

**INTER-OFFICE CORRESPONDENCE  
RECOMMENDATION FORM**

**TO:** Director, Office of Planning and Zoning  
Attn: Ervin McDaniel  
County Courts Bldg, Rm 406  
401 Bosley Av  
Towson, MD 21204

**B** \_\_\_\_\_  
Permit Number

**FROM:** Arnold Jablon, Director, Zoning Administration and Development Management

**RE:** Undersized Lots

Pursuant to Section 304.2(Baltimore County Zoning Regulations) effective June 25, 1992; this office is requesting recommendations and comments from the Office of Planning & Zoning prior to this office's approval of a dwelling permit.

**MINIMUM APPLICANT SUPPLIED INFORMATION:**

☐ CHARLES STAEHEL 41 RIDGEMOOR RD. ESSEX - MD. 21221 410-686-0028  
Print Name of Applicant Address Telephone Number

☐ Lot Address 7318 CHEESAPEAKE RD. 21220 Election District 15<sup>TH</sup> Council District 5<sup>TH</sup> Square Feet 10 000 sq. ft.

Lot Location: N E S W / side / corner of NES Chesapeake Rd. 417 feet from N E S W corner of SE Gunpowder Rd.  
(street) (street)

Land Owner CHARLES + LOUISE STAEHEL Tax Account Number 15-19-072710

Address 41 RIDGEMOOR RD. Telephone Number 410-686-0028  
ESSEX, MD. 21221

☐ **CHECKLIST OF MATERIALS:** (to be submitted for design review by the Office of Planning and Zoning)

|                                                                                      | <b>PROVIDED?</b>                    |                          |
|--------------------------------------------------------------------------------------|-------------------------------------|--------------------------|
|                                                                                      | <b>YES</b>                          | <b>NO</b>                |
| <input checked="" type="checkbox"/> 1. This Recommendation Form (3 copies)           | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| <input checked="" type="checkbox"/> 2. Permit Application                            | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| <input checked="" type="checkbox"/> 3. Site Plan                                     | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| Property (3 copies)                                                                  | <input type="checkbox"/>            | <input type="checkbox"/> |
| Topo Map (available in Rm 206 C.O.B.) (2 copies)                                     | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| (please label site clearly)                                                          | <input type="checkbox"/>            | <input type="checkbox"/> |
| <input checked="" type="checkbox"/> 4. Building Elevation Drawings                   | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| <input checked="" type="checkbox"/> 5. Photographs (please label all photos clearly) | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| Adjoining Buildings                                                                  | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| Surrounding Neighborhood                                                             | <input checked="" type="checkbox"/> | <input type="checkbox"/> |

Residential Processing Fee Per  
Codes 030 & 080 (\$85)

Accepted by [Signature]  
ZOM

Date 7-30-93

**TO BE FILLED IN BY THE OFFICE OF PLANNING AND ZONING ONLY!**

**RECOMMENDATIONS/COMMENTS:**

☐ Approval    ☐ Disapproval    ☐ Approval conditioned on required modifications of the permit to conform with the following recommendations:

SCHEDULED DATES, CERTIFICATE OF FILING AND POSTING  
FOR A BUILDING PERMIT APPLICATION PURSUANT TO SECTION 304.2  
ZONING ADMINISTRATION AND DEVELOPMENT MANAGEMENT

County Office Building  
111 W. Chesapeake Avenue  
Towson, Maryland 21204

The application for your proposed Building Permit Application has been accepted  
for filing by [Signature] on 7-30-93  
Date (A)

A sign indicating the proposed Building must be posted on the property for  
fifteen (15) days before a decision can be rendered. The cost of filing is  
\$50.00 and posting \$35.00; total \$85.00.

In the absence of a request for public hearing during the 15-day posting period,  
a decision can be expected within approximately four weeks. However, if a valid  
demand is received by the closing date, then the decision shall only be rendered  
after the required public special hearing.

\*SUGGESTED POSTING DATE 8-9-93 D (15 Days Before C)

DATE POSTED \_\_\_\_\_

HEARING REQUESTED-YES \_\_\_\_\_ NO \_\_\_\_\_ -DATE \_\_\_\_\_

CLOSING DAY (LAST DAY FOR HEARING DEMAND) 8-24-93 C (B-3 Work Days)

TENTATIVE DECISION DATE 8-29-93 B (A + 30 Days)

\*Usually within 15 days of filing

-----  
CERTIFICATE OF POSTING

District \_\_\_\_\_

Location of property: \_\_\_\_\_

Posted by: \_\_\_\_\_ Date of Posting: \_\_\_\_\_

Signature

Number of Signs: \_\_\_\_\_

CK/UNDER.LOT (TXTSOPH)

fee is \$4.80 per 100

APPLICATION FOR PERMIT  
BALTIMORE COUNTY MARYLAND  
OFFICE OF THE BUILDING ENGINEER  
TOWSON, MARYLAND 21204

min. 100 + 5 = 105.00

OEA: SAS  
HISTORIC DISTRICT/BLDG.

PERMIT #: B/163578  
RECEIPT #: A  
CONTROL #: NR  
XREF #:

PROPERTY ADDRESS 7318 Chesapeake Rd YES ☐ NO ☒  
SUBDIV: Oliver Beach DO NOT KNOW ☐  
TAX ACCOUNT #: 15-19-072710 DISTRICT/PRECINCT 15 19

FEE: 100 + 5 = 105.00  
PAID: 105.00  
PAID BY: appt.  
INSPECTOR:

OWNER'S INFORMATION (LAST, FIRST)  
NAME: STAEHEL, Charles  
ADDR: 41 Ridgemont Rd., Essex, Md. 21221

I HAVE CAREFULLY READ THIS APPLICATION AND KNOW THE SAME IS CORRECT AND TRUE, AND THAT IN DOING THIS WORK ALL PROVISIONS OF THE BALTIMORE COUNTY CODE AND APPROPRIATE STATE REGULATIONS WILL BE COMPLIED WITH WHETHER HEREIN SPECIFIED OR NOT AND WILL REQUEST ALL REQUIRED INSPECTIONS.

APPLICANT INFORMATION

NAME: \_\_\_\_\_  
COMPANY: \_\_\_\_\_  
ADDR1: \_\_\_\_\_  
ADDR2: \_\_\_\_\_  
PHONE #: \_\_\_\_\_ MHIC LICENSE #: \_\_\_\_\_  
SIGNATURE: \_\_\_\_\_ TRACT: \_\_\_\_\_ BLOCK: \_\_\_\_\_  
PLANS: CONST 2 PLOT 7 PLAT 0 DATA 0 EL 1 PL 1  
TENANT: \_\_\_\_\_  
CONTR: owner  
ENGR: \_\_\_\_\_  
SELLR: Schonten, Marlene  
7318 Chesapeake Rd. 21220

BUILDING 1 or 2 FAM.  
CODE CODE ☒  
BOCA CODE

- TYPE OF IMPROVEMENT
- ☒ NEW BLDG CONST
  - ☐ ADDITION
  - ☐ ALTERATION
  - ☐ REPAIR
  - ☐ WRECKING
  - ☐ MOVING
  - ☐ OTHER

DESCRIBE PROPOSED WORK: Const. foundation for + erect State approved industrialized dwelling.

TYPE OF USE

RESIDENTIAL

- ☒ ONE FAMILY
- ☐ TWO FAMILY
- ☐ THREE AND FOUR FAMILY
- ☐ FIVE OR MORE FAMILY (ENTER NO UNITS) \_\_\_\_\_
- ☐ SWIMMING POOL
- ☐ GARAGE
- ☐ OTHER

NON-RESIDENTIAL

- ☐ AMUSEMENT, RECREATION, PLACE OF ASSEMBLY
- ☐ CHURCH, OTHER RELIGIOUS BUILDING
- ☐ FENCE (LENGTH \_\_\_\_\_ HEIGHT \_\_\_\_\_) refer to B/163578 for razing permit.
- ☐ INDUSTRIAL, STORAGE BUILDING
- ☐ PARKING GARAGE
- ☐ SERVICE STATION, REPAIR GARAGE
- ☐ HOSPITAL, INSTITUTIONAL, NURSING HOME
- ☐ OFFICE, BANK, PROFESSIONAL
- ☐ PUBLIC UTILITY
- ☐ SCHOOL, COLLEGE, OTHER EDUCATIONAL
- ☐ SIGN
- ☐ STORE \_\_\_\_\_ MERCANTILE \_\_\_\_\_ RESTAURANT \_\_\_\_\_ SPECIFY TYPE \_\_\_\_\_
- ☐ SWIMMING POOL \_\_\_\_\_ SPECIFY TYPE \_\_\_\_\_
- ☐ TANK, TOWER
- ☐ TRANSIENT HOTEL, MOTEL (NO. UNITS \_\_\_\_\_)
- ☐ OTHER

TYPE FOUNDATION

- ☐ SLAB
- ☒ BLOCK
- ☐ CONCRETE

BASEMENT

- ☐ FULL
- ☐ PARTIAL
- ☒ NONE

crawl

TYPE OF CONSTRUCTION

- ☐ MASONRY
- ☒ WOOD FRAME
- ☐ STRUCTURE STEEL
- ☐ REINF. CONCRETE

TYPE OF HEATING FUEL

- ☐ GAS
- ☐ OIL
- ☐ ELECTRICITY
- ☐ COAL

TYPE OF SEWAGE DISPOSAL

- ☒ PUBLIC SEWER ☒ EXISTS ☐ PROPOSED
- ☐ PRIVATE SYSTEM ☐ SEPTIC ☐ EXISTS ☐ PROPOSED
- ☐ PRIVY ☐ EXISTS ☐ PROPOSED

CENTRAL AIR: 1. ☐ 2. ☒  
ESTIMATED COST: \$40,900  
OF MATERIALS AND LABOR

TYPE OF WATER SUPPLY

- ☒ PUBLIC SYSTEM ☒ EXISTS ☐ PROPOSED
- ☐ PRIVATE SYSTEM ☐ EXISTS ☐ PROPOSED

PROPOSED USE:

EXISTING USE:

OWNERSHIP

- ☒ PRIVATELY OWNED
- ☐ PUBLICLY OWNED
- ☐ SALE
- ☐ RENTAL

RESIDENTIAL CATEGORY:

- ☒ DETACHED
- ☐ SEMI-DET.
- ☐ GROUP
- ☐ TOWNHSE
- ☐ MIDRISE
- ☐ HIRISE

#EFF: #1BED: 3 #2BED: 2 #3BED: 1 TOT BED: 6

1 FAMILY BEDROOMS 3

GARBAGE DISPOSAL 1. Y 2. KN

POWDER ROOMS 0

BATHROOMS 2  
KITCHENS 1

CLASS 04  
LIBER 13

FOLIO 123

sect. B

BUILDING SIZE  
FLOOR 1.221  
WIDTH 44.1  
DEPTH 27.7  
HEIGHT  
STORIES 1 crawl  
LOT #'S 26  
CORNER LOT  
1. Y 2. N

LOT SIZE AND SETBACKS  
SIZE 50 x 200  
FRONT STREET  
SIDE STREET  
FRONT SETBK 45  
SIDE SETBK 11'2 1/2  
SIDE STR SETBK 11'2 1/2  
REAR SETBK 110.90  
ZONING

| APPROVAL SIGNATURES |               | DATE |
|---------------------|---------------|------|
| BLD INSP            |               |      |
| BLD PLAN            |               |      |
| FIRE                |               |      |
| SEDI CTL            |               |      |
| ZONING              | <u>109</u>    |      |
| PUB SERV            | <u>109</u>    |      |
| ENVRMNT             | <u>NC 416</u> |      |
| PERMITS             |               |      |

MAKE CHECKS PAYABLE TO BALTIMORE COUNTY MARYLAND -- NO PERMIT FEES REFUNDED

now need  
const. plans  
marked, mod, etc. + also  
need 2 full sets of construction plans  
house drawn to scale & with setbacks  
height from lowest ground  
grade to roof peak  
on it.



Baltimore County  
Zoning Administration &  
Development Management  
111 West Chesapeake Avenue  
Towson, Maryland 21204

receipt

Account: R-001-6150

Number

Date 7-30-93

Undersized Lot Procedure  
Site: 7318 Chesapeake Rd.

Owners: Mr. Charles Staeheli

Address: 41 Ridgemoor Rd.  
BALTO., Md. 21221

Taken in by: *[Signature]*

|                       |       |               |
|-----------------------|-------|---------------|
| # 030 - Undersize Lot | _____ | \$ 50.00      |
| 080 - Sign + Posting  | _____ | 35.00         |
| <hr/>                 |       | Total \$85.00 |

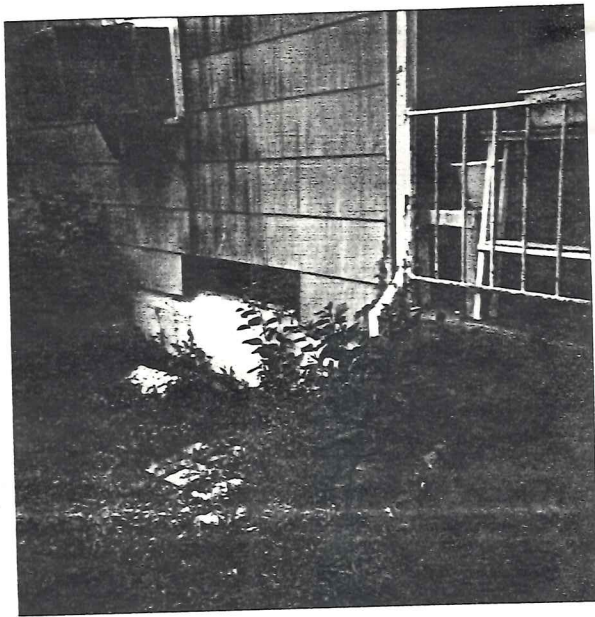
02AD2HD445NICHRC

\$85.00

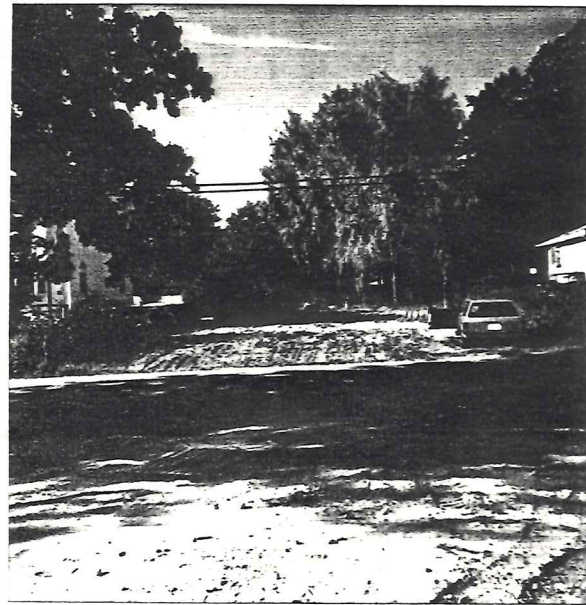
PA CO10:45AM07-30-93

Please Make Checks Payable To: Baltimore County

Cashier Validation



6-2-93  
7318 Chesapeake Rd  
200' x 50' Lot



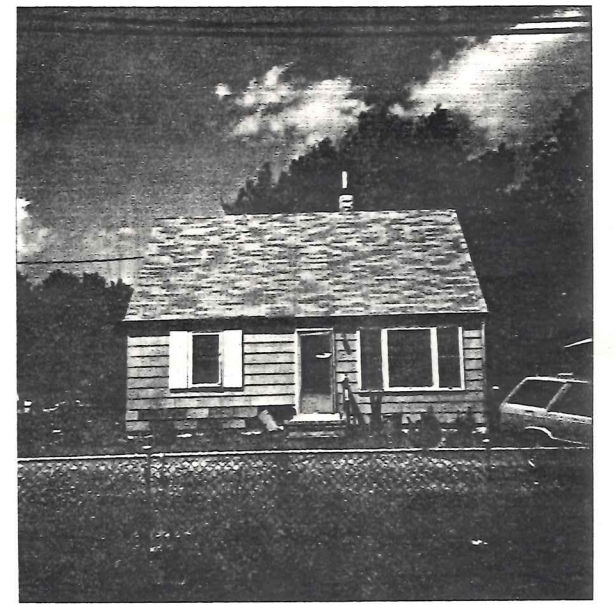
Old House = Razed  
Proposed new Dwelling  
on this Lot

7-23-93  
7318 Chesapeake Rd  
50' Lot x 200'



Old House  
Razed  
Prop. site

6-2-93  
50' Lot x 200'  
7318 Chesapeake Rd



Old House = Razed  
Prop. site

50' Lot x 200'  
7318 Chesapeake Rd



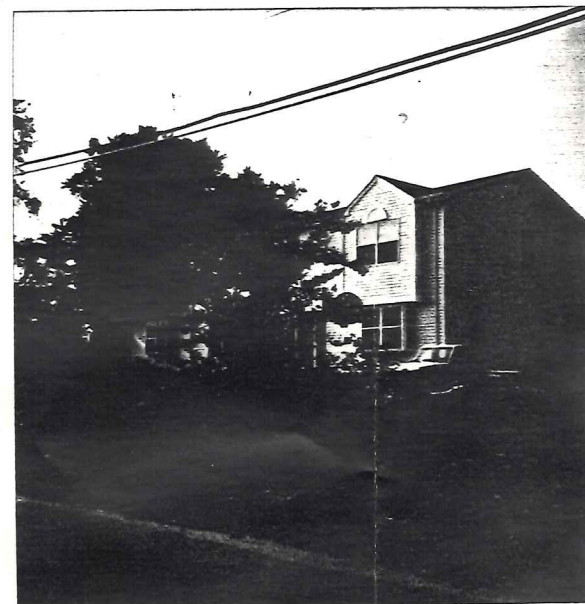
Another house on  
same Street

7-20-93  
50' Lot



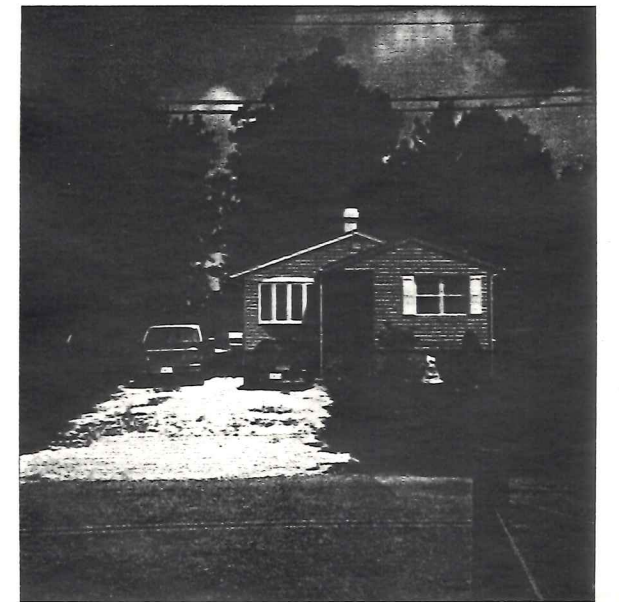
House being built  
across St. from this property  
BLDG Lot

7-23-93  
7319 Chesapeake Rd  
50' Lot



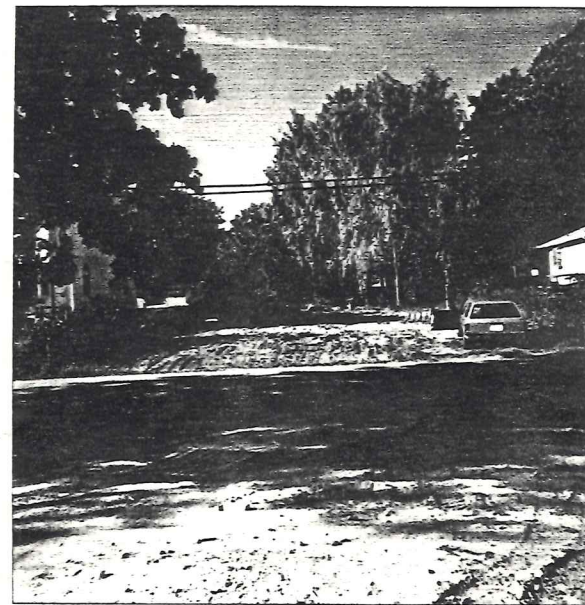
Ex House on (Adjacent  
West side Lot)

7-20-93  
7314  
Left to 7318 Chesapeake Rd



Ex. House on (Adjacent  
East side Lot)

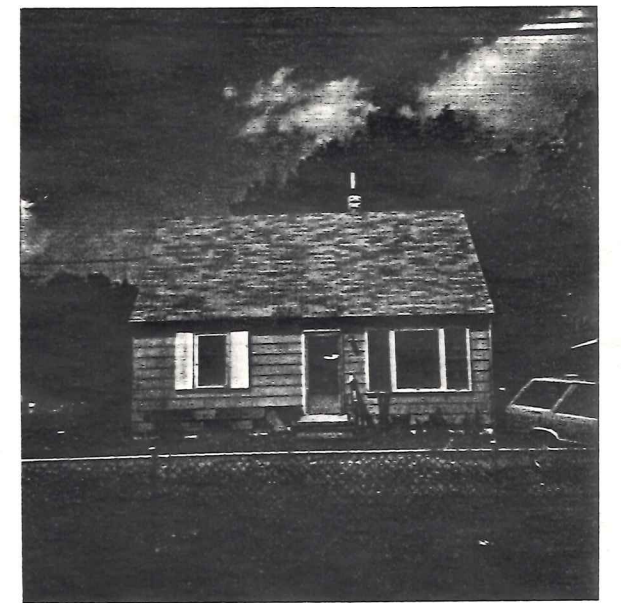
Left door to 7318 Chesapeake Rd  
7320 50' Lot  
7-20-93



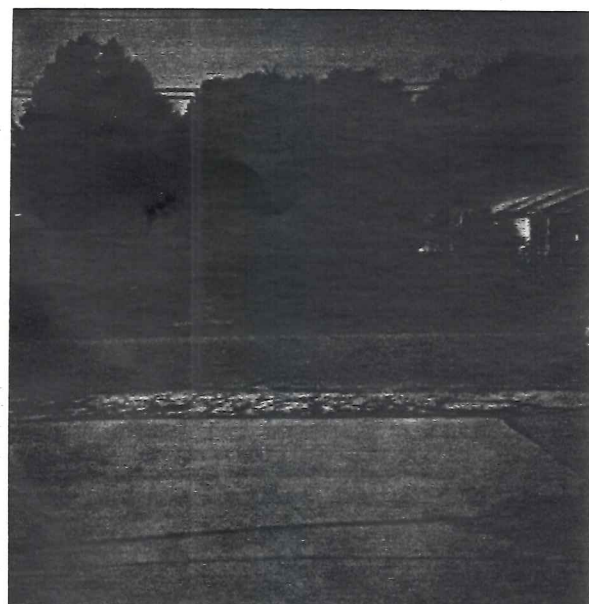
Old House = Razed  
Proposed new Dwelling  
on this Lot.



Old House  
Razed  
Prop. site



Old House = Razed  
PROP. SITE



Another house on  
same Street



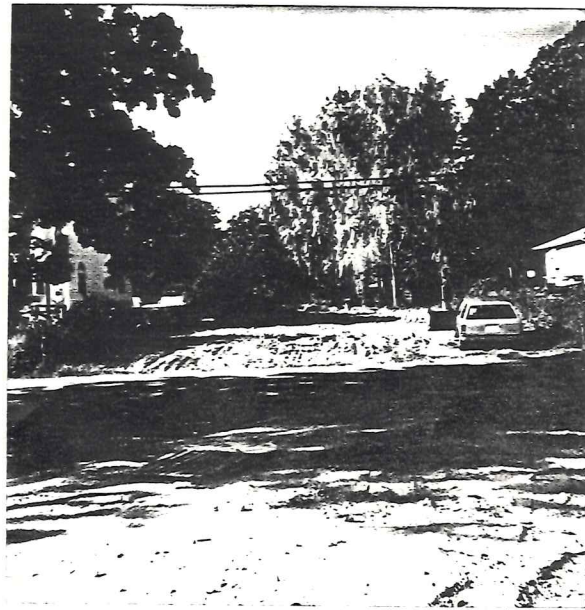
House being built  
across St. from this property



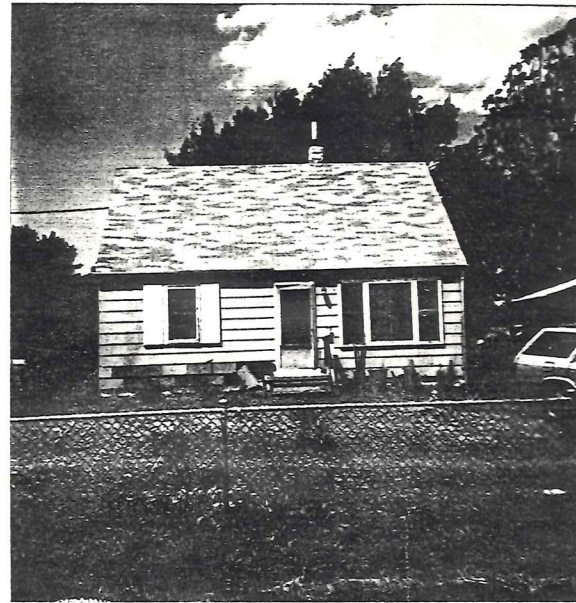
Ex. House on  
West side (Adjacent  
Lot)



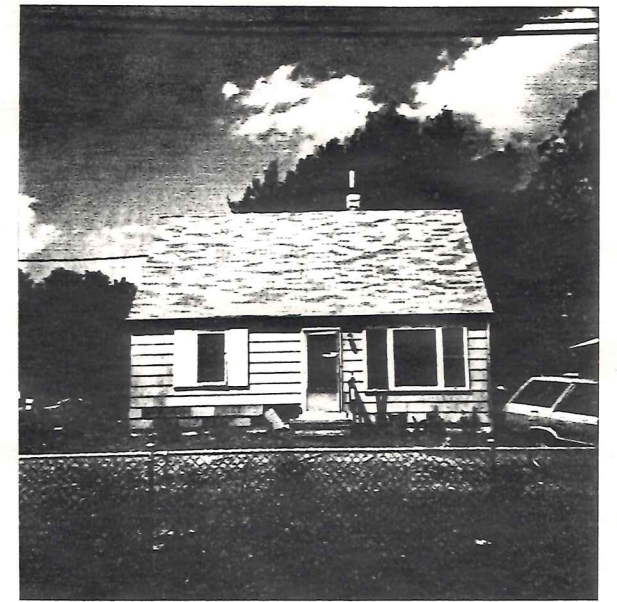
Ex. House on  
East side = (Adjacent  
Lot)



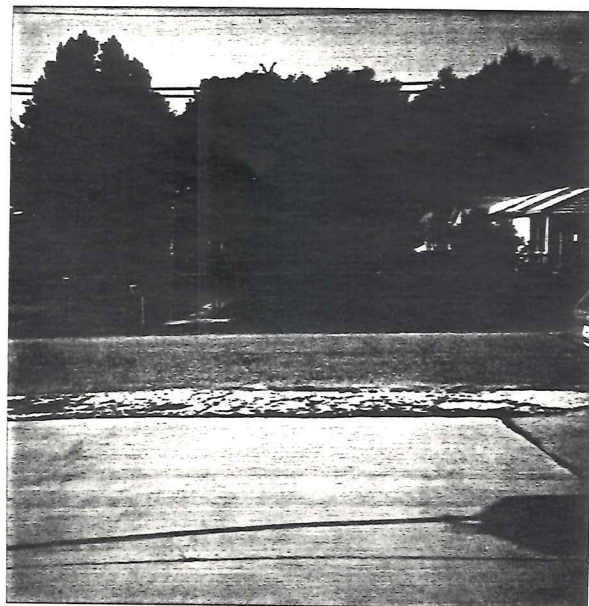
Old House = RAZED  
Proposed New DWELLING  
on this Lot



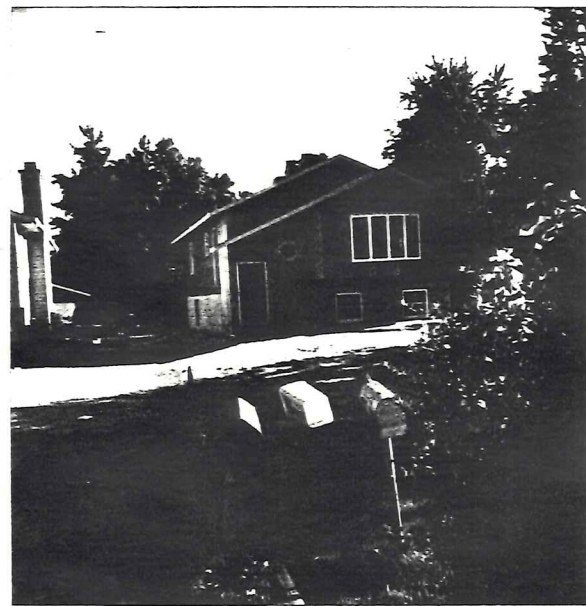
Old House  
RAZED  
Prop. site



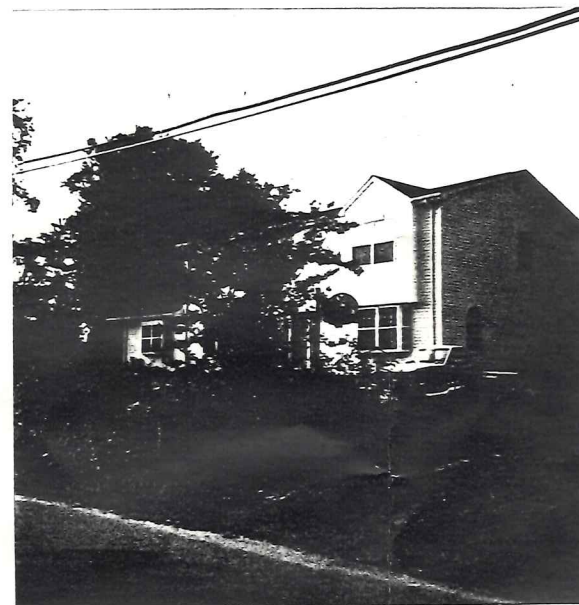
Old House = RAZED  
FAR side



Another house on  
same Street



House being built  
across ST. from this property  
BLDG Lot



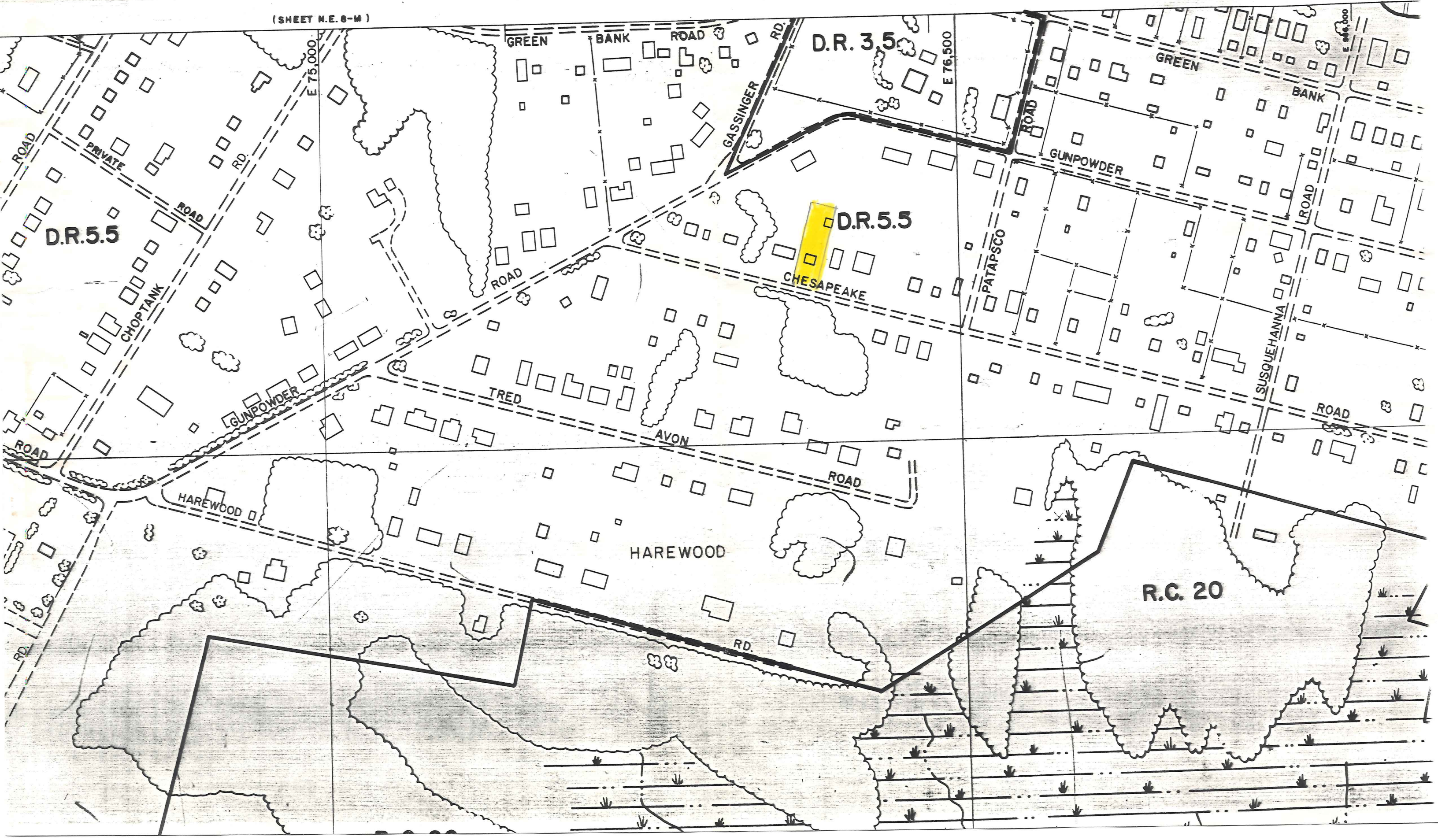
EX HOUSE on (adj. lot)  
West side



EX. HOUSE on (adj. lot)  
East side

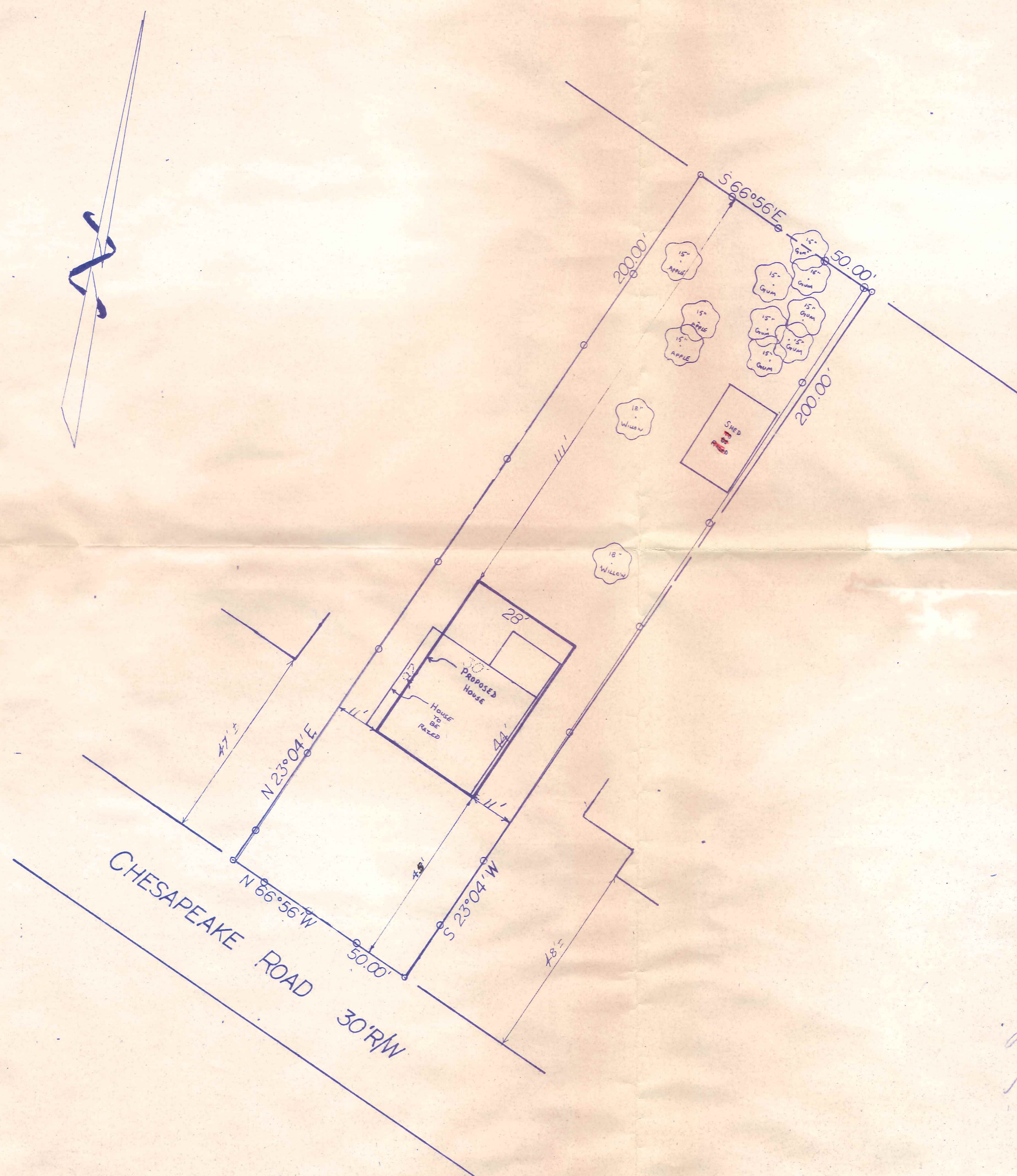
NE, 7-M

(SHEET N.E. 8-M)





1. EXISTING WATER + SEWER AT SITE.
2. PROPERTY HAS ADEQUACY OF FORESTATION
3. PROPERTY IS NOT IN THE CRITICAL BAY AREA.
4. THERE ARE NO WETLANDS ON THIS LOT.  
COUNCILMAN DIST. 5  
CENSUS TRACT #518.01  
ELECTION DIST. 15  
REG. PLANNING DIST. 322B
5. PROPERTY IS ZONED DR5.5
6. EXISTING HOUSE IS UNSAFE



THO  
E

THOMAS E PHELPS & ASSOC. INC.  
945 BARRON AVE.  
BALTIMORE, MARYLAND 21221  
PHONE: (410) 574-6744

| REVISIONS |      |      | Site Plan                                                                  |  |  |
|-----------|------|------|----------------------------------------------------------------------------|--|--|
| No        | Desc | Date | 7318 Chesapeake Avenue<br>Lot 266 Oliver Beach Sec. B<br>Baltimore Co., Md |  |  |
| 1         |      |      | Drawn by: TAV.    Scale: 1"=20'    Date: 6-8-93<br>Chk'd by:               |  |  |
| 2         |      |      |                                                                            |  |  |
| 3         |      |      |                                                                            |  |  |
| 4         |      |      |                                                                            |  |  |
| 5         |      |      |                                                                            |  |  |