

B-144244

INTER-OFFICE CORRESPONDENCE

TO: Director, Office of Planning and Zoning
 Attn: Ervin McDaniel
 County Courts Bldg, Rm 406
 401 Bosley Av
 Towson, MD 21204

FROM: Arnold Jablon, Director, Zoning Administration and Development Management

RE: **Undersized Lots**

Pursuant to Section 304.2(Baltimore County Zoning Regulations) effective June 25, 1992; this office is requesting recommendations and comments from the Office of Planning & Zoning prior to this office's approval of a dwelling permit.

MINIMUM APPLICANT SUPPLIED INFORMATION:

☐ FRANK H. HOTTENDORF 2803 5TH ST Baltimore MD 21219 472 0631
Print Name of Applicant Address Telephone Number

☐ Lot Location 2803 5TH ST Election District 15 Council District 19 Square Feet 1,456

Land Owner FRANK HOTTENDORF Tax Account Number 1518870250

Address SAME AS ABOVE Telephone Number 472-0631

☐ CHECKLIST OF MATERIALS: (to be submitted to the Office of Planning and Zoning)
 PROVIDED?

	YES	NO
1. Permit Application	☒	☐
2. Site Plan		
Property	☒	☐
Photogrametric Map (available in Rm 206 C.O.B.)	☐	☐
3. Building Elevation Drawings	☒	☐
4. Photographs		
Adjoining Buildings	☒	☐
Surrounding Neighborhood	☒	☐

Processing Fees Paid
Codes 030 & 080
Accepted by <u>[Signature]</u>
Date <u>10-22-92</u>

TO BE FILLED IN BY THE OFFICE OF PLANNING AND ZONING ONLY!

RECOMMENDATIONS/COMMENTS:

☐ Approval ☐ Disapproval ☒ Approval conditioned on required modifications of the permit to conform with the following recommendations:

Comments are attached.

Signed by:

Ervin McDaniel
 for the Director, Office of Planning & Zoning

Date:

11/5/92

B A L T I M O R E C O U N T Y, M A R Y L A N D

INTRA-OFFICE CORRESPONDENCE

TO: Arnold Jablon, Director
Zoning Administration

DATE: November 5, 1992

FROM: Ervin Mc Daniel, Chief
Development Review Section
Office of Planning and Zoning

RE: Undersize Lot

PROJECT NAME: 2803 5th Street (B-144244)

RECOMMENDATIONS/COMMENTS:

The Office of Planning and Zoning has reviewed the submitted material for the lot located at 2803 5th Street and recommends approval subject to the following conditions being met.

1. The proposed house can be brought into more compatible scale relationship with the adjacent homes by adding a walk-in-attic with a pitched roof that resembles that of house number 2801 in slope, overhang and trim. This will also increase the visual appeal from the road.
2. Create a distinctive front to the house by adding a covered porch. The porch, acting as a vestibule will protect the entrance from the weather. The covered porch will also enhance the outdoor use of the front yard. The porch should extend out from the proposed building front and remain as an open porch.
3. Borrow architectural details such as the wood railing and white picket fence of house number 2805 and repeat similar color tones and siding to create continuity between the houses.
4. Landscaping should include a shade tree along the street and a flowering tree at the east corner of the house to help screen view of neighboring parking area.
5. An alternative parking arrangement would be to provide a narrow drive and create a small parking court with a "T" turnaround enclosed by a picket fence and landscaping that would improve privacy and create a sense of entrance to the residence. (Reference sketch #2.)
6. Reference attached sketches which are included to assist in communicating the above mentioned recommendations.

NL:rdn

Baltimore County Government
Office of Zoning Administration
and Development Management



111 West Chesapeake Avenue
Towson, MD 21204

(410) 887-3353

November 25, 1992

Mr. Frank H. Hottendorf
2803 Fifth Street
Baltimore, MD 21219

RE: Building Permit No. B-144244
2803 Fifth Street
15th Election District

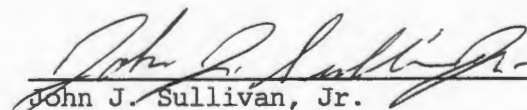
Dear Mr. Hottendorf:

The Zoning Office will conditionally approve the above referenced building permit application however, see below.

_____ Improper setbacks
_____ Improper use
_____ Improper location
_____ Inspection of the property must be made
_____ Insufficient information on permit/plans
_____ REVISED PLANS (10 COPIES) MUST BE SUBMITTED
TO COUNTER IN ROOM 100, COUNTY OFFICE BUILDING,
111 WEST CHESAPEAKE AVENUE, TOWSON, MARYLAND.
ALL PLANS MUST BE ACCOMPANIED BY A COVER
LETTER LISTING THE REVISIONS AND REFERENCING
THE PERMIT AND CONTROL NUMBER. REVISED PLANS
MUST BE FOLDED TO 8 1/2" x 11".
____XX____ There must be compliance with Mr. Ervin
McDaniel's comments (numbers 1 & 2) dated
November 5, 1992, a copy of which was mailed to
you this morning.

If you have any further questions, you may contact me at
887-3391 to make an appointment.

Very truly yours,


John J. Sullivan, Jr.
Planner II

JJS:hek
cc: Zoning File
Ervin McDaniel



SCHEDULED DATES, CERTIFICATE OF FILING AND POSTING
FOR A BUILDING PERMIT APPLICATION PURSUANT TO SECTION 304.2
ZONING ADMINISTRATION AND DEVELOPMENT MANAGEMENT

County Office Building
111 W. Chesapeake Avenue
Towson, Maryland 21204

The application for your proposed Building Permit Application has been accepted
for filing by John Sullivan on 10-22-92
Date (A)

A sign indicating the proposed Building must be posted on the property for
fifteen (15) days before a decision can be rendered. The cost of filing is
\$50.00 and posting \$35.00; total \$85.00.

In the absence of a request for public hearing during the 15-day posting period,
a decision can be expected within approximately four weeks. However, if a valid
demand is received by the closing date, then the decision shall only be rendered
after the required public special hearing.

*SUGGESTED POSTING DATE 10-2-92 D (15 Days Before C)

DATE POSTED 10/31/92

HEARING REQUESTED-YES ☐ NO ☐ -DATE _____

CLOSING DAY (LAST DAY FOR HEARING DEMAND) 11-17-92 C (B-3 Work Days)

TENTATIVE DECISION DATE 11-21-92 B (A + 30 Days)

*Usually within 15 days of filing

CERTIFICATE OF POSTING

District 1566

Location of property N E/S 5th St & NW/Cockold Pt. Rd
2803 5th St, 21219

Posted by: M. Healy Date of Posting: 10/31/92
Signature

Number of Signs: 1

CK/UNDER.LOT (TXTSOPH)

PERMIT #: B/144244
RECEIPT #: 1
CONTROL #: N/A
XREF #:PROPERTY ADDRESS: 2803 5th ST
Baltimore MD 21219
SUBDIV: SWAN POINT 9/5
TAX ACCOUNT #: 1518870250 DISTRICT/PRECINCT
OWNER'S INFORMATION (LAST, FIRST) 15
NAME: FRANK H. HOTTENDORF
ADDR: 2803 5th ST 21219FEE: 100.00 + 5.00
PAID: 105.00
PAID BY: N/A
INSPECTOR: N/AI HAVE CAREFULLY READ THIS APPLICATION
AND KNOW THE SAME IS CORRECT AND TRUE,
AND THAT IN DOING THIS WORK ALL PROVI-
SIONS OF THE BALTIMORE COUNTY CODE AND
APPROPRIATE STATE REGULATIONS WILL BE
COMPLIED WITH WHETHER HEREIN SPECIFIED
OR NOT AND WILL REQUEST ALL REQUIRED
INSPECTIONS.

BUILDING 1 or 2 FAM.

CODE CODE
BOCA CODE 90

TYPE OF IMPROVEMENT

1. ☒ NEW BLDG CONST
2. ☐ ADDITION
3. ☐ ALTERATION
4. ☐ REPAIR
5. ☒ WRECKING
6. ☐ MOVING
7. ☐ OTHER

TYPE OF USE

RESIDENTIAL

01. ☒ ONE FAMILY
02. ☐ TWO FAMILY
03. ☐ THREE AND FOUR FAMILY
04. ☐ FIVE OR MORE FAMILY
(ENTER NO UNITS) _____
05. ☐ SWIMMING POOL
06. ☐ GARAGE
07. ☐ OTHER

TYPE FOUNDATION

1. ☐ SLAB
2. ☐ BLOCK
3. ☒ CONCRETE

BASEMENT

1. ☐ FULL
2. ☐ PARTIAL
3. ☒ NONE

CRAWL

DESCRIBE PROPOSED WORK:

CONSTRUCT FOUNDATION FOR + ERECT
STATE APPROVED INDUSTRIALIZED DWELLING
NO FIREPLACE 3 BEDROOMS.

NON-RESIDENTIAL

REFER TO B

08. ☐ AMUSEMENT, RECREATION, PLACE OF ASSEMBLY FOR RAZING
09. ☐ CHURCH, OTHER RELIGIOUS BUILDING
10. ☐ FENCE (LENGTH HEIGHT)
11. ☐ INDUSTRIAL, STORAGE BUILDING
12. ☐ PARKING GARAGE
13. ☐ SERVICE STATION, REPAIR GARAGE
14. ☐ HOSPITAL, INSTITUTIONAL, NURSING HOME
15. ☐ OFFICE, BANK, PROFESSIONAL
16. ☐ PUBLIC UTILITY
17. ☐ SCHOOL, COLLEGE, OTHER EDUCATIONAL
18. ☐ SIGN
19. ☐ STORE MERCANTILE RESTAURANT
SPECIFY TYPE _____
20. ☐ SWIMMING POOL SPECIFY TYPE _____
21. ☐ TANK, TOWER
22. ☐ TRANSIENT HOTEL, MOTEL (NO. UNITS _____)
23. ☐ OTHER

56' x 26' x
= 1,456 SF
Grade elev: 5.0
LFF = 10.0

TYPE OF CONSTRUCTION

1. ☐ MASONRY
2. ☒ WOOD FRAME
3. ☐ STRUCTURE STEEL
4. ☐ REINF. CONCRETE

TYPE OF HEATING FUEL

1. ☐ GAS 3. ☒ ELECTRICITY
2. ☐ OIL 4. ☐ COAL

TYPE OF SEWAGE DISPOSAL

1. ☒ PUBLIC SEWER
2. ☐ PRIVATE SYSTEM
SEPTIC EXISTS PROPOSED
PRIVY EXISTS PROPOSED

CENTRAL AIR: 1. ☒ YES 2. ☐ NO
ESTIMATED COST: \$ 62,000

OF MATERIALS AND LABOR

PROPOSED USE:

EXISTING USE:

OWNERSHIP

1. ☒ PRIVATELY OWNED 2. ☐ PUBLICLY OWNED

RESIDENTIAL CATEGORY:

1. ☒ DETACHED 2. ☐ SEMI-DET. 3. ☐ GROUP 4. ☐ TOWNHSE 5. ☐ MIDRISE
#EFF: #1BED: 3 #2BED: 0 #3BED: 0 TOT BED: 3 TOT APTS: 0 6. ☐ HIRISE

GARBAGE DISPOSAL

POWDER ROOMS

1. ☒ YES 2. ☐ NO

BATHROOMS

KITCHENS

CLASS

LIBER

FOLIO

BUILDING SIZE

FLOOR

WIDTH

DEPTH

STORIES

LOT #'S

CORNER LOT

1. ☐ YES 2. ☒ NO

LOT SIZE AND SETBACKS

SIZE

FRONT STREET

SIDE STREET

FRONT SETBK

SIDE SETBK

SIDE STR SETBK

REAR SETBK

APPROVAL SIGNATURES

DATE

BLD INSP: Follow OK to file 9/28/92
BLD PLAN: Follow OK to file 9/28/92
FIRE: Follow OK to file 9/28/92
SEDI CTL: Follow OK to file 9/28/92
ZONING: Follow OK to file 9/28/92
PUB SERV: Follow OK to file 9/28/92
ENVIRONMENT: Follow OK to file 9/28/92
PLANNING: Follow OK to file 9/28/92
PERMITS: Follow OK to file 9/28/92

MAKE CHECKS PAYABLE TO BALTIMORE COUNTY MARYLAND -- NO PERMIT FEES REFUNDED

X NO CROSS REFLECTING 1 STORY WITHOUT BASEMENT
X PLANS NOT TO SCALE

BALTIMORE COUNTY, MARYLAND
OFFICE OF FINANCE - REVENUE DIVISION
MISCELLANEOUS CASH RECEIPT

No. 108052

DATE 10-22-92 ACCOUNT R-001-6150

AMOUNT \$ 85.00

RECEIVED FROM: Mr. Hottendorf

FOR: Undersize lot - zoning procedure

D4A04#D142MICHRC

\$85.00

BA 0012:59PM 10-28-92

VALIDATION OR SIGNATURE OF CASHIER

DISTRIBUTION

WHITE - CASHIER PINK - AGENCY YELLOW - CUSTOMER





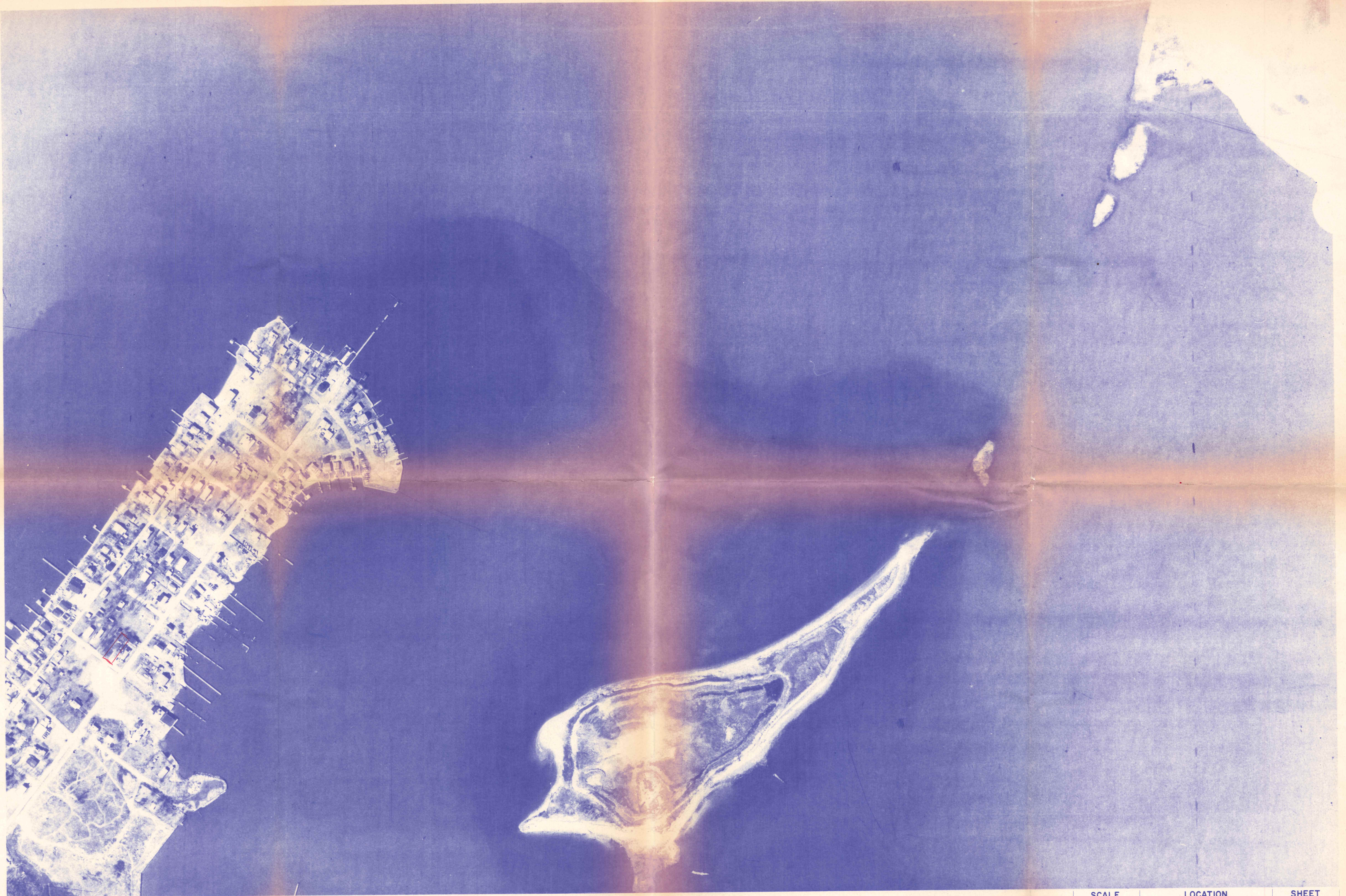
2805



2803

2801

near of
2803



BALTIMORE COUNTY
OFFICE OF PLANNING AND ZONING
PHOTOGRAPHIC MAP

PREPARED BY AIR PHOTOGRAPHICS, INC.
MARTINSBURG, W.V. 25401

SCALE	LOCATION	SHEET
1" = 200' ±	CUCKOLD POINT	S.E.
DATE OF PHOTOGRAPHY JANUARY 1986	NEW BAY SHORE PARK	6-K

SE, 6-K



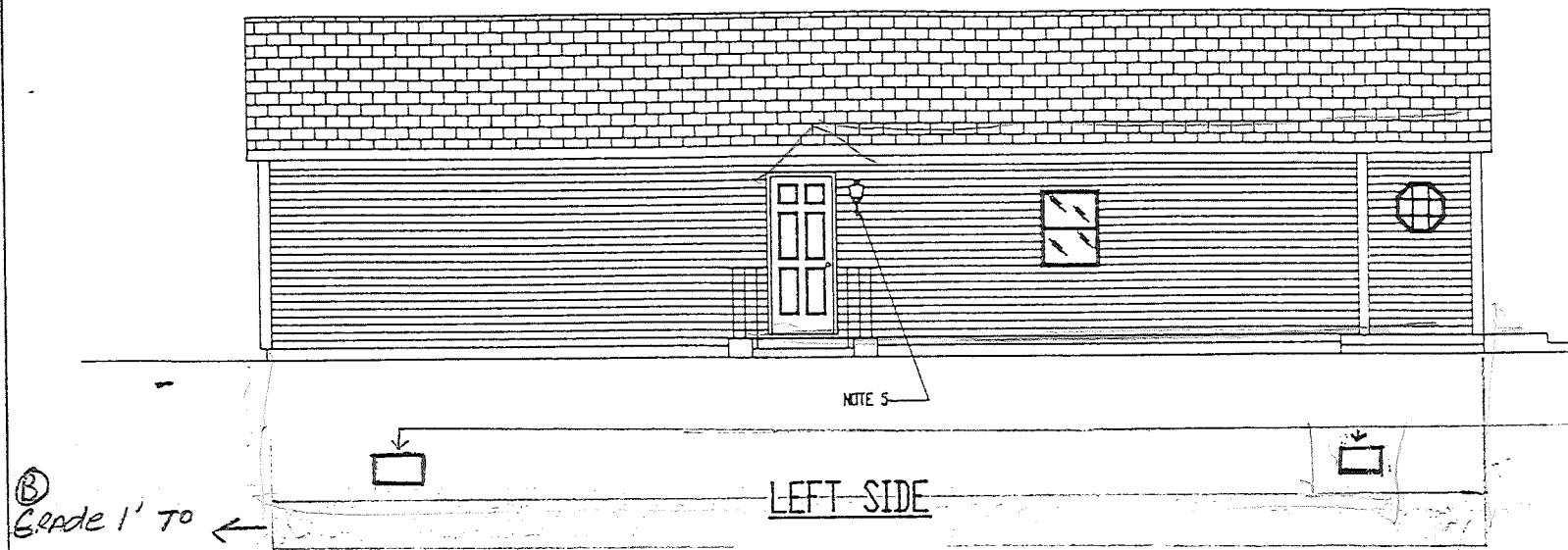
Oct. 13, 1983

Bill Nos. 144-88, 145-88, 146-88, 147-88, 148-88, 149-88, 150

FIELD NOTES

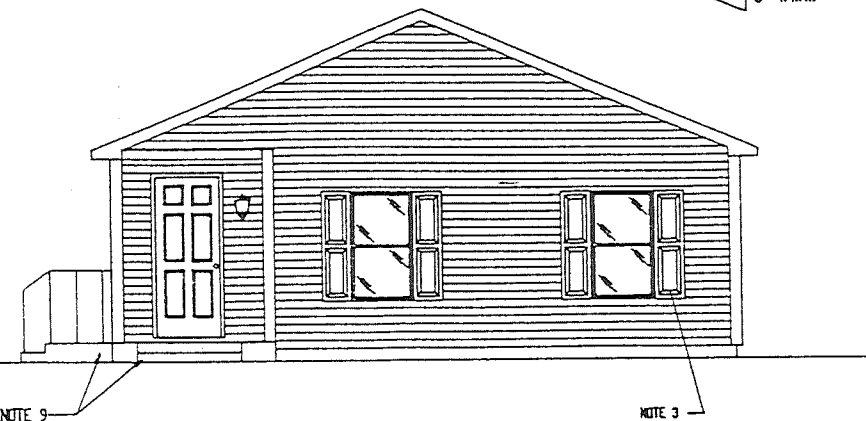
1. All notes stating "in field" or "by owner" are obligation pertaining to the dealer and/or builder.
2. Gutters and leaders by owner.
3. Shutters are standard on front only.
4. Basement windows by owner.
5. All exterior lights are factory supplied and field installed.
6. Vinyl or aluminum siding for right and left ends is shipped loose for field installation.
7. The bottom row of lap siding on the front and rear is shipped loose along with starter strip for field installation after securing floor to foundation sill plate.
8. Roof is a hinged system requiring field completion.
9. Footings, foundations and steps are field obligation.
10. Designed for a snow load of 40 PSF with rafters at 24" oc.

12
5 (min.)

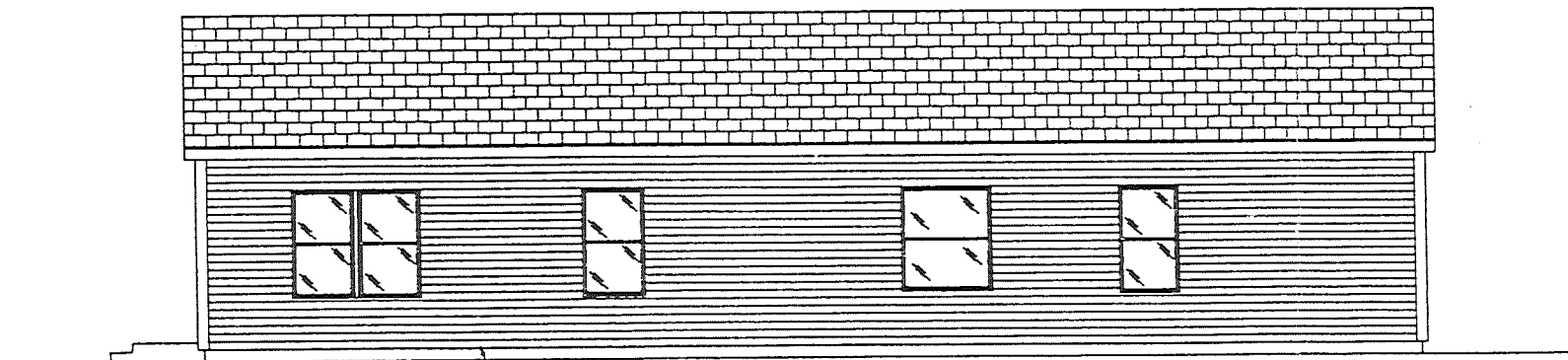


LEFT SIDE

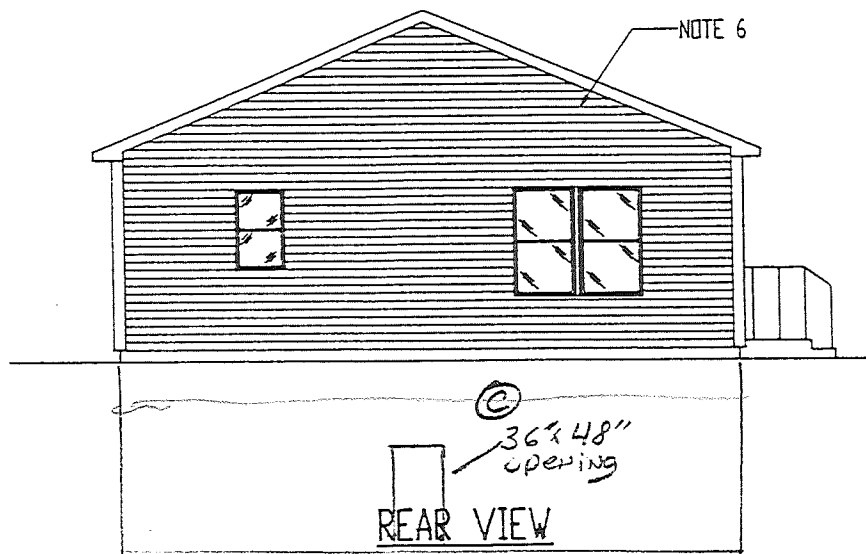
NOTE 9
NOTE 8
OPENINGS FOR
FLOOD WATERS



FRONT VIEW



RIGHT SIDE

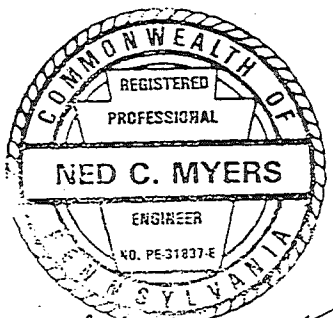


REAR VIEW

NOTES

- A- Openings For Flood WATERS will be openings in block measuring 2' 7". 2 on both sides. 1' Above GRADE.
- B- Grade TO BE SAME INSIDE CRAWL SPACE AS OUTSIDE.
- C- Opening in REAR WALL

ALL DIMENSIONS MUST BE FIELD VERIFIED BY THE CONTRACTOR. PROGRESSIVE ENGINEERING, INC. SHALL NOT BE RESPONSIBLE FOR ANY DIMENSIONAL DISCREPANCIES WHICH HAVE NOT BEEN BROUGHT TO THEIR ATTENTION PRIOR TO CONSTRUCTION.



Ned C. Myers

NOV 04 1991

REV	DESCRIPTION	DATE	BY	DWG. NO.	REV
				79 (PG 4)	
TITLE: ELEVATION				SCALE: (22x34) 1/4"=12"	DATE: 9-13-91
				SCALE: (11x17) 1/8"=12"	DRWN. BY: JSB

Crest Homes

PLANTING
TREES

OK Planning
ERIN MCDANIEL
12/02/92

FUTURE
DECK

Porch
Steps

PRIVACY FENCE

CHAIN LINK FENCE

EVERGREENS

EVERGREENS

WHITE STONE

5th Street

PLANTING TREES

OK Planning
ERIN MCDANIEL
12/24/92

FUTURE
DECK

Porch
steps

PRIVACY FENCE

CHAIN LINK FENCE

EVERGREENS

EVERGREENS

White Stone

5th Street

