 James E. Dyer
 W. Carl Richards, Jr.
 Docket Clerk - Zoning
 Arnold Jablon, County Attorney

LindaLee M. Kuszmaul
 Legal Secretary



County Board of Appeals of Baltimore County

COUNTY OFFICE BUILDING
 111 W. CHESAPEAKE AVENUE
 TOWSON, MARYLAND 21204
 (301) 887-3180

HEARING ROOM - Room 301
 County Office Building

August 23, 1990

NOTICE OF ASSIGNMENT

NO POSTPONEMENTS WILL BE GRANTED WITHOUT GOOD AND SUFFICIENT REASONS. REQUESTS FOR POSTPONEMENTS MUST BE IN WRITING AND IN STRICT COMPLIANCE WITH BOARD RULE 2(b). NO POSTPONEMENTS WILL BE GRANTED WITHIN FIFTEEN (15) DAYS OF SCHEDULED HEARING DATE UNLESS IN FULL COMPLIANCE WITH RULE 2(c), COUNTY COUNCIL BILL NO. 59-79.

CASE NO. 90-357-SPHA

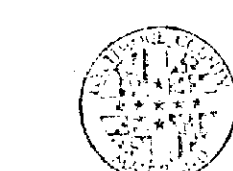
FORTY WEST AUTO PARK LTD. PART.
 S/S Baltimore National Pike, 1300' NW of C/L Geipe Rd. (6431 Baltimore National Pike)
 1st Election District
 1st Councilmanic District
 SPH -To find that grid work is not signage; OR IN THE ALTERNATIVE VAR-Signs
 5/23/90 - Z.C.'s Order DENYING Petitions.

TUESDAY, JANUARY 22, 1991 at 10:00 a.m.

ASSIGNED FOR:

cc: Robert A. Hoffman, Esquire Counsel for Petitioner/Appellant
 Marc B. Sherman - Forty West Auto Park Ltd. Part.
 Mr. David Baruch
 People's Counsel for Baltimore County - Phyllis
 P. David Fields
 Pat Keller
 J. Robert Haines
 Ann M. Nastarowicz
 James E. Dyer
 W. Carl Richards, Jr.
 Docket Clerk - Zoning
 Arnold Jablon, County Attorney

LindaLee M. Kuszmaul
 Legal Secretary



County Board of Appeals of Baltimore County

COUNTY OFFICE BUILDING, ROOM 315
 111 W. CHESAPEAKE AVENUE
 TOWSON, MARYLAND 21204
 (301) 887-3180

February 19, 1991

Robert A. Hoffman, Esquire
 Venable, Baetjer & Howard
 210 Allegheny Avenue
 P.O. Box 5517
 Towson, Maryland 21285-5517

Re: Case No. 90-357-SPHA (Forty West Auto Park Ltd. Part.)

Dear Mr. Hoffman:

Enclosed please find a copy of the final Opinion and Order issued this date by the County Board of Appeals of Baltimore County in the subject matter.

Sincerely,

LindaLee M. Kuszmaul
 LindaLee M. Kuszmaul
 Legal Secretary

Enclosure

cc: Mr. Marc B. Sherman - Forty West Auto Park Ltd. Part.
 Mr. David Baruch - Koren American Traditional Furniture
 People's Counsel for Baltimore County
 P. David Fields
 Pat Keller
 J. Robert Haines
 Ann M. Nastarowicz
 James E. Dyer
 W. Carl Richards, Jr.
 Docket Clerk - Zoning
 Arnold Jablon, County Attorney



6427 Baltimore National Pike • Baltimore, Maryland • 21204 • (301) 747-5051

July 26, 1990

hi.
Regarding your file # 90-357-SPHA,
I would like to be notified about
the time and day this appeal is
scheduled to be heard.

Thank you very much.

Sincerely yours,

David Baruch

20-21 WA 00 700 06
RECEIVED
COUNTY BOARD OF APPEALS

8/23/90 - Following parties notified of hearing set for January 22, 1991 at 10:00 a.m.:

Robert A. Hoffman, Esquire
Marc B. Sherman - Forty West Auto
Park Ltd. Part.
Mr. David Baruch
People's Counsel for Baltimore County
P. David Fields
Pat Keiler
J. Robert Haines
Ann M. Nastarowicz
James E. Dyer
W. Carl Richards, Jr.
Docket Clerk Zoning
Arnold Jablon, County Attorney

Case No. 90-357-SPHA

ZC exhibits: Petitioner's Exhibit #3, 4 and 5 (Photos)

Express sign)

Also, 3 photographs attached to above (Discount Tire

Petitioner's Exhibit #2 - elevation drawings

Barbara A. White (Rob. Hoffman)

January 2, 1991

Petitioner's Exhibit #2 returned 1/2/91
p.m.

Exhibit #1 - Plan
taken 1/17/91 by Barbara A. White
returned same day

Baltimore County
Zoning Commissioner
Office of Planning & Zoning
Towson, Maryland 21204
(301) 887-3353
J. Robert Haines
Zoning Commissioner

June 28, 1990



Baltimore County Board of Appeals
County Office Building, Room 315
Towson, Maryland 21204

RE: Petition for Special Hearing and Zoning Variance
S/S Balto. National Pike, 1300 ft. NW of c/1 of Geipe Road
(6431 Baltimore National Pike)
1st Election District, 1st Councilmanic District
FORTY WEST AUTO PARK LTD. PARTNERSHIP - Petitioner
Case No. 90-357-SPHA

Dear Board:

Please be advised that an appeal of the above-referenced case was
filed in this office on June 7, 1990 by Robert A. Hoffman, Attorney
on behalf of the Petitioner. All materials relative to the case are
being forwarded herewith.

Please notify all parties to the case of the date and time of the
appeal hearing when it has been scheduled. If you have any questions
concerning this matter, please do not hesitate to contact this office.

Very truly yours,

J. Robert Haines
Zoning Commissioner

JRH:cer

Enclosures

cc: Marc B. Sherman - Forty West Auto Park Ltd. Partnership
2066 Lord Baltimore Drive, Baltimore, MD 21207

Robert A. Hoffman - Venable, Baetjer and Howard
210 Allegheny Avenue, Towson, Maryland 21285-5517

People's Counsel of Baltimore County
Rm. 304, County Office Bldg., Towson, Md. 21204
File

APPEAL

Petition for Special Hearing and Zoning Variance
S/S Baltimore National Pike, 1300 ft. NW of c/1 of Geipe Road
(6431 Baltimore National Pike)
1st Election District - 1st Councilmanic District
FORTY WEST AUTO PARK LTD. PARTNERSHIP - Petitioner
Case No. 90-357-SPHA

Petition for Special Hearing and Zoning Variance

Description of Property

Certificate of Posting

Certificate of Publication

Entry of Appearance of People's Counsel

Zoning Plans Advisory Committee Comments

Director of Planning & Zoning Comments (Included in Comments Package)

Petitioner's Exhibits: 1. Plan to accompany Petitions
2. Elevation Drawing
3. Photographs of signs

Zoning Commissioners Order dated May 23, 1990 (Denied)

Notice of Appeal received June 7, 1990 from Robert A. Hoffman,
Attorney on behalf of Petitioners

cc: Marc B. Sherman - Forty West Auto Park Ltd. Partnership
2066 Lord Baltimore Drive, Baltimore, MD 21207

Robert A. Hoffman - Venable, Baetjer and Howard
210 Allegheny Avenue, Towson, Maryland 21285-5517

People's Counsel of Baltimore County
Rm. 304, County Office Bldg., Towson, Md. 21204

People's Counsel of Baltimore County
Rm. 304, County Office Bldg., Towson, Md. 21204

Request Notification: P. David Fields, Director of Planning & Zoning
Patrick Keller, Office of Planning & Zoning
J. Robert Haines, Zoning Commissioner
Ann M. Nastarowicz, Deputy Zoning Commissioner
James E. Dyer, Zoning Supervisor
W. Carl Richards, Jr., Zoning Coordinator
Docket Clerk
Arnold Jablon, County Attorney

Baltimore County
Zoning Commissioner
Office of Planning & Zoning
Towson, Maryland 21204
(301) 887-3353
J. Robert Haines
Zoning Commissioner

May 21, 1990



Dennis F. Rasmussen
County Executive

Robert Hoffman, Esquire
Venable, Baetjer and Howard
210 Allegheny Avenue
Towson, Maryland 21204

RE: Petitions for Special Hearing and Variance
Forty West Auto Park Ltd. Partnership, Petitioner
Case #90-357-SPHA

Dear Mr. Hoffman:

Enclosed please find the decision rendered in the above captioned
case. The Petitions for Special Hearing and Zoning Variance have been
denied in accordance with the attached Order.

In the event the decision rendered is unfavorable to any party, please
be advised that any party may file an appeal within thirty (30) days of the
date of the Order to the County Board of Appeals. If you require
additional information concerning filing an appeal, please feel free to
contact our Appeals Clerk at 887-3391.

Very truly yours,
J. Robert Haines
Zoning Commissioner
for Baltimore County

JRH:mmm
at:
cc: People's Counsel
cc: Marc Sherman
Forty West Auto Park Ltd. Partnership

Baltimore County
Zoning Commissioner
Office of Planning & Zoning
Towson, Maryland 21204
(301) 887-3353
J. Robert Haines
Zoning Commissioner

March 12, 1990



Dennis F. Rasmussen
County Executive

Mr. Marc B. Sherman
Forty West Auto Park Ltd. Partnership
2066 Lord Baltimore Drive
Baltimore, MD 21207

RE: Item No. 214, Case No. 90-357-SPHA
Petitioner: Forty West Auto Park Ltd.
Petition for Zoning Variance and
Special Hearing

Dear Mr. Sherman:

The Zoning Plans Advisory Committee has reviewed the plans submitted
with the above referenced petition. The following comments are not
intended to indicate the appropriateness of the zoning action
requested, but to assure that all parties are made aware of plans or
problems with regard to the development plans that may have a bearing
on this case. Director of Planning may file a written report with the
Zoning Commissioner with recommendations as to the suitability of the
requested zoning.

Enclosed are all comments submitted from the members of the Committee
at this time that offer or request information on your petition. If
similar comments from the remaining members are received, I will
forward them to you. Otherwise, any comment that is not informative
will be placed in the hearing file. This petition was accepted for
filing on the date of the enclosed filing certificate and a hearing
scheduled accordingly.

IT WOULD BE APPRECIATED IF YOU WOULD RETURN YOUR WRITTEN COMMENTS TO
MY OFFICE, ATTENTION JULIE WINIARSKI. IF YOU HAVE ANY QUESTIONS
REGARDING THIS, PLEASE CONTACT HER AT 887-3391.

Very truly yours,
James E. Dyer
Chairman
Zoning Plans Advisory Committee

JED:jw

Enclosures

Baltimore County
Zoning Commissioner
Office of Planning & Zoning
Towson, Maryland 21204
(301) 887-3353
J. Robert Haines
Zoning Commissioner



Dennis F. Rasmussen
County Executive

Your petition has been received and accepted for filing this
17th day of January, 1989.

J. Robert Haines
Zoning Commissioner

Received By:

James E. Dyer
Chairman,
Zoning Plans Advisory Committee

Petitioner: Forty West Auto Park Limited Partnership

Petitioner's Attorney:



**Maryland Department of Transportation
State Highway Administration**

Richard H. Trainor
Secretary
Hal Kassoff
Administrator

January 19, 1990

Mr. J. Robert Haines
Zoning Commissioner
County Office Building
Towson, Maryland 21204

Re: Baltimore County
Forty West Auto Park
Zoning Meeting of 1-16-90
S/S Baltimore National
Pike (Route 40-W)
1300' West of Geipe Road
(Item #214)

Dear Mr. Haines:

After reviewing the submittal for a special hearing to allow approximately 1,000 square feet of signage and 2,173 square feet of aluminum grid work (total of 3,173 square feet) in lieu of 1,024 square feet allowed and to allow sign positioned at 30 degrees to the front of the building to project 12 feet in lieu of 42 inches, we have forwarded this plan to our Highway Beautification Section, c/o Mr. George Dawson (333-1642) for all comments relative to zoning.

If you have any questions, please contact Larry Brocato at 333-1350.

Very truly yours,

Charles Rose
Charles Rose, Acting Chief
Engineering Access Permits
Division

LB:maw

cc: STV/Lyon Associates
Mr. George Dawson (w-attachment)
Mr. J. Ogle

RECEIVED
JAN 23 1990

ZONING OFFICE

My telephone number is (301) 333-1350 (Fax: 333-10411)
Teletypewriter for Impaired Hearing or Speech
383-7555 Baltimore Metro - 585-0451 D.C. Metro - 1-800-492-5062 Statewide Toll Free
707 North Calvert St., Baltimore, Maryland 21203-0717



**Maryland Department of Transportation
State Highway Administration**

Richard H. Trainor
Secretary
Hal Kassoff
Administrator

January 26, 1990

Mr. J. Robert Haines
Zoning Commissioner
County Office Building
Towson, Maryland 21204
Attention: James Dryer

Re: Plans concerning Baltimore County
Zoning - Item No. 214, S/S
Baltimore National Pike, 1300' West
of Geipe Road

Dear Mr. Haines:

I have reviewed the plans, and conducted an on-site inspection of the area, 1-26-90, concerning the above subject.

We have no objections to the location of the signs as per plans submitted. This office has no jurisdiction over on-premise signs, unless they present a traffic hazard.

Sincerely,

George Dawson
George Dawson, Chief
Highway Beautification Section

CTD:jak

My telephone number is (301) 333-1641

Teletypewriter for Impaired Hearing or Speech
383-7555 Baltimore Metro - 585-0451 D.C. Metro - 1-800-492-5062 Statewide Toll Free
707 North Calvert St., Baltimore, Maryland 21203-0717

**BALTIMORE COUNTY, MARYLAND
INTER-OFFICE CORRESPONDENCE**

TO: J. Robert Haines
Zoning Commissioner
DATE: March 1, 1990
FROM: Pat Keller, Deputy Director
Office of Planning and Zoning
SUBJECT: Forty West Auto Park Limited Partnership,
Item 2

The Petitioner requests a Variance for a business sign.

In reference to the Petitioner's request, staff offers the following comments:

- The site obtained CRG approval for the proposed use on February 20, 1985, (File No. 1-2674). The approved zoning plan should conform to the approved CRG plan.
- A landscape plan must be submitted for approval prior to the issuance of any building permits.
- Prior to final consideration of this matter, elevation drawings showing sign details should be reviewed by the Deputy Director of the Office of Planning and Zoning for comment.

If there should be any further questions or if this office can provide additional information, please contact Jeffrey Long in the Office of Planning at 887-3211.

PK/JL/cmm

MAR 05 1990

Baltimore County
Fire Department
700 East Joppa Road, Suite 901
Towson, Maryland 21204-5500
(301) 887-4500
Paul H. Reincke
Chief

JANUARY 29, 1990



Debbie F. Kammann
County Executive

J. Robert Haines
Zoning Commissioner
Office of Planning and Zoning
Baltimore County Office Building
Towson, MD 21204

RE: Property Owner: FORTY WEST AUTO PARK LTD. PARTNP.
Location: S/S BALTIMORE NATIONAL PIKE
Item No.: 214 Zoning Agenda: JANUARY 16, 1990
Gentlemen:

Pursuant to your request, the referenced property has been surveyed by this Bureau and the comments below are applicable and required to be corrected or incorporated into the final plans for the property.

7. The Fire Prevention Bureau has no comments at this time.

REVIEWER: *Ch. Keller* 1-30-90 Noted and Approved
Planning Group Special Inspection Division Fire Prevention Bureau

JK/KEK

MAR 05 1990

**BALTIMORE COUNTY, MARYLAND
INTER-OFFICE CORRESPONDENCE**

TO: Zoning Advisory Committee DATE: January 19, 1990
FROM: Robert W. Bowling, P.E.
RE: Zoning Advisory Committee Meeting
for January 16, 1990

The Developers Engineering Division has reviewed the subject zoning items and we have no comments for Items 182, 208, 211, 213, 215, 216 and 218.

For Items 214 and 222 the County Review Group Comments for each item still apply.

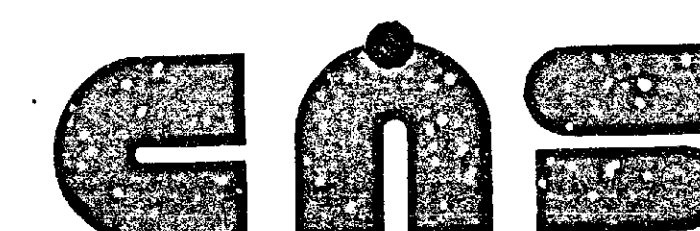
For Item 217 the County Review Group Comments still apply. There are many discrepancies on the boundary of the store water management reservation compared to the record plat, and an 8-foot vertical difference in grades between Sections 1 and 2 adjacent to lot 74.

Robert W. Bowling
ROBERT W. BOWLING, P.E., Chief
Developers Engineering Division

RWB:s

APPLICATION FOR PERMIT TO CONSTRUCT
BALTIMORE COUNTY MARYLAND
OFFICE OF THE BUILDING ENGINEER
TOWSON, MARYLAND 21204

PERMIT #: _____
RECEIPT #: _____
CONTROL #: _____
XREF #: _____
FEE: _____
PAID: _____
PAID BY: _____
INSPECTOR: _____
I HAVE CAREFULLY READ THIS APPLICATION AND THE SPECIFICATIONS AND THE CODES AND ORDINANCES OF THE BALTIMORE COUNTY CODE AND APPROVED THIS APPLICATION FOR THE PROPOSED CONSTRUCTION OF THE FOLLOWING: _____
BUILDING 1 OF 2 F.M.
CODE CODE
TYPE OF IMPROVEMENT
1. NEW BLDG CONST
2. ADDITION
3. ALTERATION
4. REPAIR
5. WRECKING
6. MOVING
7. OTHER _____
TYPE OF USE
RESIDENTIAL
01. ONE FAMILY
02. TWO FAMILY
03. THREE AND FOUR FAMILY
04. FIVE OR MORE FAMILY
05. SWIMMING POOL
06. GARAGE
07. OTHER _____
TYPE OF FOUNDATION
1. SLAB
2. FULL BASEMENT
3. CONCRETE
4. PARTIAL BASEMENT
5. OTHER _____
TYPE OF CONSTRUCTION
1. MASONRY
2. WOOD FRAME
3. STRUCTURE STEEL
4. REINFORCED CONCRETE
5. OTHER _____
TYPE OF HEATING FUEL
1. GAS
2. OIL
3. ELECTRICITY
4. COAL
5. OTHER _____
TYPE OF WATER SUPPLY
1. PUBLIC SYSTEM
2. PRIVATE SYSTEM
3. OTHER _____
TYPE OF SEWAGE DISPOSAL
1. PUBLIC SEWER
2. PRIVATE SYSTEM
3. OTHER _____
APPLICANT INFORMATION
NAME: CLAUDE NEON SIGNS, INC.
COMPANY: CLAUDE NEON SIGNS, INC.
ADDRESS: 1808 CHERRY HILL ROAD
CITY: BALTIMORE, MD 21230
PHONE: 301-688-1375 MHC LICENSE #: 897480
APPLICANT SIGNATURE: _____ TRACT: _____ BLOCK: _____
PLANS: CONST. PLOT PLAN DATA EL FL
CONTR: _____
ENGR: _____
SELLR: _____
DESCRIBE PROPOSED WORK:
INSTALL A SINGLE FREE SIGN PANEL ON THE EXISTING STRUCTURE OVER FRONT ENTRANCE TO BUILDING. 8'4" X 13'6" = 118.24
LIGHTING & EXISTING
NON-RESIDENTIAL
08. AMUSEMENT, RECREATION, PLACE OF ASSEMBLY
09. CHURCH, OTHER RELIGIOUS BUILDING
10. FENCE (LENGTH HEIGHT)
11. INDUSTRIAL, STORAGE BUILDING
12. PARKING GARAGE
13. SERVICE STATION, REPAIR GARAGE
14. HOSPITAL, INSTITUTIONAL, NURSING HOME
15. OFFICE, BANK, PROFESSIONAL
16. PUBLIC UTILITY
17. SCHOOL, COLLEGE, OTHER EDUCATIONAL
18. SIGN
19. STORE, MERCANTILE, RESTAURANT
20. SWIMMING POOL SPECIFY TYPE _____
21. TANK, TOWER
22. TRANSIENT HOTEL, MOTEL (NO. UNITS) _____
23. OTHER _____
APPROVAL SIGNATURES _____ DATE _____
BUILDING SIZE LOT SIZE AND SETBACKS
FLOOR _____
WIDTH _____
DEPTH _____
HEIGHT _____
CORNER LOT _____
1. YES 2. NO
MAKE CHECKS PAYABLE TO BALTIMORE COUNTY MARYLAND -- NO PERMIT FEES REFUNDED



CLAUDE NEON SIGNS, INC.
1808 CHERRY HILL ROAD - BALTIMORE, MD. 21230-3584

TELEPHONE: (301) 685-7575
FAX: (301) 837-3154

October 2, 1989

Office of Zoning
Room 113
111 W. Chesapeake Avenue
Towson, Maryland, 21204

Re: 40 West Auto Park
Discount Tire

Attention: Mr. Carl Richards
Dear Mr. Richards,

Please find enclosed a permit application, two copies of the proposed sign panel and two copies of the building as it exists.

The building owner is (40 West Auto Park Ltd. Partnership), Tax account #01-19-510090 887, the building permit is dated December 12, 1989, #97896.

Please call with your comments and my sign permit number.

Very truly yours,

Robert E. Nethen, Jr.
CLAUDE NEON SIGNS, INC.
Robert E. Nethen, Jr.

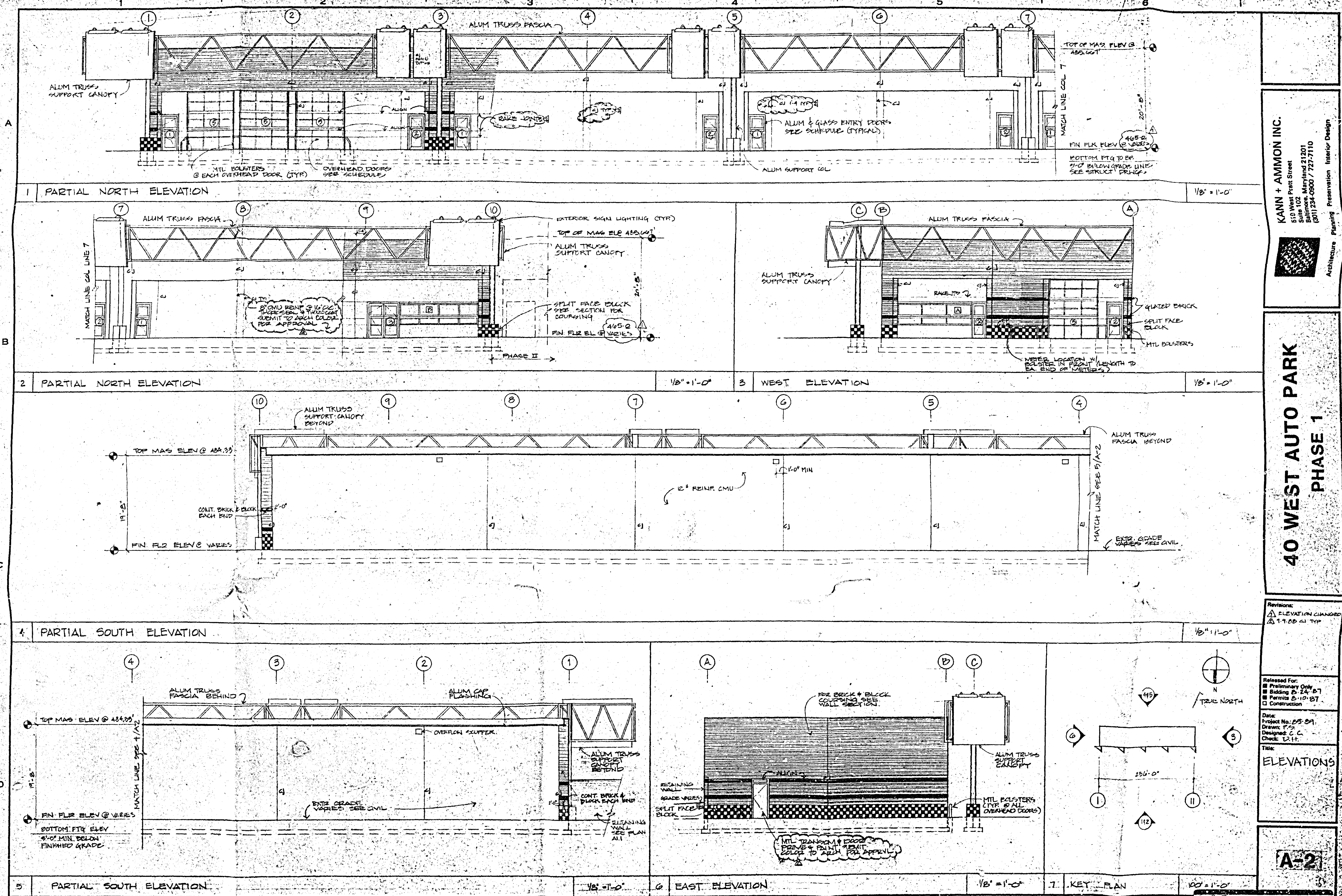
REN/ab

RECEIVED
OCT 3 1989

ZONING OFFICE

RECEIVED OCT 3 1989

PLASTIC DISPLAYS • INTERIOR ILLUMINATION • REPAIR SERVICE • MAINTENANCE • OUTDOOR LIGHTING
ELECTRIC SIGN MANUFACTURERS SINCE 1927



KANN + AMMON INC.
 510 West Pratt Street
 Suite 102
 Baltimore, Maryland 21201
 (301) 234-0900 / 727-7110
 Architecture Planning Preservation Interior Design

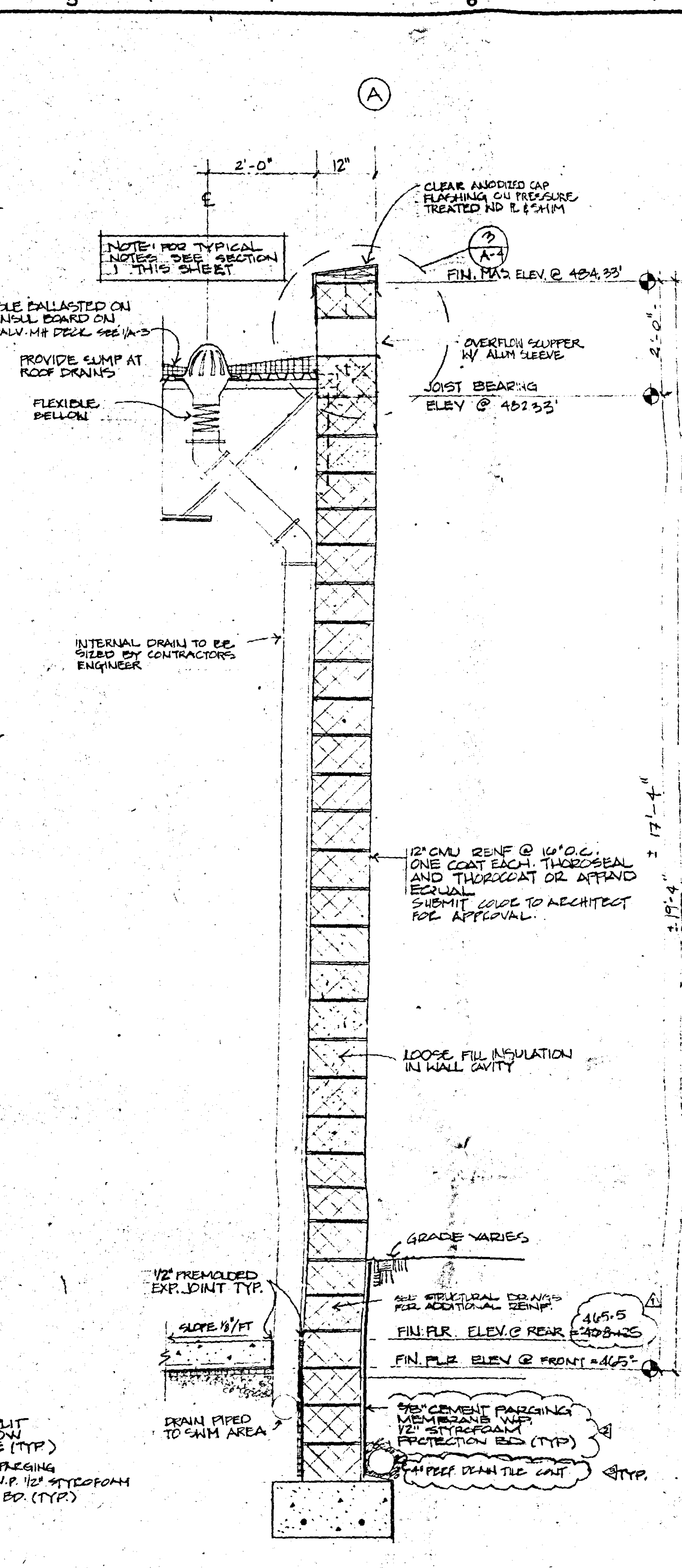
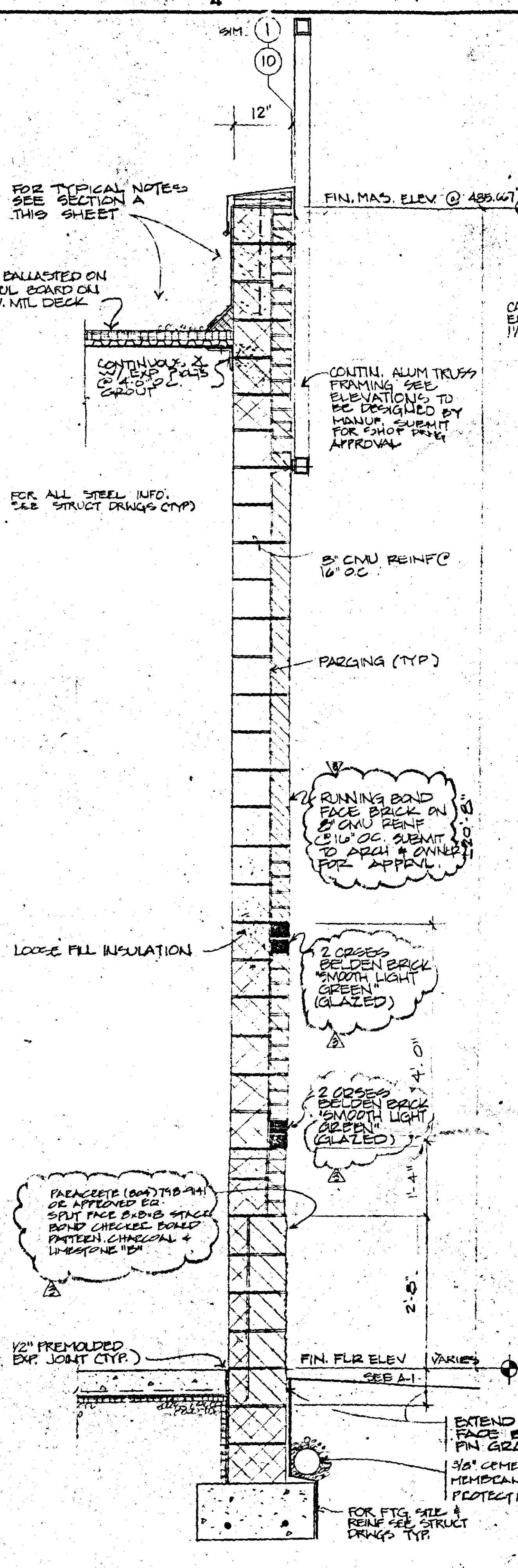
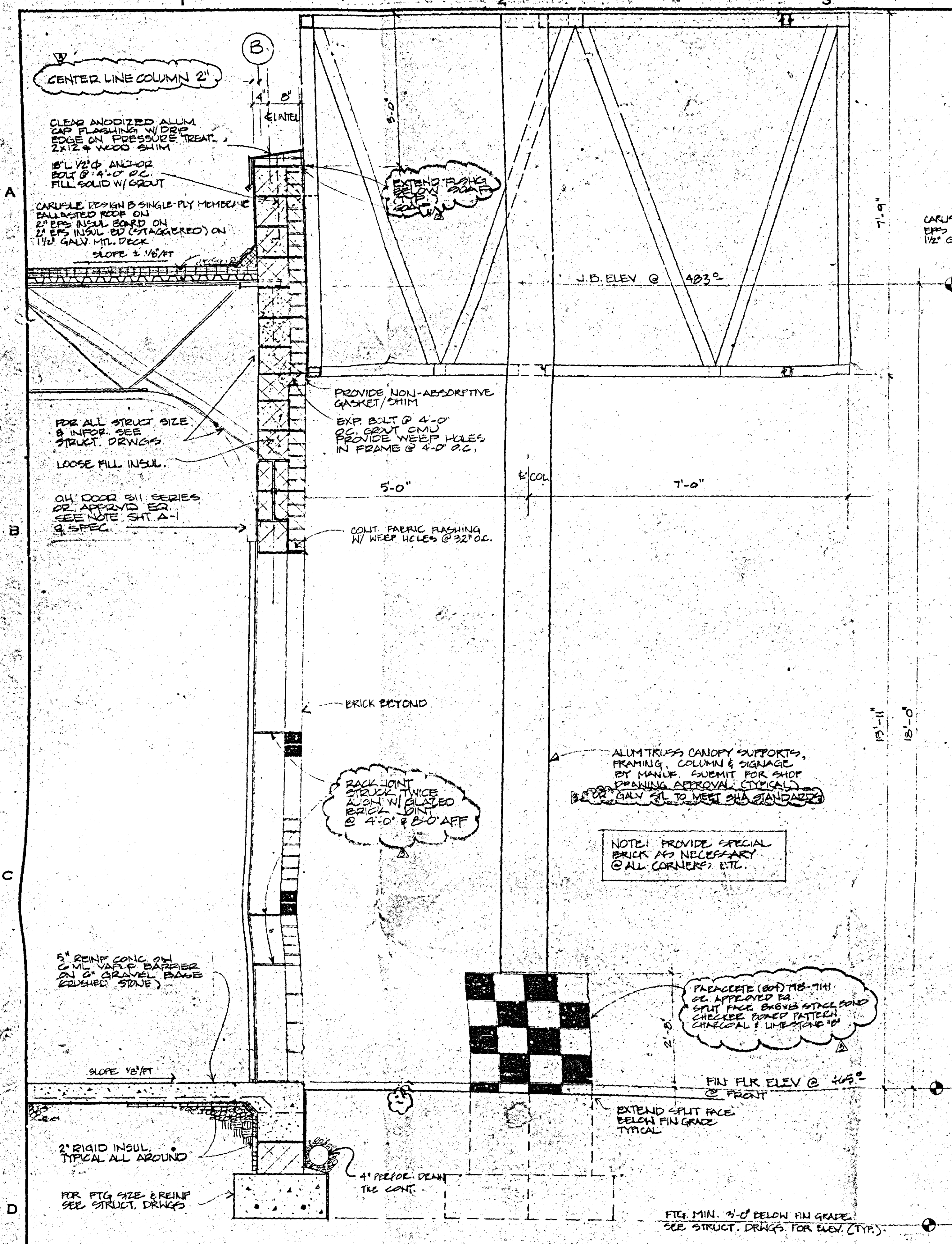
**40 WEST AUTO PARK
 PHASE 1**

Revisions:
 A ELEVATION CHANGED
 B 1.9.05 C1 TYP

Released For:
 Preliminary Only
 Bidding 2.24.07
 Permit 2.10.07
 Construction

Date:
 Project No. 05-01
 Drawing No. 2.24-07
 Designed: C.C.
 Check: D.H.

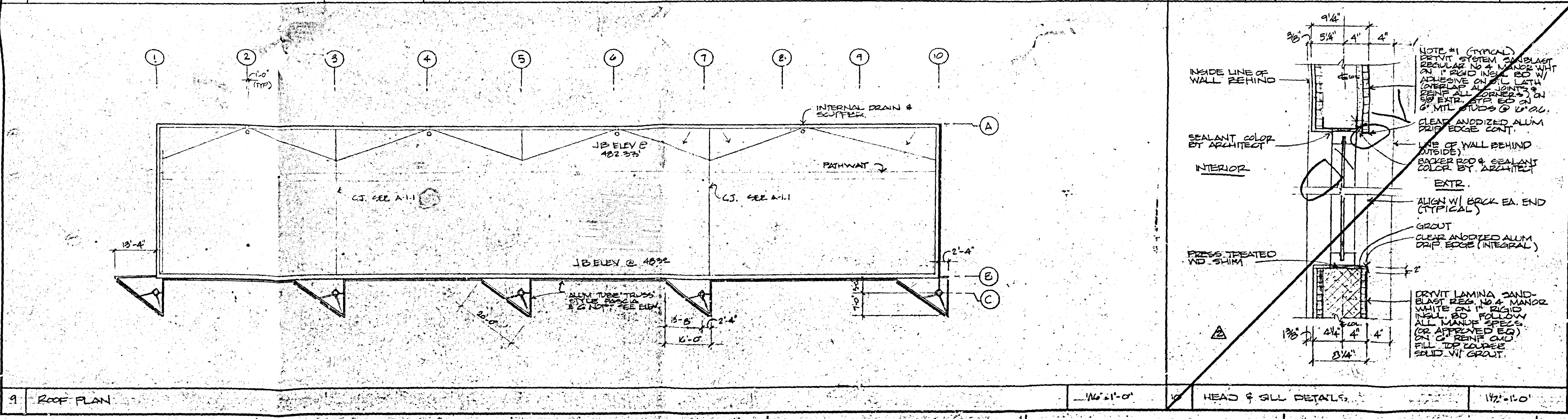
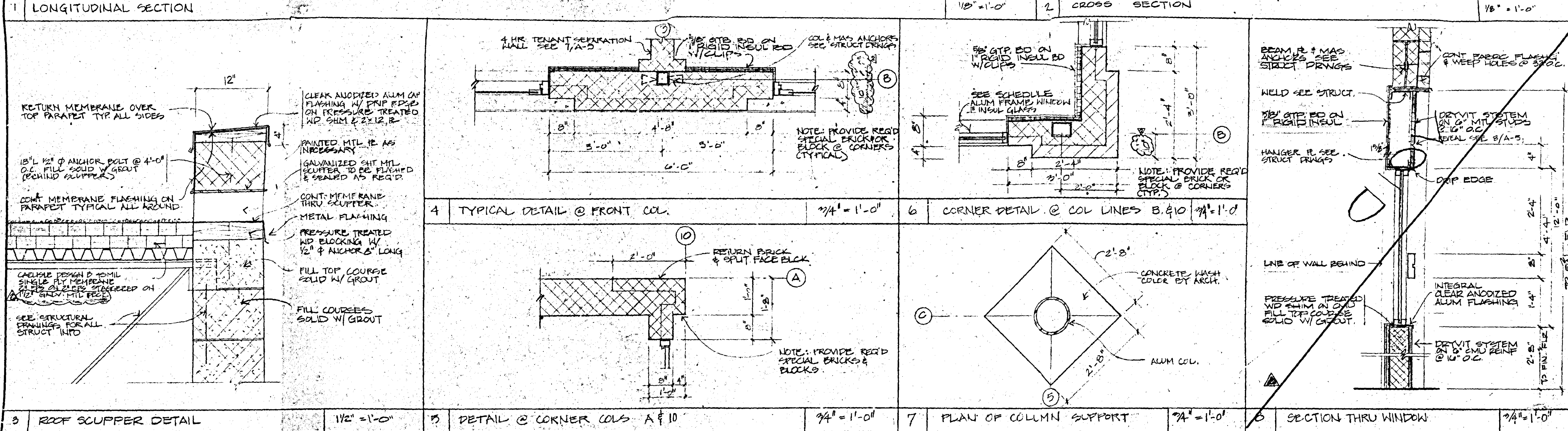
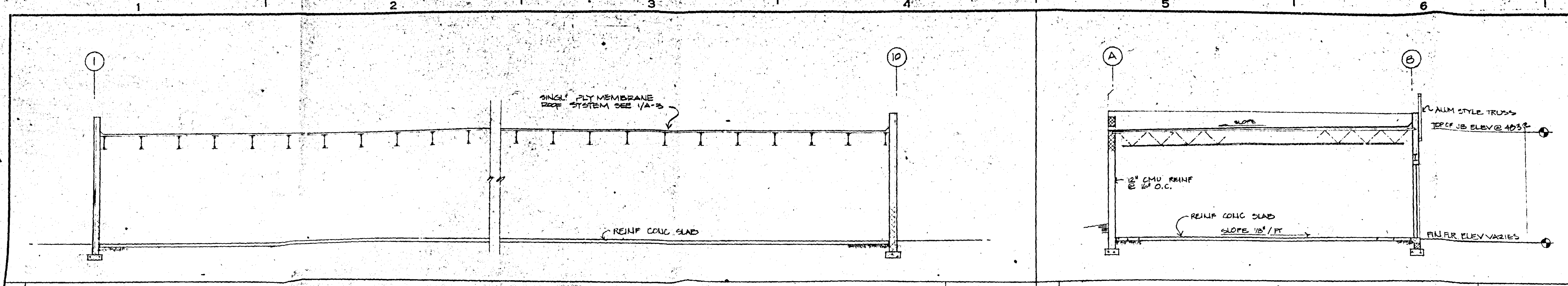
Title:
ELEVATIONS



KANN + AMMON INC.
519 West Pratt Street
Suite 102
Baltimore, Maryland 21201
(301) 234-0900 / 727-7110
Architecture Planning Preservation Interior Design

40 WEST AUTO PARK PHASE 1

Revisions:
 A ELEVATION CHANGED
 B 11-10-01 W.P.
 C 1-1-02 DEAN TILLY BECKS
 Released For:
 Bidding 2-24-07
 Permits 4-10-07
 Construction
 Date:
 Project No.: 20-08
 Drawn: P.S.
 Designed: C.C.
 Check: D.H.
 Title:
 WALL SECTIONS



KANN + AMMON INC.
 519 West Pratt Street
 Suite 102
 Baltimore, Maryland 21201
 (301) 234-0900 / 727-7110

Architecture Planning Preservation Interior Design

40 WEST AUTO PARK
PHASE 1

Revisions:
 1 7-7-88 CMU

Released For:
 Preliminary Only
 Bidding 2-24-87
 Permits 3-10-87
 Construction

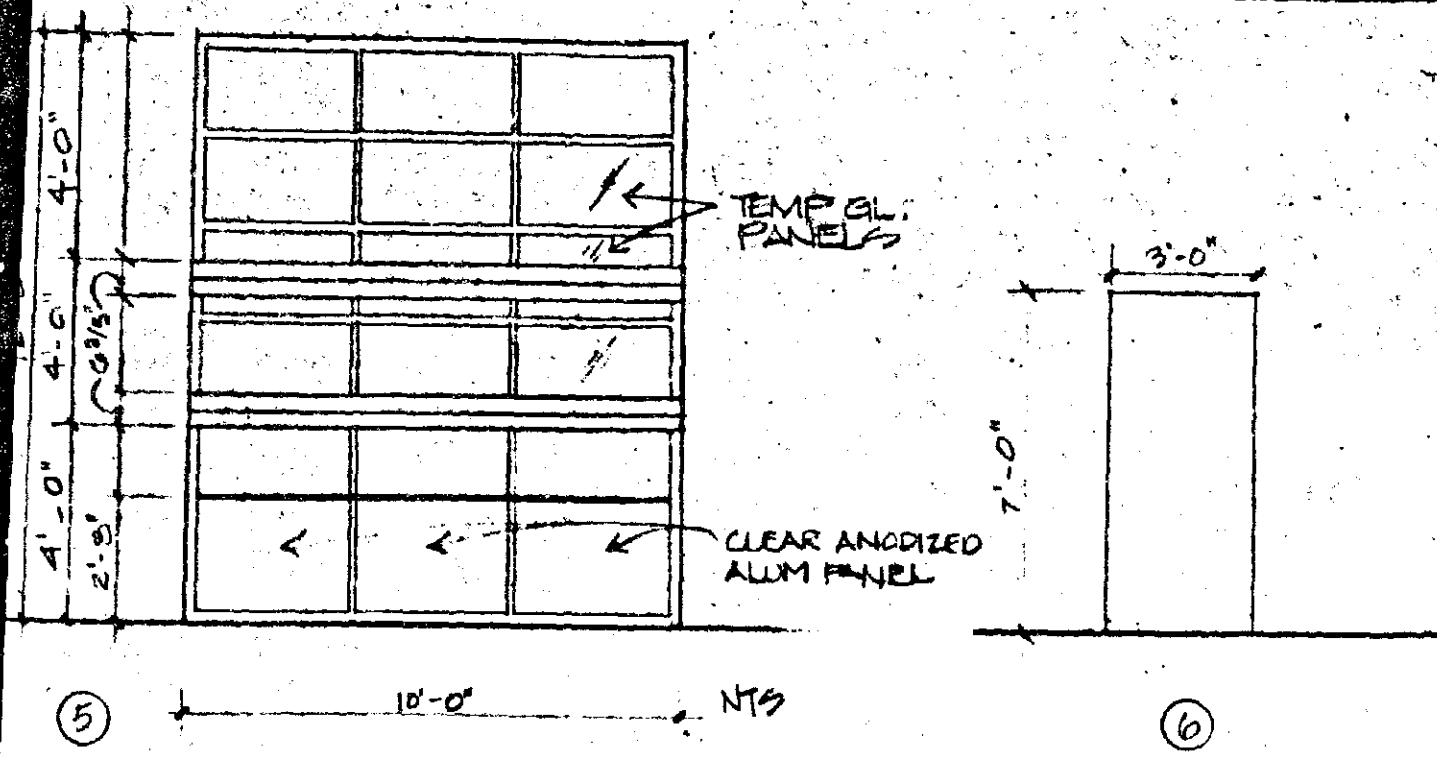
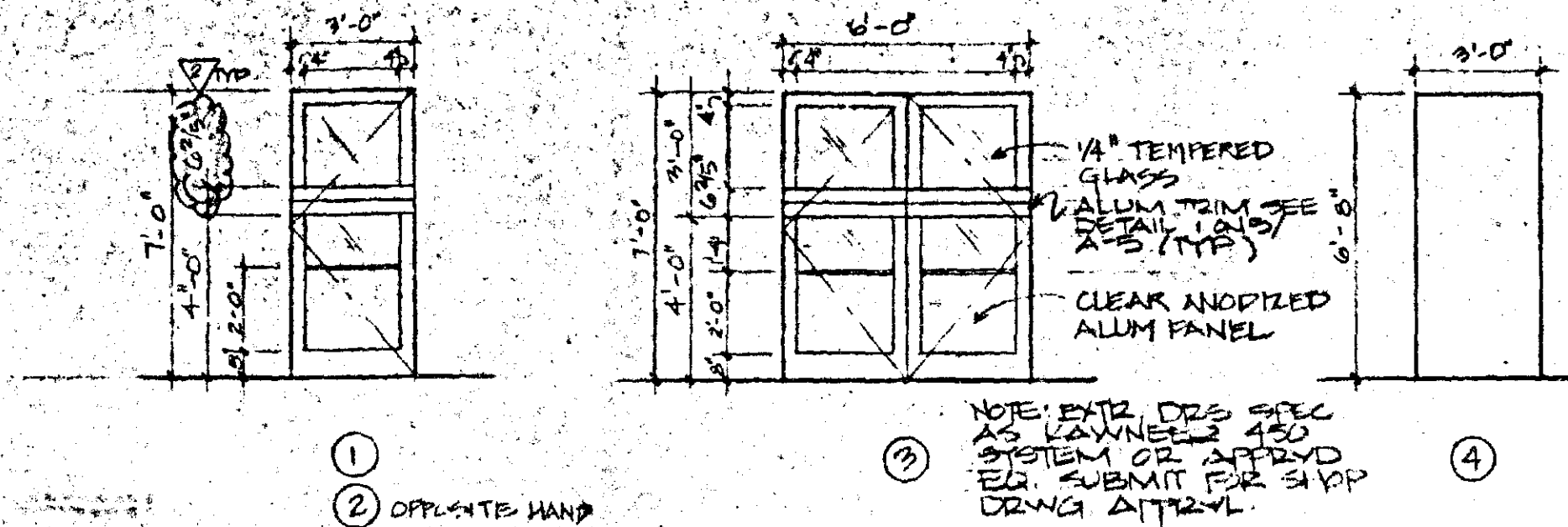
Date:
 Project No.: 85-54
 Drawn: P.S.
 Designed: C.C.
 Check: D.H.

Title:
 ROOF PLAN, CROSS AND LONG SECTION & DETAILS

A-4

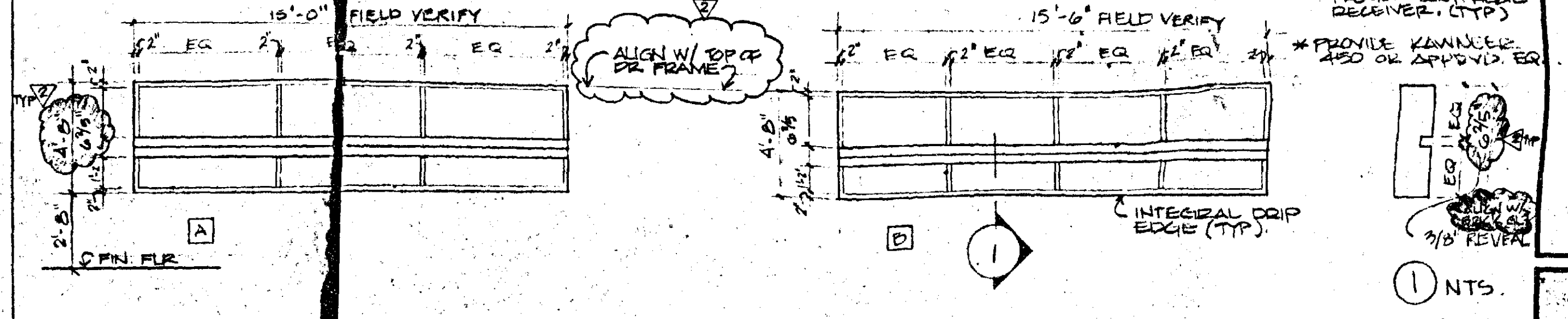
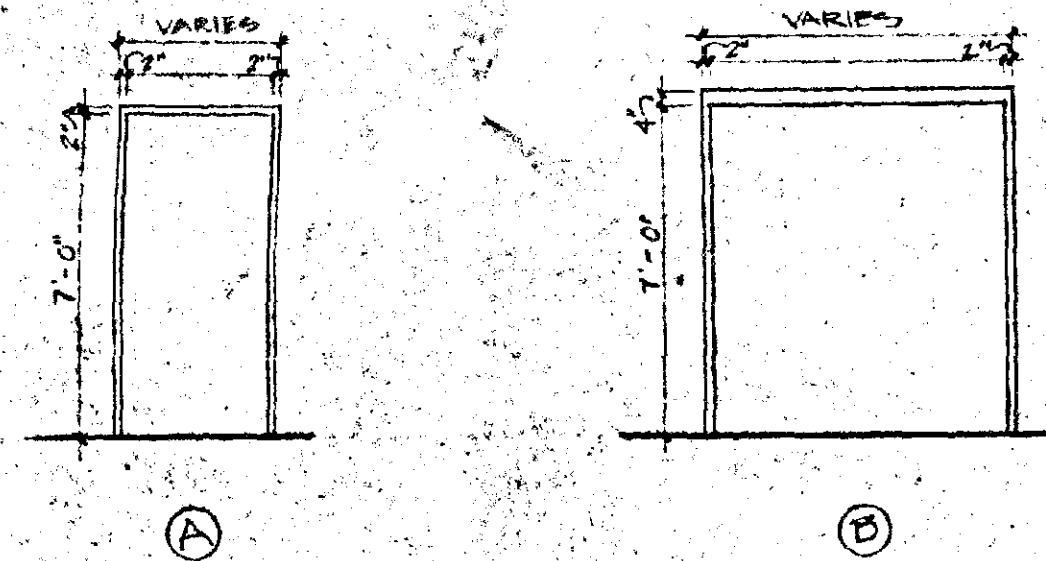
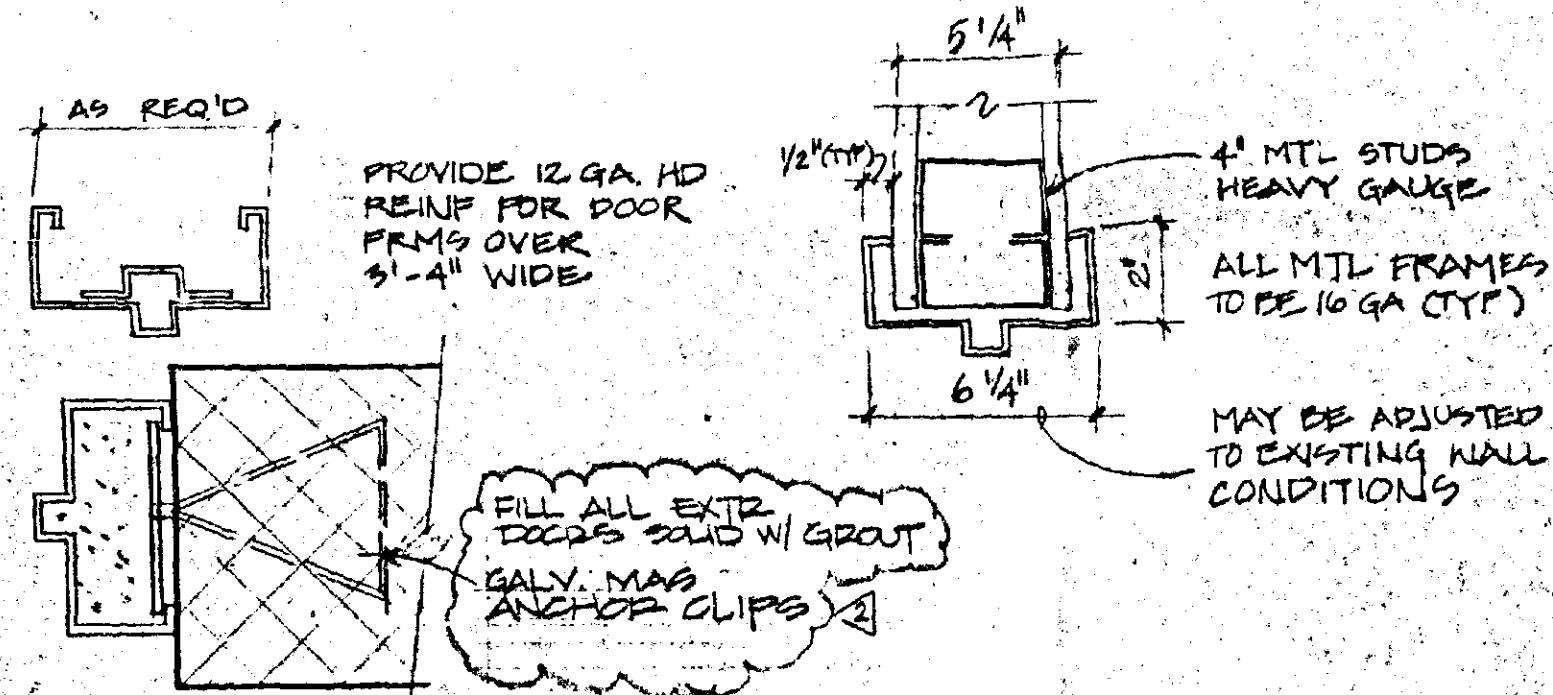
DOOR SCHEDULE									
NO.	TYPE	SIZE	MAT	FINISH	HRDWR	FRAME	TYPE	MAT	REMARKS
1		3'-0" x 7'-0"	ALUM./GLASS		CLOSURE	B	ALUM.		
2		3'-0" x 7'-0"	ALUM./GLASS		CLOSURE	B	ALUM.		
3		3'-0" x 7'-0"	ALUM./GLASS		CLOSURE	B	ALUM.		
4		3'-0" x 6'-0"	ALUM./GLASS		CLOSURE	A	MTL		N.I.C.
5		10'-0" x 2'-0"	ALL GLASS			ALUM.			PERMIT SUBMIT
6		3'-0" x 7'-0"	MTL			B	MTL		10' MTL TRANSOM TO 8'-0" CEILING

NOTE: HARDWARE TO MEET ALL COUNTY CODE REQUIREMENTS PROVIDE ALL NECESSARY HRDWR (TYP)



NOTE BY SH. CORR COMPANY OR APPROV EQ INCLUDE IN PD 3 SH. DOORS & COMPLETE PACKAGE

1. DOORS



2. JAMB AND HEAD DETAIL

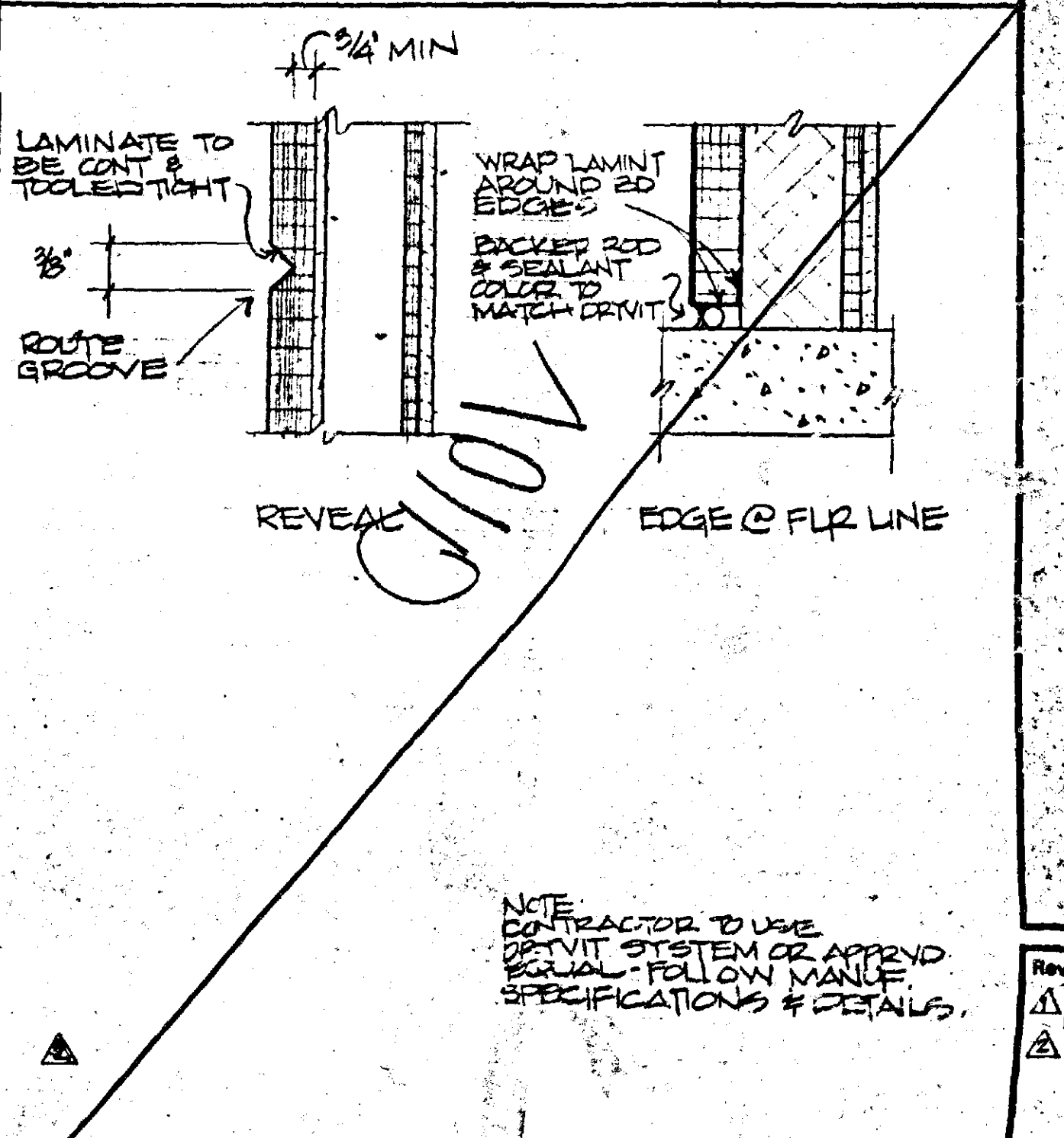
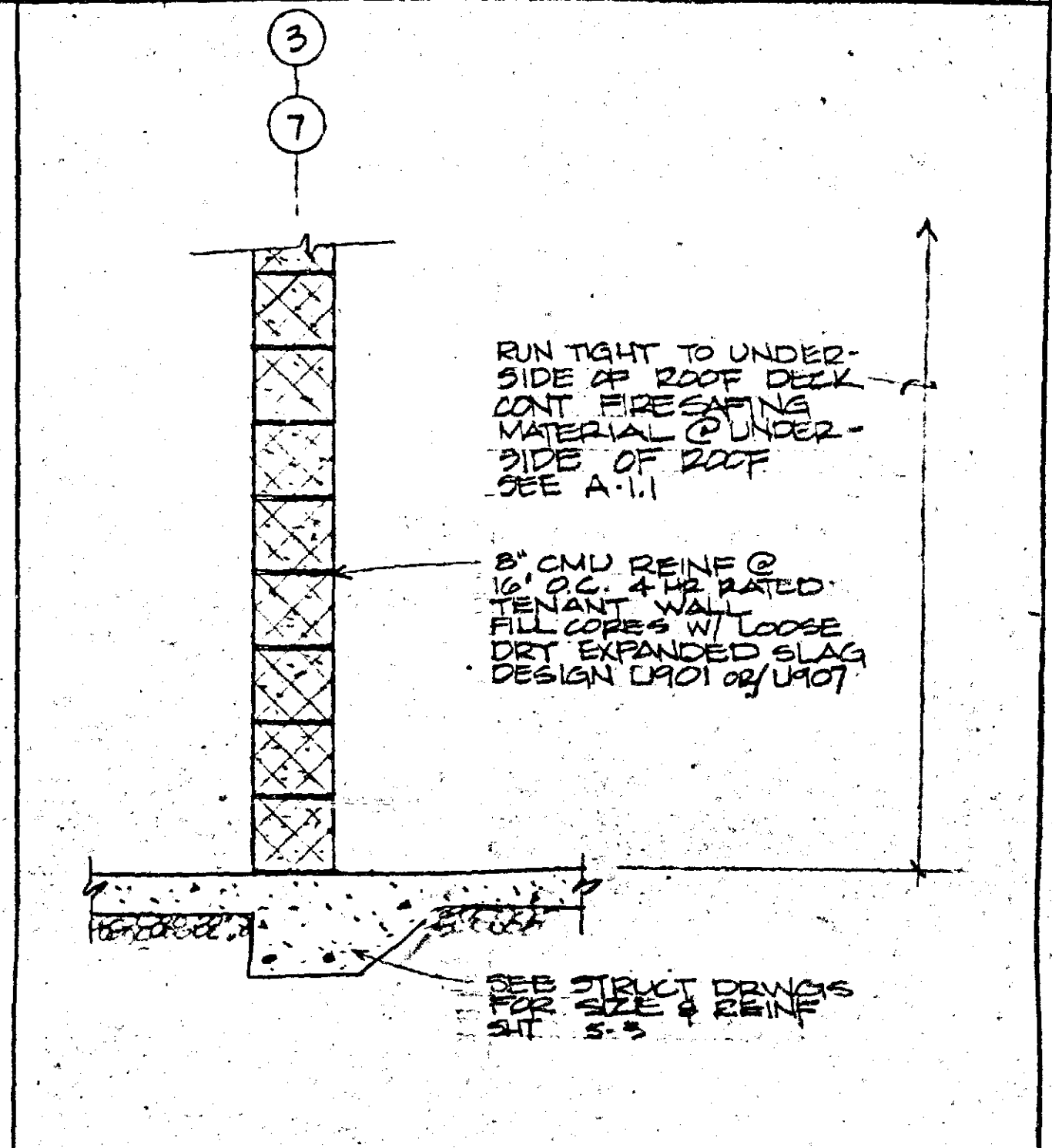
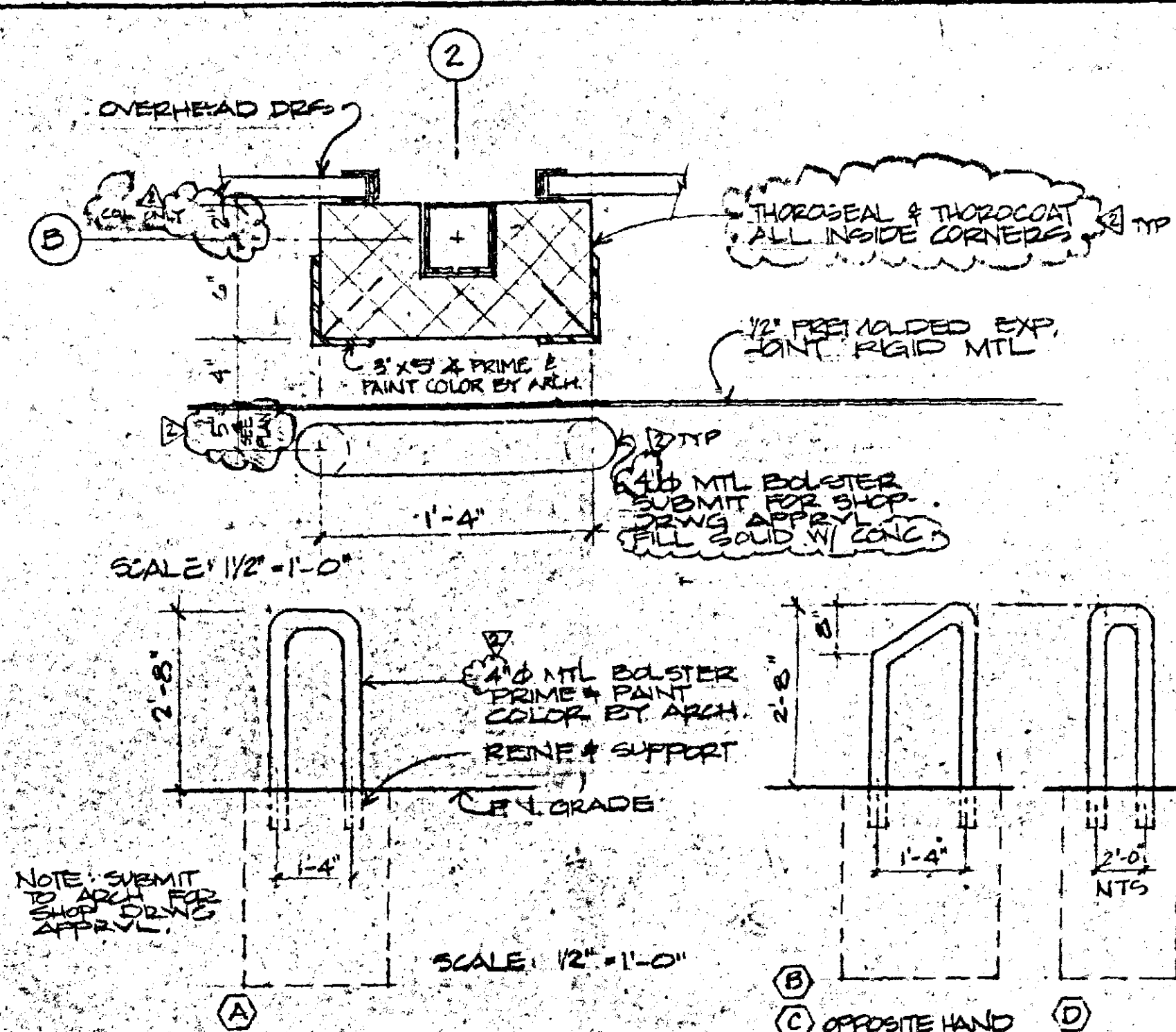
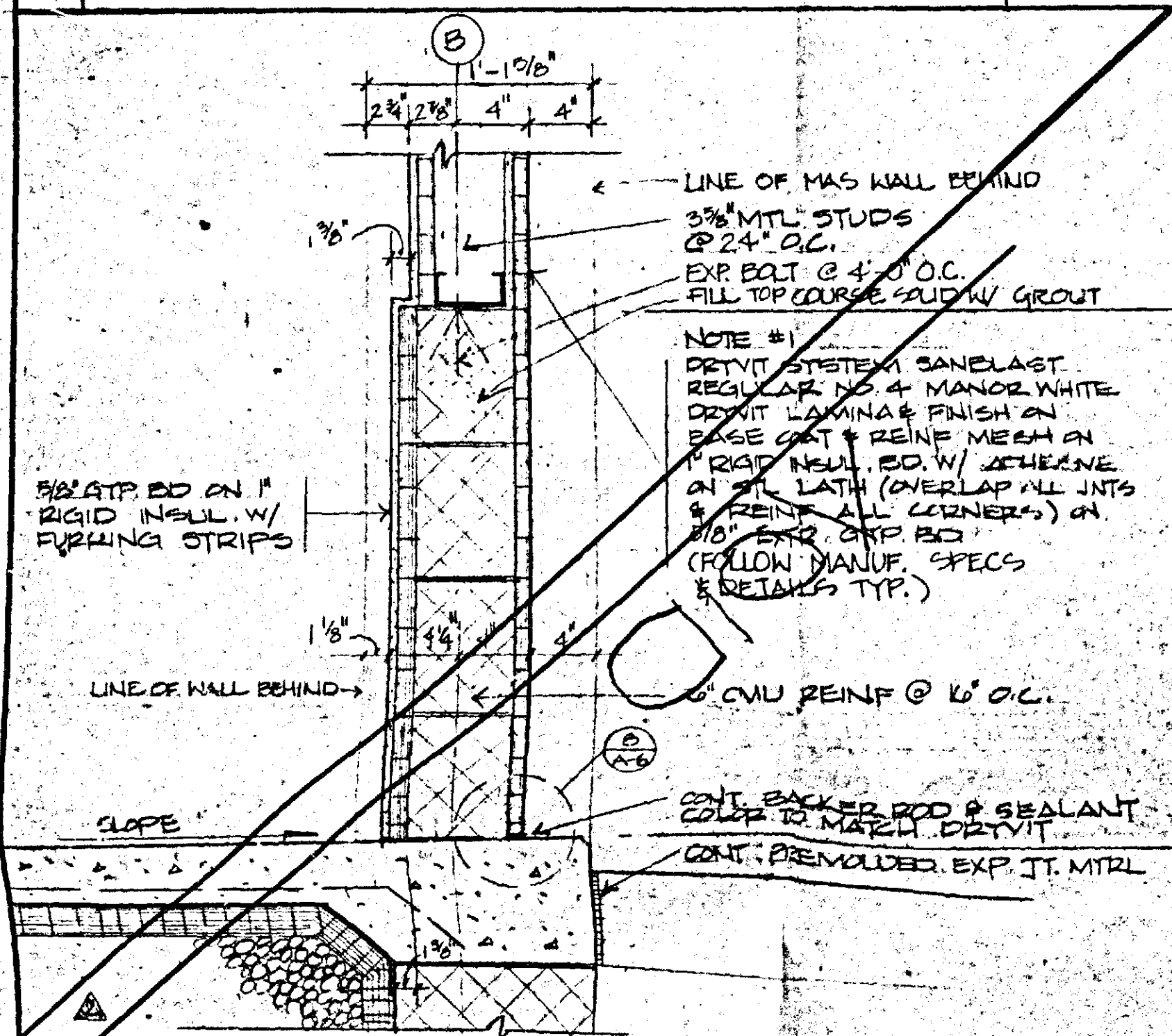
NTS

3. FRAMES

1/4" = 1'-0"

4. WINDOW ELEVATIONS

1/4" = 1'-0"



5. PARTIAL WALL SECTION

1/2" = 1'-0"

6. COLUMN DETAIL & BOLSTER ELEVATIONS

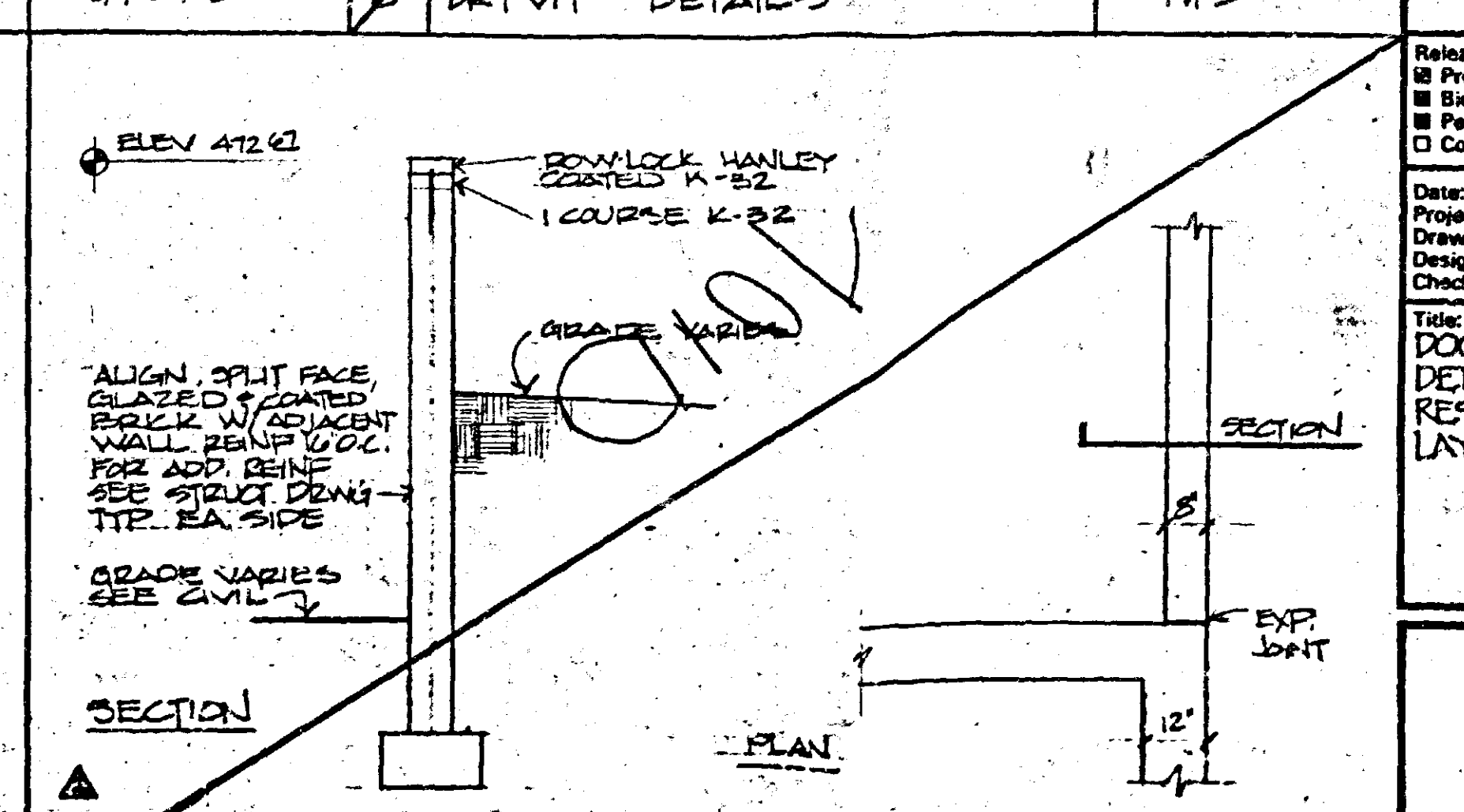
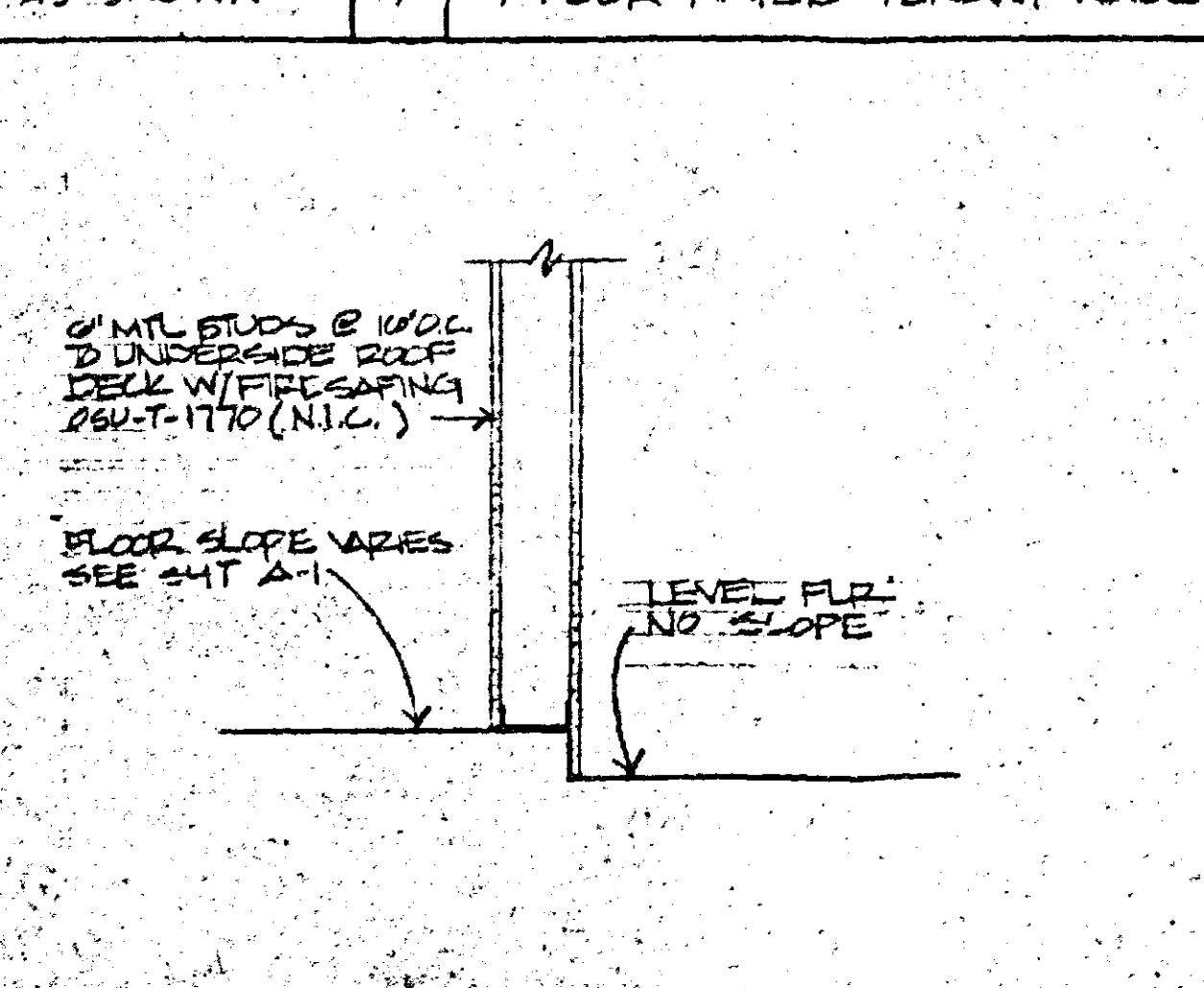
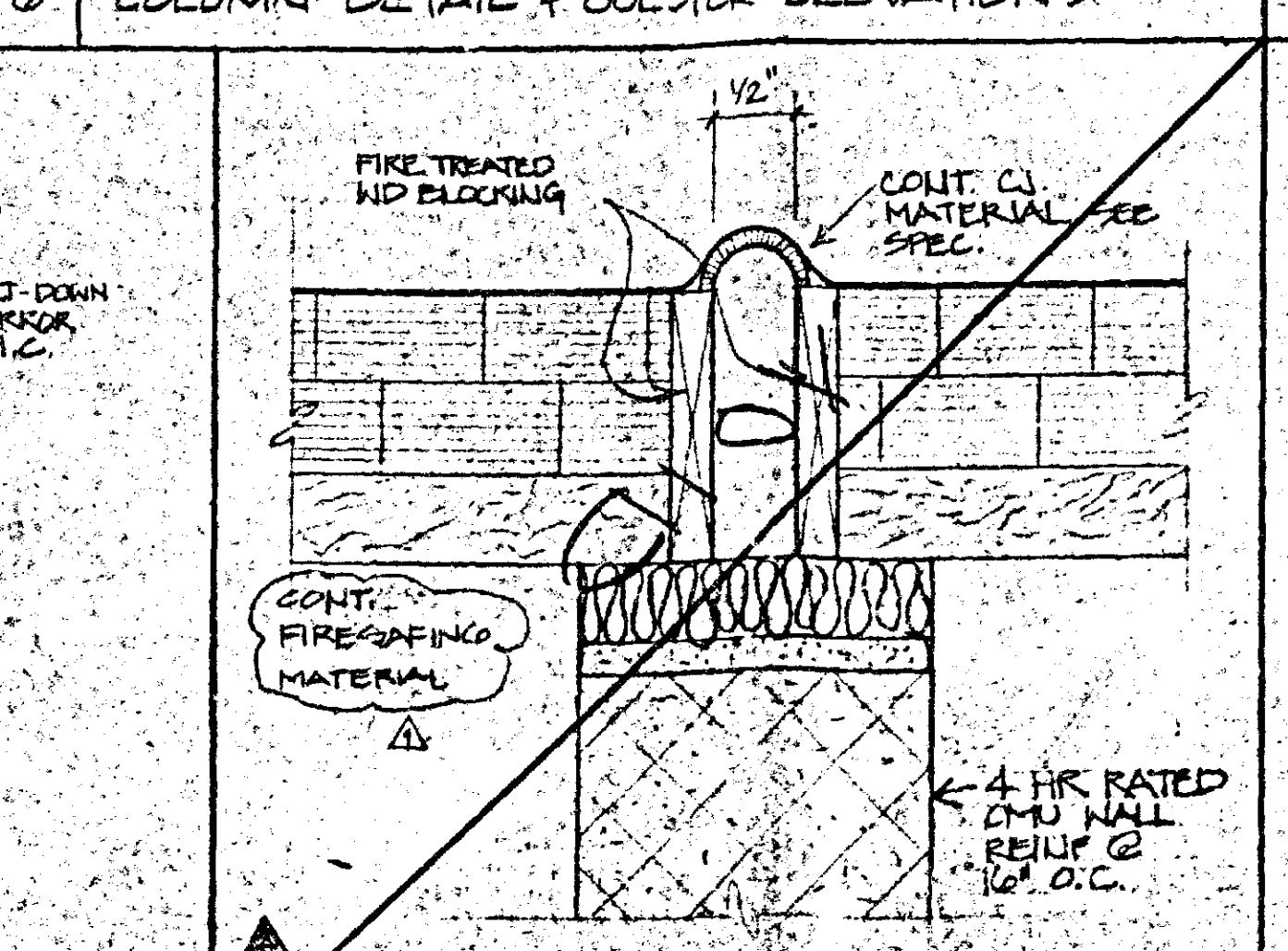
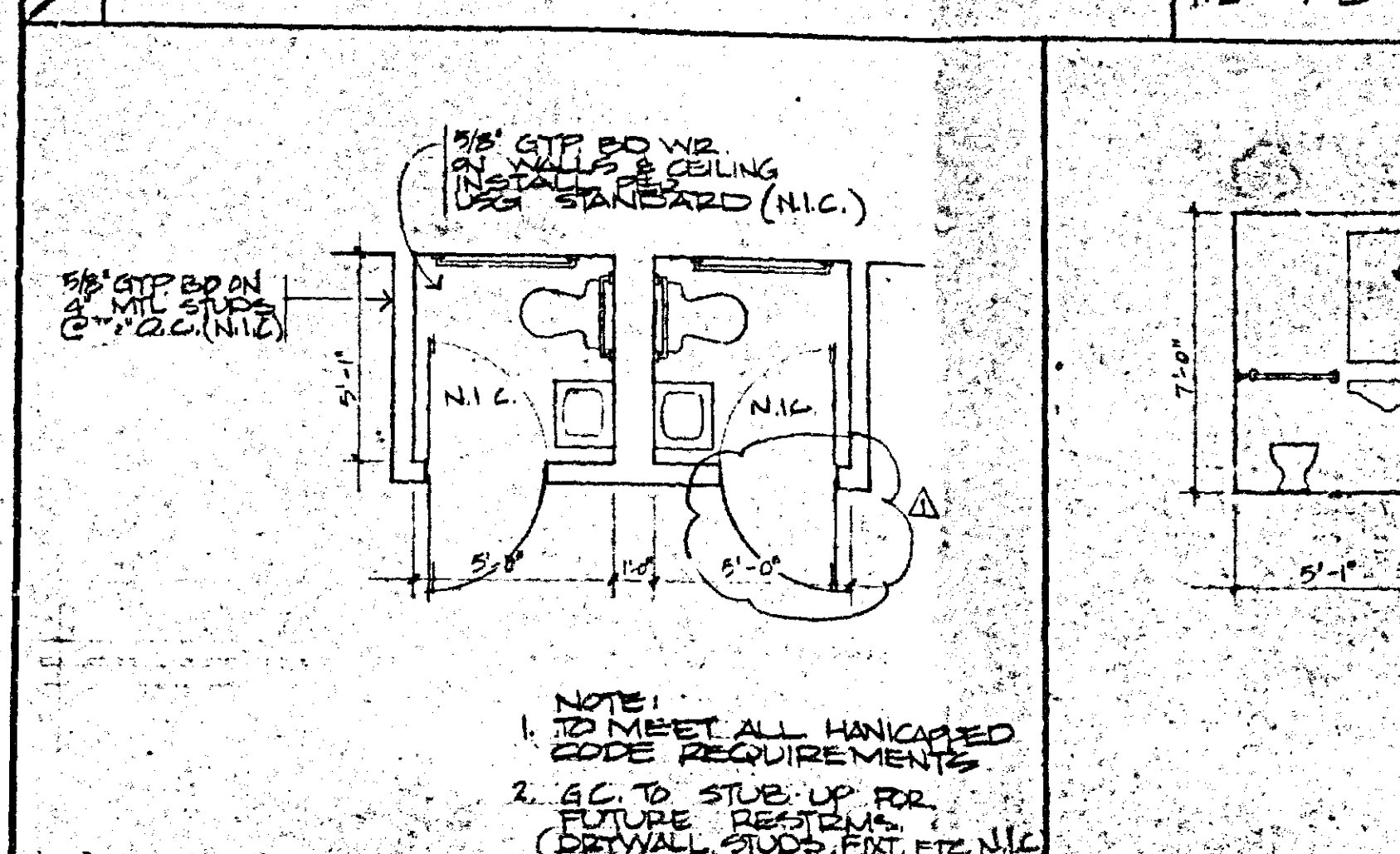
AS SHOWN

7. 4 HOUR RATED TENANT WALL

3/4" = 1'-0"

8. DRYVIT DETAILS

NTS



9. RESTROOM PLAN

1/4" = 1'-0"

10. ELEVATION

1/4" = 1'-0"

11. C.J.G. ROOF

NTS

12. SECTION @ FLOOR

NTS

13. RETAINING WALL @ DUMPSTER

3/8" = 1'-0"

KANN + AMMON INC.
519 West Pratt Street
Suite 102
Baltimore, Maryland 21201
(301) 234-0900 / 727-7110
Architecture Planning Preservation Interior Design

40 WEST AUTO PARK
PHASE 1

Revisions:
1. FIREWORKS & DOOR SCHEDULE
2. 9/19/2010 N.D. 9/19/10

Released For:
Preliminary Only
Bidding 9/20/07
Permits 9/20/07
Construction
Date:
Project No. 05-07
Drawn: E.T.
Designed: C.C.
Checked: D.H.

Title:
DOOR SCHEDULE
DETAILS &
RESTROOM
LAYOUT

A-5

40 WEST AUTO PARK

ARCHITECT

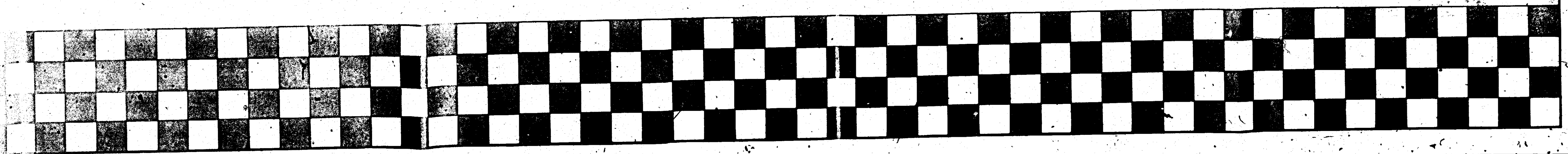
KANN & AMMON INC. 519 WEST PRATT STREET SUITE 102 BALTIMORE, MD 21201 301 234-0900

STRUCTURAL ENGINEER

CARROLL ENGINEERING 201 PADONIA RD ROAD WEST TIMONIUM, MD 21093 301 252-6211

CIVIL ENGINEER

STV LYONS ASSOCIATES 21 GOVERNORS COURT BALTIMORE, MD 21207 301 944-9112



ABBREVIATIONS

A.S.	ANCHOR BOLT	MTRL.	MATERIAL
ACT.	ACROUSTICAL	PL.	PLASTER
ADJ.	ADJACENT	PSF.	POUNDS PER SQ. FT.
ALT.	ALTERNATE	PSI.	POUNDS PER SQ. IN.
ALUM.	ALUMINUM	PTD.	PAINTED
ANCH.	ANCHOR	Q.T.	QUARRY TILE
ARCH.	ARCHITECTURAL	RAIL.	RAILING
A.T.	ACROUSTICAL TILE	R.D.	ROOF DRAIN
APPROV.	APPROVED	R.B.	REINFORCING BARS
BAL.	BALANCE	R.E.	REINFORCEMENT
BD.	BOARD	R.L.	RAIN LEADER
BLDG.	BUILDING	R.M.	ROOM
BRG.	BEARING	R.S.	REDUCING STRIP
BRK.	BRICK	R/V	RIGHT OF WAY
B.U.	BUILT-UP	SIM.	SIMILAR
CEIL.	CEILING	S.C.	SOLID CORE
C.H.	CEILING HEIGHT	SEC.	SECTION
C.J.	CONTROL JOINT	SH/SHT.	SHEET
CL.	CLEAR	S.F.	SMOOTH FINISH
CMU	CONCRETE MASONRY	S.P.	SPECIFICATIONS
COL.	COLUMN	S.S.	STAINLESS STEEL
CONC.	CONCRETE	STL.	STEEL
CONST.	CONSTRUCTION	STOR.	STORAGE
CONT.	CONTINUOUS	STRUC.	STRUCTURAL
CR.	COUNTERSUNK	SWM	STORM WATER MANAGEMENT
CRS.	COURSES	T	TREAD
DET.	DETAIL	T.O.	TOILET
DIA.	DIAMETER	TYP.	TYPICAL
DM.	DOWN	U.C.	UNDER CUT
D.P.	DAMPPOOFING	USG	US GYPSUM
D.S.	DOWNSPOUT	V.A.T.	VINYL ASBESTOS TILE
D.T.	DRAIN TILE	V.B.	VINYL COMPOSITION TILE
DRWG.	DRAWING	V.C.T.	VERTICAL
E.A.	EACH	W.	WITH
E.E.	EACH END	WD.	WOOD
E.F.	EACH FACE	W.P.	WATER PROOFING
EQ.	EQUAL	W.R.	WATER RESISTANT
EQUIPM'T	EQUIPMENT	W.W.F.	WELDED WIRE FABRIC
EXIST.	EXISTING		
EXP.	EXPANSION		
EXP. JT./E.J.	EXPANSION JOINT		
EXT./EXTR.	EXTERIOR		
F.D.	FLOOR DRAIN		
F.F./FIN.FLR.	FINISHED FLOOR		
FIN.	FINISHED		
FT.	FOOTING		
FTG.	FOOTING		
GA.	GAUGE		
GALV.	GALVANIZED		
GYP.BD.	GYPSUM BOARD		
H.C.	HOLLOW CORE		
HDCP.	HANDICAPPED		
HGT./HT.	HEIGHT		
HORIZ.	HORIZONTAL		
H.P. (HP)	HIGH POINT		
I.F.	INSIDE FACE		
INSUL.	INSULATION		
INT.	INTERIOR		
J.B.	JOIST BEARING		
JT.	JOINT		
JUNCT.	JUNCTION		
LAV.	LAVATORY		
LIN.	LINEAR		
L.P. (LP)	LOW POINT		
MACH.	MACHINE		
MANUF.	MANUFACTURER		
MAS.	MASONRY		
MAX.	MAXIMUM		
M.C.	MINERAL CORE		
M & E	MECHANICAL & ELECTRICAL		
MECK.	MECHANICAL		
ML/MIL	MILLIMETER		
MIN.	MINIMUM		
MISC.	MISCELLANEOUS		
MTRL.	MATERIAL		
N	NORTH		
N.F.	NEAR FACE		
N.I.C.	NOT IN CONTRACT		
N.T.S.	NOT TO SCALE		
NO.	NUMBER		
NOM.	NOMINAL		
O.C.	ON CENTER		
O.D.	OUTSIDE DIAMETER		
O.P.	OUTSIDE FACE		
OPNG	OPENING		

REFERENCE SYMBOLS

DOOR SYMBOL	DOOR NUMBER	ELEVATION SYMBOL	NUMBER SHEET NO.
WINDOW SYMBOL	TYPE	CONSTRUCTION DETAIL	NUMBER SHEET NO.
BUILDING & DETAIL SECTION SYMBOL	NUMBER SHEET NO.	COLUMN LINE	NUMBER OR LETTER

GENERAL NOTES

The General Conditions and Supplementary General Conditions and Division 1, General Requirements are hereby made a part of these construction documents as fully as if repeated herein.

- THE DESIGN AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH B.O.C.A. CODE, 1984 EDITION. DOCUMENTS ARE HEREBY MADE A PART OF THE CONTRACT DOCUMENTS.
- THE GENERAL CONTRACTOR SHALL MAKE ARRANGEMENTS AND PAY FOR ALL TEMPORARY PHONE, ELECTRICAL, GAS OR OIL, AND WATER SERVICE TO THE DATE OF SUBSTANTIAL COMPLETION.
- CONTRACTOR SHALL GUARANTEE ALL LABOR AND MATERIALS FOR A PERIOD OF ONE (1) YEAR FROM DATE OF FINAL OCCUPANCY CERTIFICATE. FULL RELEASE OF LIENS IS REQUIRED. CONTRACTOR SHALL PROVIDE ALL GUARANTEES AND WARRANTIES TO OWNER BEFORE FINAL PAYMENT.
- CONTRACTOR SHALL SUBMIT SAMPLES AND SHOP DRAWINGS FOR ARCHITECT'S APPROVAL FOR ALL WORK, PRODUCTS OR MATERIALS. WORK PERFORMED WITHOUT APPROVAL OF THE ARCHITECT SHALL BE LIABILITY FOR THE CONTRACTOR.
- CONTRACTOR SHALL PATCH OR REPAIR LIKE NEW AT THE ARCHITECT'S DISCRETION ANY WORK DAMAGED OR DISTURBED AS A RESULT OF WORK SHOWN ON THE CONTRACT DOCUMENTS.
- CONTRACTOR SHALL COORDINATE ALL WORK, ALL TRADES, AND SHALL VERIFY ALL DIMENSIONS, METHODS OF CONSTRUCTION, EXISTING CONDITIONS AND PROPOSED NEW CONSTRUCTION PRIOR TO COMMENCING ANY WORK, MATERIAL ORDERING OR FABRICATION. ALL WORK SHALL BE FIRST CLASS.
- CONTRACTOR SHALL NOT SCALE DRAWINGS AT ANY TIME. IF ADDITIONAL DIMENSIONS ARE REQUIRED BY CONTRACTORS, HE SHALL NOTIFY ARCHITECT.
- CONTRACTOR SHALL PROVIDE THE OWNER AND ARCHITECT A WORK SCHEDULE INDICATING LENGTH OF TIME FOR EACH TRADE AND A DATE OF COMPLETION (BAR CHART SATISFACTORY).
- CONTRACTOR WILL ERECT CONSTRUCTION SIGNAGE SUPPLIED BY ARCHITECT, ENGINEER AND/OR OWNER.
- CONTRACTOR SHALL BE RESPONSIBLE TO REMOVE ALL DEBRIS FROM AREA AND DISPOSAL SHALL BE IN ACCORDANCE WITH ALL LOCAL CODES. ALL FEES FOR DUMPING SHALL BE INCLUDED IN BASE BID.
- PROVIDE ALL NECESSARY WEATHERSTRIPPING, SEALANTS, HARDWARE, TRIM, AND MISCELLANEOUS ACCESSORIES TO COMPLETE JOB IN A FIRST CLASS WORKMANLIKE MANNER.
- CONTRACTOR SHALL OBTAIN ALL NECESSARY SUBCONTRACTOR'S PERMITS. CONTRACTOR SHALL FOLLOW IN STRICT ACCORDANCE WITH ALL REQUIREMENTS OF THE LAW AT THE PLACE OF CONSTRUCTION.
- CONTRACTOR SHALL CAREFULLY STUDY AND CON. ARE ALL DRAWINGS, SPECIFICATIONS AND OTHER INFORMATION GIVEN HIM BY THE ARCHITECT AS TO FIGURES AND METHODS OF CONSTRUCTION, USING THEREIN THE SKILL AND EXPERIENCE FOR WHICH HE RECEIVES COMPENSATION UNDER THIS CONTRACT, AND HE SHALL IMMEDIATELY REPORT TO THE ARCHITECT FOR RECTIFICATION ANY ERROR, INCONSISTENCY OR OMISSION THEREIN. FAILURE BY THE CONTRACTOR TO REPORT ANY EXCEPTIONS TO THE OWNER OR ARCHITECT BEFORE THE CONTRACTS ARE SIGNED WILL IMPLY A COMPLETE ACCEPTANCE OF THE DESIGN AND ALL CONDITIONS OF THE CONTRACT AND SITE.
- ALL SPRINKLER DRAWINGS, HEAD TYPES AND LOCATIONS AND SHOP DRAWINGS SHALL BE SUBMITTED TO ARCHITECT FOR APPROVAL BEFORE INSTALLATION.
- ALL PENETRATIONS THROUGH WALLS AND THROUGH FLOORS, ROOFS, ETC., WHICH ARE FIRE-RATED SHALL BE FIRE-STOPPED AND SEALED WITH FIRE-SAFING MATERIAL. FIRE-SAFING MATERIAL SHALL BE THERMO-FIBER BY UNITED STATES GYPSUM OR EQUAL.
- ALL FURRED GYPSUM DRYWALL EXTERIOR MASONRY WALLS SHALL BE U.S. GYPSUM OR APPROVED EQUAL.
- PROVIDE GALVANIZED DUN-O-WALL HORIZONTAL JOINT REINFORCING AT 16" O/C TYPICALLY IN ALL MASONRY WALLS UNLESS OTHERWISE NOTED OR SHOWN ON THE CONTRACT DRAWINGS.
- THE ROOF SHALL HAVE A 10 YEAR WARRANTY WITH A 20 YEAR GUARANTEE FOR MATERIALS, AS PER CARLISLE DESIGN "A" SYSTEM.
- ALL UTILITIES, IF ENCOUNTERED, SHALL BE REPAIRED, IF BROKEN, BY THE CONTRACTOR AT HIS ENTIRE COST AND EXPENSE. THEREFORE, EXTREME CAUTION SHOULD BE EXERCISED AS SHOWN ON THE CONTRACT DOCUMENTS.
- THE CONTRACTOR SHALL PROVIDE ALL MISCELLANEOUS STEEL FOR ALL FLOOR, WALL OR ROOF PENETRATIONS OR OPENINGS AND AT ALL OTHER LOCATIONS TO PROVIDE A COMPLETE PROJECT WHETHER INDICATED IN THE CONTRACT DOCUMENTS OR NOT.
- ALL OPENINGS, CONCRETE PADS, STEEL FRAMES, AND OTHER EQUIPMENT SUPPORTS AS INDICATED ON THE DRAWINGS SHALL BE VERIFIED BY CONTRACTOR. FINAL SIZES OF OPENINGS, PADS AND SUPPORTS SHALL BE OBTAINED FROM THE APPROVED SHOP DRAWINGS.

ARCHITECTURAL SYMBOLS

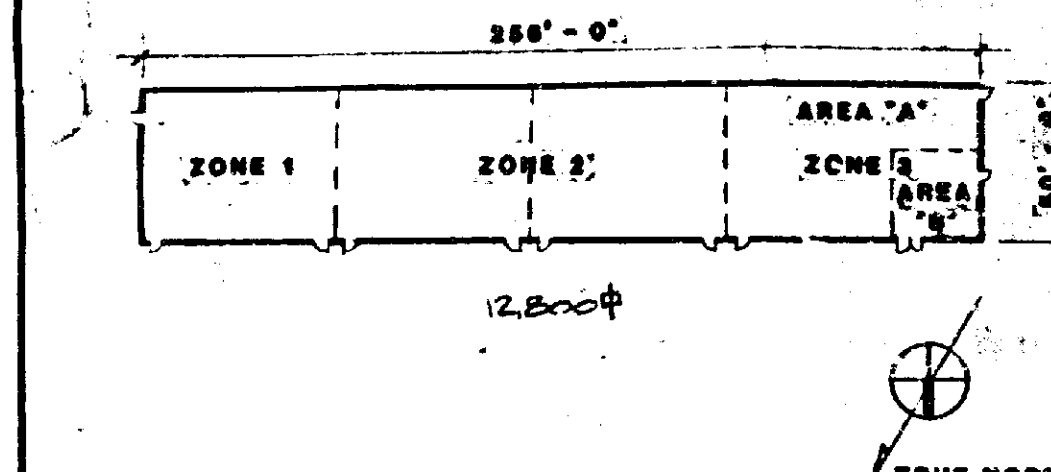
EARTH	GRAVEL/CRUSHED STONE	CONC.	PRECAST CONC.	BRICK	CONC. MAB. UNIT
GLAZED MAS. UNIT	STEEL small scale	STEEL large scale	SHEET METAL	WOOD finished	WOOD continuous blocking
PLYWOOD	GLASS	INSUL. rigid	INSUL. blanket		

LIST OF DRAWINGS

ARCHITECTURAL	CIVIL	STRUCTURAL
A-1 Floor Plan, Elevation, Wall Sections, Roof Plan, Cross and Long Section, & Details, Door Schedule, Details & Restroom Layout	C-1 Topo & Boundary Plan	S-1 Foundation Plan
A-2 Elevations	C-2 Site & Utility Plan	S-2 Roof Framing Plan
A-3 Wall Sections	C-3 Grading & Sediment Control Plan	S-3 Sections & Details
A-4 Roof Plan, Cross and Long Section, & Details	C-4 Sediment Control Notes & Details	S-4 General Notes
A-5 Door Schedule, Details & Restroom Layout	C-5 Misc. Site Details & Sanitary Sewer Profile	
	C-6 Landscaping Plan	
	C-7 Storm Water Management	

CODE REVIEW

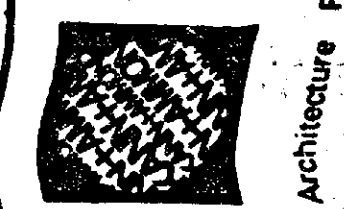
FIRE RESISTANT CLASSIFICATIONS		
CONSTRUCTION TYPE: 1. NON-COMBUSTIBLE, N-1	REQUIRED	PROVIDED
ITEM		
EXTERIOR WALLS	NO RATING	1 HOUR NON-COMBUSTIBLE
ROOF CONSTRUCTION	NO RATING	
ZONE 1: HIGH HAZARD, MODERATE HAZARD		
SUPPRESSION SYSTEM	SPRINKLERED	SPRINKLERED
SEPARATION WALL	4 HOUR RATED	4 HOUR RATED, U901 OR U907
MEANS OF EGRESS	1 UNIT FRONT 1 UNIT SIDE	3 UNITS FRONT 1-1/2 UNITS SIDE
ZONE 2: MERCANTILE, MODERATE HAZARD, STORAGE 1		
SUPPRESSION SYSTEM	NOT REQUIRED	NOT PROVIDED
TENANT WALL	1 HR DEMISING	1 HR DEMISING, GCS-1770
MEANS OF EGRESS	1 UNIT FRONT	3 UNITS LOCATED AT GREATEST DISTANCE
ZONE 3: MERCANTILE, BUSINESS, MODERATE HAZARD		
AREA A:		
SUPPRESSION SYSTEM	SPRINKLERED	SPRINKLERED
SEPARATION WALL	4 HOUR RATED	4 HOUR RATED, U901 OR U907
MEANS OF EGRESS	1 UNIT FRONT 1 UNIT SIDE	1-1/2 UNITS FRONT 1-1/2 UNITS SIDE
AREA B:		
SUPPRESSION SYSTEM	SPRINKLERED	SPRINKLERED
TENANT WALL	1 HR DEMISING	1 HR DEMISING, GCS-1770
MEANS OF EGRESS	1 UNIT FRONT 1 UNIT SIDE	1-1/2 UNITS FRONT 1-1/2 UNITS SIDE
TENANTS POSSIBLE BUT NOT LIMITED FOR AUTO PARK		
1. RETAIL AUTO PARTS (MERCANTILE)		
2. SPECIALIZED QUICK AUTOMOBILE REPAIR SUCH AS SPARK PLUGS, TUNE-UPS, ETC. (S-1)		
3. TIRE SALES AND INSTALLATION (HIGH HAZARD)		
4. CAR WASHING AND WAXING (MODERATE HAZARD)		
5. CARRY-OUT FOOD SERVICE (BUSINESS), LESS THAN 750 SQ. FT. BASED ON 302.1 OCCUPANT LOAD LESS THAN 50.		



LOCATION PLAN



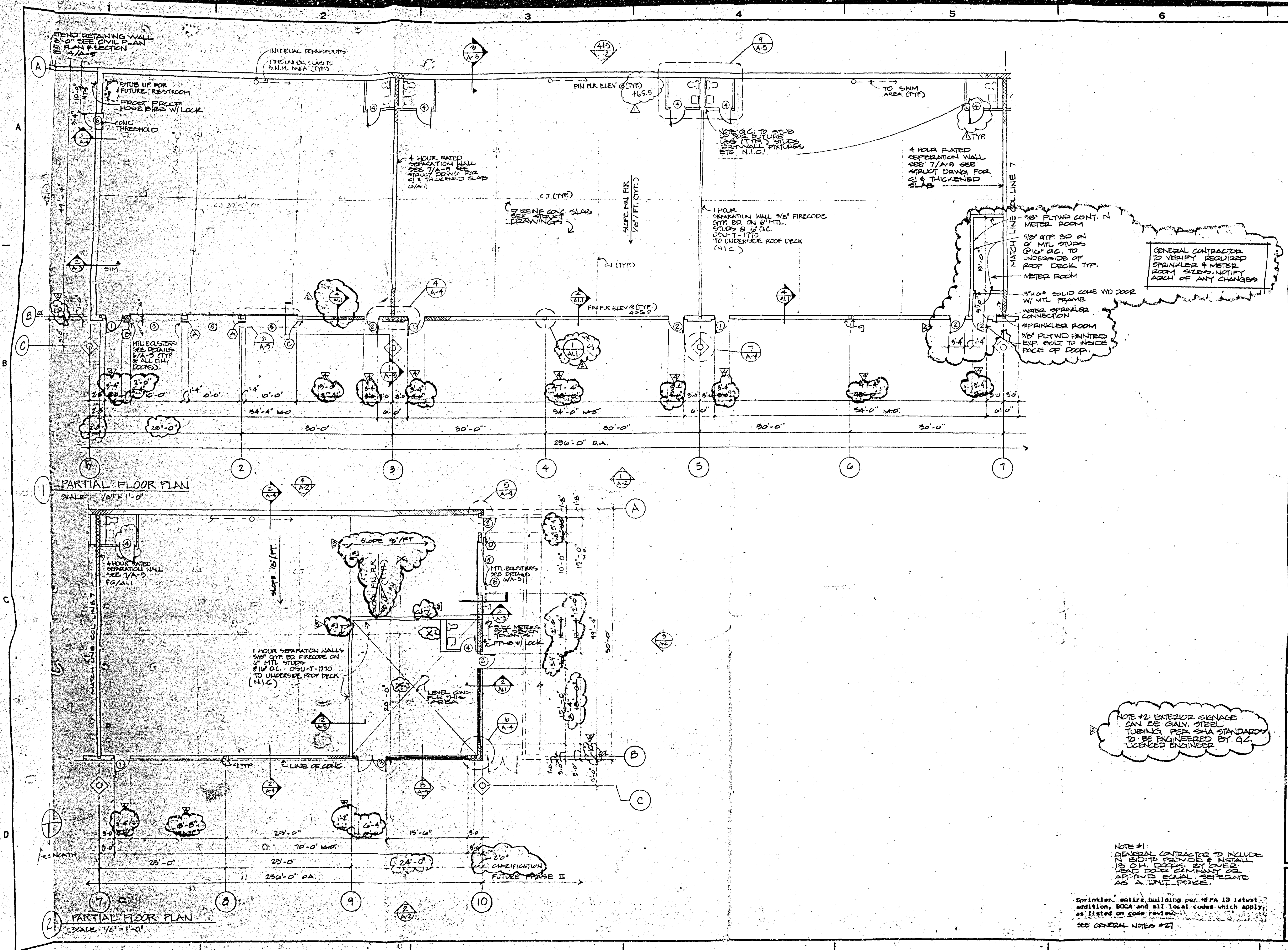
KANN + AMMON INC.
519 West Pratt Street
Suite 102
Baltimore, Maryland 21201
(301) 234-0900 / 727-7110
Architecture Planning Preservation Interior Design



40 WEST AUTO PARK
PHASE 1

Revisions:
Released For:
Preliminary Only
Bidding 2-24-87
Permits 5-10-87
Construction
Date:
Project No.: 87-01
Drawn:
Designed:
Checked:
Title:
COVER SHEET

CS



KANN + AMMON INC.
 519 West Pratt Street
 Suite 102
 Baltimore, Maryland 21201
 (301) 234-0900 / 727-7110
 Architecture Planning Preservation Interior Design

40 WEST AUTO PARK PHASE 1

Revisions:
 Δ DOOR SWINGS & ELEVATION CHANGED
 Δ 7-9-88 0' C.M.U.
 Δ 10-24-88 0' R.R. SLOPE
 Δ 11-14-88 SPRINKLER DIM.

Released For:
 ■ Preliminary Only
 ■ Bidding 2-24-87
 ■ Permits 2-10-87
 ■ Construction

Date: Project No. 85-89
 Drawn: P.T.
 Designed: C.C.
 Check: D.H.

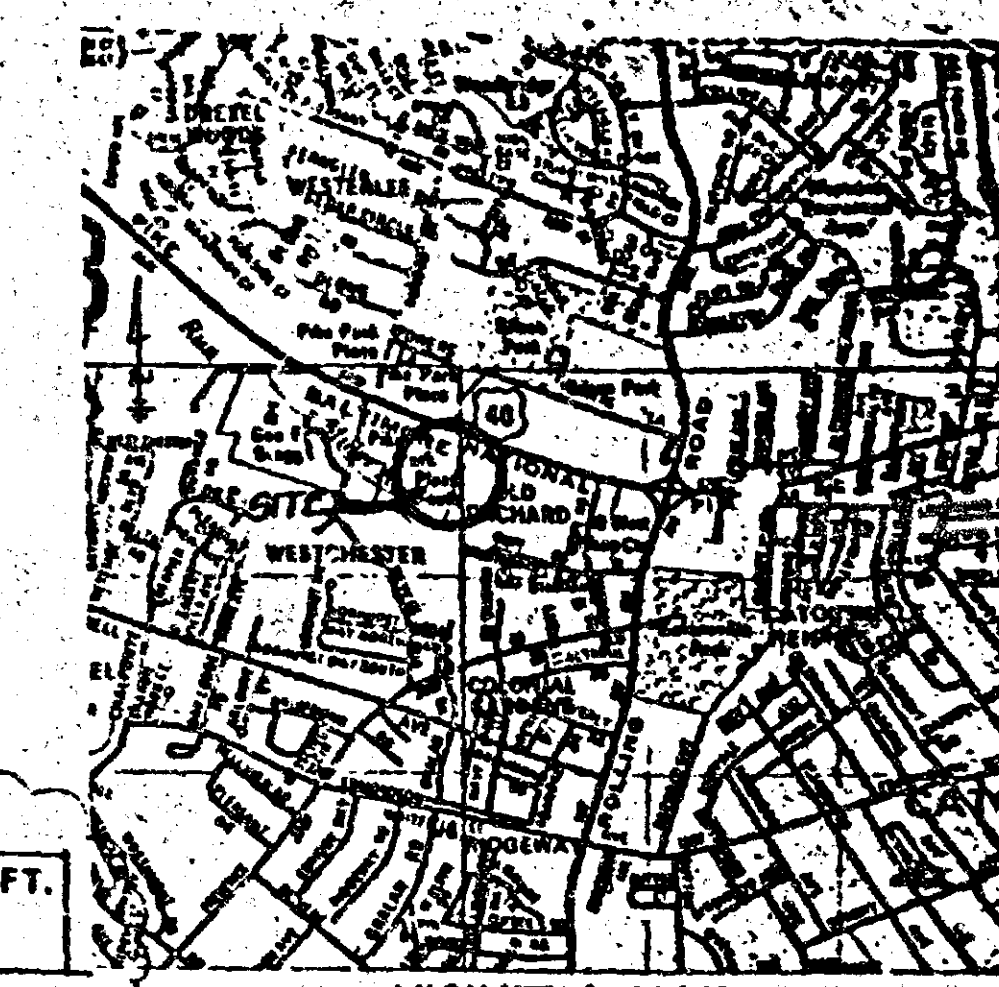
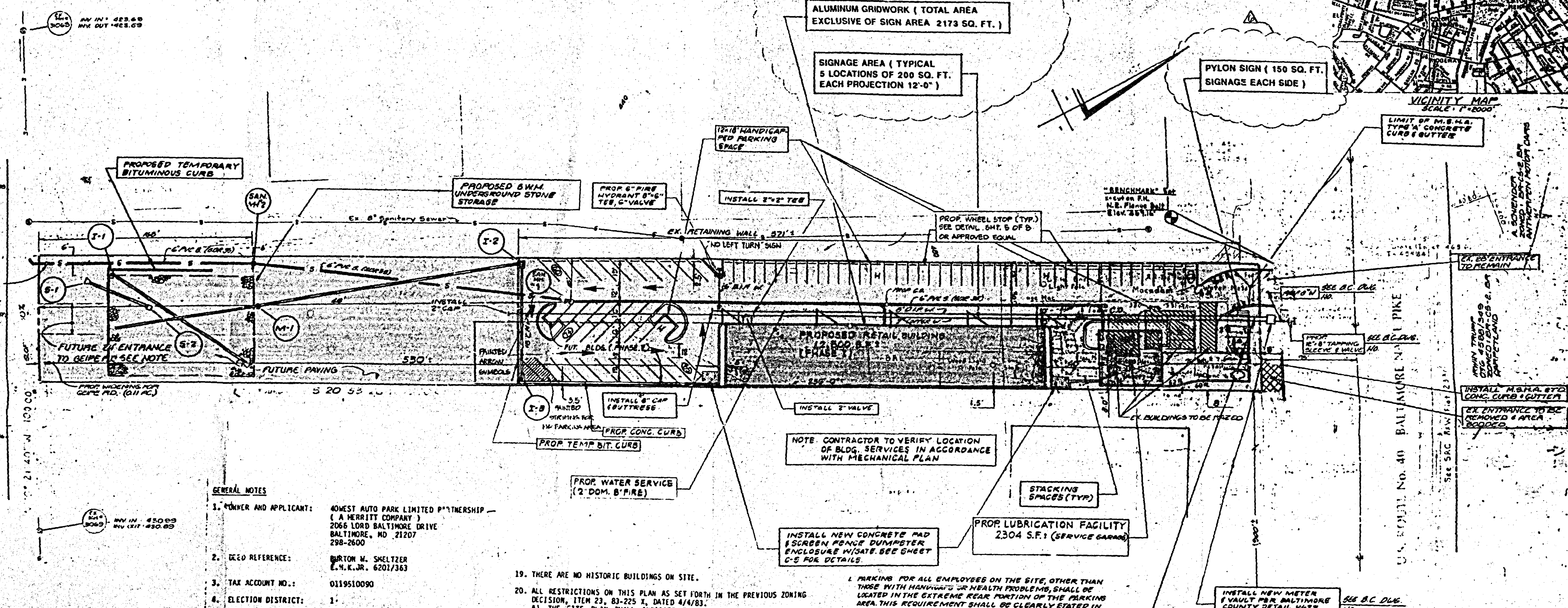
Title: FLOOR PLAN

A-1

NOTE #2: EXTERIOR SIGNAGE CAN BE GALV. STEEL TUBING PER SHA STANDARDS TO BE ENGINEERED BY G.C. LICENSED ENGINEER

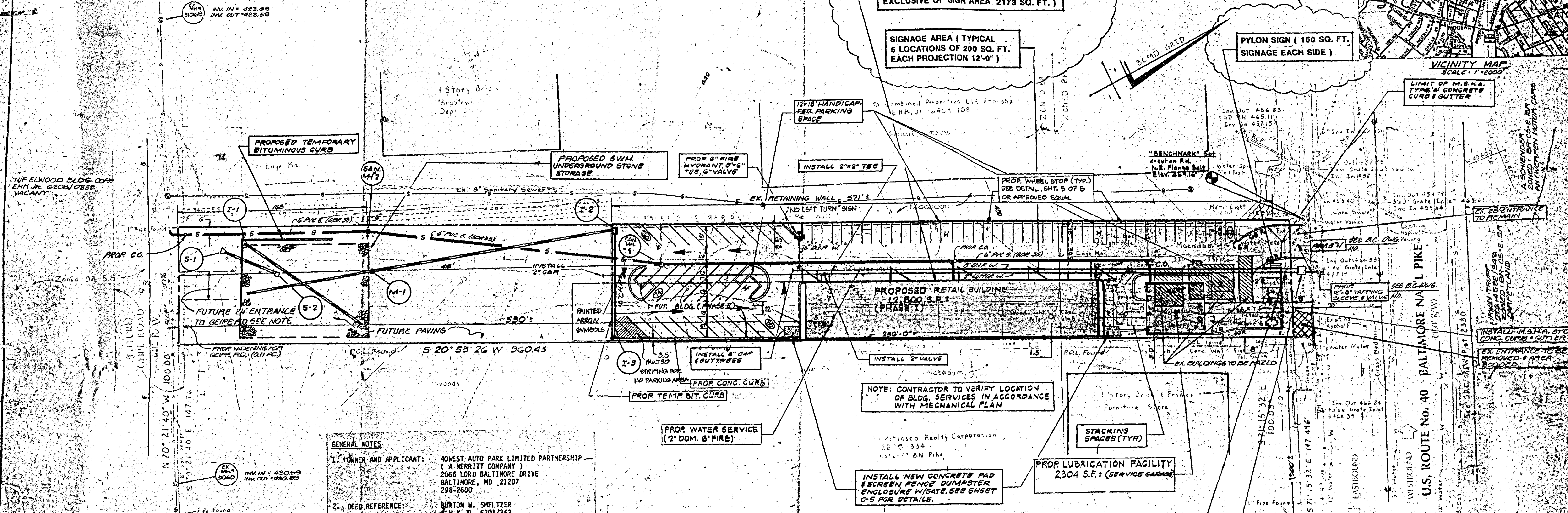
NOTE #1: GENERAL CONTRACTOR TO INCLUDE IN BID TO PROVIDE & INSTALL 12 OH. DOWNS AT OVERHEAD DOOR CANTILEVER OR APPROX. EQUAL, SEPARATE AS A UNIT PRICE.
 Sprinkler: entire building per NFPA 13 latest addition, BOCA and all local codes which apply, as listed on code review.
 SEE GENERAL NOTES #27

A.1.1



- GENERAL NOTES**
- OWNER AND APPLICANT: 40WEST AUTO PARK LIMITED PARTNERSHIP (A HERRITT COMPANY) 2066 LORD BALTIMORE DRIVE BALTIMORE, MD 21207 298-2600
 - DEED REFERENCE: BURTON M. SHELTER E.N.K.J.R. 6201/363
 - TAX ACCOUNT NO.: 0119510090
 - ELECTION DISTRICT: 1
 - COUNCILMANIC DISTRICT: 1
 - CENSUS TRACT: 4015.03
 - WATERSHED: 30
 - SUBWERSHED: 78
 - SITE ACREAGE: 2.2025 AC. (GROSS) 2.1910 AC. (NET)
 - COMMON OPEN SPACE REQUIRED: NONE
 - EXISTING ZONING: BR & BR-CS-2
 - EXISTING USE: CONTRACTORS STORAGE
 - PROPOSED USE: RETAIL (AUTOMOTIVE RELATED)
 - UNITS ARE FOR:
 - LANDSCAPING REQUIRED: A) 1 TREE PER 40 L.F. ROAD FRONTAGE (GEIPE RD. & RTE. 40) B) 1 TREE PER 12 CARS
 - LANDSCAPING PROVIDED: A) 100 + 40 = 2.5 TREES B) 85 CARS + 32 = 7.1 TREES
 - FLOOR AREA RATIO: 0.18 PERMITTED F.A.R.: 2.0
 - AVERAGE DAILY TRIPS: (15104 x 51.3) + 1000 = 114.0
 - THERE ARE NO EXISTING OR PROPOSED SEPTIC AND/OR WELL AREAS.

- THERE ARE NO HISTORIC BUILDINGS ON SITE.
- ALL RESTRICTIONS ON THIS PLAN AS SET FORTH IN THE PREVIOUS ZONING DECISION, ITEM 23, 83-225 X, DATED 4/4/83. A) THE "SITE" PLAN SHALL INDICATE THE LOCATION FOR THE STORAGE CHIPPERS, STUMPERS, THE TEMPORARY STORAGE OF WOOD CHIPS AND PARKING FOR 6 TRUCKS. B) COMPLIANCE WITH THE REQUIREMENTS OF THE M.D.O.T. & DEPT. OF HEALTH.
- VARIANCES APPROVED FROM SECTIONS 230.1, 230.2, 230.3, 230.4, 230.5, 230.6, 230.7, 230.8, 230.9, 230.10, 230.11, 230.12, 230.13, 230.14, 230.15, 230.16, 230.17, 230.18, 230.19, 230.20, 230.21, 230.22, 230.23, 230.24, 230.25, 230.26, 230.27, 230.28, 230.29, 230.30, 230.31, 230.32, 230.33, 230.34, 230.35, 230.36, 230.37, 230.38, 230.39, 230.40, 230.41, 230.42, 230.43, 230.44, 230.45, 230.46, 230.47, 230.48, 230.49, 230.50, 230.51, 230.52, 230.53, 230.54, 230.55, 230.56, 230.57, 230.58, 230.59, 230.60, 230.61, 230.62, 230.63, 230.64, 230.65, 230.66, 230.67, 230.68, 230.69, 230.70, 230.71, 230.72, 230.73, 230.74, 230.75, 230.76, 230.77, 230.78, 230.79, 230.80, 230.81, 230.82, 230.83, 230.84, 230.85, 230.86, 230.87, 230.88, 230.89, 230.90, 230.91, 230.92, 230.93, 230.94, 230.95, 230.96, 230.97, 230.98, 230.99, 230.100, 230.101, 230.102, 230.103, 230.104, 230.105, 230.106, 230.107, 230.108, 230.109, 230.110, 230.111, 230.112, 230.113, 230.114, 230.115, 230.116, 230.117, 230.118, 230.119, 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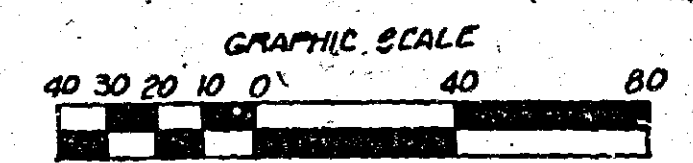
- GENERAL NOTES**
- OWNER AND APPLICANT: 40WEST AUTO PARK LIMITED PARTNERSHIP (A MERRITT COMPANY) 2066 LORD BALTIMORE DRIVE BALTIMORE, MD 21207 298-2600
 - DEED REFERENCE: BURTON M. SMELTZER E.H.K. JR. 6201/363
 - TAX ACCOUNT NO.: 0119510090
 - ELECTION DISTRICT: 1
 - COUNCILMANIC DISTRICT: 1
 - CENSUS TRACT: 4015.03
 - WATERSHED: 30
 - SUBWERSHED: 73
 - SITE ACREAGE: 2.2025 AC. ± (GROSS) 2.1910 AC. ± (NET)
 - COMMON OPEN SPACE REQUIRED: NONE
 - EXISTING ZONING: BR & BR-CS-2
 - EXISTING USE: CONTRACTORS STORAGE RETAIL (AUTOMOTIVE RELATED)
 - UNITS ARE FOR LEA:
 - LANDSCAPING REQUIRED:
A) 1 TREE PER 40 L.F. ROAD FRONTAGE (GEIPE RD. & RTE. 40)
B) 1 TREE PER 12 CARS
 - LANDSCAPING PROVIDED:
A) 100 ± 40 = 2.5 TREES
B) 85 CARS ± 12 = 7.1 TREES
 - FLOOR AREA RATIO: 0.16
PERMITTED F.A.R.: 2.0
 - AVERAGE DAILY TRIPS: (5104 X 51.3) + 1000 = 114.0
 - THERE ARE NO EXISTING OR PROPOSED SEPTIC AND/OR WELL AREAS.

- THERE ARE NO HISTORIC BUILDINGS ON SITE.
- ALL RESTRICTIONS ON THIS PLAN AS SET FORTH IN THE PREVIOUS ZONING DECISION, ITEM 23, 83-225 X, DATED 4/4/83.
A) THE SITE PLAN SHALL INDICATE THE LOCATION FOR THE STORAGE CHIPPERS, STUMPERS, THE TEMPORARY STORAGE OF WOOD CHIPS AND PARKING FOR 6 TRUCKS.
B) COMPLIANCE WITH THE REQUIREMENTS OF THE M.D.Q.T. & DEPT. OF HEALTH.
- VARIANCES APPROVED FROM SECTIONS 233-1 & 233-2 (303-0) TO PERMIT AVERAGE FRONT YARD SETBACK OF 75' IN LIEU OF THE 94' REQUIRED AND TO PERMIT SIDE YARD SETBACKS OF 0' IN LIEU OF THE REQUIRED 30' ITEM #155-12/73/74
- STORM WATER MANAGEMENT SHALL BE PROVIDED BY USE OF UNDERGROUND STONE STORAGE. SOIL BORINGS WILL BE PROVIDED.
- OFF STREET PARKING CALCULATIONS:
A) LUBRICATION FACILITY
PARKING REQUIRED: 1 SPACE PER 300 S.F. 2304 S.F. ± 200 S.F. = 7.7 / 5 SPACES
B) RETAIL - 12,800 S.F.
PARKING REQUIRED: 1 PER 200 S.F. 12,800 ÷ 200 = 64 SPACES
C) TOTAL PARKING REQUIRED: 75 SPACES
TOTAL PARKING PROVIDED: 64 SPACES (INCLUDING 4 HANDICAP SPACES @ 12' X 18' MIN.)
- CRG PLAN APPROVED FEB. 20, 1985 WITH AMENDED CRG PLAN #1-267 APPROVED MARCH 20, 1987 (W-87-77).
- THERE WILL BE NO STORAGE OF DAMAGED OR DISABLED VEHICLES ON SITE.
- VARIANCES APPROVED ON JULY 23, 1985, CASE NO. 86-33-A TO ALLOW FRONT YARD SETBACK OF 75' IN LIEU OF THE REQUIRED 94'; TO ALLOW 0' SIDE AND/OR REAR YARD SETBACKS IN LIEU OF THE REQUIRED 30' AND TO ALLOW 40' BETWEEN BUILDINGS IN LIEU OF THE REQUIRED 65' WITH FOLLOWING RESTRICTIONS:

- PARKING FOR ALL EMPLOYEES ON THE SITE, OTHER THAN THOSE WITH HANDICAPS OR HEALTH PROBLEMS, SHALL BE LOCATED IN THE EXTREME REAR PORTION OF THE PARKING AREA. THIS REQUIREMENT SHALL BE CLEARLY STATED IN ALL LEASES.
- ANY DUMPSTER SHALL BE ENCLOSED AND SCREENED ON ALL FOUR SIDES.

STANDARD NOTES:

- ALL CONSTRUCTION WILL BE ACCOMPLISHED IN ACCORDANCE WITH THE BALTIMORE COUNTY STANDARD SPECIFICATIONS AND DETAILS FOR CONSTRUCTION DATED 1976 AND AS AMENDED.
- ALL WORK UNDER THIS CONTRACT SHALL BE PERFORMED BY THE CONTRACTOR IN ACCORDANCE WITH THE APPROVED SEDIMENT CONTROL PLANS.
- THE CONTRACTOR SHALL MAINTAIN, REPAIR, AND/OR REPLACE ANY EXISTING SEDIMENT CONTROL DEVICES ENCOUNTERED AND DISTURBED DURING THE COURSE OF CONSTRUCTION UNDER THIS CONTRACT. ALL SUCH DISTURBED DEVICES SHALL BE REPAIRED OR REPLACED BEFORE LEAVING THE JOB SITE. THE COST OF PERFORMING ALL SUCH WORK, INCLUDING MATERIAL WILL BE PAID FOR BY A LUMP SUM BID ITEM FOR MAINTENANCE AND REPAIR OF SEDIMENT CONTROL DEVICES.



STV / LYON ASSOCIATES
Engineers Surveyors Planners
21 Governor's Court, Baltimore, Maryland 21207
Telephone: 301-944-9112

REVISIONS	
NO.	DATE DESCRIPTION
1	2/2/88 S.W.M., SANITARY / PER COUNTY COMMENTS.
2	2/2/88 REVISE S.W.M. PER REVISED GRADING
3	2/2/88 IN-HOUSE CHECK
4	2/2/88 B.G. W/15 COUNTY PERMIT COMMENTS
5	10/6/88 LUBR. BLDG.
10/27/88 PLAN TO ACCOMPANY VARIANCE & SPECIAL HEARING	

PLAN PREPARATION	
TS	AUGUST 10, 1987
UPB	SCALE 1" = 40'
ARG	10'-25'-50'-100'

40 WEST AUTO PARK
6431 BALTIMORE NATIONAL PIKE, US Rt. 40
BALTIMORE COUNTY, MARYLAND
ELECTION DISTRICT 1

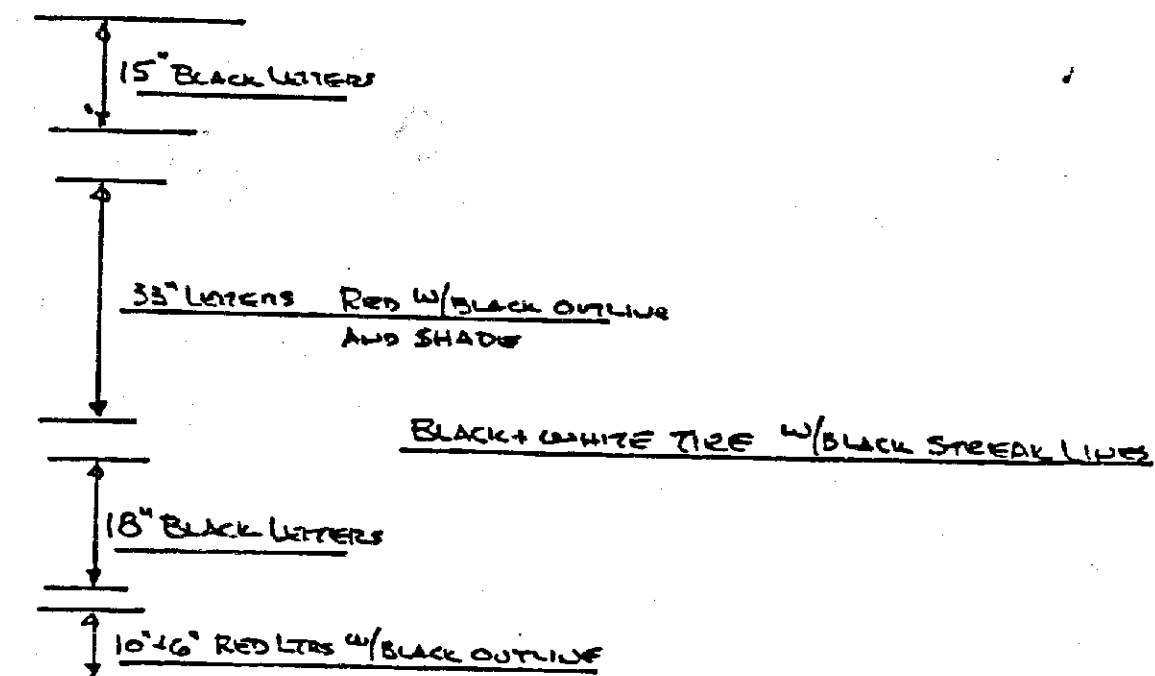
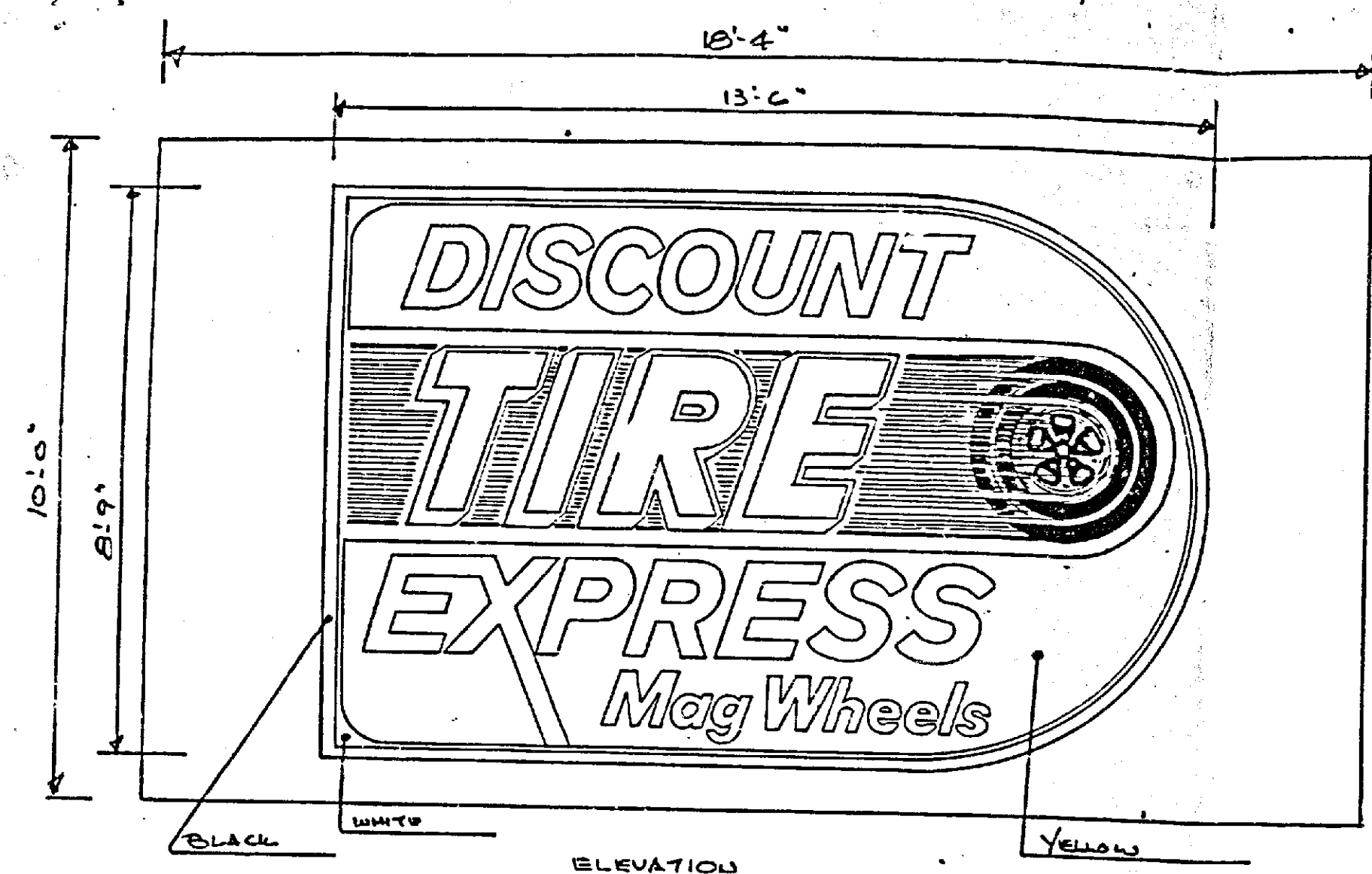
DRAWING NO. C-2
SHEET NO. 2 OF 8

PETITIONER'S EXHIBIT 1

90-357-SPHA

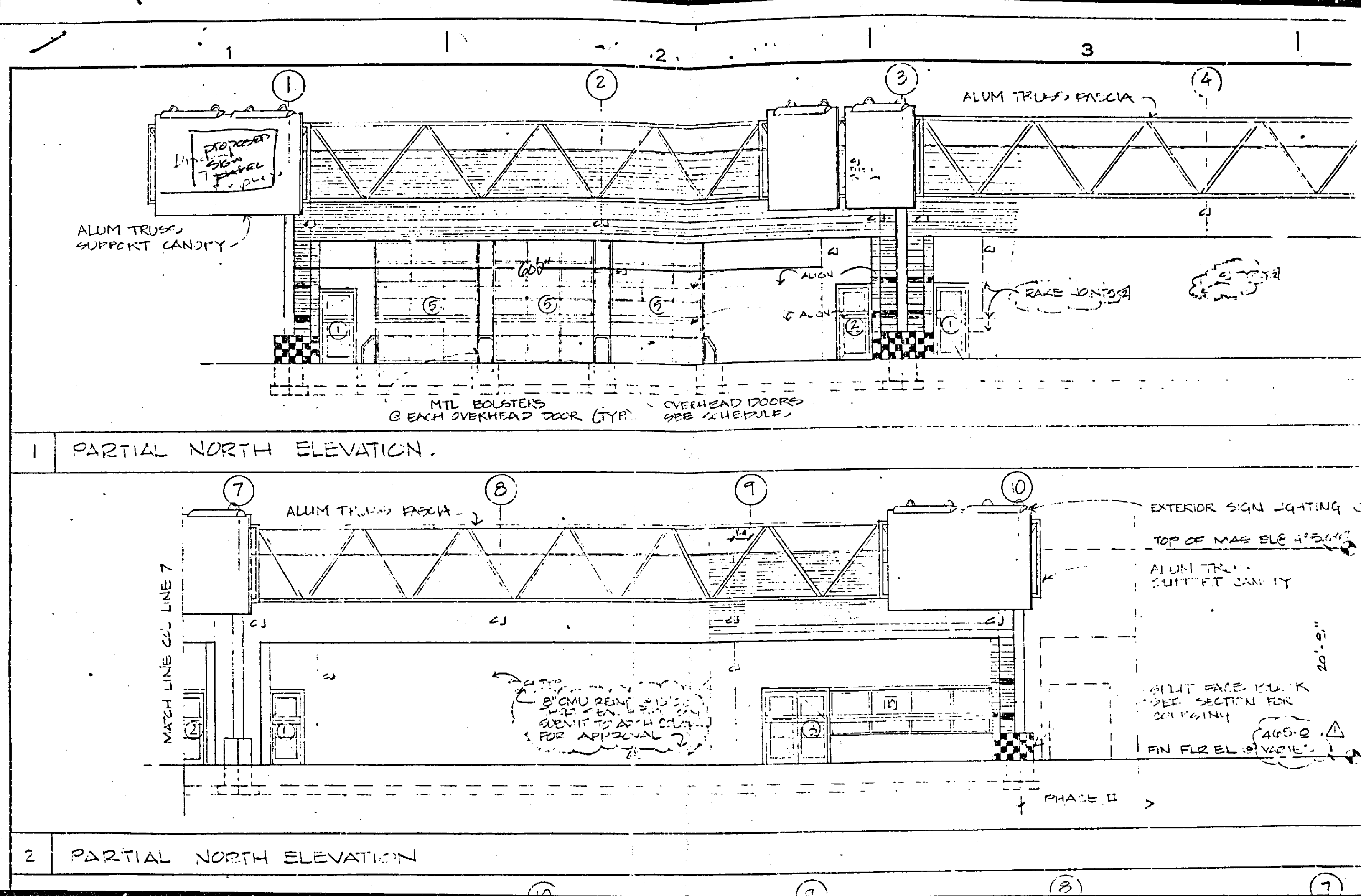
PLAN TO ACCOMPANY VARIANCE AND SPECIAL HEARING

214



APPLIED SCOTCHLITE GRAPHICS ON TRAFFIC GREEN
SIGN BOARD.

PROPOSED SIGN
DISCOUNT TIRE EXPRESS
40 WEST AUTO PARK
CLAUDE DEON SIGNS INC.
1808 CHERRY HILL ROAD
BALTIMORE MD 21230
DESIGN D-89376 JULY 28, 1991



County Board of Appeals of Baltimore County

COUNTY OFFICE BUILDING
111 W. CHESAPEAKE AVENUE
TOWSON, MARYLAND 21204
(301) 887-3180

HEARING ROOM - Room 301
County Office Building
August 23, 1990
NOTICE OF ASSIGNMENT

NO POSTPONEMENTS WILL BE GRANTED WITHOUT GOOD AND SUFFICIENT REASONS. REQUESTS FOR POSTPONEMENTS MUST BE IN WRITING AND IN STRICT COMPLIANCE WITH BOARD RULE 2(b). NO POSTPONEMENTS WILL BE GRANTED WITHIN FIFTEEN (15) DAYS OF SCHEDULED HEARING DATE UNLESS IN FULL COMPLIANCE WITH RULE 2(c), COUNTY COUNCIL BILL NO. 59-75.

CASE NO. 90-357-SPHA FORTY WEST AUTO PARK LTD. PART.
S/s Baltimore National Pike, 1300'
NW of C/I Golpe Rd. (6431 Baltimore
National Pike)
1st Election District
1st Councilmanic District

SPH -To find that grid work is not
signage; OR IN THE ALTERNATIVE
VAR-Signs

5/23/90 - Z.C.'s Order DENYING Petitions.

ASSIGNED FOR: TUESDAY, JANUARY 22, 1991 at 10:00 a.m.

cc: Robert A. Hoffman, Esquire Counsel for Petitioner/Appellant
Marc B. Sherman - Forty West Auto
Park Ltd. Part.

Mr. David Baruch

People's Counsel for Baltimore County
P. David Fields
Pat Keller
J. Robert Haines
Ann M. Nastarowicz
James E. Dyer
W. Carl Richards, Jr.
Docket Clerk - Zoning
Arnold Jablon, County Attorney

LindaLee M. Kuszmaul
Legal Secretary

