

INTER-OFFICE CORRESPONDENCE

B 144853

TO: Director, Office of Planning and Zoning
Attn: Ervin McDaniel
County Courts Bldg, Rm 406
401 Bosley Av
Towson, MD 21204

FROM: Arnold Jablon, Director, Zoning Administration and Development Management

RECEIVED

OCT 6 1992

RE: **Undersized Lots**

OFFICE OF
PLANNING & ZONING

Pursuant to Section 304.2(Baltimore County Zoning Regulations) effective June 25, 1992; this office is requesting recommendations and comments from the Office of Planning & Zoning prior to this office's approval of a dwelling permit.

MINIMUM APPLICANT SUPPLIED INFORMATION:

644-9208

☐ DAVID HARRY CHAMBERS PAUL J. GORMAN 4410 JOHN AVE 21227
Print Name of Applicant Address Telephone Number

☐ Lot Location 218 EDKIDGE RD Election District 1 Council District 1 Square Feet 19,200

Land Owner D. HARRY CHAMBERS Tax Account Number _____

Address 218 3 BRIARWOOD RD Telephone Number 410-788 6985
CATONSVILLE MD 21228

☐ CHECKLIST OF MATERIALS: (to be submitted to the Office of Planning and Zoning)

PROVIDED?

NO

1. Permit Application

YES

✓

2. Site Plan

2 Property

✓

2 Photogrametric Map (available in Rm 206 C.O.B.)

✓

3. Building Elevation Drawings

✓

4. Photographs

Adjoining Buildings

✓

Surrounding Neighborhood

—

Processing Fee Paid
Code 030 & 080
Accepted by JCM
ZAIM
Date 10-5-92

LG/approved
11/13/92

TO BE FILLED IN BY THE OFFICE OF PLANNING AND ZONING ONLY

RECOMMENDATIONS/COMMENTS:



Approval



Disapproval



Approval conditioned on required modifications of the permit to conform with the following recommendations:

The Office of Planning and Zoning recommends approval of the site plan and building elevations as shown in this submittal.

Signed by:

Ervin McDaniel
for the Director, Office of Planning & Zoning

Date:

10/14/92

approved 11/13/92 Jgoetz

B144583

SCHEDULED DATES, CERTIFICATE OF FILING AND POSTING
FOR A BUILDING PERMIT APPLICATION PURSUANT TO SECTION 304.2
ZONING ADMINISTRATION AND DEVELOPMENT MANAGEMENT
County Office Building
111 W. Chesapeake Avenue
Towson, Maryland 21204

The application for your proposed Building Permit Application has been accepted for filing by JOE MERREY on OCT 5, 92.
Date (A)

A sign indicating the proposed Building must be posted on the property for fifteen (15) days before a decision can be rendered. The cost of filing is \$50.00 and posting \$35.00; total \$85.00.

In the absence of a request for public hearing during the 15-day posting period, a decision can be expected within approximately four weeks. However, if a valid demand is received by the closing date, then the decision shall only be rendered after the required public special hearing.

*SUGGESTED POSTING DATE OCT 16 D (15 Days Before C)

DATE POSTED _____

HEARING REQUESTED-YES _____ NO _____ -DATE _____

CLOSING DAY (LAST DAY FOR HEARING DEMAND) Nov. 2 C (B-3 Work Days)

TENTATIVE DECISION DATE Nov. 5 B (A + 30 Days)

*Usually within 15 days of filing

CERTIFICATE OF POSTING

District _____

Location of property: _____

Posted by: _____ Date of Posting: _____
Signature

Number of Signs: _____

CK/UNDER.LOT (TXTSOPH)

APPLICATION FOR PERMIT
BALTIMORE COUNTY MARYLAND
OFFICE OF THE BUILDING ENGINEER
TOWSON, MARYLAND 21204

OEA: VLC

PERMIT #: 1314
RECEIPT #: 1314
CONTROL #: 1314
XREF #:

PROPERTY ADDRESS 218 EDWARDS RD
CATONSVILLE, MD 21228

SUBDIV: GRAHAM PLACE
TAX ACCOUNT #: 01-03-230451 DISTRICT/PRECINCT
OWNER'S INFORMATION (LAST, FIRST) 1 9
NAME: DAVID H. CHAMBERS
ADDR: 3 BRIARWOOD ROAD 21229

FEE: 129.00 + 50.00
PAID: 134.00
PAID BY: PAID
INSPECTOR: PK

APPLICANT INFORMATION

NAME: PAUL J. GORMAN
COMPANY: CEARROSS CONSTRUCTION CORP
ADDR1: 4410 JOHN AVE BALTO 21227
ADDR2:
PHONE #: 644-9200 MHIC LICENSE #: 938-796
APPLICANT
SIGNATURE: Paul J. Gorman TRACT: BLOCK:
PLANS: CONST 2 PLOT 7 PLAT DATA EL 1 PL 1
TENANT
CONTR: CEARROSS Construction Corp
ENGR:
SELLR:

I HAVE CAREFULLY READ THIS APPLICATION
AND KNOW THE SAME IS CORRECT AND TRUE,
AND THAT IN DOING THIS WORK ALL PROVI-
SIONS OF THE BALTIMORE COUNTY CODE AND
APPROPRIATE STATE REGULATIONS WILL BE
COMPLIED WITH WHETHER HEREIN SPECIFIED
OR NOT AND WILL REQUEST ALL REQUIRED
INSPECTIONS.

BUILDING 1 or 2 FAM.

CODE CODE ✓
BOCA CODE

TYPE OF IMPROVEMENT

1. ✓ NEW BLDG CONST
2. ADDITION
3. ALTERATION
4. REPAIR
5. WRECKING
6. MOVING
7. OTHER

TYPE OF USE

RESIDENTIAL

01. ✓ ONE FAMILY
02. TWO FAMILY
03. THREE AND FOUR FAMILY
04. FIVE OR MORE FAMILY
(ENTER NO UNITS)
05. SWIMMING POOL
06. GARAGE
07. OTHER

TYPE FOUNDATION

1. SLAB
2. ✓ BLOCK
3. CONCRETE

BASEMENT

1. ✓ FULL
2. PARTIAL
3. NONE

NON-RESIDENTIAL

08. AMUSEMENT, RECREATION, PLACE OF ASSEMBLY
09. CHURCH, OTHER RELIGIOUS BUILDING
10. FENCE (LENGTH HEIGHT)
11. INDUSTRIAL, STORAGE BUILDING
12. PARKING GARAGE
13. SERVICE STATION, REPAIR GARAGE
14. HOSPITAL, INSTITUTIONAL, NURSING HOME
15. OFFICE, BANK, PROFESSIONAL
16. PUBLIC UTILITY
17. SCHOOL, COLLEGE, OTHER EDUCATIONAL
18. SIGN
19. STORE MERCANTILE RESTAURANT
SPECIFY TYPE
20. SWIMMING POOL SPECIFY TYPE
21. TANK, TOWER
22. TRANSIENT HOTEL, MOTEL (NO. UNITS)
23. OTHER

DESCRIBE PROPOSED WORK: Construct foundation for
sub level & state approved industrialized
dwellings. 40' X 27' X 35' = 2640 sf

TYPE OF CONSTRUCTION

1. MASONRY
2. ✓ WOOD FRAME
3. STRUCTURE STEEL
4. REINF. CONCRETE

TYPE OF HEATING FUEL

1. ✓ GAS 3. ELECTRICITY
2. OIL 4. COAL

TYPE OF SEWAGE DISPOSAL

1. ✓ PUBLIC SEWER ✓ EXISTS PROPOSED
2. PRIVATE SYSTEM
SEPTIC EXISTS PROPOSED
PRIVY EXISTS PROPOSED

CENTRAL AIR: 1. YES 2. NO

ESTIMATED COST: \$ 66,000

OF MATERIALS AND LABOR

PROPOSED USE: see

EXISTING USE: vacant lot

OWNERSHIP

1. ✓ PRIVATELY OWNED 2. PUBLICLY OWNED 3. SALE 4. RENTAL

RESIDENTIAL CATEGORY: 1. DETACHED 2. SEMI-DET. 3. GROUP 4. TOWNHSE 5. MIDRISE

#EFF: #1BED: #2BED: #3BED: TOT BED: TOT APTS/CONDOS 6. HIRISE

1 FAMILY BEDROOMS 4

GARBAGE DISPOSAL 1. YES 2. NO

POWDER ROOMS 0

BATHROOMS 2

KITCHENS 1

CLASS 04

LIBER 14

FOLIO 045

BUILDING SIZE LOT SIZE AND SETBACKS

FLOOR 2nd st SIZE 19200 sq ft

WIDTH 40' FRONT STREET

DEPTH 29' 3" SIDE STREET

HEIGHT 24' 3" FRONT SETBK 20' 70'

STORIES 2 SIDE SETBK 25' 25'

LOT # 3 SIDE STR SETBK

CORNER LOT REAR SETBK 14'

1. YES 2. ✓ NO

DR-2

APPROVAL SIGNATURES

DATE

BLD INSP : :
BLD PLAN : :
FIRE : :
SEDI CTL : :
ZONING : OK to file : 10-5-92
PUB SERV : :
ENVRMNT : :
PLANNING : :
PERMITS : :

MAKE CHECKS PAYABLE TO BALTIMORE COUNTY MARYLAND -- NO PERMIT FEES REFUNDED

CERTIFICATE OF POSTING
ZONING DEPARTMENT OF BALTIMORE COUNTY B-144853
Towson, Maryland

District _____ Date of Posting 10/9/92
Posted for: Application for Undersize Lot
Petitioner: Paul L. Gorman & D. Harry Chambers
Location of property: 218 Edridge Rd. - N. of Rolling Rd. &
S. of Edmon Brown Ave.
Location of Signs: Facing road way on property of application
Remarks: _____
Posted by M. Healy Date of return: 10/16/92
Signature
Number of Signs: 1

BALTIMORE COUNTY, MARYLAND
OFFICE OF FINANCE - REVENUE DIVISION
MISCELLANEOUS CASH RECEIPT

No. 107981

B144853

DATE 10-5-92 ACCOUNT 2001-6150

AMOUNT \$ 85.00

RECEIVED
FROM:

PAUL GORMAN

FOR:

Undersize Lot Filing fee \$304

04A04#0103MICHRC

\$85.00

BA 001154AM10-05-92

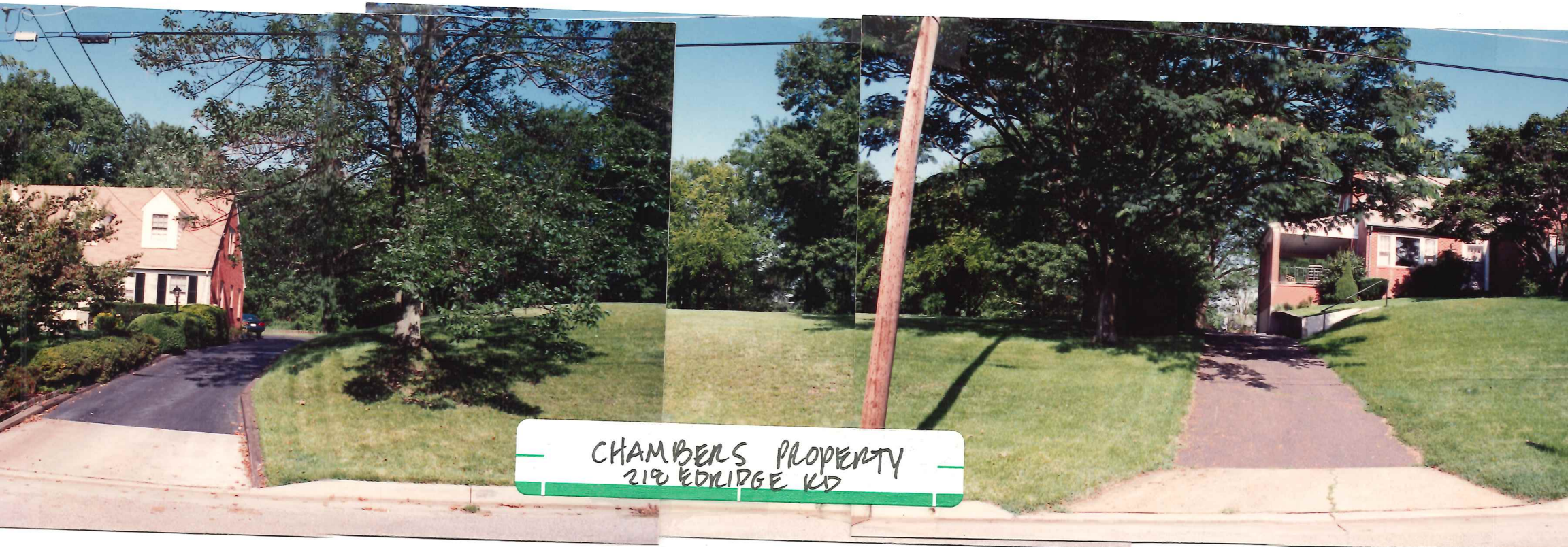
VALIDATION OR SIGNATURE OF CASHIER

DISTRIBUTION

WHITE - CASHIER

PINK - AGENCY

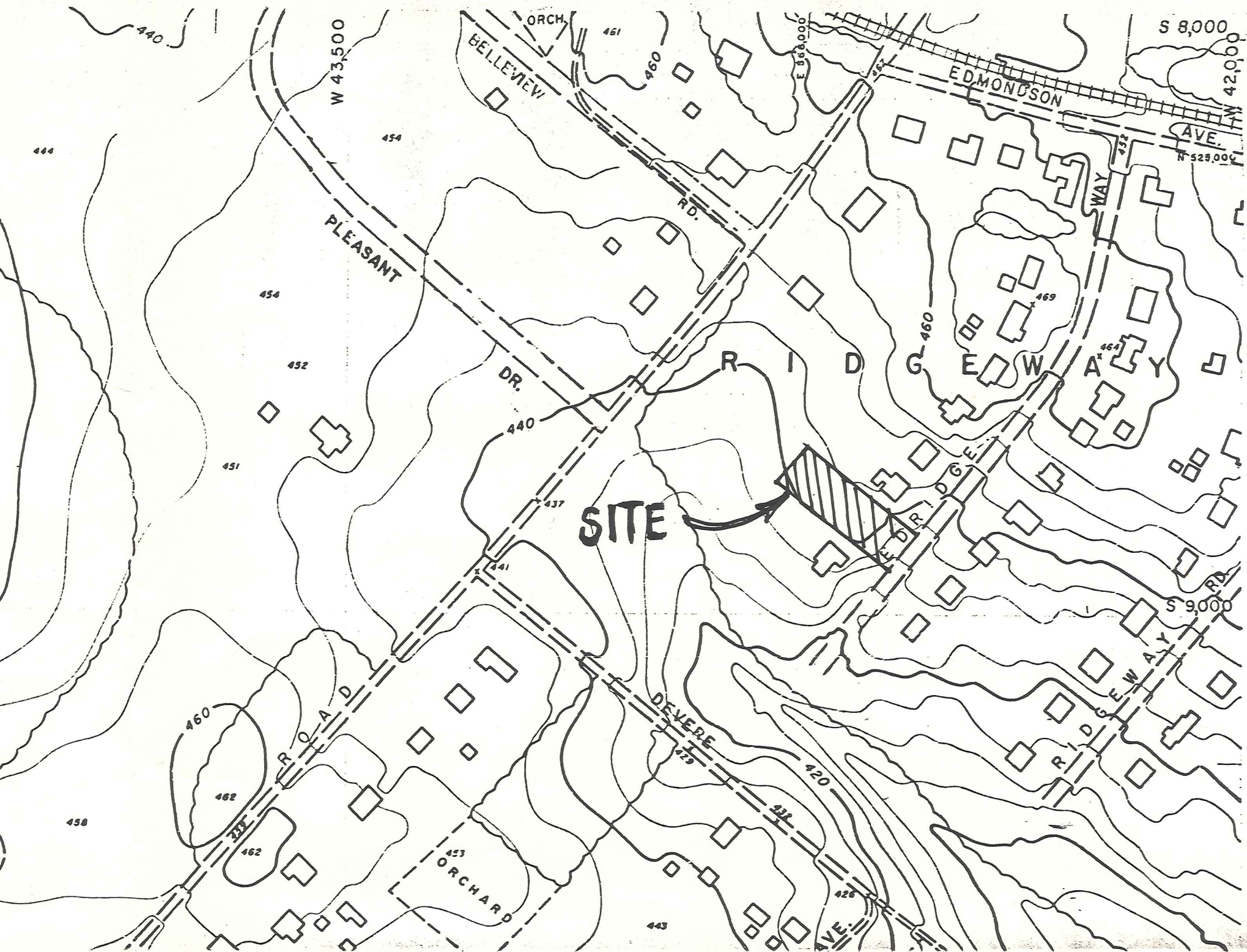
YELLOW - CUSTOMER



CHAMBERS PROPERTY
218 EDGEMORE RD



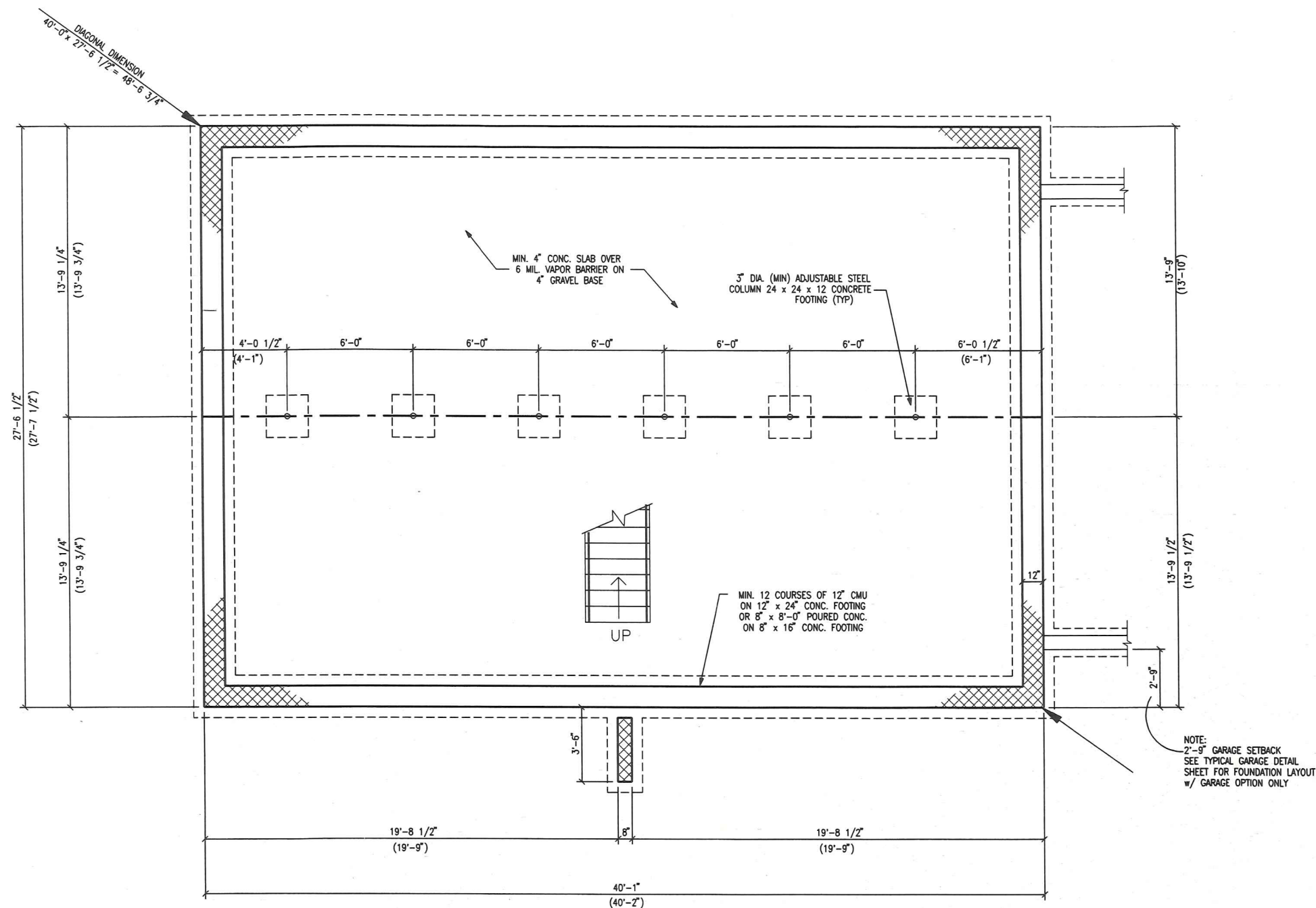
SW
MS
BH



SW
3H

GENERAL NOTES: THESE PLANS AND SPECIFICATIONS ARE THE SOLE PROPERTY OF THE REGIONAL BUILDING SYSTEMS, INC. ANY UNAUTHORIZED USE OF THESE PLANS WITHOUT WRITTEN CONSENT OF THE REGIONAL BUILDING SYSTEMS, INC. IS PROHIBITED. THE THIRD PARTY QUALITY ASSURANCE AGENCY SHALL BE P. F. S. ALL NOTES PERTAINING TO 'IN FIELD' ARE DEALER AND/OR BUILDER - ERECTOR OBLIGATIONS. THESE PLANS ARE NOT TO BE SCALED FOR CONSTRUCTION PURPOSES. DIMENSION LINES AND NOTES SUPERCEDE ALL SCALED REFERENCES. HUD STRUCTURAL ENGINEERING BULLETIN NUMBER 1052. INSIGNIA OF APPROVAL MAY BE FOUND IN KITCHEN SINK CABINET. N.J. INSIGNIA MAY BE FOUND IN EACH MODULE. SEE FLOOR PLAN FOR SPECIFIC LOCATIONS.	PLAN NOTES: ALL NON - TREATED WOOD SHALL BE A MINIMUM OF 8" ABOVE FINISH GRADE. ALL PARTITIONS SHALL BE 2x4 CONSTRUCTION UNLESS OTHERWISE NOTED. ALL EGRESS WINDOWS SHALL HAVE A MIN. NET CLEAR OPENING OF 5.7 S.F. WITH A MIN. NET OPENING HEIGHT OF 24" AND WIDTH OF 20" AND A MAX. SILL HEIGHT OF 44" SLIDING GLASS DOORS SHALL BE TEMPERED GLASS. MODULES WITH ATTACHED GARAGES SHALL BE COMPLETELY SEPARATED BY MEANS OF 5/8" GYPSUM BOARD APPLIED TO GARAGE SIDE AND EXTENDING TO BOTTOM OF ROOF SHEATHING NAILER. - (U317). MODULES WITH INTEGRAL GARAGES SHALL BE SEPARATED BY TWO - LAYERS OF 5/8" FIRE CODE GYPSUM APPLIED TO GARAGE SIDE OF COMMON WALLS AND 2 - LAYERS APPLIED TO GARAGE CEILING. (FC5406). FIREPLACE CHIMNEY SHALL BE A MINIMUM OF 2'-0" ABOVE RIDGE OF ROOF. ENTRY CLOSET AND BEDROOM CLOSET SHALL HAVE PRE-FINISHED OPEN METAL SHELF. LINEN CLOSET AND PANTRY SHALL RECEIVE 5 SHELVES. ALL MATERIALS FOR STAIR AREAS ARE PROVIDED AND INSTALLED IN FIELD, EXCEPT 2-STORY (1st. TO 2nd. FLOOR) WHICH IS PLANT INSTALLED, SEE FASTENING SCHEDULE FOR CONNECTIONS. 22" x 30" ATTIC ACCESS SHALL BE PROVIDED PER PLAN. RAILINGS OR HANDRAILS SHALL BE INSTALLED ON ANY EXTERIOR PORCH OR STAIR 3 RISERS OR MORE IN HEIGHT. FLOOR - WALL FINISHES PER SPECIFICATIONS. BUILDER IS RESPONSIBLE FOR INSTALLATION OF PLUMBING SYSTEM REQUIREMENTS BELOW FIRST FLOOR DECK. INSTALLATION SHALL BE IN ACCORDANCE WITH LOCAL CODES AND APPLICABLE STANDARDS. MINIMUM CLEAR GLASS AREA SHALL BE AT LEAST 8% IN EACH REQUIRED SPACE. MINIMUM CLEAR VENTILATION AREA SHALL BE AT LEAST 4% IN EACH REQUIRED SPACE.	FOUNDATION NOTES -- FIELD: DEALER AND/OR BUILDER IS RESPONSIBLE FOR COMPLETE FOUNDATION, INCLUDING ANCHOR BOLTS, WATER-PROOF, DRAIN SYSTEM, VAPOR BARRIER, CONCRETE SLAB, COLUMNS, AND SILL PLATES. CONCRETE SLAB AND FOOTING SHALL BE 2500 P.S.I. MIN. (5 BAG). MINIMUM SOIL BEARING PRESSURE IS 3000 P.S.F. STEPS OR DEPTH OF FOOTING/FOUNDATION MAY VARY ACCORDING TO SITE CONDITIONS. MAINTAIN MINIMUM FROST COVER AS REQUIRED. BASEMENT FLOOR SLAB SHALL BE MIN. 4" CONCRETE ON 6 MIL VAPOR BARRIER OVER 4" GRAVEL BED. PROVIDE PERIMETER INSULATION 1 1/2" x 24" WHERE SLAB IS 2'-0" OR LESS BELOW GRADE. FOUNDATION DRAINS AND SUMP PUMP SHALL BE INSTALLED AND LOCATED AT BUILDER'S DISCRETION. STEEL REINFORCING IN SLAB AND FOOTINGS AS DICTATED BY LOCAL CODE OR SITE CONDITIONS. BUILDER TO INSTALL 1/2" DIA. ZINC COATED STEEL ANCHOR BOLTS OR STEEL ANCHOR STRAP 8'-0" o.c. MAX. WITH A MIN. OF 2 FASTENERS PER WALL AND A MAX. 1'-0" FROM END OF EACH SECTION OF PLATE. PORCH SLAB SHALL BE 4" MINIMUM #3500 AIR ENTRAINED CONC. WITH 6 x 6 x #10 W.W.M. TOP COURSE OF BLOCK SHALL BE SOLID OR FILLED. GARAGE SLABS SHALL BE MIN. 4" CONC., ON COMPACTED OR UNDISTURBED EARTH, MIN. 4" BELOW ADJACENT DOOR SILL HEIGHT. FOUNDATION DRAWING IS NOT PART OF APPROVAL, EXCEPT FOR METHOD OF SUPPORT. COLUMN SPACING SHALL BE INSTALLED ACCORDING TO SPECIFIC MODEL FOUNDATION PLANS. BUILDER SHALL INSTALL SILL SEALER BETWEEN ALL SILL PLATES AND TOP OF FDN. WALL.	INSULATION NOTES: THE FOLLOWING SPECIFICATIONS DESCRIBE RBS'S ENERGY CONSERVATION PACKAGE IN COMPLIANCE WITH I.B.O.C.A. NATIONAL ENERGY CODE AND NORTH CAROLINA STATE ENERGY CODE. CEILING INSULATION MIN. R-30 (STD.) (TOWNHOUSE CEILING INSULATION MIN. R-30 STANDARD) PLANT INSTALLED, EXTERIOR WALLS R-13 INSULATION WITH VAPOR BARRIER. 2-STORY CANTILEVERED FLOOR AREAS - PLANT INSTALLED. BI-LEVEL, SPLIT-LEVEL CANTILEVERED FLOOR AREAS FIELD INSTALLED BY BUILDER. SECOND FLOOR CANTILEVERED RING JOIST OF 2-STORY UNITS R-19 PLANT INSTALLED. FLOOR OF HABITABLE SPACE OVER GARAGE R-19 6" BATT INSULATION WITH VAPOR BARRIER FIELD INSTALLED BY BUILDER. FLOOR AREAS OF UNCONDITIONED SPACE WITH BASEBOARD ELECTRIC HEAT, R-19 BATT INSULATION FIELD INSTALLED BY BUILDER. EXTERIOR PERIMETER RING JOISTS AREAS SHALL BE INSULATED WITH R-13, 3 5/8" BATT INSULATION, FIELD INSTALLED BY BUILDER. FLOOR AREA OVER CRAWL SPACE SHALL BE INSULATED WITH R-19, 6" BATT WITH VAPOR BARRIER FIELD INSTALLED BY BUILDER (H.V.A.C. SYSTEM IS DESIGNED FOR CONDITIONED CRAWL SPACE. IT IS THE BUILDER RESPONSIBILITY TO CONDITION THIS SPACE OR INSULATE THE DUCTWORK PER LOCAL CODE). HEAT SUPPLY DUCTS IN CRAWL SPACE AREA (AS AN ALTERNATIVE TO THE ABOVE): B.O.C.A. REQUIRES 1" FIBERGLASS INSULATION, NORTH CAROLINA AREAS REQUIRE 2" FIBERGLASS INSULATION, 3/4 lb. DENSITY, AND VAPOR BARRIER FOR DUCTS - INSULATION FIELD INSTALLED BY BUILDER. CRAWL SPACE AREAS SHALL BE VENTED IN ACCORDANCE WITH LOCAL AND STATE CODES, WHERE SPECIFIED. VENTS ARE SUPPLIED AND INSTALLED BY BUILDER. BASEMENT WALLS ABOVE GRADE AND BELOW GRADE FOR 30" OR TO TOP OF FOOTING, WHICHEVER IS LESS, TO BE INSULATED WITH R-11, 3 1/2" HIGH PERM. 48" WIDE SF25 BATTS OR EQUIVALENT. (REQUIRED IN CONDITIONED BASEMENT AREAS). ALTERNATIVELY, THE BASEMENT FLOOR MAY BE INSULATED WITH R-19, 6" BATT WITH VAPOR BARRIER AND HEAT SUPPLY DUCTS INSULATED AS ABOVE. INSULATION FIELD INSTALLED BY BUILDER. FRAME KNEEWALLS FOR BI-LEVEL AND SPLIT-LEVEL MODELS TO HAVE R-13 INSULATION, FIELD INSTALLED BY BUILDER. NOTE! THE ABOVE INSULATION REQUIREMENTS IDENTIFIED AS FIELD INSTALLED ARE THE BUILDERS RESPONSIBILITY FOR BOTH MATERIAL AND LABOR. EXCEPTIONS: RBS PROVIDES MATERIAL ONLY FOR THE FOLLOWING FIELD REQUIREMENTS: FLOOR CANTILEVERED AREAS, FRAME KNEEWALLS, AND RING JOIST INSULATION OF BI LEVEL AND SPLIT LEVEL MODELS. NOTE! ALL WATER PIPING IN UNCONDITIONED AREAS SHALL BE INSULATED WITH 3/4" PIPE INSULATION FIELD INSTALLED BY THE BUILDER.
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APPLICABLE STATE BUILDING CODES (SEE CERTIFICATION MANUAL FOR SPECIAL EXCEPTIONS TO LISTED CODES)									DESIGN BASIS:																																												
CONNECTICUT	CITY OF NEWARK, DE.	NEW CASTLE CO., DE.	CITY OF WILMINGTON, DE.	MARYLAND	NEW JERSEY	NORTH CAROLINA	PENNSYLVANIA	VIRGINIA																																													
1989 CT BLDG CODE SUPP. 1986 CABO 1&2 FAM. CODE 1987 BOCA NAT BLDG CODE w/ CT AMENDMENTS 1987 BOCA NAT PLUM CODE w/ CT AMENDMENTS 1987 BOCA NAT MECH CODE w/ CT AMENDMENTS 1988 LIFE SAFETY CODE 1987 NAT ELECTRIC CODE 1988 BOCA ACCUM. SUPP. 1987 BOCA NAT ENERGY CONS. CODE w/ CT AMENDMENTS	1984 BOCA NATIONAL BUILDING CODE 1984 BOCA NATIONAL PLUMBING CODE 1984 BOCA NATIONAL MECHANICAL CODE 1984 NATIONAL ELECTRIC CODE 1986 CABO 1&2 FAMILY DWELLING CODE w/ CITY OF NEWARK AMENDMENTS	1990 BOCA NAT BLDG CODE w/ NEW CASTLE CO AMEND. 1990 BOCA NAT PLUM CODE w/ NEW CASTLE CO AMEND. 1990 BOCA NAT MECH CODE w/ NEW CASTLE CO AMEND. 1990 NATIONAL ELEC. CODE	1990 BOCA NAT BLDG CODE w/ CITY OF WILM. AMEND 1990 BOCA NAT PLUM CODE w/ CITY OF WILM. AMEND. 1990 BOCA NAT MECH CODE w/ CITY OF WILM. AMEND. 1990 NATIONAL ELEC. CODE	1990 BOCA NATIONAL BUILDING CODE 1990 BOCA NATIONAL PLUMBING CODE 1990 BOCA NATIONAL MECHANICAL CODE 1990 NATIONAL ELECTRIC CODE 1990 BOCA NAT. ENERGY CONS. CODE MD SAFETY GLAZING LAW 1989 CABO 1&2 FAMILY DWELLING CODE	1990 BOCA NAT BLDG CODE & SUPPLEMENT PER NJAC (1991 BOCA AMENDMENTS) 1990 NAT STD PLUM CODE & SUPPLEMENT PER NJAC FIRE PROTECTION SUBCODE PER NJAC. 1990 BOCA NAT MECH CODE & SUPPLEMENT PER NJAC BARRIER FREE SUBCODE PER 5:23-7 NJAC 1990 BOCA NAT ENERGY CON. CODE & NJ EN. SUBCODE 1990 NATIONAL ELEC. CODE	NC STATE BLDG CODE VOL 1 (1978 ED. W/ 1990 AMEND.) NC STATE PLUM CODE VOL 2 (1980 ED. W/ 1990 AMEND.) NC STATE MECH CODE VOL 3 (1980 ED. W/ 1990 AMEND.) 1990 NATIONAL ELEC. CODE (1990 NC AMENDMENTS) NC UNIF. RES. BLDG. CODE VOL 1B (1968 ED. W/ 1990 AMENDMENTS)	1990 BOCA NATIONAL BUILDING CODE (1991 BOCA AMENDMENTS) 1990 BOCA NATIONAL PLUMBING CODE 1990 BOCA NATIONAL MECHANICAL CODE 1990 NATIONAL ELECTRIC CODE PA. ENERGY CODE - PA BULLETIN #16	1990 BOCA NATIONAL BUILDING CODE 1990 BOCA NATIONAL PLUMBING CODE 1990 BOCA NATIONAL MECHANICAL CODE 1989 CABO 1&2 FAMILY DWELLING CODE w/ 1990 SUPPLEMENT	ROOF LIVE LOAD.....30 p.s.f. ROOF DEAD LOAD.....10 p.s.f. CEILING DEAD LOAD.....10 p.s.f. 1st. FLR. LIVE LOAD.....40 p.s.f. 1st. FLR. DEAD LOAD.....10 p.s.f. 2nd. FLR. LIVE LOAD.....30 p.s.f. 2nd. FLR. DEAD LOAD.....10 p.s.f. WIND LOAD.....20 p.s.f. ROOF LIVE LOAD (N.C.).....20 p.s.f. CONSTRUCTION TYPE58 USE GROUPR3																																												
<table><tr><td>REV. NO.</td><td>DATE</td><td>REMARKS</td></tr><tr><td>4151</td><td>12/30/91</td><td>1992 SPEC. CHANGE & UPDATE</td></tr><tr><td></td><td>11/14/90</td><td>ADDED STATE CODES</td></tr><tr><td>4004</td><td>4/29/91</td><td>REV. VA. & NEW CASTLE CO. CODES</td></tr><tr><td></td><td>7/22/91</td><td>CHANGED MARYLAND TO 1990 CODES</td></tr><tr><td></td><td>8/6/91</td><td>REVISED TO REGIONAL BUILDING SYSTEM</td></tr><tr><td>4095</td><td>8/13/91</td><td>ADDED TOWNHOUSE CEILING INSUL.</td></tr></table>									REV. NO.	DATE	REMARKS	4151	12/30/91	1992 SPEC. CHANGE & UPDATE		11/14/90	ADDED STATE CODES	4004	4/29/91	REV. VA. & NEW CASTLE CO. CODES		7/22/91	CHANGED MARYLAND TO 1990 CODES		8/6/91	REVISED TO REGIONAL BUILDING SYSTEM	4095	8/13/91	ADDED TOWNHOUSE CEILING INSUL.	REGIONAL BUILDING SYSTEMS RESERVES THE EXCLUSIVE RIGHTS TO ALL DETAILS & DRAWINGS AS SHOWN ON THIS SHEET. THESE DETAILS & DRAWINGS ARE PROPRIETARY INFORMATION OF REGIONAL BUILDING SYSTEMS & UNAUTHORIZED USE MAY BE SUBJECT TO PROSECUTION TO THE FULL EXTENT OF THE LAW.	 Regional Building Systems The Builder's Builder	<table><tr><td colspan="3">MODEL</td></tr><tr><td colspan="3">TYPICAL FOR ALL MODELS</td></tr><tr><td colspan="3">DRAWING</td></tr><tr><td colspan="3">COVER SHEET</td></tr><tr><td>OPTION NO.</td><td>OPTION DESCRIPTION</td><td>SHEET NO.</td></tr><tr><td>SCALE 1/4" = 1'-0"</td><td>DRAWN BY C.A.T.</td><td>SET NO.</td></tr><tr><td colspan="2"></td><td>R1</td></tr></table>	MODEL			TYPICAL FOR ALL MODELS			DRAWING			COVER SHEET			OPTION NO.	OPTION DESCRIPTION	SHEET NO.	SCALE 1/4" = 1'-0"	DRAWN BY C.A.T.	SET NO.			R1
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FOUNDATION NOTES - FIELD

THIS DRAWING IS NOT TO BE SCALED FOR CONSTRUCTION PURPOSES. DIMENSION LINES AND NOTES SUPERCEDE ALL SCALED REFERENCES.

FOUNDATION DRAWING IS NOT PART OF APPROVAL, EXCEPT FOR METHOD OF SUPPORT.

FOUNDATION DESIGN AS SHOWN IS ONLY SUGGESTIVE. ACTUAL FOUNDATION DESIGN SHALL BE BASED ON LOCAL SOIL CONDITIONS.

DEALER AND/OR BUILDER-ERECTOR IS RESPONSIBLE FOR COMPLETE FOUNDATION, INCLUDING ANCHOR BOLTS, WATERPROOFING, DRAIN SYSTEM, VAPOR BARRIER, AND CONCRETE SLAB.

CONCRETE SLAB AND FOOTING SHALL BE 2500 P.S.I. MIN. 5 BAG.

MINIMUM SOIL BEARING PRESSURE IS 3000 P.S.F.

STEPS OR DEPTH OF FOOTING/FOUNDATION MAY VARY ACCORDING TO SITE CONDITIONS. MAINTAIN MINIMUM FROST COVER AS REQ'D.

PORCH SLAB SHALL BE 4" MINIMUM #3500 AIR ENTRAINED CONC. WITH 6 x 6 x #10 W.W.M.

STEEL REINFORCING IN SLAB AND FOOTINGS AS DICTATED BY LOCAL CODE OR SITE CONDITIONS.

TOP COURSE OF BLOCK SHALL BE SOLID OR FILLED.

BUILDER TO INSTALL 1/2" DIA. ZINC COATED STEEL ANCHOR BOLTS OR STEEL ANCHOR STRAPS 8'-0" O.C. MAX. WITH A MINIMUM OF 2 FASTENERS PER WALL AND A MAX. 1'-0" FROM END OF EACH SECTION OF PLATE.

SEE COVER SHEET FOR ADDITIONAL NOTES & INFORMATION WHICH MAY APPLY TO THIS DRAWING.

IF IT IS SUSPECTED THAT RADON GAS MAY EXIST IN THE SOIL OF THE HOMESITE, BUILDER SHOULD CONSIDER MODIFICATION OF THESE DETAILS AND DRAWINGS UTILIZING CONSTRUCTION METHODS SET FORTH IN THE U.S. ENVIRONMENTAL PROTECTION AGENCY'S GUIDES TO RADON REDUCTION IN NEW CONSTRUCTION. REGIONAL MODULAR HOMES MAKES NO WARRANTY OR REPRESENTATION OF ANY KIND, EXPRESS OR IMPLIED, REGARDING THE PRESENCE OF RADON GAS IN HOMES BUILT IN ACCORDANCE WITH THESE DETAILS AND DRAWINGS.

NEW JERSEY NOTE:

FOUNDATION DESIGN IS ONLY SUGGESTIVE. ACTUAL FOUNDATION DESIGN SHALL BE BASED ON LOCAL SOIL CONDITIONS. DESIGN IS TO BE DONE BY A P.E. OR ARCHITECT LICENSED IN NEW JERSEY IN ACCORDANCE WITH N.J.A.C. 5:23 - 4.27(d).

NOTE:

DIMENSIONS IN PARENTHESIS ARE TO BE USED WHEN THE BUILDER IS RECEIVING THE OPTIONAL RIDGID INSULATION BOARD.

HOMES WITH BRICK VENEER TO HAVE FOUNDATION DIMENSIONS ADJUSTED TO ALLOW FOR BRICK LEDGE.

REV. NO.	DATE	REMARKS
	3/17/92	ISSUED

REGIONAL BUILDING SYSTEMS RESERVES THE EXCLUSIVE RIGHTS TO ALL DETAILS & DRAWINGS AS SHOWN ON THIS SHEET. THESE DETAILS & DRAWINGS ARE PROPRIETARY INFORMATION OF REGIONAL BUILDING SYSTEMS & UNAUTHORIZED USE MAY BE SUBJECT TO PROSECUTION TO THE FULL EXTENT OF THE LAW.

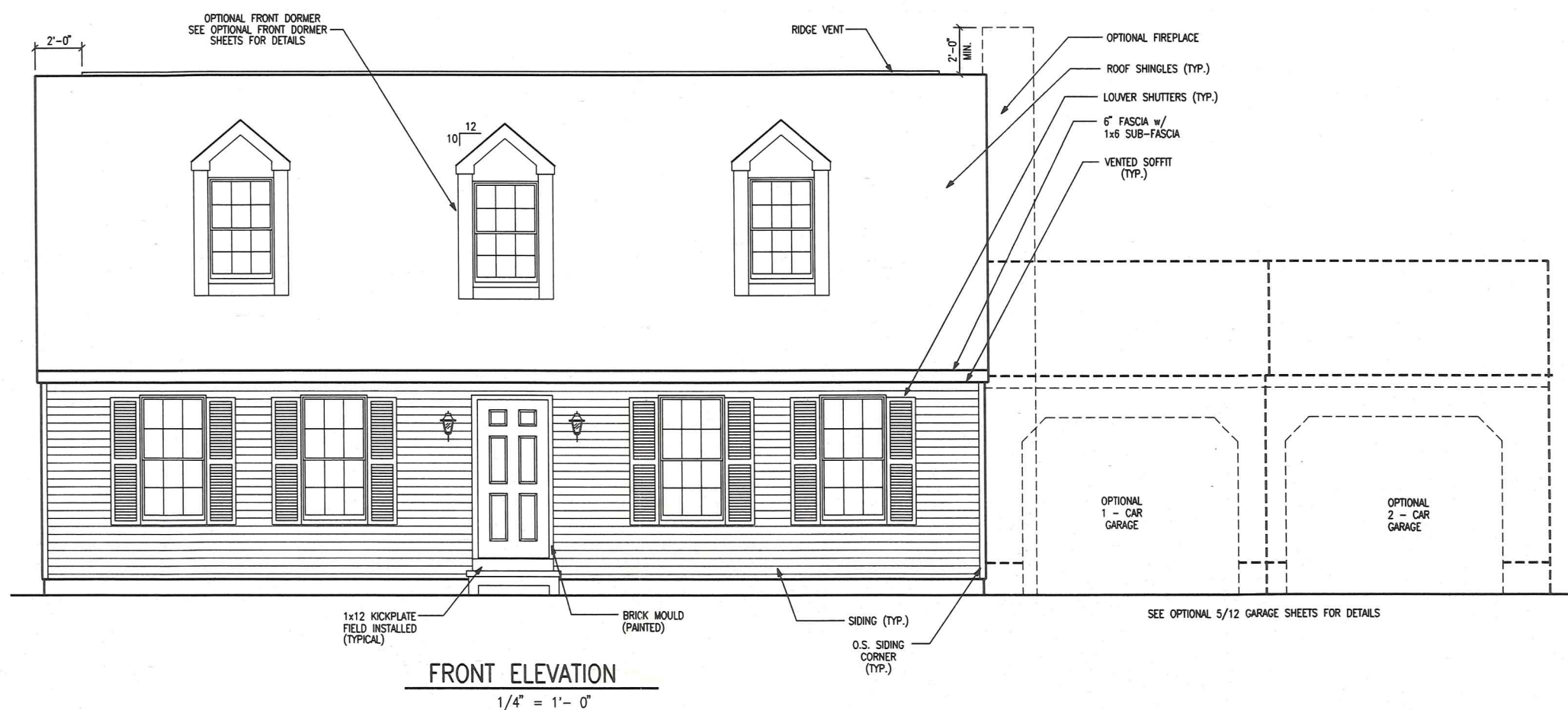
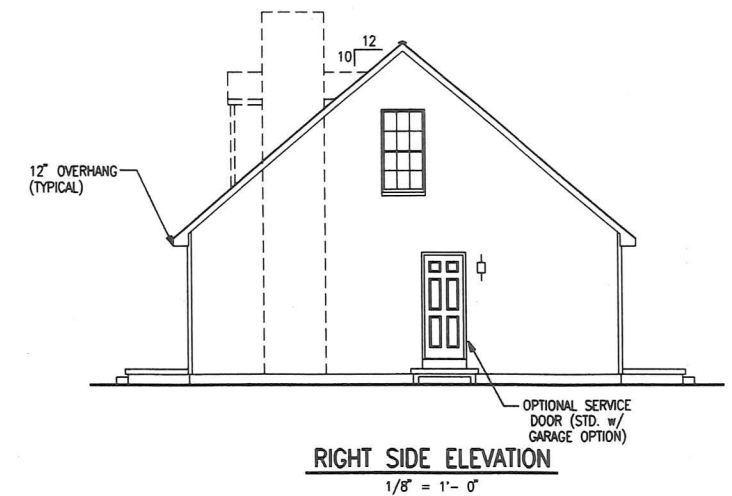
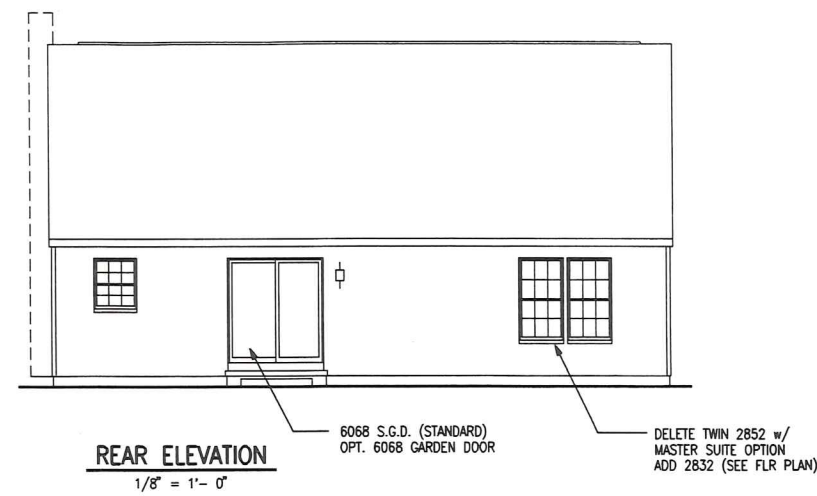
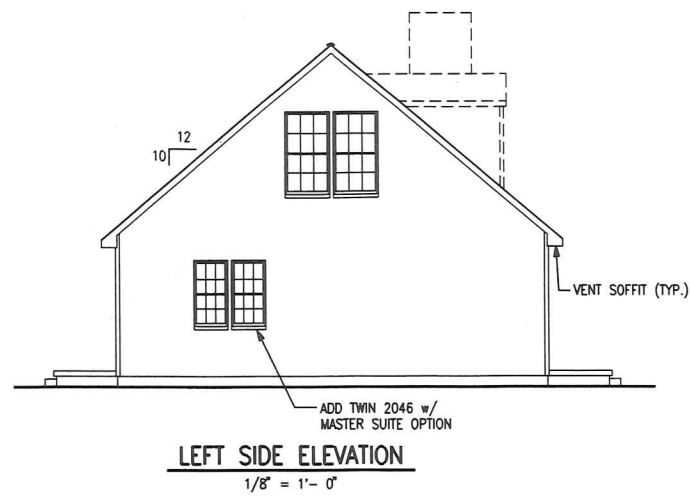


MODEL	2840 CAPE COD		
DRAWING	FOUNDATION PLAN (BASEMENT)		
OPTION DESCRIPTION	SET NO. 22840CC--A1	SHEET NO. 8	
SCALE 1/4" = 1'-0"	DRAWN BY GSB		

03/16/92 1:06 PM

PLOT SCALE = 48

DFN = S065F010.DWG



- GENERAL NOTES**
1. ALL SIDING, SIDING TRIM, SHUTTERS & DECORATIVE PANELS WILL BE SHIPPED LOOSE FOR INSTALLATION BY THE BUILDER.
 2. SHOWN WITH OPTIONAL DORMERS.
 3. SEE SHEET L1 FOR GARAGE ELEVATIONS WHEN GARAGE OPTION IS TAKEN.

REV. NO.	DATE	REMARKS
	3/17/92	ISSUED

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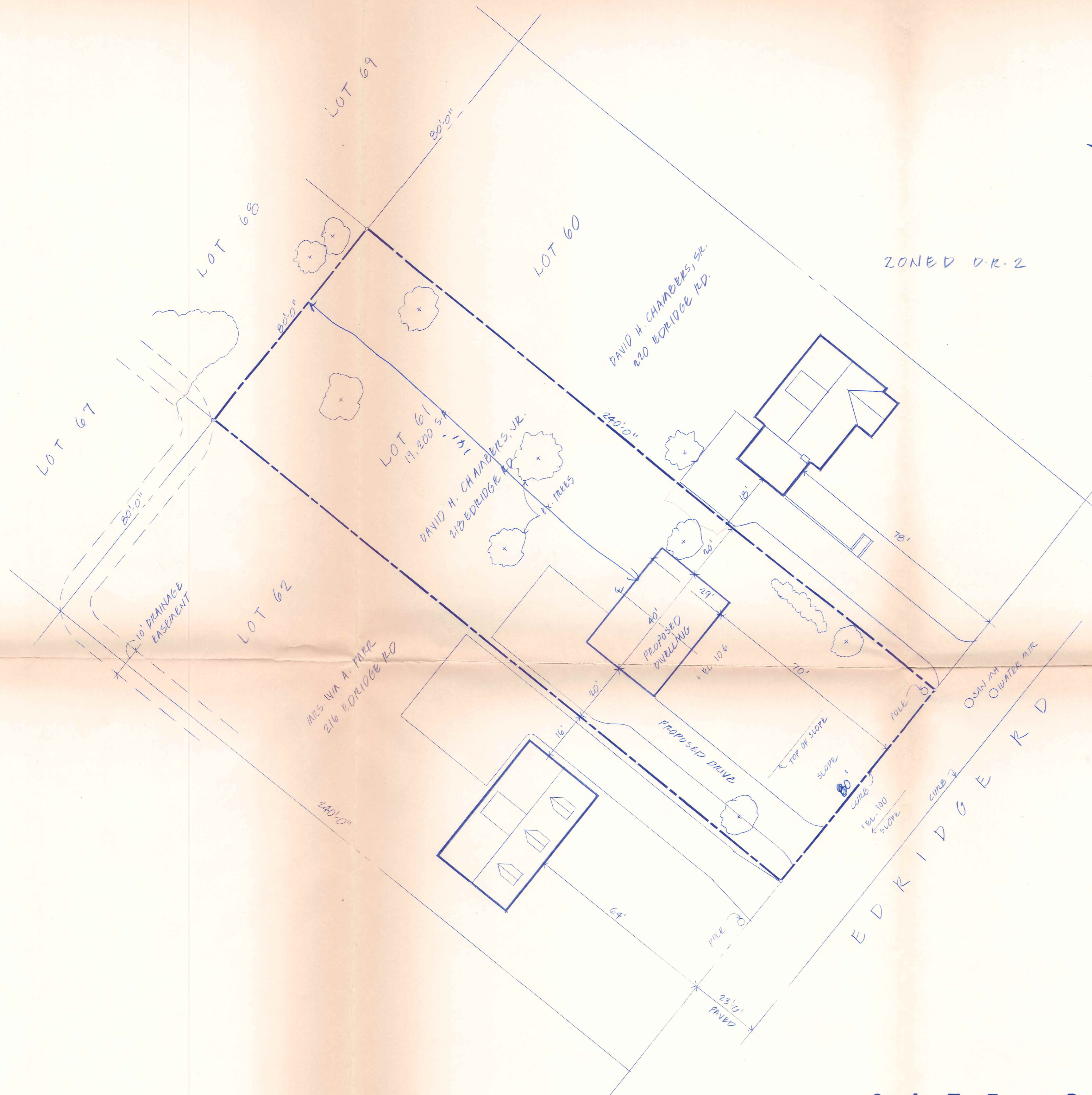


MODEL 2840 CAPE COD		
DRAWING ELEVATION		
OPTION DESCRIPTION	SET NO. 22840CC--A1 22840CC--A2	SHEET NO. 2
SCALE 1/4" = 1'-0"	DRAWN BY GSB	

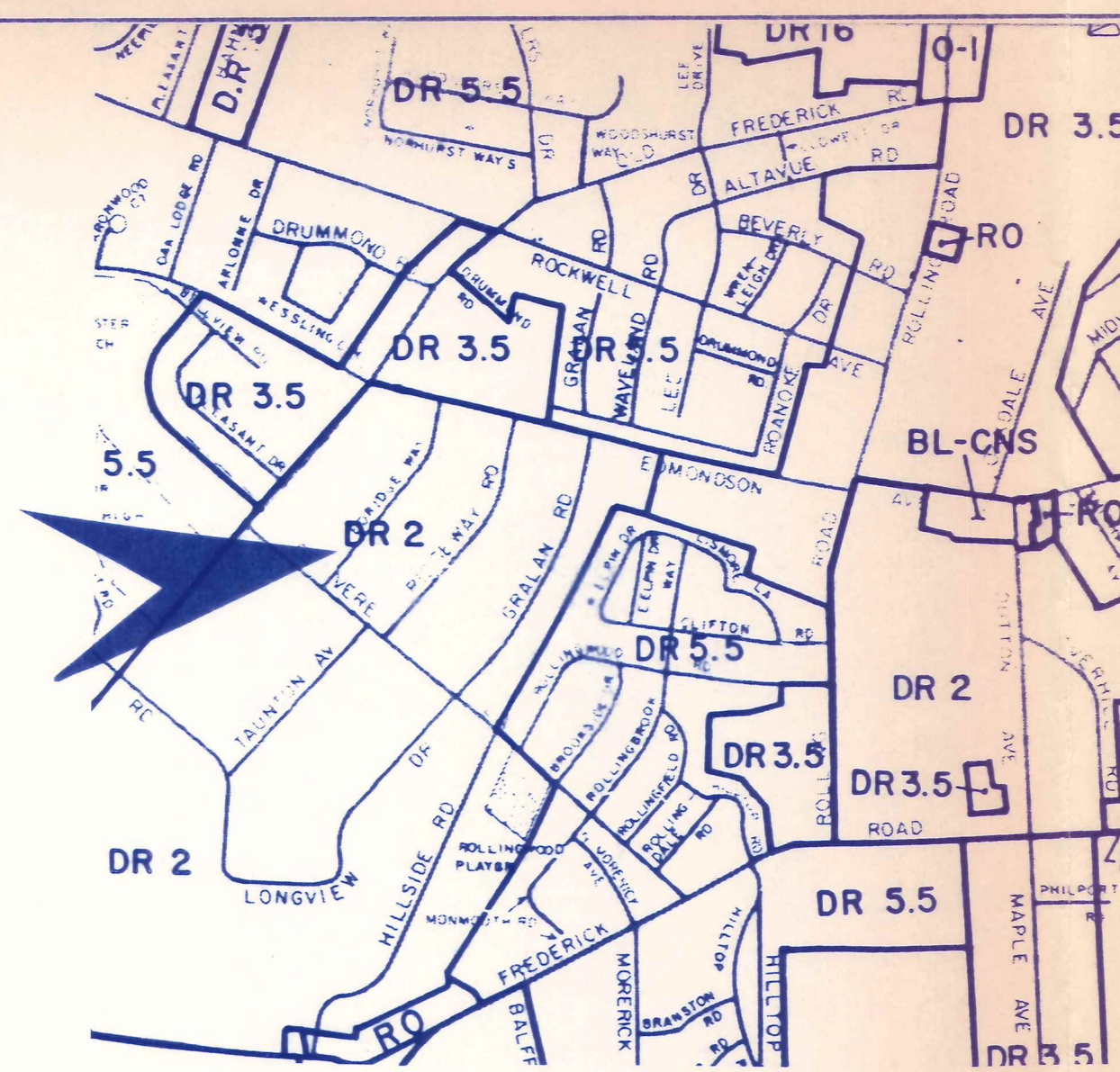
03/16/92 2:49 PM

PLOT SCALE = 48

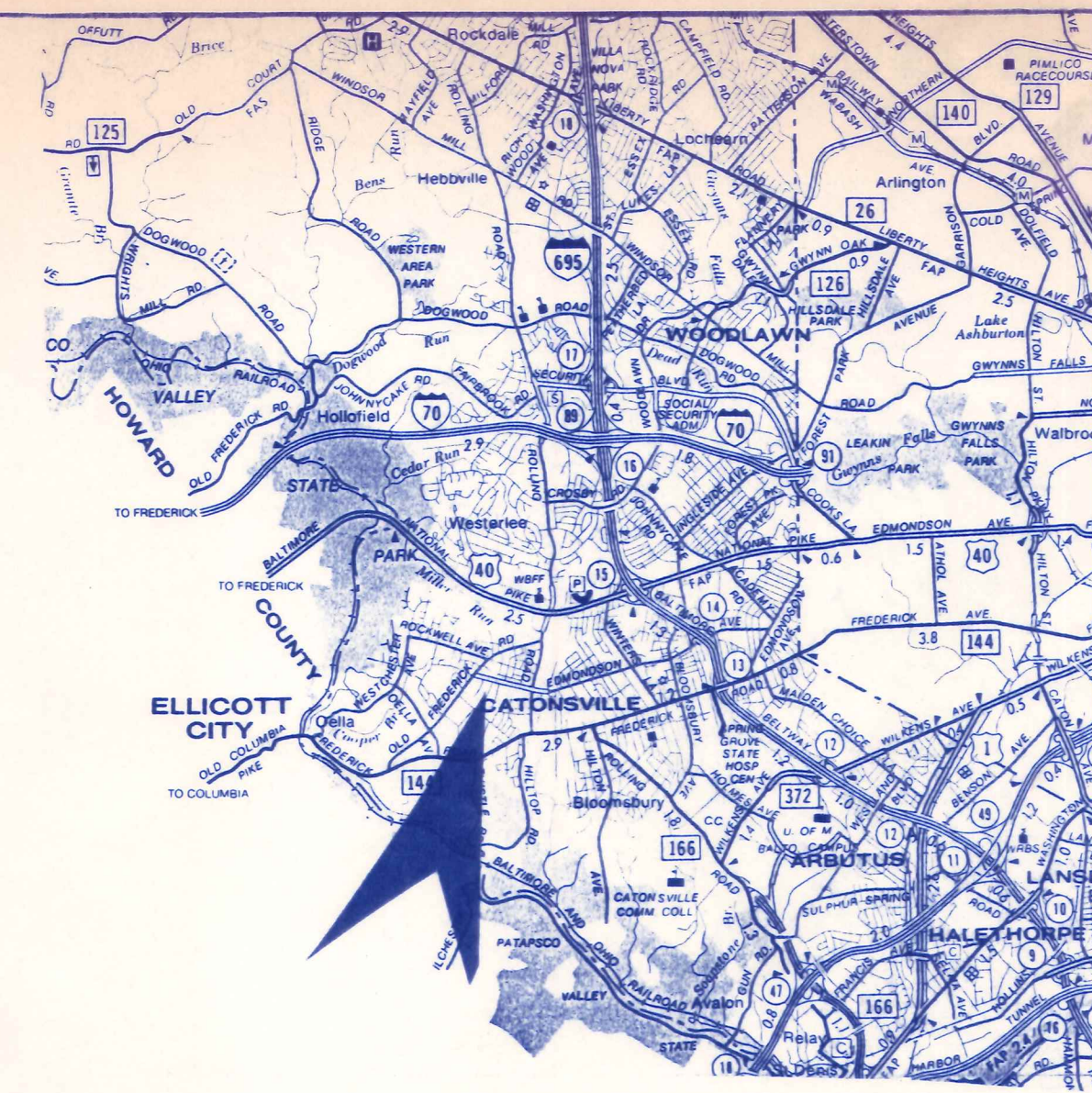
DFN = S065A010.DWG



S I T E P L A N
 SCALE: 1" = 20'



ZONE MAP 1" = 1000'



LOCATION MAP 1" = 1/2 MI.

RECEIVED
 OCT 11 1992
 OFFICE OF
 PLANNING & ZONING

ELECTION DISTRICT 1
 ZONING D.R. 2
 LOT SIZE .44 AC 19,200 SF
 LIBEL 2742 FOWD 254
 EXISTING USE - VACANT LOT

SITE PLAN
 SCALE: 1" = 20'
 DATE: 9-15-92

REVISIONS



DESIGN-BUILD CONTRACTOR:
 CLEARFOSS CONSTRUCTION CORPORATION
 4410 JOHN AVENUE, BALTIMORE, MARYLAND

PLAN TO ACCOMPANY ZONING HEARING
 DAVID HARRY CHAMBERS, JR. PROPERTY
 218 EDRIDGE ROAD, CATONSVILLE, MD

ARCHITECT