

INTER-OFFICE CORRESPONDENCE
RECOMMENDATION FORM

TO: Director, Office of Planning and Zoning
Attn: Ervin McDaniel
County Courts Bldg, Rm 406
401 Bosley Av
Towson, MD 21204

B 163578
Permit Number

FROM: Arnold Jablon, Director, Zoning Administration and Development Management

RE: Undersized Lots

Pursuant to Section 304.2(Baltimore County Zoning Regulations) effective June 25, 1992; this office is requesting recommendations and comments from the Office of Planning & Zoning prior to this office's approval of a dwelling permit.

MINIMUM APPLICANT SUPPLIED INFORMATION:

☐ CHARLES STAEHLI 41 RIDGEMOOR RD. ESSEX - MD. 21221 410-686-0028
Print Name of Applicant Address Telephone Number
☐ Lot Address 7318 CHESAPEAKE RD. 21220 Election District 15TH Council District 5TH Square Feet 10 000 Sq Ft
Lot Location: N E S W / side / corner of NES Chesapeake Rd. 417 feet from N E S W corner of SE Gunpowder Rd.
(street) (street)
Land Owner CHARLES & LOUISE STAEHLI Tax Account Number 15-19-072710
Address 41 RIDGEMOOR RD. Telephone Number 410-686-0028
ESSEX, MD. 21221

☐ CHECKLIST OF MATERIALS: (to be submitted for design review by the Office of Planning and Zoning)
PROVIDED?

	YES	NO
1. This Recommendation Form (3 copies)	☒	☐
2. Permit Application	☒	☐
3. Site Plan		
Property (3 copies)	☒	☐
Topo Map (available in Rm 206 C.O.B.) (2 copies) (please label site clearly)	☒	☐
4. Building Elevation Drawings	☒	☐
5. Photographs (please label all photos clearly)		
Adjoining Buildings	☒	☐
Surrounding Neighborhood	☒	☐

Residential Processing Fee Paid
Codes 030 & 080 (\$85)
Accepted by [Signature]
ZDM
Date 7-30-93

TO BE FILLED IN BY THE OFFICE OF PLANNING AND ZONING ONLY!

RECOMMENDATIONS/COMMENTS:

☒ Approval ☐ Disapproval ☐ Approval conditioned on required modifications of the permit to conform with the following recommendations:

Signed by

Ervin McDaniel

Date: 8/19/93

SCHEDULED DATES, CERTIFICATE OF FILING AND POSTING
FOR A BUILDING PERMIT APPLICATION PURSUANT TO SECTION 304.2
ZONING ADMINISTRATION AND DEVELOPMENT MANAGEMENT

County Office Building
111 W. Chesapeake Avenue
Towson, Maryland 21204

The application for your proposed Building Permit Application has been accepted
for filing by [Signature] on 7-30-93
Date (A)

A sign indicating the proposed Building must be posted on the property for
fifteen (15) days before a decision can be rendered. The cost of filing is
\$50.00 and posting \$35.00; total \$85.00.

In the absence of a request for public hearing during the 15-day posting period,
a decision can be expected within approximately four weeks. However, if a valid
demand is received by the closing date, then the decision shall only be rendered
after the required public special hearing.

*SUGGESTED POSTING DATE 8-9-93 D (15 Days Before C)

DATE POSTED _____

HEARING REQUESTED-YES _____ NO _____ -DATE _____

CLOSING DAY (LAST DAY FOR HEARING DEMAND) 8-24-93 C (B-3 Work Days)

TENTATIVE DECISION DATE 8-29-93 B (A + 30 Days)

*Usually within 15 days of filing

CERTIFICATE OF POSTING

District _____

Location of property: _____

Posted by: _____ Date of Posting: _____

Signature

Number of Signs: _____

CK/UNDER.LOT (TXTSOPH)

APPLICATION FOR PERMIT
BALTIMORE COUNTY MARYLAND
OFFICE OF THE BUILDING ENGINEER
TOWSON, MARYLAND 21204

min. 100 + 5 = 105.00

OEA: SAS
HISTORIC DISTRICT/BLDG.

PERMIT #: B
RECEIPT #: A
CONTROL #: NR
XREF #:

PROPERTY ADDRESS 7318 Chesapeake Rd YES ☐ NO ☒
SUBDIV: Oliver Beach DO NOT KNOW ☐
TAX ACCOUNT #: 15-19-072710 DISTRICT/PRECINCT 15 19

FEE: 100 + 5 = 105.00
PAID: 105.00
PAID BY: appt.
INSPECTOR:

OWNER'S INFORMATION (LAST, FIRST)
NAME: STAEHEL, Charles
ADDR: 41 Ridgemont Rd., Essex, Md. 21221

I HAVE CAREFULLY READ THIS APPLICATION AND KNOW THE SAME IS CORRECT AND TRUE, AND THAT IN DOING THIS WORK ALL PROVISIONS OF THE BALTIMORE COUNTY CODE AND APPROPRIATE STATE REGULATIONS WILL BE COMPLIED WITH WHETHER HEREIN SPECIFIED OR NOT AND WILL REQUEST ALL REQUIRED INSPECTIONS.

BUILDING 1 or 2 FAM.
CODE CODE ☒
BOCA CODE

TYPE OF IMPROVEMENT
1. ☒ NEW BLDG CONST
2. ☐ ADDITION
3. ☐ ALTERATION
4. ☐ REPAIR
5. ☐ WRECKING
6. ☐ MOVING
7. ☐ OTHER

TYPE OF USE

RESIDENTIAL

01. ☒ ONE FAMILY
02. ☐ TWO FAMILY
03. ☐ THREE AND FOUR FAMILY
04. ☐ FIVE OR MORE FAMILY
(ENTER NO UNITS)
05. ☐ SWIMMING POOL
06. ☐ GARAGE
07. ☐ OTHER

TYPE FOUNDATION
1. ☐ SLAB
2. ☒ BLOCK
3. ☐ CONCRETE

BASEMENT
1. ☐ FULL
2. ☐ PARTIAL
3. ☒ NONE

crawl

TYPE OF CONSTRUCTION

1. ☐ MASONRY
2. ☒ WOOD FRAME
3. ☐ STRUCTURE STEEL
4. ☐ REINF. CONCRETE

CENTRAL AIR: 1. ☐ 2. ☒
ESTIMATED COST: \$ 40,900
OF MATERIALS AND LABOR

PROPOSED USE: new bld.
EXISTING USE: Vacant
OWNERSHIP
1. ☒ PRIVATELY OWNED 2. ☐ PUBLICLY OWNED 3. ☐ SALE 4. ☐ RENTAL

RESIDENTIAL CATEGORY: 1. ☒ DETACHED 2. ☐ SEMI-DET. 3. ☐ GROUP 4. ☐ TOWNHSE 5. ☐ MIDRISE
#EFF: #1BED: 3 #2BED: 3 #3BED: 3 TOT BED: 9 TOT APTS/CONDOS: 3 6. ☐ HIRISE
1 FAMILY BEDROOMS 3
GARBAGE DISPOSAL 1. ☐ Y 2. ☒ N BATHROOMS 3 CLASS 04
POWDER ROOMS 2 KITCHENS 1 LIBER 13 FOLIO 123 Sect. B

BUILDING SIZE
FLOOR 1,221
WIDTH 44.1
DEPTH 27.7
HEIGHT
STORIES 1.5
LOT # 267
CORNER LOT
1. ☐ Y 2. ☒ N ZONING

LOT SIZE AND SETBACKS
SIZE 50 x 200
FRONT STREET
SIDE STREET
FRONT SETBK 45
SIDE SETBK 11'2 1/2
SIDE STR SETBK 11'2 1/2
REAR SETBK 110.90

APPROVAL SIGNATURES
BLD INSP: [Signature]
BLD PLAN: [Signature]
FIRE: [Signature]
SEDI CTL: [Signature]
ZONING: 109
PUB SERV: 109
ENVRMNT: NC416
PERMITS: [Signature]

MAKE CHECKS PAYABLE TO BALTIMORE COUNTY MARYLAND -- NO PERMIT FEES REFUNDED

now need 2 full sets of construction plans house drawn to scale & with setbacks
marked, roof, etc need 2 full sets of construction plans house drawn to scale & with setbacks
marked, roof, etc need 2 full sets of construction plans house drawn to scale & with setbacks



old House
RAZED
Prop. site



Another house on
same Street



EX HOUSE on (adjacent
west side Lot)



Old House = Razed
Proposed New Dwelling
on this Lot.



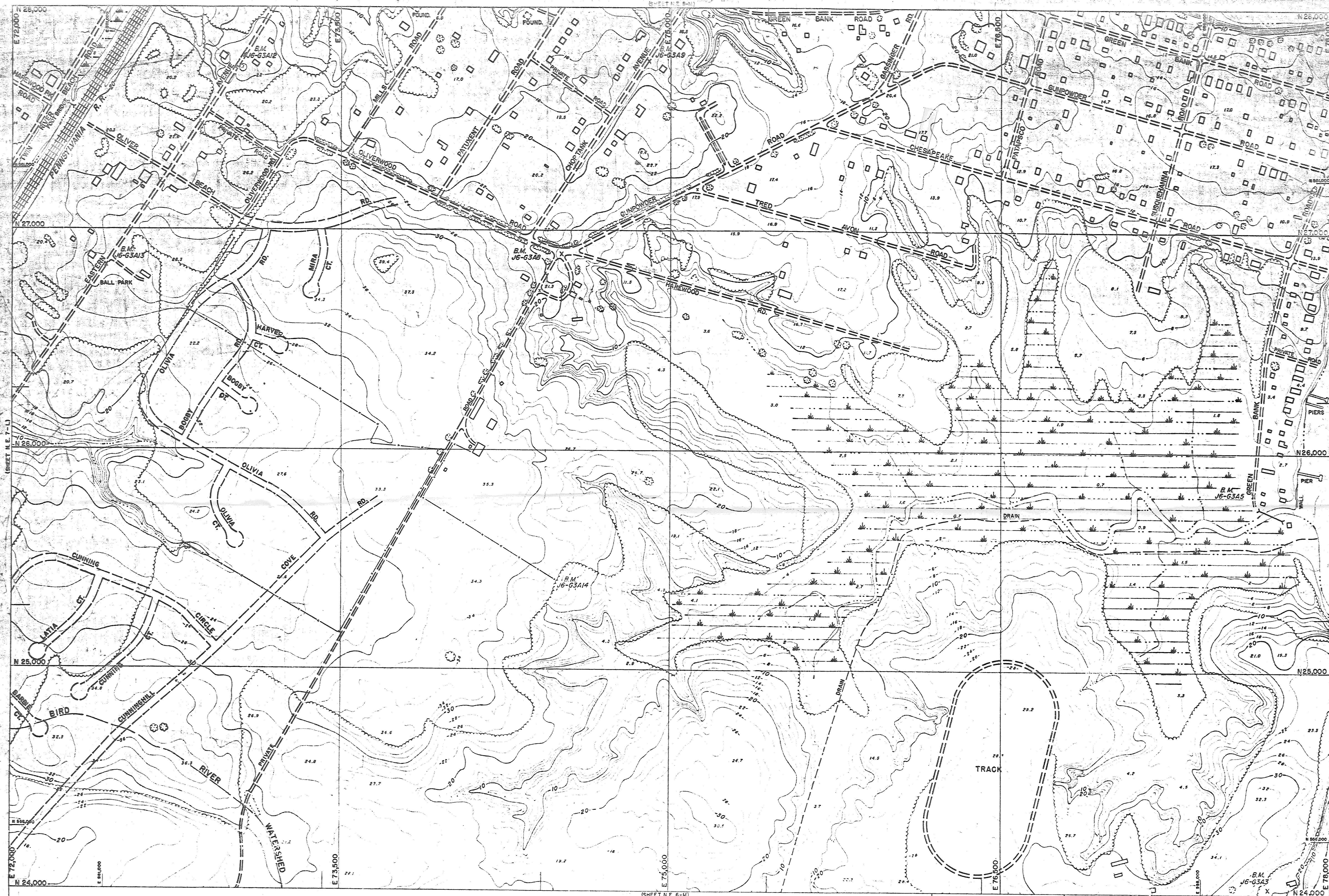
House being built
across ST. from this property
BLDG 12



Ex. House on
East side - (adj. to)
Lot



Old House = Razed
PROP. site



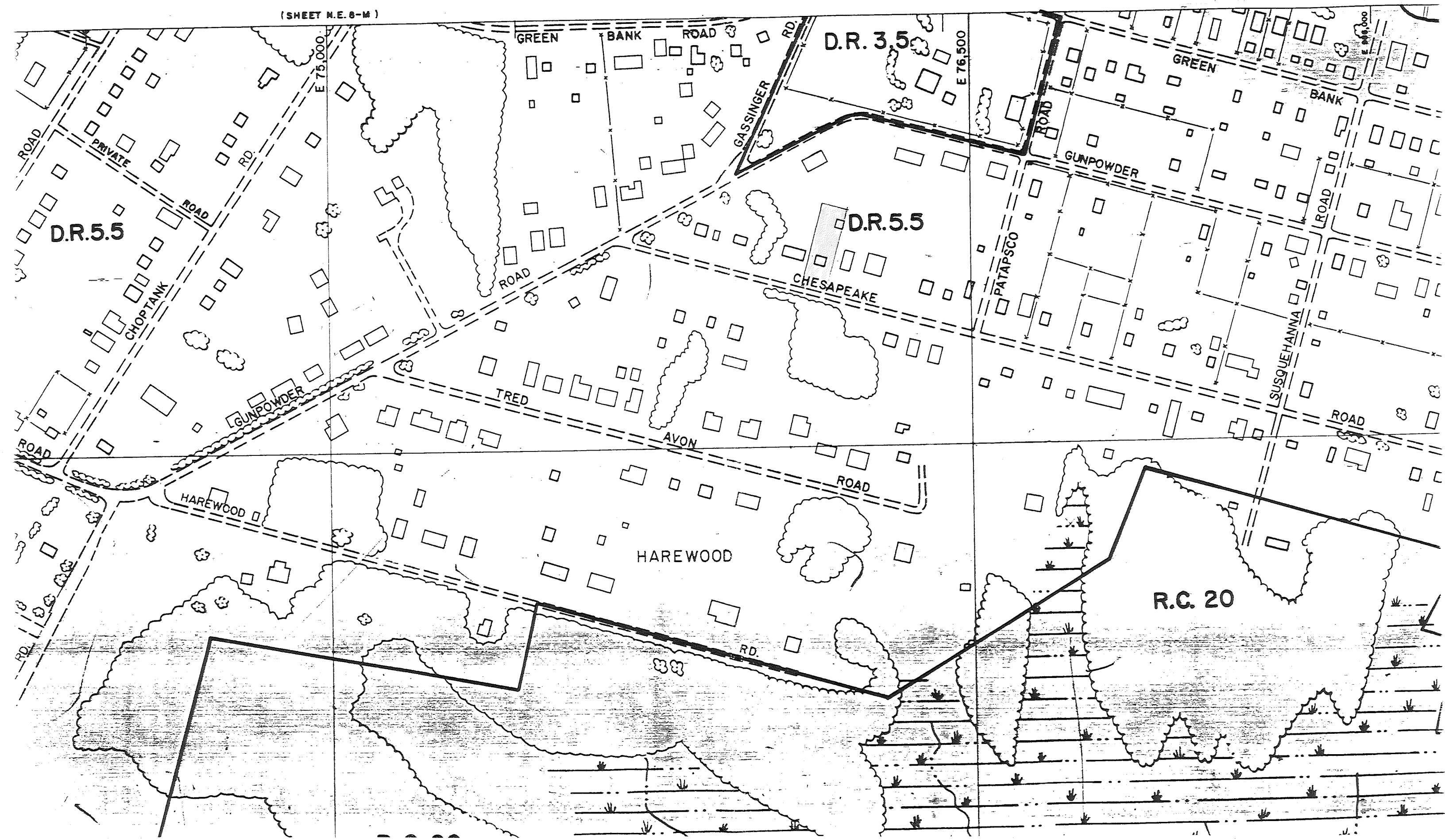
MM-SW MM-SE

PHOTOGRAMMETRIC MAP OF BALTIMORE COUNTY METROPOLITAN AREA

REVISIONS		SCALE	LOCATION	SHEET
BY	DATE			
	1/11/51	1" = 200'	HAREWOOD	N.E.
		DATE OF PHOTOGRAPHY	OLIVER BEACH	7-M
		DEC 1954		
Topography Compiled By Photogrammetric Methods ABRAMS AERIAL SURVEY CORP LANSING MICH.				

NE 2-M

(SHEET M.E. 8-M)



CODES AND REGULATIONS

CT	BOCA NATIONAL BUILDING CODE G-3 BOCA NATIONAL PLUMBING CODE G-3 BOCA NATIONAL ENERGY CONSERVATION CODE G-3 & P-6 CARE 1 & 2 FAMILY DWELLING CODE G-3 CT BUILDING CODE SUPPLEMENTS BOCA NATIONAL MECHANICAL CODE G-3 NATIONAL ELECTRICAL CODE
DE	BOCA NATIONAL BUILDING CODE BOCA NATIONAL PLUMBING CODE BOCA NATIONAL MECHANICAL CODE BOCA NATIONAL ENERGY CONSERVATION CODE NATIONAL ELECTRICAL CODE
MA	BOCA NATIONAL MECHANICAL CODE MA STATE BUILDING CODE MA UNIFORM STATE PLUMBING CODE MA ELECTRICAL CODE
MD	BOCA NATIONAL BUILDING CODE BOCA NATIONAL PLUMBING CODE BOCA NATIONAL MECHANICAL CODE BOCA NATIONAL ENERGY CONSERVATION CODE NATIONAL ELECTRICAL CODE
ME	BOCA NATIONAL BUILDING CODE BOCA NATIONAL ENERGY CONSERVATION CODE NATIONAL ELECTRICAL CODE ME STATE PLUMBING CODE w/ AMENDMENTS
NH	BOCA NATIONAL BUILDING CODE BOCA NATIONAL PLUMBING CODE BOCA NATIONAL MECHANICAL CODE BOCA NATIONAL ENERGY CONSERVATION CODE NATIONAL ELECTRICAL CODE
NJ	BOCA NATIONAL BUILDING CODE BOCA NATIONAL MECHANICAL CODE BOCA NATIONAL ENERGY CONSERVATION CODE NATIONAL ELECTRICAL CODE NATIONAL STANDARD PLUMBING CODE FIRE PROTECTION SUBCODE BARRIER FREE DESIGN REGULATIONS CALL WITH NJAC SUPPLEMENTS
NY	NATIONAL ELECTRICAL CODE NY STATE UNIFORM FIRE PREVENTION AND BUILDING CODE WITH AMENDMENTS NY STATE ENERGY CONSERVATION CODE w/ AMENDMENTS
PA	BOCA NATIONAL BUILDING CODE BOCA NATIONAL PLUMBING CODE BOCA NATIONAL MECHANICAL CODE NATIONAL ELECTRICAL CODE PA INDUSTRIALIZED BUILDING ACT RULES AND REGULATIONS ARTICLE 2541
RI	BOCA NATIONAL BUILDING CODE G-3 CARE 1 & 2 FAMILY DWELLING CODE G-4 BOCA NATIONAL PLUMBING CODE G-3 & R-4 BOCA NATIONAL MECHANICAL CODE G-3 & R-4 NATIONAL ELECTRICAL CODE CALL WITH RI AMENDMENTS
VA	BOCA NATIONAL BUILDING CODE BOCA NATIONAL PLUMBING CODE BOCA NATIONAL MECHANICAL CODE NATIONAL ELECTRICAL CODE ASH RAE 91-75
VT	BOCA NATIONAL BUILDING CODE BOCA NATIONAL PLUMBING CODE BOCA NATIONAL MECHANICAL CODE BOCA NATIONAL ENERGY CONSERVATION CODE NATIONAL ELECTRICAL CODE
WV	BOCA NATIONAL BUILDING CODE BOCA NATIONAL PLUMBING CODE BOCA NATIONAL MECHANICAL CODE BOCA NATIONAL ENERGY CONSERVATION CODE NATIONAL ELECTRICAL CODE

CONSTRUCTION TYPE

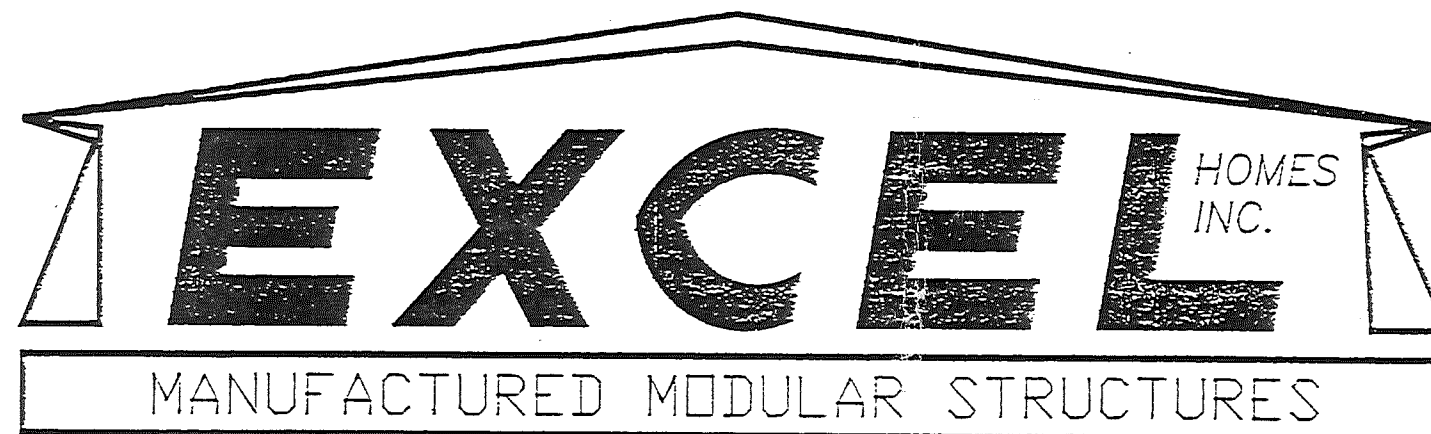
SB CT DE MA ME MD NJ NY PA RI VA VT WV

USE GROUP CLASSIFICATION

R3 DE ME ME NJ NY PA VA VT WV
R4 MA RI CT
A & A2 GROUPED NY

OCCUPANCY

ONE AND TWO FAMILY DWELLINGS



GENERAL NOTES

THE ENCLOSED PLANS AND SPECIFICATIONS ARE THE PROPERTY OF EXCEL HOMES. THE METHODS OF CONSTRUCTION DETAILED WITHIN SHALL BE KEPT CONFIDENTIAL. ANY UNAUTHORIZED USE OF THESE DRAWINGS WITHOUT THE CONSENT OF EXCEL HOMES IS PROHIBITED.

EXCEL HOMES WILL BE CONSIDERED AS A "SUB-CONTRACTOR" IN ALL BUILDING PROJECTS SUPPLYING A BUILDING COMPONENT TO A "GENERAL CONTRACTOR" OR "BUILDER". THE SPECIFICATIONS ENCLOSED ARE FOR DESCRIBING AND DETAILED THE PROPER USE OF OUR MANUFACTURED BUILDING MODULE AND ITS CONSTRUCTION. COMPLETE BUILDING PROJECT DESIGN (IE. SITE, FOUNDATION, DECK, PORCHES, ETC) SHALL BE BY OTHERS. ALL NOTES PERTAINING TO "ON-SITE", "ON-SITE", OR "BY BUILDER" SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.

THESE PLANS MUST NOT BE SCALED FOR DIMENSIONAL REFERENCE. ALL DIMENSION LINES AND NOTES SUPERSEDE ANY SUCH REFERENCES.

ALL 24" WIDE MODULES ACTUAL DIMENSION FROM THE OUTSIDE FACE OF WALL FRAMING IS 22'-0"

THE THIRD PARTY AGENCY SHALL BE PFC CORP. LABEL SHALL BE LOCATED AS FOLLOWS: STATE INDIANA: DATA AND THIRD PARTY LABELS SHALL BE MOUNTED ON WALL BELOW KITCHEN SINK. ADDITIONAL THIRD PARTY LABEL TO BE LOCATED IN EACH MODULE FOR NEW JERSEY. ADDITIONAL STATE INDIANA TO BE INSTALLED IN EACH MODULE FOR MASS AND RHODE ISLAND.

MODELS

RANCH
A TWO MODULE SINGLE LEVEL HOME PLACED ON EITHER A CRAWL SPACE OR A FULL BASEMENT FOUNDATION

T-RANCH
A FOUR MODULE SINGLE LEVEL HOME PLACED ON EITHER A CRAWL SPACE OR A FULL BASEMENT FOUNDATION

BI-LEVEL
A TWO MODULE SINGLE LEVEL HOME PLACED ON A FULL BASEMENT FOUNDATION WITH A SPLIT STAIR ENTRY. FRONT MODULE MAY OVERHANG FOUNDATION UP TO 24"

SPLIT LEVEL
A FOUR MODULE TWO LEVEL HOME PLACED ON A HALF BASEMENT AND HALF CRAWL SPACE FOUNDATION WITH A SPLIT STAIR SERVING THE UPPER LEVEL AND BASEMENT. LEVELS MAY HAVE EITHER A 4'-0" OR A 4'-6" ELEVATION DIFFERENCE

CAPE COD
A TWO MODULE RANCH MODEL WITH AN OPTIONAL UNFINISHED 12/12 ROOF PITCH ROOF SYSTEM WHICH MAY BE SITE FINISHED BY BUILDER OR BY HOME OWNER FOR ADDITIONAL BEDROOMS

TWO STORY
A FOUR MODULE TWO LEVEL HOME PLACED ON EITHER A CRAWL SPACE OR A FULL BASEMENT FOUNDATION

DESIGN BASIS

TRUSSES
30 PSF = TIP CHORD LIVE LOAD
7 PSF = TIP CHORD DEAD LOAD
10 PSF = BOTTOM CHORD DEAD LOAD

TRUSSES (AS PER STATE REQ'D)
40 PSF = TIP CHORD LIVE LOAD
7 PSF = TIP CHORD DEAD LOAD
10 PSF = BOTTOM CHORD DEAD LOAD

RAFTERS
40 PSF = LIVE LOAD
10 PSF = DEAD LOAD

Ceiling Joists (STORAGE)
20 PSF = LIVE LOAD
10 PSF OR ACTUAL WEIGHT = DEAD LOAD

FLOORS (ON-SLEEPING AREA)
40 PSF = LIVE LOAD
10 PSF OR ACTUAL WEIGHT = DEAD LOAD

WIND LOAD
65 PSF G-30-20 PSF AT WINDWARD SIDE
35 PSF G-30-20 PSF AT OVERHANG

UPLIFT
20 PSF G-30-20 PSF AT ROOF
10 PSF G-30-20 PSF AT OVERHANG

DRAWING INDEX

#	DESCRIPTION
1	COVER SHEET
2A	TYPICAL ELEVATIONS
2B	TYPICAL ELEVATIONS
2C	TYPICAL ELEVATIONS
3A	MASTER FLOORPLAN
3B	2 STORY & DUPLEX FLOORPLANS
4	TYPICAL KITCHENS
5	TYPICAL BATHROOMS
6	TYPICAL FOUNDATIONS
7A	TYPICAL CROSS SECTION
7B	TYPICAL CROSS SECTION
7C	CEILING HAVEN CROSS SECTION
8A	TYPICAL SECTION & DETAILS
8B	TYPICAL SECTION & DETAILS
9	FIRE SEPARATION DETAILS
10	SPECIFICATION SHEET
11A	ROOF SYSTEMS
11B	OPTIONAL ROOF SYSTEMS
11C	GAMBREL ROOF SYSTEMS
12A	CAPE ROOF SYSTEMS
12B	CORNER DETAILS
13	STAIR DETAILS
14	MASTER ELECTRICAL PLAN
15A	TYPICAL HEATING MASTER
15B	2 STORY & DUPLEX ELECTRICAL AND HEATING PLAN
16	PLUMBING

EXCEL HOMES
R.D.2, BOX 683
LIVERPOOL, PA 17045
(717) 444-3395
FAX: (717) 444-7577



TITLE:
COVER SHEET

DRAWN BY:
RBS

CHECKED BY:
DEV

DATE:
1 OCT 89

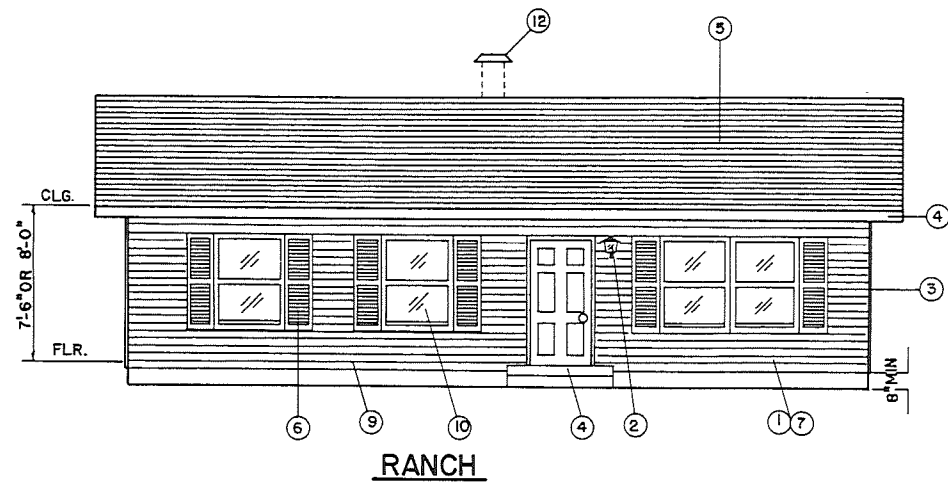
REVISED:

SCALE:
NONE

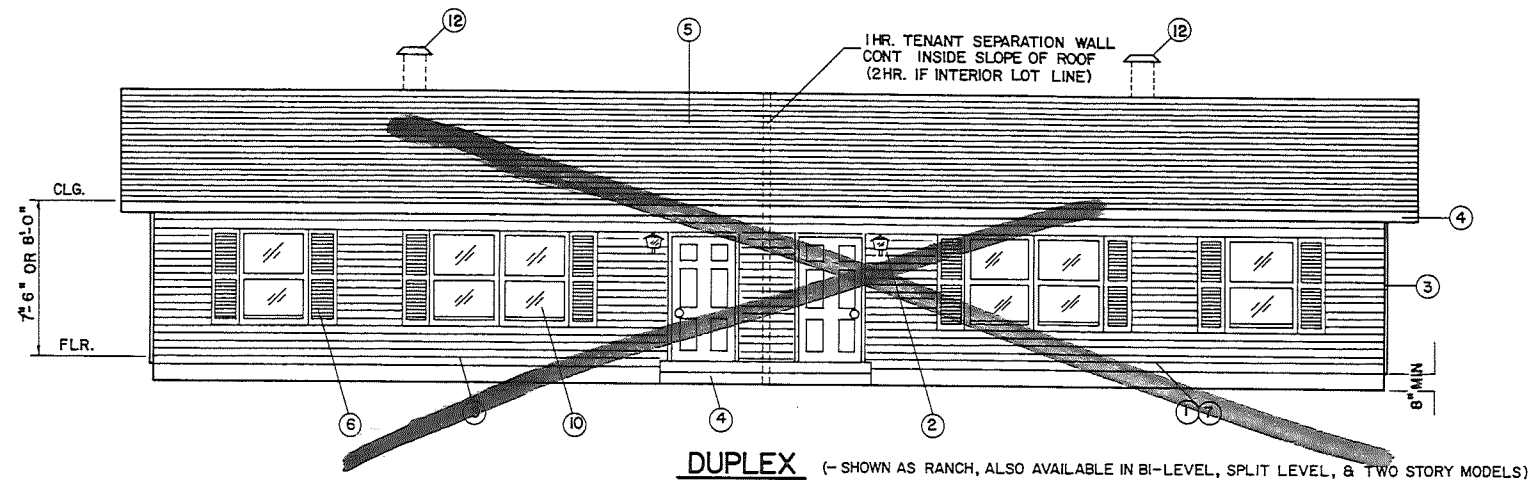
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SHEET

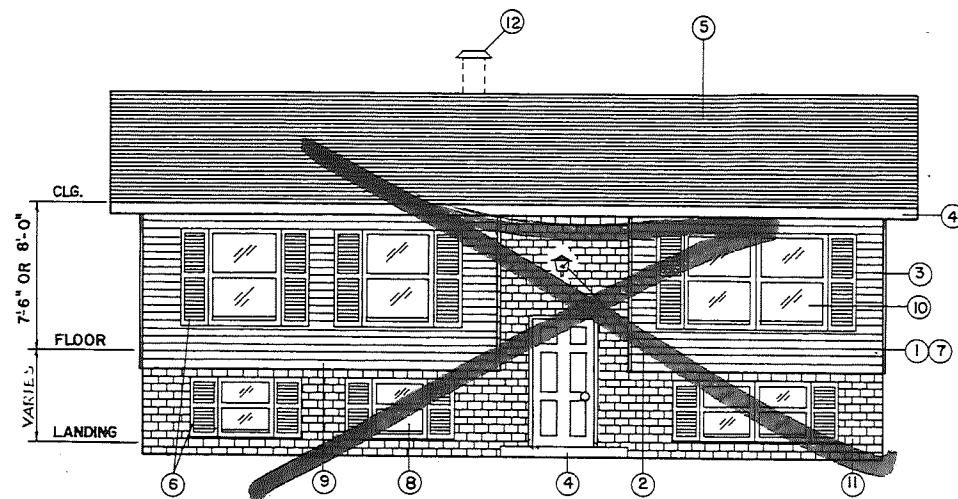
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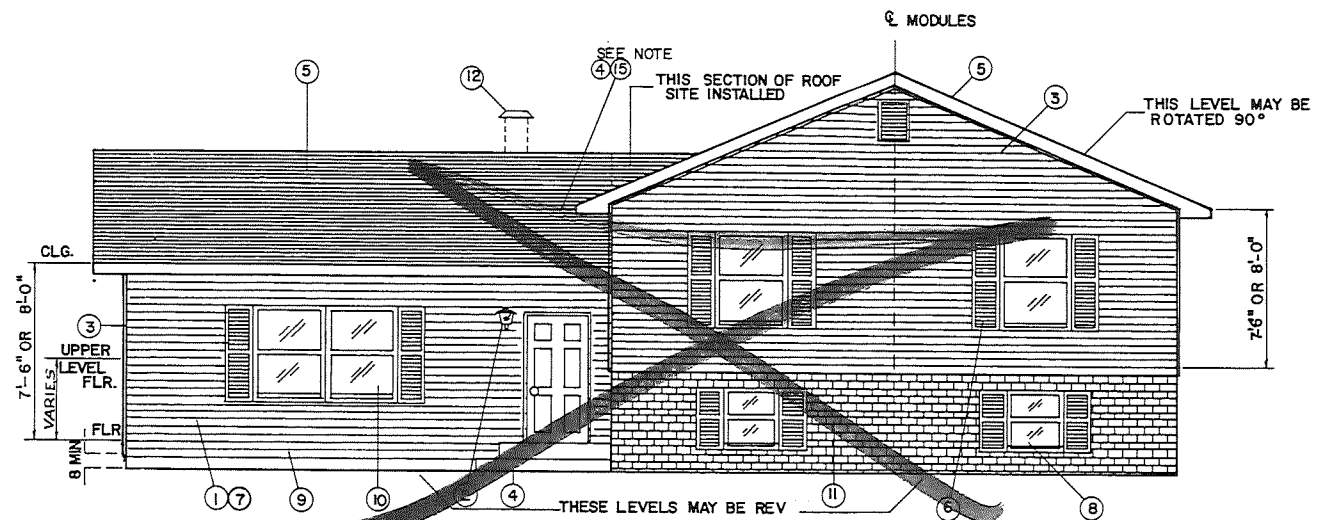
RANCH



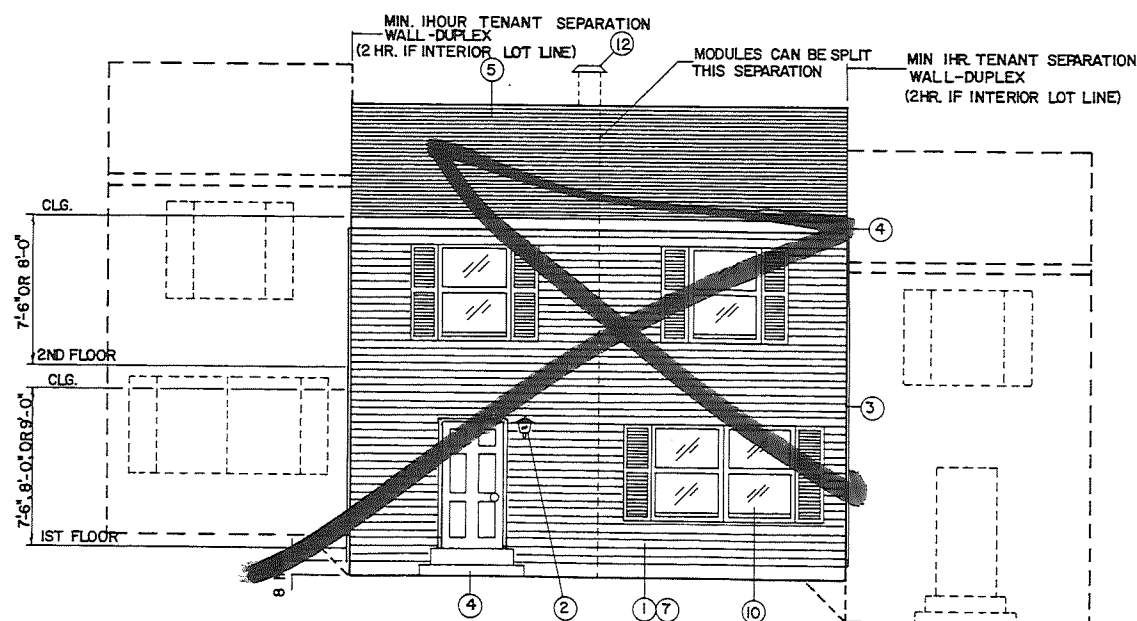
DUPLEX (- SHOWN AS RANCH, ALSO AVAILABLE IN BI-LEVEL, SPLIT LEVEL, & TWO STORY MODELS)



BILEVEL



SPLIT LEVEL



TWO STORY OR TWO STORY DUPLEX

NOTES

- ON-SITE ALUMINUM SIDING BY BUILDER.
- EXTERIOR LIGHTS TO BE SHIPPED LOOSE FOR ON SITE INSTALLATION BY BUILDER TO PRE-WIRED BOX.
- SIDING FOR ENDS IS SHIPPED LOOSE FOR ON SITE INSTALLATION BY BUILDER.
- HANDRAILS, STOOPS, STAIRS, GUTTERS, DOWNSPOUTS, AND SPLASH BLOCKS ARE FURNISHED AND INSTALLED BY BUILDER IN ACCORDANCE WITH STATE AND LOCAL CODES.
- ALL ELEVATIONS ARE SHOWN WITH A 5/12 ROOF PITCH. SEE ROOF SYSTEMS DETAILS FOR OTHER AVAILABLE ROOFS.
- SHUTTERS ARE OPTIONAL ON ALL MODELS.
- VINYL SIDING SHOWN IS DOUBLE 4", OTHER SIDINGS ARE AVAILABLE.
- BASEMENT WINDOWS ARE OPTIONAL FOR ON SITE INSTALLATION BY BUILDER.
- THE BOTTOM ROW OF SIDING, FRONT AND REAR IS SHIPPED LOOSE FOR ON SITE INSTALLATION BY BUILDER.
- THE NUMBER OF WINDOWS VARIES ACCORDING TO EACH INDIVIDUAL FLOOR PLAN.
- MASONRY VENEER OR OTHER FOUNDATION FACING FURNISHED AND SITE INSTALLED BY BUILDER.
- TERMINATION HEIGHT OF METAL CHIMNEYS WILL BE AT A MIN. 3'-0" ABOVE THE HIGHEST POINT WHERE THEY PASS THRU THE ROOF LINE AND A MIN. OF 2'-0" HIGHER THAN ANY PORTION OF A BUILDING WITHIN 10'-0". (CHIMNEYS TO BE INSTALLED ON SITE BY BUILDER).
- IN ATTIC AND ENCLOSED RAFTER SPACES, THE MINIMUM VENTILATING AREA SHALL BE 1/150 OF THE AREA OF THE SPACE VENTILATED, EXCEPT IT MAY BE REDUCED TO 1/500 IF AT LEAST 50% OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTS AT LEAST 3' ABOVE EAVE OR CORNICE VENTS WITH THE BALANCE OF REQD. VENTILATION PROVIDED BY EAVE OR CORNICE VENTS.
- ROOFS DESIGNED AT 30 OR 40 PS.F. LIVE LOAD AS PER STATE REQUIREMENTS.
- (N.Y.) BUILDER TO PROVIDE A STORM GUTTER ON-SITE WHERE ROOF PITCHES TOWARD A SECOND ROOF & DRAINAGE FALLS FROM A ROOF TO ANOTHER ROOF.

EXCEL HOMES
R.R. 2, BOX 683
LIVERPOOL, PA 17045
(717) 444-3397



TYP. ELEVATIONS

DRAWN BY:
G. CLARK

CHECKED BY:
D. WILL

DATE:
27 MARCH 85

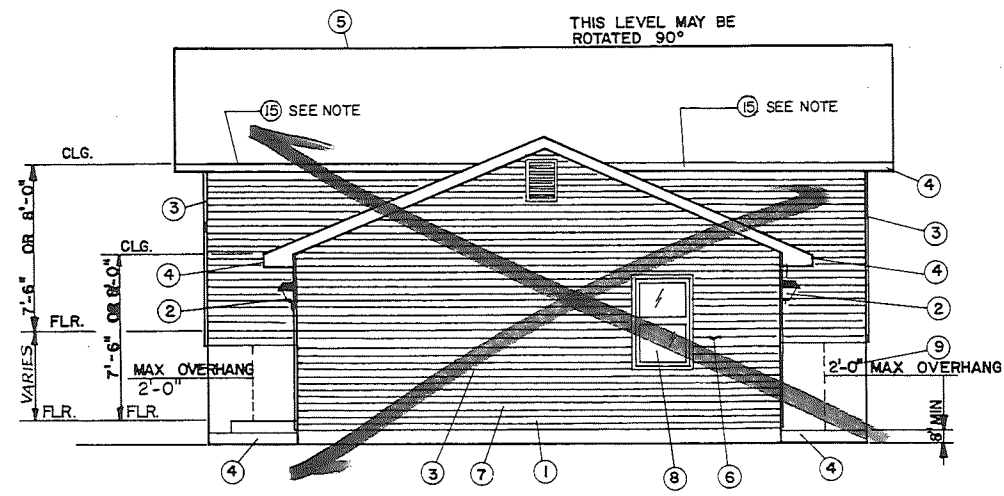
REVISED:
1 JUNE 91

SCALE:
N.T.S.

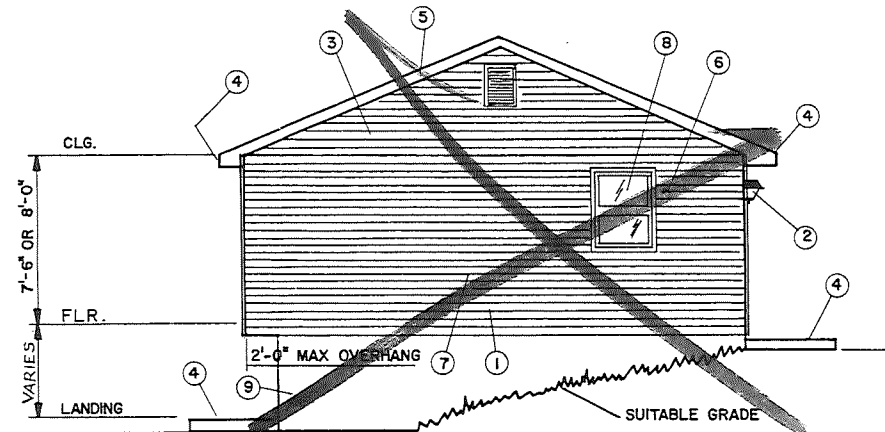
JOB NO.

SHEET

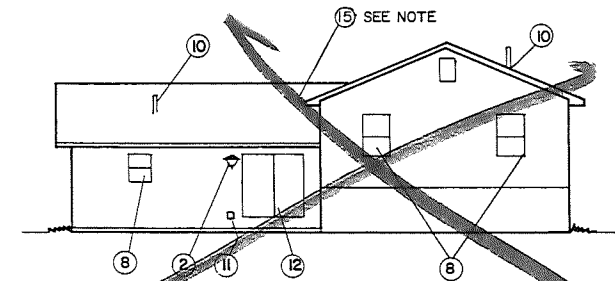
2A



SPLIT LEVEL

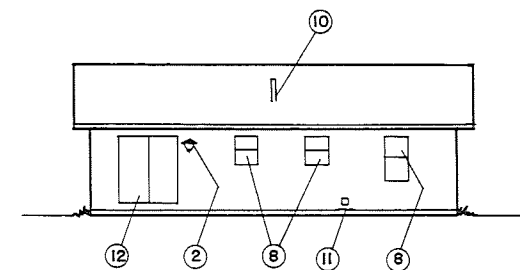


BI-LEVEL



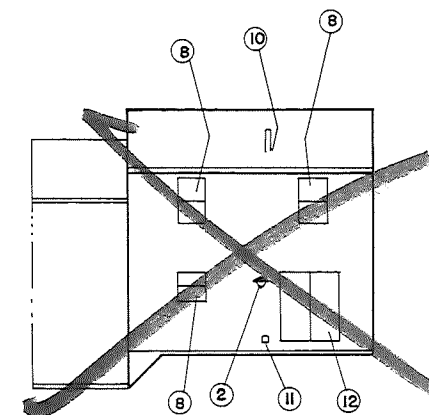
REAR ELEV.

SPLIT LEVEL



REAR ELEV.

RANCH—BI-LEVEL —DUPLEX

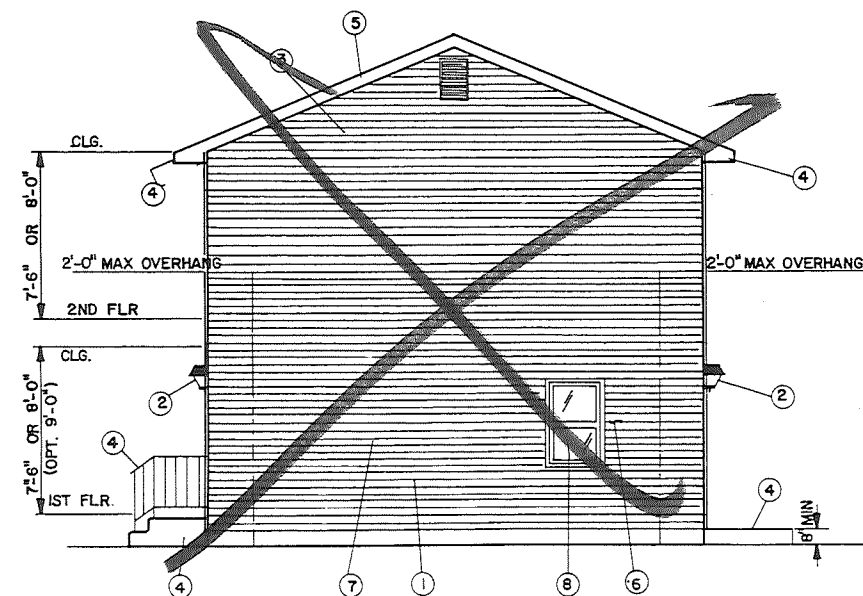


REAR ELEV.

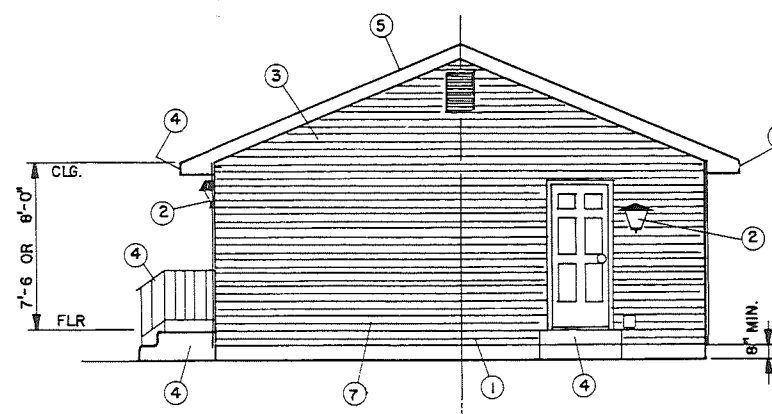
TWO STORY OR TWO STORY DUPLEX

NOTES

- ON SITE ALUMINUM SIDING BY BUILDER.
- EXTERIOR LIGHTS TO BE SHIPPED FOR ON SITE INSTALLATION BY BUILDER.
- SIDING FOR ENDS IS SHIPPED LOOSE FOR ON SITE INSTALLATION BY BUILDER.
- HANDRAILS, STOOPS, STAIRS, GUTTERS, DOWNSPOUT AND SPLASH BLOCKS ARE FURNISHED AND INSTALLED BY BUILDER IN ACCORDANCE WITH STATE AND LOCAL CODES.
- ALL ELEVATIONS ARE SHOWN WITH A 5/12 ROOF PITCH. SEE ROOF SYSTEMS DETAILS FOR OTHER AVAILABLE ROOFS.
- SHUTTERS ARE OPTIONAL ON ALL MODELS.
- VINYL SIDING SHOWN IS DOUBLE 4". OTHER SIDINGS ARE AVAILABLE.
- THE NUMBER OF WINDOWS VARIES ACCORDING TO EACH INDIVIDUAL FLOOR PLAN.
- MASONRY VENEER OR OTHER FOUNDATION FACING IS FURNISHED AND SITE INSTALLED BY BUILDER.
- ALL DRAIN AND WASTE VENTS SHALL TERMINATE A MINIMUM OF 12" ABOVE THE ROOF LINE. (EXCEPT MASSACHUSETTS TO BE BETWEEN 18" AND 24")
- (GFI) RECEPTACLE
- PATIO DOORS ARE STANDARD ACCORDING TO FLOOR PLAN.
- ELEVATIONS SHOWN ARE RIGHT SIDE. LEFT SIDE ELEVATIONS ARE SIMILAR.
- ROOFS DESIGNED AT 30 OR 40 PSF LIVE LOAD AS PER STATE REQUIREMENTS.
- (NY) BUILDER TO PROVIDE A STORM GUTTER ON-SITE WHERE ROOF PITCHES TOWARD A SECOND ROOF & DRAINAGE FALLS FROM A ROOF TO ANOTHER ROOF



TWO STORY OR TWO STORY DUPLEX



RANCH/DUPLEX

EXCEL HOMES
R.R. 2, BOX 683
LIVERPOOL, PA 17045
(717) 444-3397



TITLE
TYP. ELEVATIONS

DRAWN BY:
G. CLARK

CHECKED BY:
D. WILL

DATE:
27 MARCH 85

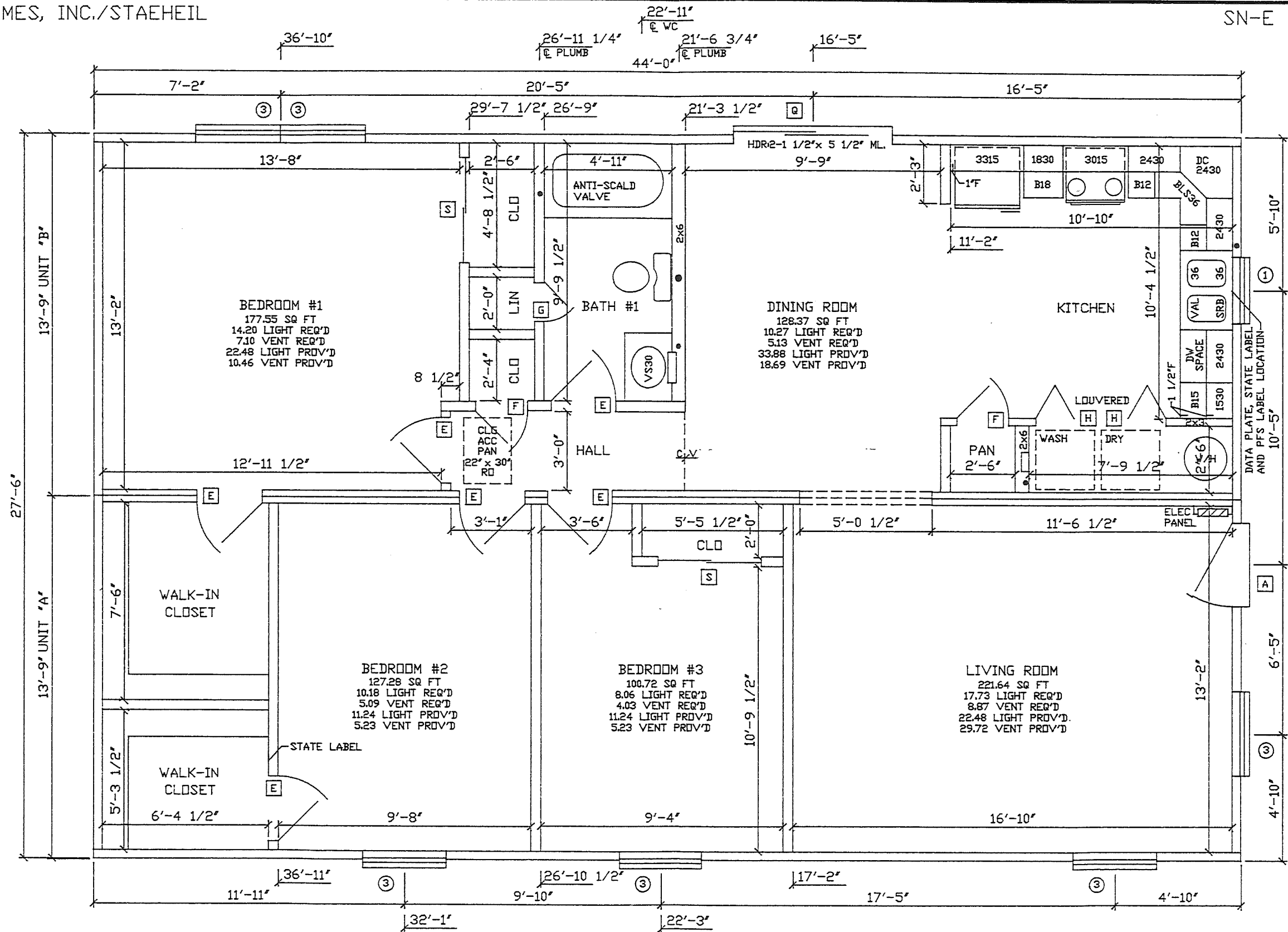
REVISED:
1 JUNE 91

SCALE:
N.T.S.

JOB NO.:

SHEET

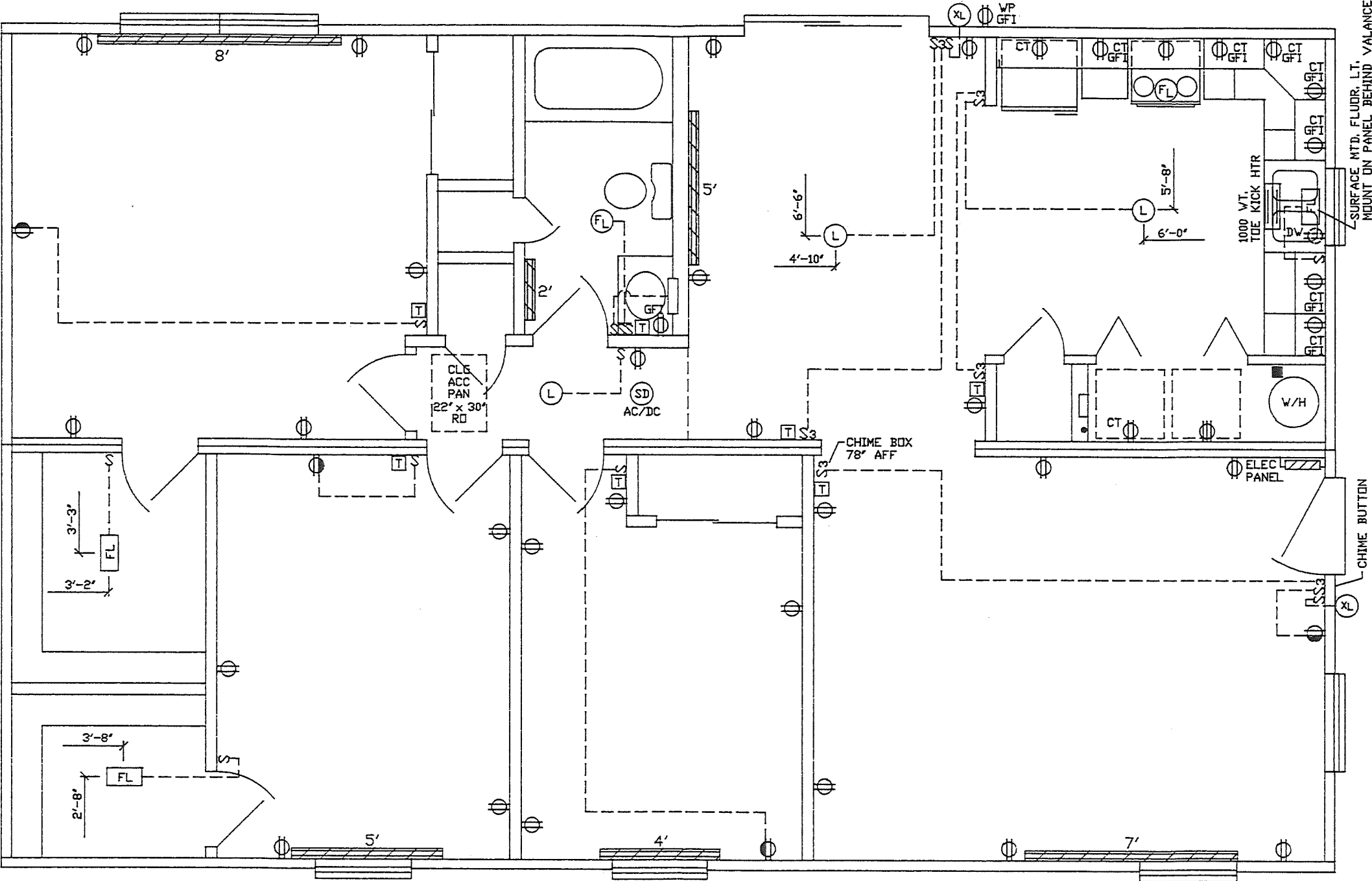
2B



- NOTES:
1. 2x4 SPF#2 EXTERIOR WALLS @ 24" D.C.
 2. PROLINE WINDOWS
 3. 2x10 SPF#2 FLOOR JOIST w/ JOIST HANGERS
 4. HEAT WAS CALCULATED W/ R-19 FLOOR INSULATION.

EXCEL HOMES INC.
MANUFACTURED STRUCTURES
R.R.#2, BOX 683, LIVERPOOL, PA 17045
(717) 444-3395 FAX (717) 444-7577

27644 HOMESTEAD II			
DRAWN BY:	CHECKED BY:	DATE:	SCALE:
COMP		06/16/1993	1/4"=1'-0"
REVISIONS:			
			DISK NO:
			XL3587

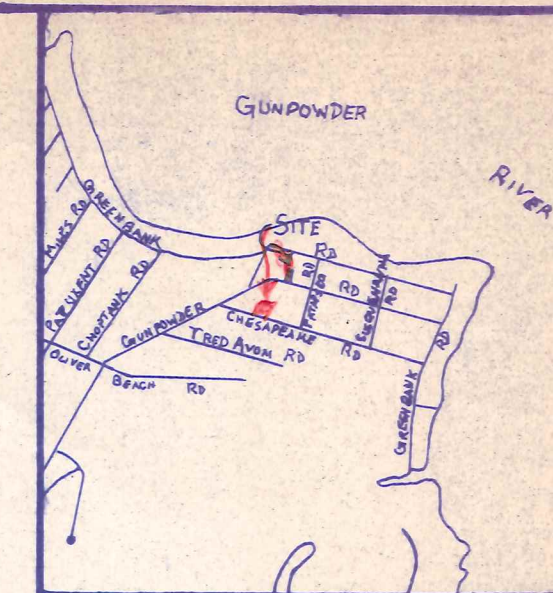




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MANUFACTURED STRUCTURES
R.R.#2, BOX 683, LIVERPOOL, PA 17045
(717) 444-3395 FAX (717) 444-7577

27⁶44 HOMESTEAD II

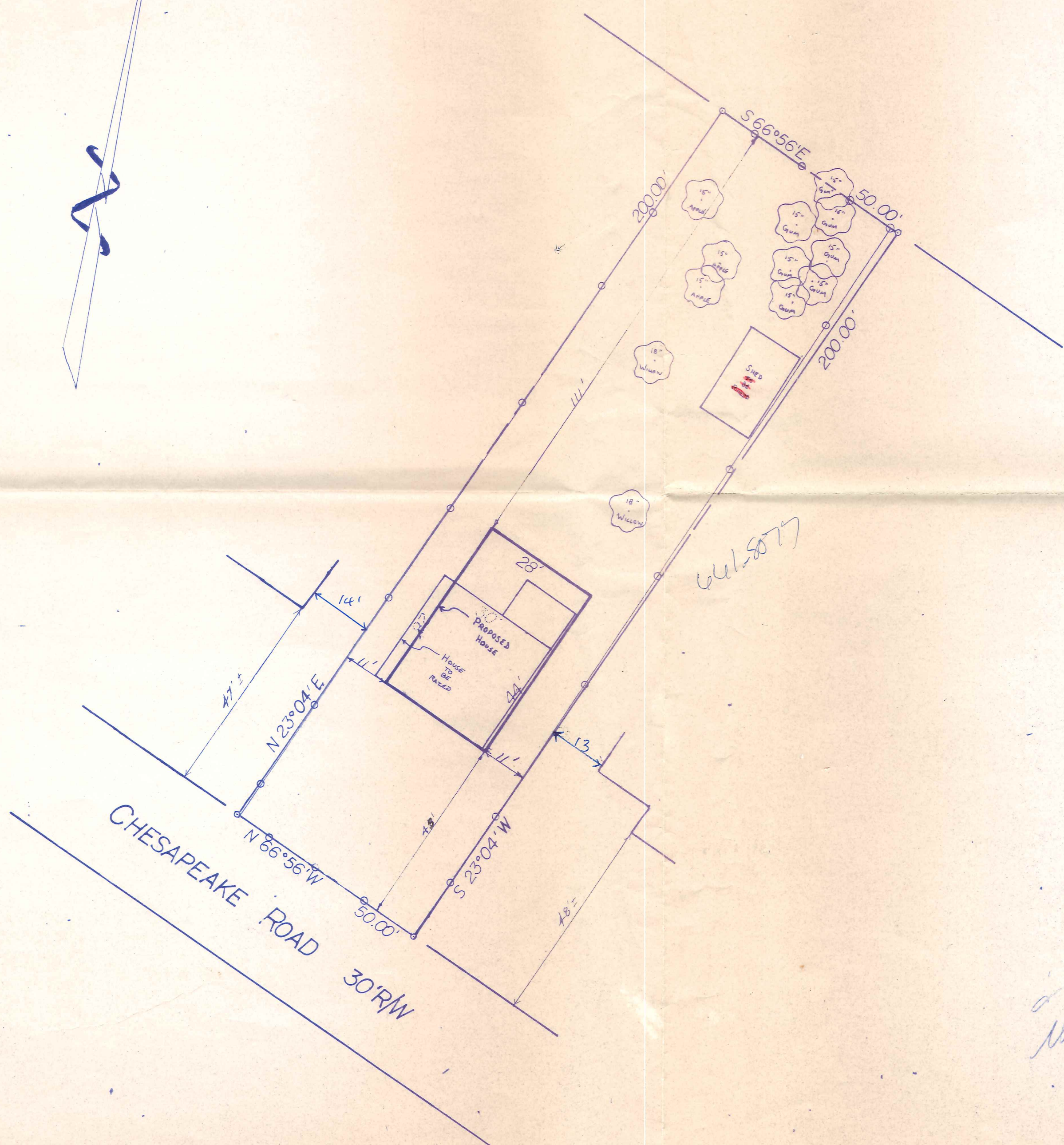
DRAWN BY: COMP	CHECKED BY:	DATE: 06/16/1993	SCALE: 1/4"=1'-0"
REVISIONS:			DISK NO: XL3587



1"=2000'
VICINITY MAP

NOTES

1. EXISTING WATER + SEWER AT SITE.
2. PROPERTY HAS ADEQUACY OF FORESTATION
3. PROPERTY IS ~~IN~~ IN THE CRITICAL BAY AREA.
4. THERE ARE NO WETLANDS ON THIS LOT.
COUNCILMAN DIST. 5
CENSUS TRACT 4518.01
ELECTION DIST. 15
REG. PLANNING DIST. 322B
5. PROPERTY IS ZONED DR5.5 - N.E. 7-M
6. EXISTING HOUSE IS UNSAFE
7. LOT SIZE: 10,000 SQ. FT.
8. PRIOR ZONING HEARINGS - NONE.



Thomas E. Phelps

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BALTIMORE, MARYLAND 21221
PHONE: (410) 574-6744

REVISIONS			Site Plan 7318 Chesapeake Avenue Lot 266 Oliver Beach Sec. B Baltimore Co., Md		
No	Desc	Date			
1			Drawn by: TAN.	Scale: 1"=20'	Date: 6-8-93
2					
3			Chk'd by:		
4					
5					