

USE PERMIT



IT IS ORDERED by the Director of Zoning Administration & Development Management of Baltimore County, this 7TH day of APRIL, 1994 that 5108 SHELBOURNE RD should be and the same is

(street address)

hereby granted permission to operate a CLASS "A" ASSISTED LIVING -

FACILITY (FOR 9 BEDS) THIS IS A ZONING USE APPROVAL AND

IS NOT INTENDED TO SUPERCEDE ANY OTHER REQUIRED APPROVALS

ALF #2

Permit Number

A handwritten signature in cursive script, appearing to read "John Paul Jablon", is written over the printed name of the Director.
Director, Zoning Administration & Development Management

OPZ 3/25
E.M.

USE PERMIT



IT IS ORDERED by the Director of Zoning Administration & Development Management of Baltimore County, this 7th day of APRIL, 1994, that 5108 SHELBORNE RD should be and the same is

(street address)

hereby granted permission to operate a CLASS "A" ASSISTED LIVING -

FACILITY (FOR 9 BEDS) THIS IS A ZONING-USE APPROVAL AND

IS NOT INTENDED TO SUPERCEDE ANY OTHER REQUIRED APPROVALS

ALF #2

Permit Number


Director, Zoning Administration & Development Management

OPZ 3/25
EM

USE PERMIT



IT IS ORDERED by the Director of Zoning Administration & Development
Management of Baltimore County, this 14th day of OCTOBER, 1994,
that 5108 SHELBOURNE RD.
(street address) should be and the same is
hereby granted permission to operate a 'CLASS A' ASSISTED LIVING
FACILITY FOR 12 RESIDENTS.

10/14/94
Permit Number

A handwritten signature in cursive script, appearing to read "John J. Arnold", is written over the printed title.
Director, Zoning Administration & Development Management

BALTIMORE COUNTY, MARYLAND
OFFICE OF FINANCE - REVENUE DIVISION
MISCELLANEOUS CASH RECEIPT

No. 149451

DATE 9/30/94 ACCOUNT R0016150

AMOUNT \$ 40.00

RECEIVED FROM: GARY WAITT

FOR: REVISION TO ALF USE PERMIT CLASS A CODE 210

03A03H0009MICHRC

\$40.00

BA 0002159PM09 3 94

VALIDATION OR SIGNATURE OF CASHIER

DISTRIBUTION

WHITE - CASHIER

PINK - AGENCY

YELLOW - CUSTOMER

BALTIMORE COUNTY, MARYLAND
OFFICE OF FINANCE - REVENUE DIVISION
MISCELLANEOUS CASH RECEIPT

No. 144301

DATE

3/18/94

ACCOUNT

80016150

AMOUNT

\$ 40.00

RECEIVED

FROM:

AL BROUGHTON PAYING FOR OWNER A. PALITZER

CODE 210

FOR:

CLASS "A" ELD HSG- USE PERMIT APPLICATION

03A03#0244MICHRC

BA 0011:51A03-18-94

\$40.00

VALIDATION OR SIGNATURE OF CASHIER

DISTRIBUTION

WHITE - CASHIER

PINK - AGENCY

YELLOW - CUSTOMER

BALTIMORE COUNTY, MARYLAND
OFFICE OF FINANCE - REVENUE DIVISION
MISCELLANEOUS CASH RECEIPT

No. 144301

DATE 3/18/94 ACCOUNT 80016150

AMOUNT \$ 40.00

RECEIVED FROM: AL BROUGHTON PAYING FOR OWNER A. PALITZER

CODE 210

FOR: CLASS "A" ELD HSG- USE PERMIT APPLICATION

03A03HD244MICHRC \$40.00
BA 0011:51AM03-18-94

DISTRIBUTION

WHITE - CASHIER PINK - AGENCY YELLOW - CUSTOMER

VALIDATION OR SIGNATURE OF CASHIER

3 Form 7

INTER-OFFICE CORRESPONDENCE
RECOMMENDATION FORM

TO: Director, Office of Planning and Zoning
Attention: Ervin McDaniel
County Courts Building, Room 406
401 Bosley Avenue
Towson, MD 21204

ZADM ALF # _____

Permit No. (if required) B B170266

FROM: Arnold Jablon, Director, Zoning Administration & Development Management

RE: Assisted Living Facility (Class "A")

Pursuant to Section 432.5.B (Baltimore County Zoning Regulations) effective February 25, 1994, this office is requesting recommendations and comments from the Office of Planning and Zoning prior to this office's approval of a building/use permit.

MINIMUM APPLICANT SUPPLIED INFORMATION:

♦ ALBERT K. BROUGHTON, 1017 CHESTNUT RIDGE DRIVE, LITHERVILLE, MD, 21093
Print Name of Applicant Address Telephone Number
(410) 252-6107

♦ Lot Address 5108 SHELBOURNE ROAD Election District 13 Councilmanic District 1 Square Feet 19,800

Lot Location: N E S W side/corner of NORTH 350 feet from N E S W corner of LINDEN AVE.
(street) (street)

Land Owner GARY WAITT Tax Account Number N/A

Address 5108 SHELBOURNE RD. ARBUTUS, MD. Telephone Number 747-7425

♦ CHECKLIST OF MATERIALS: (to be submitted by applicant for required *compatibility* and/or *appearance* review by the Office of Planning and Zoning)

	PROVIDED?	YES	NO
1. This Recommendation Form (3 copies)		✓	—
2. Permit Application		✓	—
3. Site Plan		✓	—
Property (3 copies): including lot size and square feet of buildings, parking and open space - minimum 500 square feet		✓	—
Topo Map (2 copies): available in Room 206, County Office Building - (please label site clearly)		✓	—
Statement as to whether or not building has been enlarged by 25% or more in the last five (5) years		✓	—
4. Building Elevation Drawings <u>WAIVED IF NOTE 5 A ON PLAN PER IRV MCDANIEL (CPL)</u> <u>WAIVED</u>		✓	—
5. Photographs (please label all photos clearly)		✓	—
Adjoining Buildings		✓	—
Surrounding Neighborhood		✓	—
6. Current Zoning Classification: <u>DR 5.5</u>		✓	—

OK TO FILE
JMM
3/18/94

TO BE FILLED IN BY THE OFFICE OF PLANNING AND ZONING ONLY!

RECOMMENDATIONS / COMMENTS:

☒ Approval ☐ Disapproval ☐ Approval conditioned on required modifications of the application to conform with the following recommendations:

WPH

Signed by: Ervin McDaniel
for the Director, Office of Planning and Zoning

Date: 3/25/94

CONVING REPT
149451

INTER-OFFICE CORRESPONDENCE
RECOMMENDATION FORM

(APPROVED)

TO: Director, Office of Planning and Zoning
Attention: Ervin McDaniel
County Courts Building, Room 406
401 Bosley Avenue
Towson, MD 21204

THIS IS A USE PERMIT
REVISION FOR A
3 BED INCREASE
JAL

ZADM ALF # _____

ORIGINAL# FOR 9 BEDS

Permit No. (if required) B -170266

DP PER MIKE COOK OF
DEPT. OF AGING NO.
V+O PERMITS REQD BY P+L
FOR A 3 BED (9 TO 12)
INCREASE

FROM: Arnold Jablon, Director, Zoning Administration & Development Management

RE: Assisted Living Facility (Class "A")

FILED BY JLEWIS 9/30/94

Pursuant to Section 432.5.B (Baltimore County Zoning Regulations) effective February 25, 1994, this office is requesting recommendations and comments from the Office of Planning and Zoning prior to this office's approval of a building/use permit.

MINIMUM APPLICANT SUPPLIED INFORMATION:

♦ ALBERT K. BROUGHTON, 1017 CHESTNUT RIDGE DRIVE, LUTHERVILLE, MD. 21093 252-6107
Print Name of Applicant Address Telephone Number

♦ Lot Address 5108 SHELBOURNE ROAD Election District 13 Councilmanic District _____ Square Feet 19,800 S.F.

Lot Location: N E S W/side/corner of NORTH (street) . 350 feet from N E S W corner of LINDEN AVE. (street)

Land Owner ARNOLD PALITZER Tax Account Number N/A

Address 5108 SHELBOURNE RD. ARBUTUS, MD. 21227 Telephone Number 484-9173

♦ CHECKLIST OF MATERIALS: (to be submitted by applicant for required *compatibility* and/or *appearance* review by the Office of Planning and Zoning)

PROVIDED?

YES NO

1. This Recommendation Form (3 copies) ☒
2. Permit Application B-170266 ☒
3. Site Plan ☒
Property (3 copies): including lot size and square feet of buildings, parking and open space - minimum 500 square feet ☒
Topo Map (2 copies): available in Room 206, County Office Building - (please label site clearly) ☒
Statement as to whether or not building has been enlarged by 25% or more in the last five (5) years ☒
4. Building Elevation Drawings ☒
5. Photographs (please label all photos clearly) ☒
Adjoining Buildings ☒
Surrounding Neighborhood ☒
6. Current Zoning Classification: DR 5.5 ☒

THIS APPLICATION IS
BEING REVISED TO PERMIT
OWNER 12 BEDS IN LIEU
OF THE 9 BEDS PREVIOUSLY
APPROVED BY THE COUNTY.

WAIVED,
DISCUSSED WITH
BILL HUEY OPZ
9/28/94. JAL

TO BE FILLED IN BY THE OFFICE OF PLANNING AND ZONING ONLY!

RECOMMENDATIONS / COMMENTS:

☒ Approval ☐ Disapproval ☐ Approval conditioned on required modifications of the application to conform with the following recommendations:

PER PHONE CONVERSATION WITH BILL HUEY
APPL COPY ON WAY 10/14/94

Signed by:

Bill Huey
for the Director, Office of Planning and Zoning

asstlv pub

Date:

10/14/94

APPLICATION FOR PERMIT
BALTIMORE COUNTY MARYLAND
OFFICE OF THE BUILDING ENGINEER
TOWSON, MARYLAND 21204

OEA: CKS/UB
HISTORIC DISTRICT/BLDG.

PROPERTY ADDRESS 5108 Shelbourne Ave. ☐ YES ☒ NO
Arbutis, MD
SUBDIV: ☒ DO NOT KNOW
TAX ACCOUNT #: 13-06-800110 DISTRICT/PRECINCT
OWNER'S INFORMATION (LAST, FIRST) 13 2
NAME: PALITZER, Arnold
ADDR: c/o Lucky Realty Co., P.O. Box 32531
Pikesville, MD 21208

APPLICANT INFORMATION
NAME: Gary Waitt
COMPANY: Our House, Assisted Living (Senior), Inc.
ADDR1: 5108 Shelbourne Ave., Arbutis
ADDR2: 21208
PHONE #: (w) 747-7425 MHIC LICENSE #: N/A
APPLICANT
SIGNATURE: Gary E. Waitt TRACT: BLOCK:
PLANS: CONST 31 PLOT PLAT DATA 0 EL 2 PL 2
TENANT Our House, Senior Assisted Living, Inc.
CONTR: N/A TO BE DETERMINED
ENGR: N/A
SELLR: N/A

DESCRIBE PROPOSED WORK: No work scheduled.

CHANGE OF OCCUPANCY FROM 3 APTS. TO RENTAL

WITH ELDERLY. AS PER PLANS

INT APTS TO ENCLOSE STAIRWAY

TYPE OF USE

RESIDENTIAL

01. ONE FAMILY
02. TWO FAMILY
03. X THREE AND FOUR FAMILY
04. FIVE OR MORE FAMILY
(ENTER NO UNITS)
05. SWIMMING POOL
06. X GARAGE
07. OTHER

TYPE FOUNDATION

1. SLAB
2. X BLOCK
3. X CONCRETE
BASEMENT
1. X FULL
2. PARTIAL
3. NONE

TYPE OF CONSTRUCTION

1. X MASONRY
2. WOOD FRAME
3. STRUCTURE STEEL
4. REINF. CONCRETE

CENTRAL AIR: 1. 2.
ESTIMATED COST: \$ 14
OF MATERIALS AND LABOR

OWNERSHIP

1. X PRIVATELY OWNED 2. PUBLICLY OWNED 3. SALE 4. RENTAL

RESIDENTIAL CATEGORY: 1. DETACHED 2. SEMI-DET. 3. X GROUP 4. TOWNHSE 5. MIDRISE
#EFF: #1BED: #2BED: #3BED: TOT BED: 9 TOT APTS/CONDOS: 6. HIRISE
1 FAMILY BEDROOMS
GARBAGE DISPOSAL 1 X 2. N BATHROOMS 3 CLASS 04
POWDER ROOMS KITCHENS 1 LIBER FOLIO

BUILDING SIZE LOT SIZE AND SETBACKS
FLOOR 075 SIZE 100 X 140
WIDTH FRONT STREET
DEPTH SIDE STREET
HEIGHT FRONT SETBK N/C
STORIES SIDE SETBK N/C
LOT #'S SIDE STR SETBK
CORNER LOT REAR SETBK N/C
1. Y 2. N ZONING DR 10.5

APPROVAL SIGNATURES

DATE

BLD INSP:
BLD PLAN 120 H to File 7-16-93
FIRE 120 OK to File 7-16-93
SEDI CTL:
ZONING 105: OK to File 7-16-93
PUB SERV:
ENVRMNT:
PERMITS:

MAKE CHECKS PAYABLE TO BALTIMORE COUNTY MARYLAND -- NO PERMIT FEES REFUNDED

REQUESTS PLANS WAIVED

APPLICATION FOR PERMIT
BALTIMORE COUNTY, MARYLAND
OFFICE OF THE BUILDING ENGINEER
TOWSON, MARYLAND 21204

OEA: CE5/113
HISTORIC DISTRICT/BLDG.

PERMIT #: B 170266
RECEIPT #: A 194522
CONTROL #: CD01099-93
XREF #:

PROPERTY ADDRESS 5108 Shelbourne Ave. ☐ YES ☒ NO
Arbutis, MD
SUBDIV: ☒ DO NOT KNOW
TAX ACCOUNT #: 13-06-200110 DISTRICT/PRECINCT
OWNER'S INFORMATION (LAST, FIRST) 13 2

FEE: 35.00 + 142.00 + 12.00
PAID: 25.00 187.00
PAID BY: APPL
INSPECTOR:

NAME: PALITZER, Arnold
ADDR: c/o Lucky Realty Co., P.O. Box 32531
Pikesville, MD 21208

I HAVE CAREFULLY READ THIS APPLICATION
AND KNOW THE SAME IS CORRECT AND TRUE;
AND THAT IN DOING THIS WORK ALL PROVI-
SIONS OF THE BALTIMORE COUNTY CODE AND
APPROPRIATE STATE REGULATIONS WILL BE
COMPLIED WITH WHETHER HEREIN SPECIFIED
OR NOT AND WILL REQUEST ALL REQUIRED
INSPECTIONS.

APPLICANT INFORMATION
NAME: Gary Waitt
COMPANY: Our House, Assisted Living (Senior), Inc.
ADDR1: 5108 Shelbourne Ave., Arbutis
ADDR2: 2122CP
PHONE #: (w) 747-7425 MHIC LICENSE #: N/A

BUILDING 1 or 2 FAM.

SIGNATURE: Gary S. Waitt TRACT: 31 BLOCK: 2
PLANS: CONST 31 PLOT — PLAT — DATA 0 EL 2 PL 2
TENANT Our House, Senior Assisted Living, Inc.
CONTR: N/A TO BE DETERMINED
ENGR: N/A
SELLR: N/A

CODE CODE
BOCA CODE ✓ 90

TYPE OF IMPROVEMENT

1. ✓ NEW BLDG CONST
2. ✓ ADDITION
3. ✓ ALTERATION
4. ✓ REPAIR
5. ✓ WRECKING
6. ✓ MOVING
7. ✓ OTHER None CH. OF OCC.

DESCRIBE PROPOSED WORK: No work scheduled.
CHANGE OF OCCUPANCY FROM 3 APTS. TO RENTAL
WITH ELDERLY. NO ADULTS, AS PER PLANS
INT APTS TO ENCLOSE STAIRCO

TYPE OF USE

RESIDENTIAL

01. ✓ ONE FAMILY
02. ✓ TWO FAMILY
03. ✓ THREE AND FOUR FAMILY
04. ✓ FIVE OR MORE FAMILY
(ENTER NO UNITS) 90
05. ✓ SWIMMING POOL
06. ✓ GARAGE
07. ✓ OTHER

NON-RESIDENTIAL

- 08 No AMUSEMENT, RECREATION, PLACE OF ASSEMBLY 59811111
09 No CHURCH, OTHER RELIGIOUS BUILDING
10 No FENCE (LENGTH — HEIGHT —) Before issuance
11 No INDUSTRIAL, STORAGE BUILDING Permit
12 No PARKING GARAGE
13 No SERVICE STATION, REPAIR GARAGE
14 No HOSPITAL, INSTITUTIONAL, NURSING HOME On file
15 No OFFICE, BANK, PROFESSIONAL
16 No PUBLIC UTILITY
17 No SCHOOL, COLLEGE, OTHER EDUCATIONAL
18 No SIGN
19 No STORE MERCANTILE RESTAURANT
20 No SWIMMING POOL SPECIFY TYPE
21 No TANK, TOWER
22 No TRANSIENT HOTEL, MOTEL (NO. UNITS —)
23 ✓ OTHER Minimum Care Adult Facility

TYPE FOUNDATION

1. ✓ SLAB
2. ✓ BLOCK
3. ✓ CONCRETE

BASEMENT

1. ✓ FULL
2. ✓ PARTIAL
3. ✓ NONE

TYPE OF CONSTRUCTION

1. ✓ MASONRY
2. ✓ WOOD FRAME
3. ✓ STRUCTURE STEEL
4. ✓ REINF. CONCRETE

TYPE OF HEATING FUEL

1. ✓ GAS 3. ✓ ELECTRICITY
2. ✓ OIL 4. ✓ COAL

TYPE OF SEWAGE DISPOSAL

1. ✓ PUBLIC SEWER ✓ EXISTS PROPOSED
2. ✓ PRIVATE SYSTEM EXISTS PROPOSED
SEPTIC EXISTS PROPOSED
PRIVY EXISTS PROPOSED

CENTRAL AIR: 1. ✓ 2. ✓
ESTIMATED COST: \$ 1.4
OF MATERIALS AND LABOR

TYPE OF WATER SUPPLY

1. ✓ PUBLIC SYSTEM ✓ EXISTS PROPOSED
2. ✓ PRIVATE SYSTEM EXISTS PROPOSED

PROPOSED USE: APARTMENTS FOR ELDERLY
EXISTING USE: APARTMENTS

OWNERSHIP

1. ✓ PRIVATELY OWNED 2. ✓ PUBLICLY OWNED 3. ✓ SALE 4. ✓ RENTAL

RESIDENTIAL CATEGORY: 1. ✓ DETACHED 2. ✓ SEMI-DET. 3. ✓ GROUP 4. ✓ TOWNHSE 5. ✓ MIDRISE
#EFF: #1BED: 1 #2BED: 1 #3BED: 1 TOT BED: 9 TOT APTS/CONDOS: 9 6. ✓ HIRISE
1 FAMILY BEDROOMS

3 Form

INTER-OFFICE CORRESPONDENCE
RECOMMENDATION FORM

TO: Director, Office of Planning and Zoning
Attention: Ervin McDaniel
County Courts Building, Room 406
401 Bosley Avenue
Towson, MD 21204

ZADM ALF # _____

Permit No. (if required) B 170 266

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RE: Assisted Living Facility (Class "A")

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Print Name of Applicant Address Telephone Number (410) 252-6107

◆ Lot Address 5108 SHELBOURNE ROAD Election District 13 Councilmanic District 1 Square Feet 19,800

Lot Location: N E S W side/corner of NORTH 350 feet from N E S W corner of LINDEN AVE.
(street) (street)

Land Owner GARY WAITT Tax Account Number N/A

Address 5108 SHELBOURNE RD, ARBUTUS, MD. Telephone Number 747-7425

◆ CHECKLIST OF MATERIALS: (to be submitted by applicant for required compatibility and/or appearance review by the Office of Planning and Zoning)

	PROVIDED?	
	YES	NO
1. This Recommendation Form (3 copies)	☒	☐
2. Permit Application	☒	☐
3. Site Plan	☒	☐
Property (3 copies): including lot size and square feet of buildings, parking and open space - minimum 500 square feet	☒	☐
Topo Map (2 copies): available in Room 206, County Office Building - (please label site clearly)	☒	☐
Statement as to whether or not building has been enlarged by 25% or more in the last five (5) years	☒	☐
4. Building Elevation Drawings <i>WAIVED IF NOTE 5 A ON PLAN PER IRV MCDANIELS (CPL) WAIVED</i>	☒	☐
5. Photographs (please label all photos clearly)	☒	☐
Adjoining Buildings	☒	☐
Surrounding Neighborhood	☒	☐
6. Current Zoning Classification: <u>DR 5.5</u>	☒	☐

OK TO FILE
OBR.
3/18/94

TO BE FILLED IN BY THE OFFICE OF PLANNING AND ZONING ONLY

RECOMMENDATIONS / COMMENTS:

☐ Approval ☐ Disapproval ☐ Approval conditioned on required modifications of the application to conform with the following recommendations:

Signed by: _____

for the Director, Office of Planning and Zoning

03/14/94

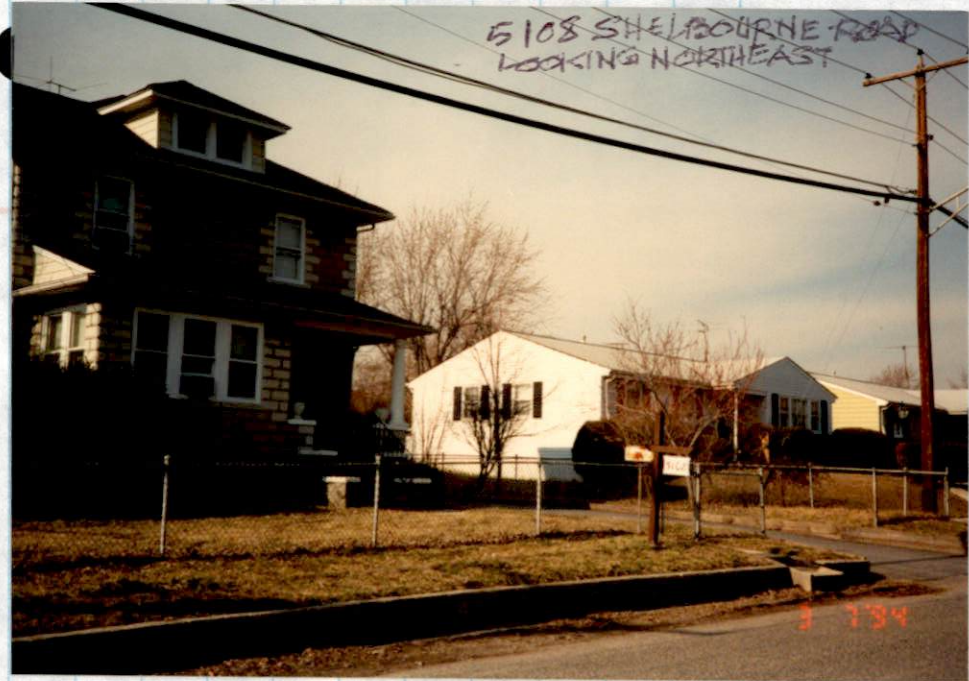
Date: _____



5108 SHELBORNE ROAD
LOOKING NORTHEAST



5108 SHELBORNE ROAD
LOOKING NORTHEAST



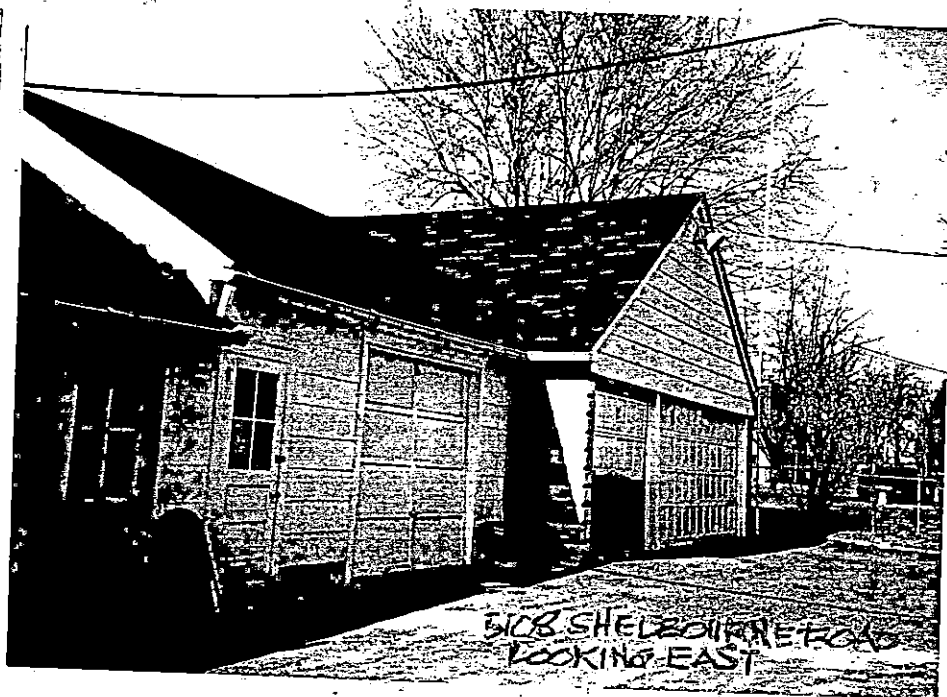
5108 SHELBORNE ROAD
LOOKING NORTH



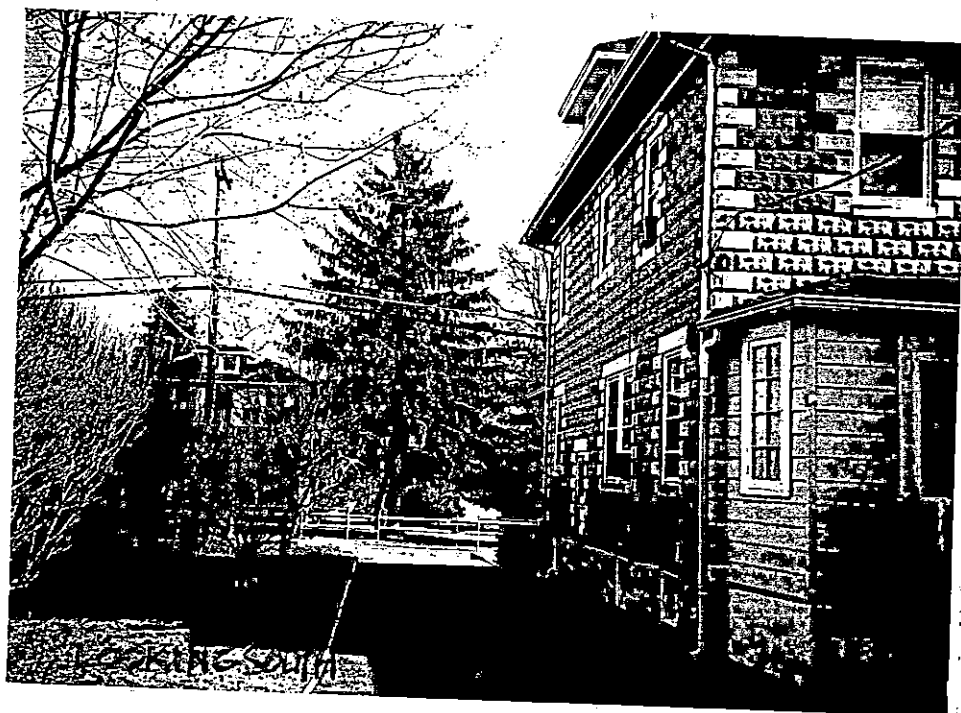
5108 SHELBORNE ROAD
LOOKING NORTHEAST



5108 SHELDORNE ROAD
LOOKING NORTH



5108 SHELDORNE ROAD
LOOKING EAST

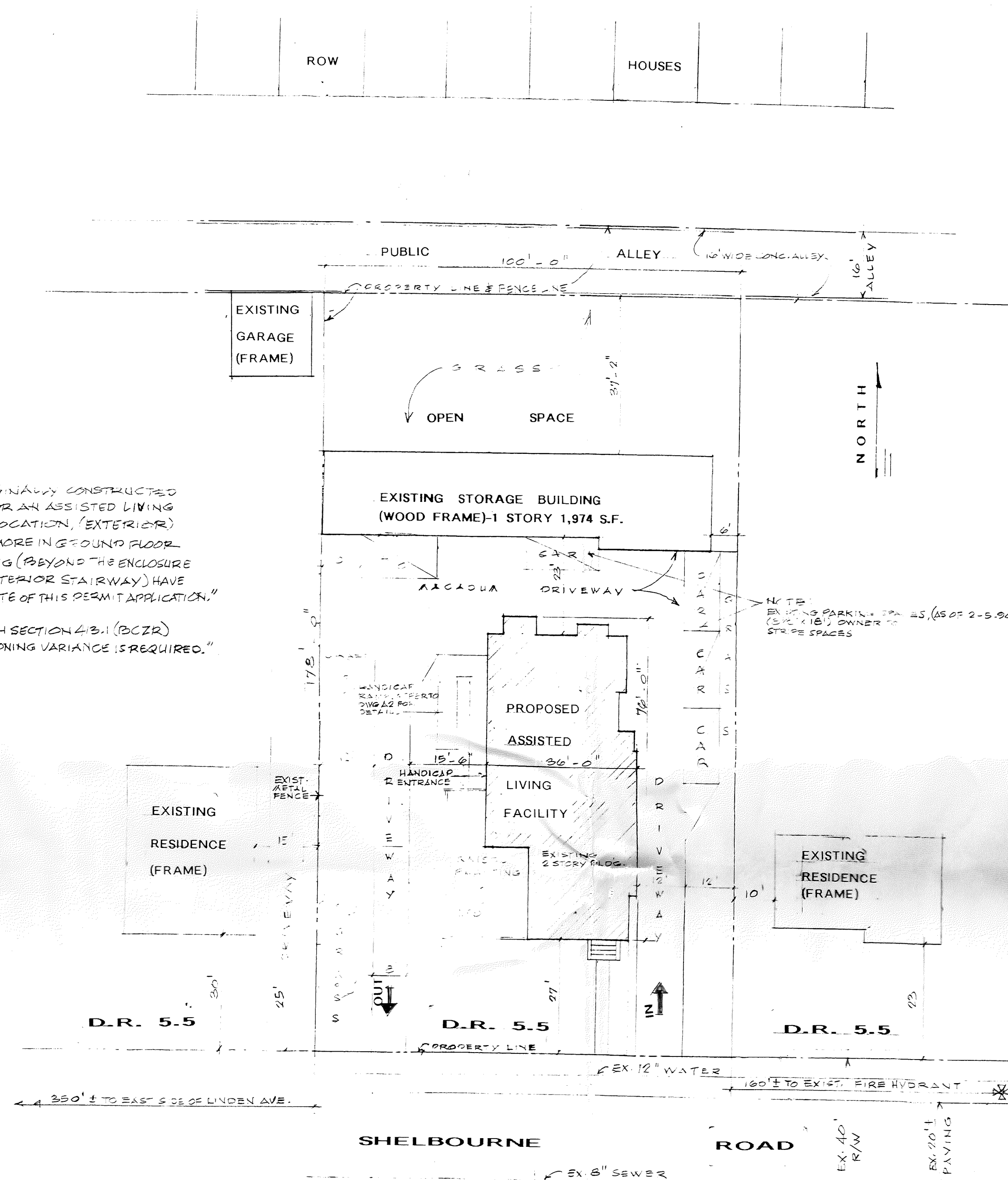


LOOKING SOUTH



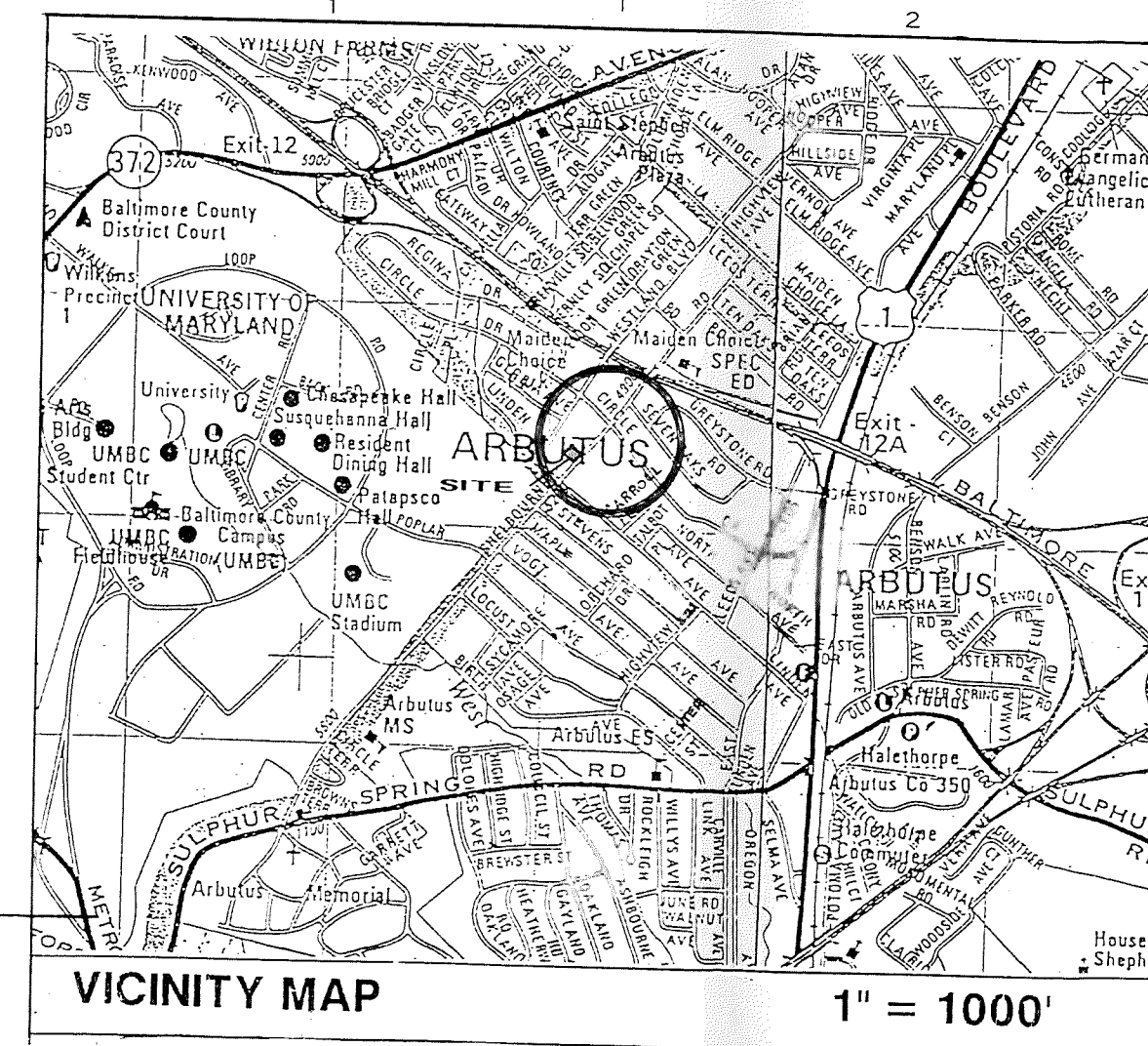
5108 SHELDORNE ROAD
LOOKING NORTH





NOTES:
 "THIS BUILDING HAS NOT BEEN ORIGINALLY CONSTRUCTED TO ACCOMMODATE ELDERLY HOUSING OR AN ASSISTED LIVING FACILITY. NO RECONSTRUCTION, RELOCATION, EXTERIOR CHANGES OR ADDITIONS (OF 25% OR MORE IN GROUND FLOOR AREA) TO THE EXTERIOR OF THE BUILDING (BEYOND THE ENCLOSURE OF A PORCH OR THE ADDITION OF AN EXTERIOR STAIRWAY) HAVE OCCURRED WITHIN FIVE YEARS OF THE DATE OF THIS PERMIT APPLICATION."
 "ANY PROPOSED SIGNS WILL COMPLY WITH SECTION 4-3-1 (BCIR) AND ALL ZONING SIGN POLICIES OR A ZONING VARIANCE IS REQUIRED."

ZONING USE PERMIT
 PLAN WAS APPROVED FOR 9 RES.
 INCREASE TO 12 RES.
 THIS IS A REVISION TO
 THE ORIGINAL USE
 PERMIT.



SITE & BUILDING DATA

SITE SQUARE FOOTAGE 19,800 SQ.FT.
 .45 ACRES
 EXISTING HOUSE FOOTPRINT - FIRST FL. 2,126 S.F., 2ND FL. 850 S.F.
 EXISTING STOR. BLDG. FOOTPRINT 1,800 SQ.FT.
 TOTAL "BUILT" IMP. FOOTPRINT AREA 6,200 SQ.FT.
 FLOOR AREA RATIO 6,200 SQ.FT./19,800 SQ.FT. = 31%
 GROSS FLOOR AREA (HOUSE) = 3,826 S.F.
 REQUIRED SITE AREA PER S.432.5A 7 BEDS = 10,000 S.F. REQUIRED
 5 BEDS @ 1,500 EACH OR 7,500 S.F. REQUIRED
 LOT SIZE 17,500 S.F.

PARKING DATA

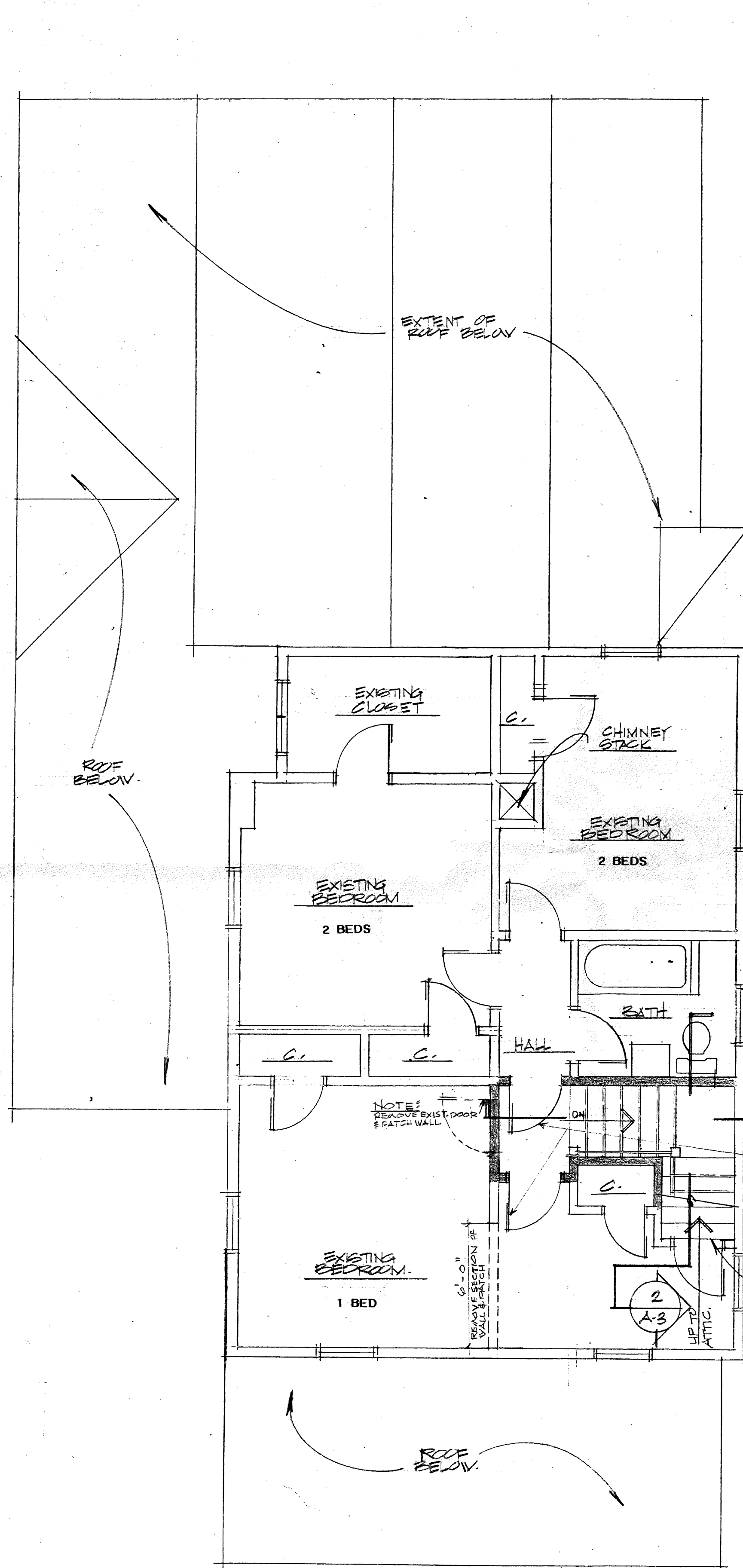
ASSISTED LIVING FACILITIES
 1 PARKING SPACE FOR EACH 3 BEDS
 NUMBER OF SPACES REQUIRED 4 (12 BEDS)
 NUMBER OF SPACES PROVIDED 4
 PLUS 1 HANDICAP SPACE
 OWNER: ARNOLD PALITZER C/O LUCKY REALTY CO. P.O. BOX 32531
 PIKESVILLE, MD. 21208 TELE. 484-9173

ASSISTED LIVING FACILITY CLASS "A"

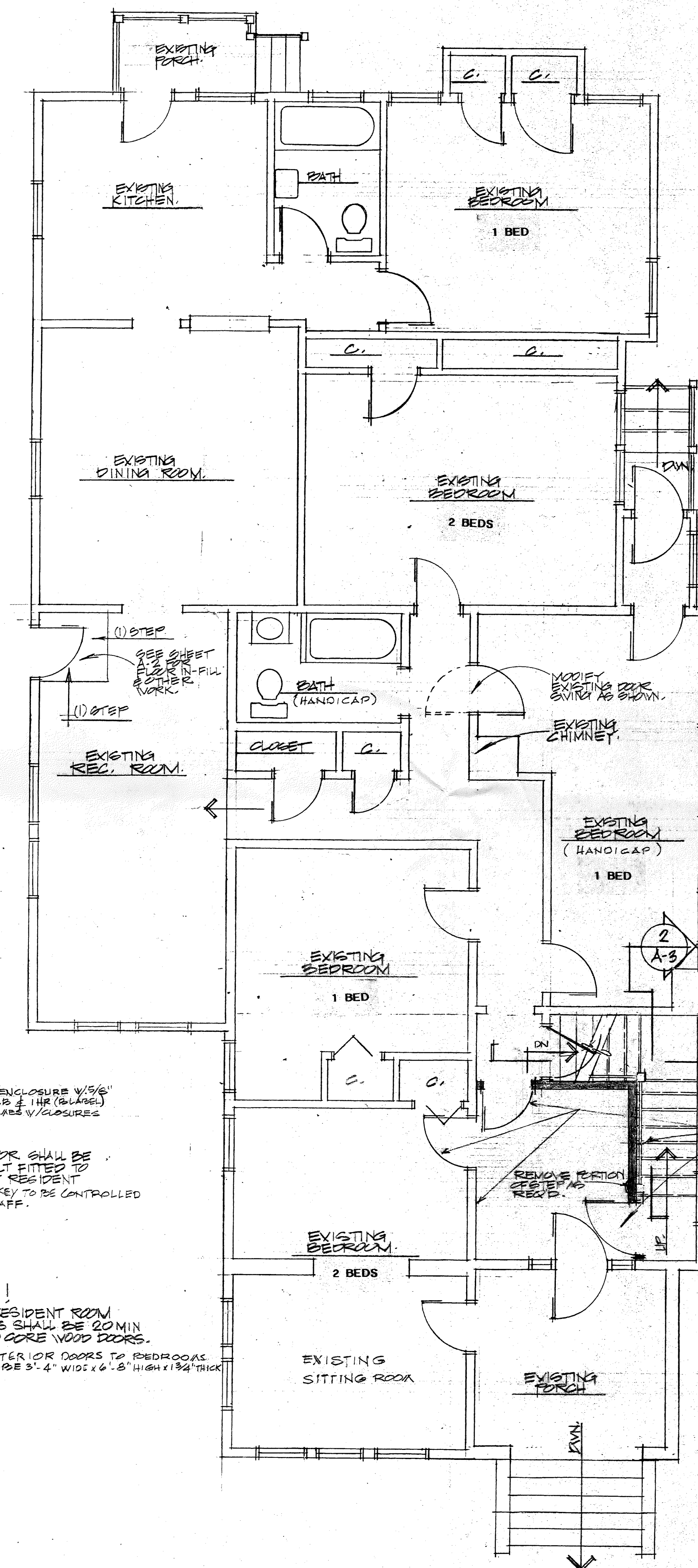
OUR HOUSE
AT SHELBOURNE
 5108 SHELBOURNE ROAD
 CHANGE IN USE OF OCCUPANCY
 AND MINOR ALTERATIONS
 "PLAN TO ACCOMPANY PERMIT #B-170266 DATE 11/10/93"

13th ELECTION DISTRICT -
 BALTIMORE COUNTY, MD.

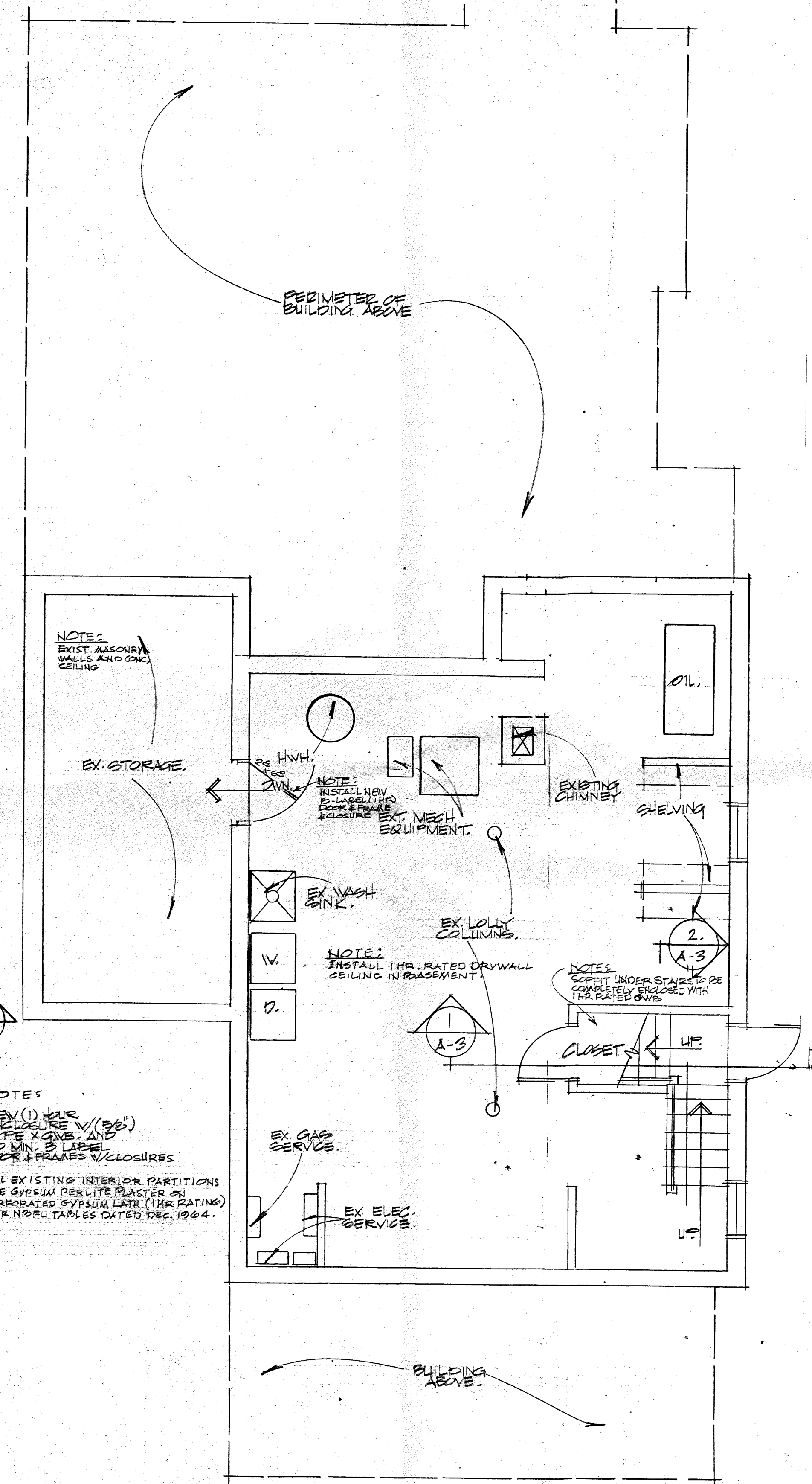
REVISIONS REV. 2/17/94 3/13/94 REV. 9/27/94	SCALE: 1" = 20'
	DATE: 11-30-93
ALBERT K. BROUGHTON AIA, CSI & ASSOCIATES ARCHITECT 1017 CHESTNUT RIDGE DRIVE LUTHERVILLE, MD. 21093 (410) 252-6107 FAX 252-6107	JOB NO: 9307
	DESIGNED: DRAWN: AKB CHECKED:
DRAWING NUMBER SDP-1	SHEET 1 OF 1



SECOND FLOOR PLAN
1/4" = 1'-0"



MAIN FLOOR PLAN
1/4" = 1'-0"



BASEMENT PLAN
1/4" = 1'-0"

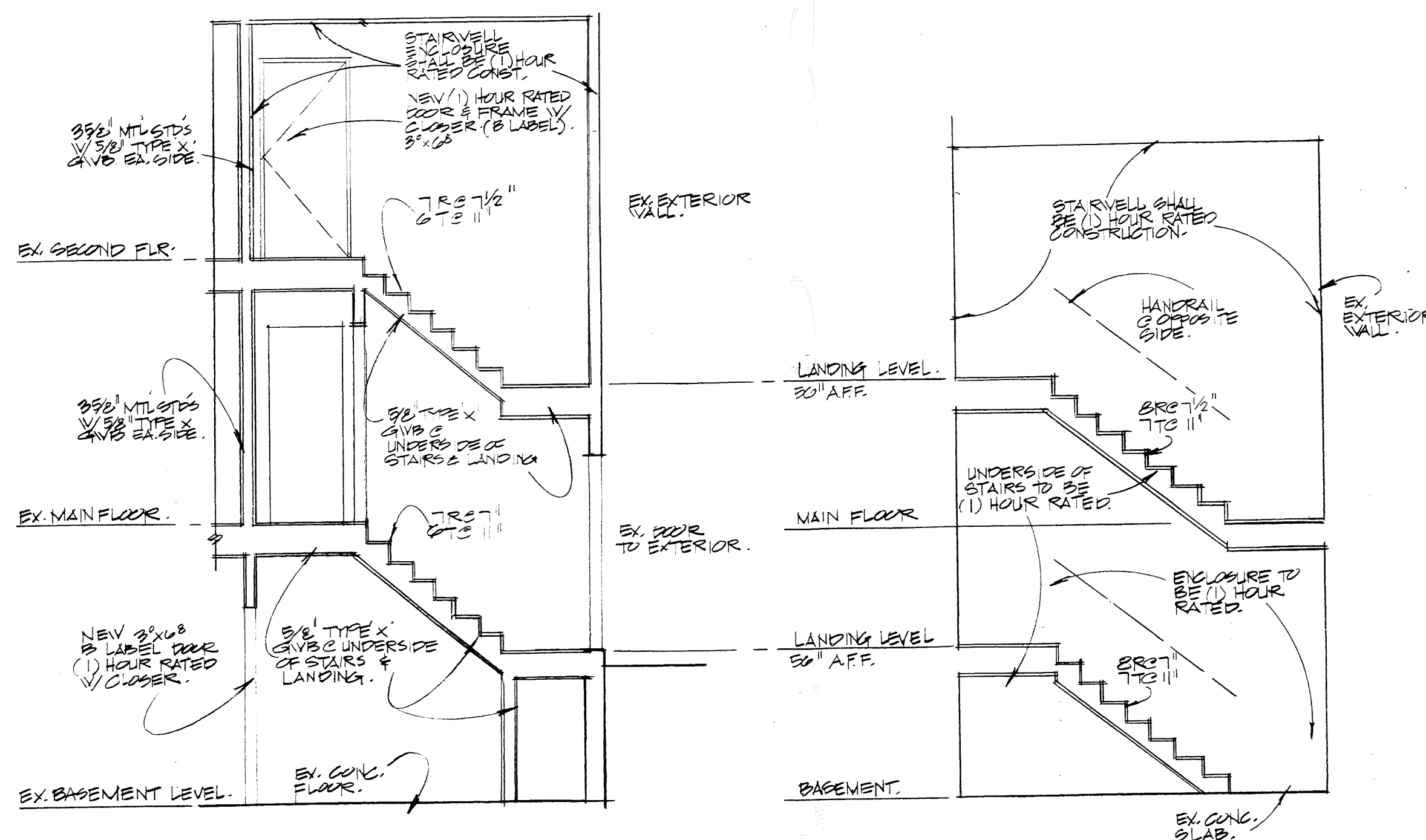
A.K. BROUGHTON A.I.A., C.S.I.
AND ASSOCIATES

OUR HOUSE
PROPOSED ASSISTED LIVING FACILITY
5108 SHELBOURNE AVE.
ARBUTUS, MD.

Revisions:
10/28/93
11/30/93
REV. 9/27/94

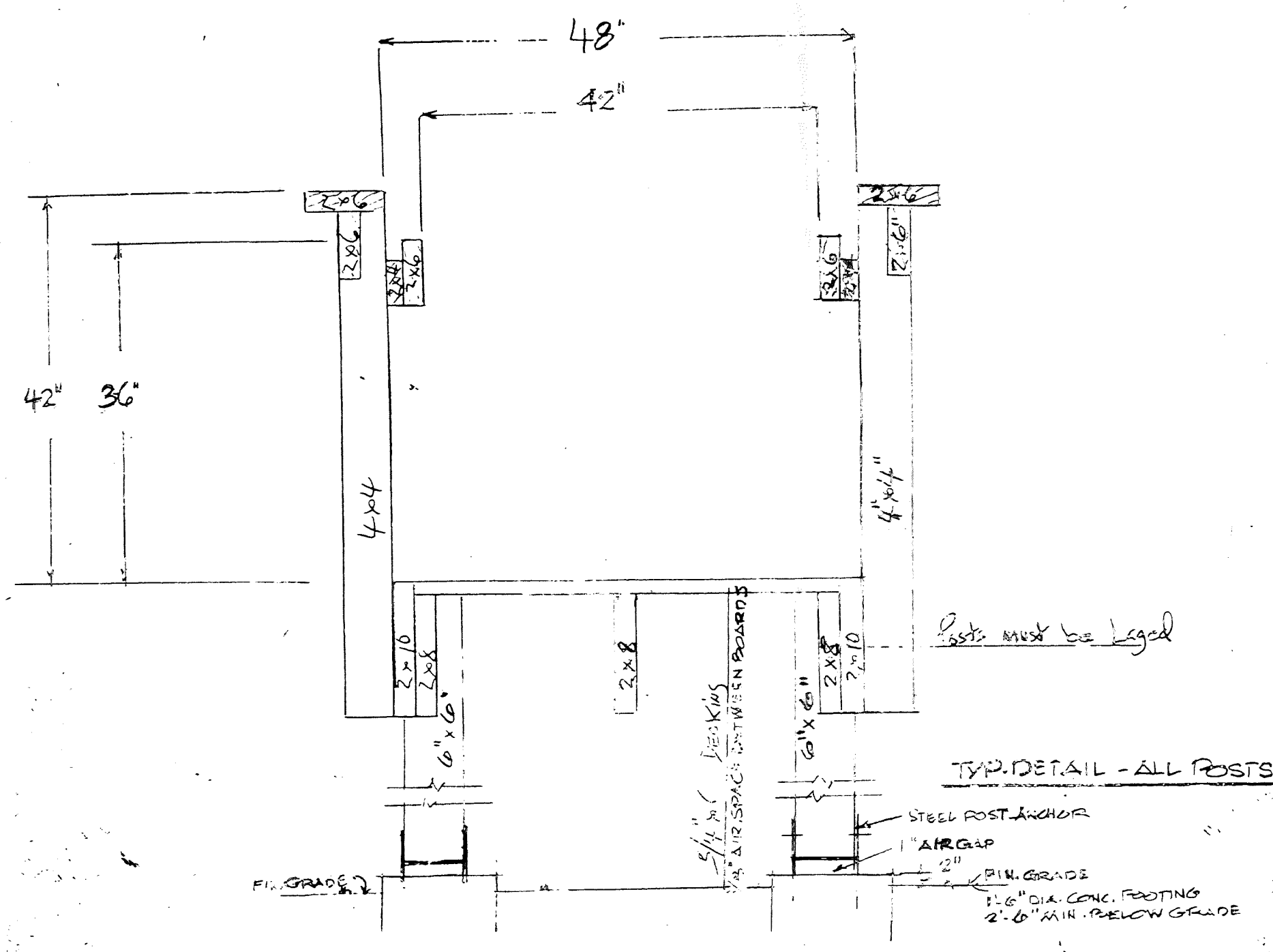
Released For:
Preliminary Only
Bidding
Permits
Construction

Date: 7/24/93
Project No.:
Drawn:
Designed:
Check:
Title:



1
A-3 SECTION THRU. STAIRS
SCALE: 1/4" = 1'-0"

2
A-3 SECTION THRU. STAIRS
SCALE: 1/4" = 1'-0"



3
A-3 SECTION THRU. RAMP
SCALE: 1" = 1'-0"

STRUCTURAL NOTES:

- NOTE 1 FOOTINGS AND TURNED-DOWN SLABS ARE DESIGNED FOR AN ASSUMED BEARING CAPACITY OF 3000 PSF. FOOTINGS AND TURNED-DOWN SLABS SHALL BEAR ON NATURAL UNDISTURBED SOIL. 1'-0" BELOW ORIGINAL GRADE AND BOTTOM EXTERIOR FOOTINGS AND TURNED-DOWN SLABS SHALL BE 2'-6" BELOW FINISHED GRADE. CONTRACTOR SHALL VERIFY SOIL PRESSURE IN THE FIELD. IF FOUND TO BE LESS THAN 3000 PSF, THE FOOTINGS AND TURNED-DOWN SLABS WILL HAVE TO BE REDESIGNED.
- NOTE 2 ALL FILL UNDER SLABS ON GROUND SHALL BE COARSE GRANULAR MATERIAL COMPACTED TO 95% OF MAXIMUM DENSITY AT OPTIMUM WATER CONTENT. ALL SLABS ON GROUND SHALL HAVE PANELS POURED PER ACI-302.1R (LATEST LOCAL APPROVED EDITION), SECTION 6.4.1 OR ALL SLABS ON GROUND MAY BE POURED CONTINUOUSLY BY USING A PREMOLDED KEYS METAL JOINT TO FORM AREAS NOT EXCEEDING 225 SQ. FT.
- NOTE 3 DO NOT BACKFILL AGAINST WALLS UNTIL SUPPORTING SLABS ARE IN PLACE AND HAVE ATTAINED REQUIRED STRENGTH.
- NOTE 4 SLABS ON GROUND SHALL BE 5" THICK CONCRETE REINFORCED WITH 6" X 6" W2.1 X W2.1 WWP OVER 6 MIL VAPOR BARRIER AND 4" WASHED GRAVEL UNLESS OTHERWISE NOTED.
- NOTE 5 ALL SPLICES IN REINFORCING SHALL BE CLASS "C" SPLICES IN ACCORDANCE WITH ACI-318 (LATEST LOCAL APPROVED EDITION) EXCEPT AS NOTED IN THE PLANS. BEND HORIZONTAL WALL REINFORCING 1'-0" MINIMUM AROUND ALL CORNERS OR PROVIDE 4'-0" LONG CORNER BARS TO MATCH HORIZONTAL REINFORCING.
- NOTE 6 ALL CONCRETE, EXCEPT AS NOTED, SHALL BE (F'C=3,000 PSI) STONE AGGREGATE CONCRETE AT 28 DAYS.
- NOTE 7 EXCEPT AS NOTED, ALL REINFORCING SHALL BE HIGH STRENGTH NEW BILLET STEEL CONFORMING TO ASTM DESIGNATION A-615-82 (FY=60,000 PSI). ALL STIRRUPS AND TIES SHALL BE NEW INTERMEDIATE GRADE STEEL CONFORMING TO ASTM DESIGNATION A-615-82 (FY=40,000 PSI). ALL REINFORCING SHALL BE DETAIL, FABRICATED, AND PLACED IN ACCORDANCE WITH THE ACI'S "MANUAL OF STANDARD PRACTICE FOR DETAILING CONCRETE STRUCTURES" (ACI-315), LATEST LOCAL APPROVED EDITION).
- NOTE 8 UNLESS OTHERWISE NOTED IN STRUCTURAL DRAWINGS, PROVIDE CONCRETE PROTECTION FOR REINFORCING AS FOLLOWS:
- | | |
|----------------------------------|--------------------------------------|
| CAST AGAINST EARTH | 3" |
| EXPOSED TO EARTH OR WEATHER: | |
| NO. 6 AND LARGER BARS | 2" |
| NO. 5 AND SMALLER BARS | 1-1/2" |
| NOT EXPOSED TO EARTH OR WEATHER: | |
| SLABS, WALL JOISTS | 3/4" |
| BEAMS, GIRDERS, COLUMNS | 1-1/2" TO TIES, STIRRUPS, OR SPIRALS |
- NOTE 9 ALL FORMWORK SHALL BE IN ACCORDANCE WITH THE AMERICAN CONCRETE INSTITUTE "FORMWORK FOR CONCRETE", SPECIAL PUBLICATION NO. 4 AND ACI'S "STANDARD RECOMMENDED PRACTICE FOR CONCRETE FORMWORK" (ACI-347, LATEST LOCAL APPROVED EDITION).
- NOTE 10 VOID NOTE.
- NOTE 11 ALL FLOOR JOISTS FOR THE PROPOSED ADDITION ILLUSTRATED HEREIN, SHALL BE 2" X 12" (OF GRADE LISTED IN THESE NOTES) AND SPACED 10' O.C. MAX. 1/2" T&G PLYWOOD GLUED & NAILED TO THE JOISTS.
- NOTE 12 ALL BEARING WALLS SHALL BE 2' X 12" (OF GRADE LISTED IN THESE NOTES) & SPACED 10' O.C. 1/2" DOUBLE TOP PLATES OF SAME.
- NOTE 13 VOID NOTE.
- NOTE 14 STRUCTURAL SOLID SAWN WOOD JOISTS SHALL BE SOUTHERN PINE #2 SURFACED DRY. STRUCTURAL SOLID SAWN WOOD BEAMS, COLUMNS AND STUDS SHALL BE SOUTHERN PINE #2 SURFACED DRY. ALL FABRICATION, ERECTION, OTHER PROCEDURES, AND MINIMUM UNIT STRESSES SHALL CONFORM TO THE CURRENT "NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION FASTENINGS".
- NOTE 15 ALL HEADER OPENINGS SHALL HAVE (2) THREE 2" X 12" MEMBERS (OF GRADE LISTED IN THESE NOTES) AND SPIKED TO ACT AS A SINGLE CONTINUOUS MEMBER.
- NOTE 16 VOID NOTE.
- NOTE 17 SHOP DRAWINGS FOR ALL STRUCTURAL ELEMENTS SHOWN ON THE CONTRACT DOCUMENTS MUST BE SUBMITTED BY THE GENERAL CONTRACTOR. IF A CONTRACTOR OR OWNER FAILS TO SUBMIT THE SHOP DRAWINGS, MCCORMAC ENGINEERING ASSOCIATES WILL NOT BE RESPONSIBLE FOR THE STRUCTURAL DESIGN OF THE PROJECT.
- AT THE TIME OF SHOP DRAWING SUBMISSION, THE GENERAL CONTRACTOR SHALL STATE IN WRITING ANY DEVIATIONS OR OMISSIONS FROM THE CONTRACT DOCUMENTS. THE GENERAL

CONTRACTOR SHALL REVIEW ALL SHOP DRAWINGS BEFORE SUBMISSION AND MAKE ALL CORRECTIONS AS HE DEEMS NECESSARY AND SHALL CERTIFY ON EACH DRAWING AS FOLLOWS:

"I CERTIFY THAT THE CONTRACT DOCUMENT REQUIREMENTS HAVE BEEN MET AND ALL DIMENSIONS, CONDITIONS, AND QUANTITIES ARE VERIFIED AS SHOWN AND/OR AS CORRECTED ON THIS DRAWING,

SIGNED:..... (FOR GENERAL CONTRACTOR)

NOTE 18 ALL CONCRETE WORK SHALL CONFORM TO THE LATEST APPROVED (BY LOCAL GOVERNMENT) EDITIONS OF THE FOLLOWING A.C.I. AND A.S.T.M. DOCUMENTS:

ACI-301	SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS
ACI-318	CODE
ACI-214	COMPRESSION TESTS
ACI-306	COLD WEATHER
ACI-315	DETAILING
ACI-347	FORMWORK
ACI-305	HOT WEATHER
ACI-211	PROPORTIONS OF CONCRETE
ACI-304	PLACING CONCRETE
ACI-ASCE COMMITTEE 423	UNBONDED TENDONS
ASTM-C94	READY-MIX CONCRETE

NOTE 19 ALL FIELD AND LAB TESTING OF CONCRETE SHALL CONFORM TO THE LATEST APPROVED (BY LOCAL GOVERNMENT) EDITIONS OF ASTM:

ASTM C-31	FIELD CYLINDER SPECIMENS
ASTM C-143	SLUMP TEST
ASTM C-231	AIR CONTENT (WHEN REQUIRED)
ASTM C-39	LAB TESTING CYLINDERS
ASTM C-172	SAMPLING FRESH CONCRETE
ASTM C-42	HARDENED CORES (WHEN REQUIRED)

UPON COMPLETION OF CONCRETE TESTING, THE AGENCY SHALL CERTIFY THEIR RESULTS AS FOLLOWS:

"I CERTIFY THAT THE FIELD AND LAB TESTING CONFORMS TO THE ASTM DOCUMENTS AND GOOD PRACTICE.

SIGNED:..... P.E. (FOR AGENCY)"

NOTE 20 LOADS GREATER THAN THE DESIGN LIVE LOADS SHALL NOT BE PLACED ON THE STRUCTURE. A CONCRETE STRUCTURE MAY NOT SUPPORT ITS DESIGN LIVE LOADS FOR 28 DAYS. CONTRACTOR SHALL SUPPORT ADJACENT STRUCTURES, UTILITIES, AND FORMWORK, SHEETING, SHORING, UNDERPINNING, ETC. CERTIFIED BY A QUALIFIED ENGINEER AS A PART OF THE CONTRACTOR'S WORK.

NOTE 21 CONCRETE FORMWORK SHALL NOT BE DISTURBED UNTIL THE CONCRETE HAS HARDENED TO BE ABLE TO SUPPORT ITS OWN WEIGHT PLUS A MINIMUM OF 20 PSF CONSTRUCTION LOAD. FORMS MUST REMAIN IN PLACE A MINIMUM OF SEVEN DAYS BEFORE REMOVAL, PROVIDED THE MEAN DAILY AIR TEMPERATURE IS AT LEAST 32 DEGREES FAHRENHEIT AND THAT THE AIR IN CONTACT WITH THE CONCRETE HAS BEEN KEPT AT LEAST 50 DEGREES FAHRENHEIT FOR SEVEN DAYS.

NOTE 22 CONTRACTOR MUST SUBMIT A CONCRETE DESIGN MIX IN ACCORDANCE WITH ACI-318 (LATEST LOCAL APPROVED EDITION). SUCH DESIGN MIX SHALL BE ACCOMPANIED BY THE APPROPRIATE GRAPHS AND BACKGROUND DATA. CONCRETE DESIGN MIX SHALL INDICATE 7 AND 28 DAY STRENGTHS, CEMENT CONTENT AND WATER CEMENT RATIO, FINE AND COARSE AGGREGATES AND ADMIXTURES FOR EACH DESIGN STRENGTH. THE ADDITION OF WATER AT THE PLANT OR IN THE FIELD GREATER THAN 1% MORE THAN THE SPECIFIED WATER CONTENT IS STRICTLY PROHIBITED.

NOTE 23 ALL WORK SPECIFIED HEREIN SHALL BE INSPECTED IN ACCORDANCE WITH THE BUILDING CODE AND ALL LOCAL ORDINANCES. THE OWNER OR CONTRACTOR SHALL HIRE AN EXPERIENCED, QUALIFIED INSPECTOR TO PERFORM ALL THE REQUIRED INSPECTION WORK. THE ENGINEER WILL NOT PERFORM THE REQUIRED INSPECTION AS A PART OF HIS DESIGN SERVICE. THE ENGINEER MAY VISIT THE SITE TO ASCERTAIN GENERAL CONFORMANCE TO THE CONTRACT DOCUMENTS AND SUCH VISITS ARE NOT TO BE CONSTRUED AS MEETING INSPECTION REQUIREMENTS UNLESS THE ENGINEER SPECIFICALLY SO STATES IN WRITING.

NOTE 24 ALL RAILINGS, STUD WALLS, AND EXTERIOR WALLS SHALL BE DESIGNED FOR LOADS INDICATED IN THE LOCAL BUILDING CODE. SHOP DRAWINGS AND CALCULATIONS SHALL BE SUBMITTED FOR REVIEW.

NOTE 25 LIVE LOADS:

WIND-----	BOCA CODE (SPEED = 70 MPH)
ROOF-----	BOCA CODE (30 PSF MINIMUM)
SLAB ON GROUND-----	100 PSF

A.K. BROUGHTON A.I.A., C.S.I.
AND ASSOCIATES

OUR HOUSE
PROPOSED ASSISTED LIVING FACILITY
5108 SHELBOURNE AVE.
ARBUTUS, MD.

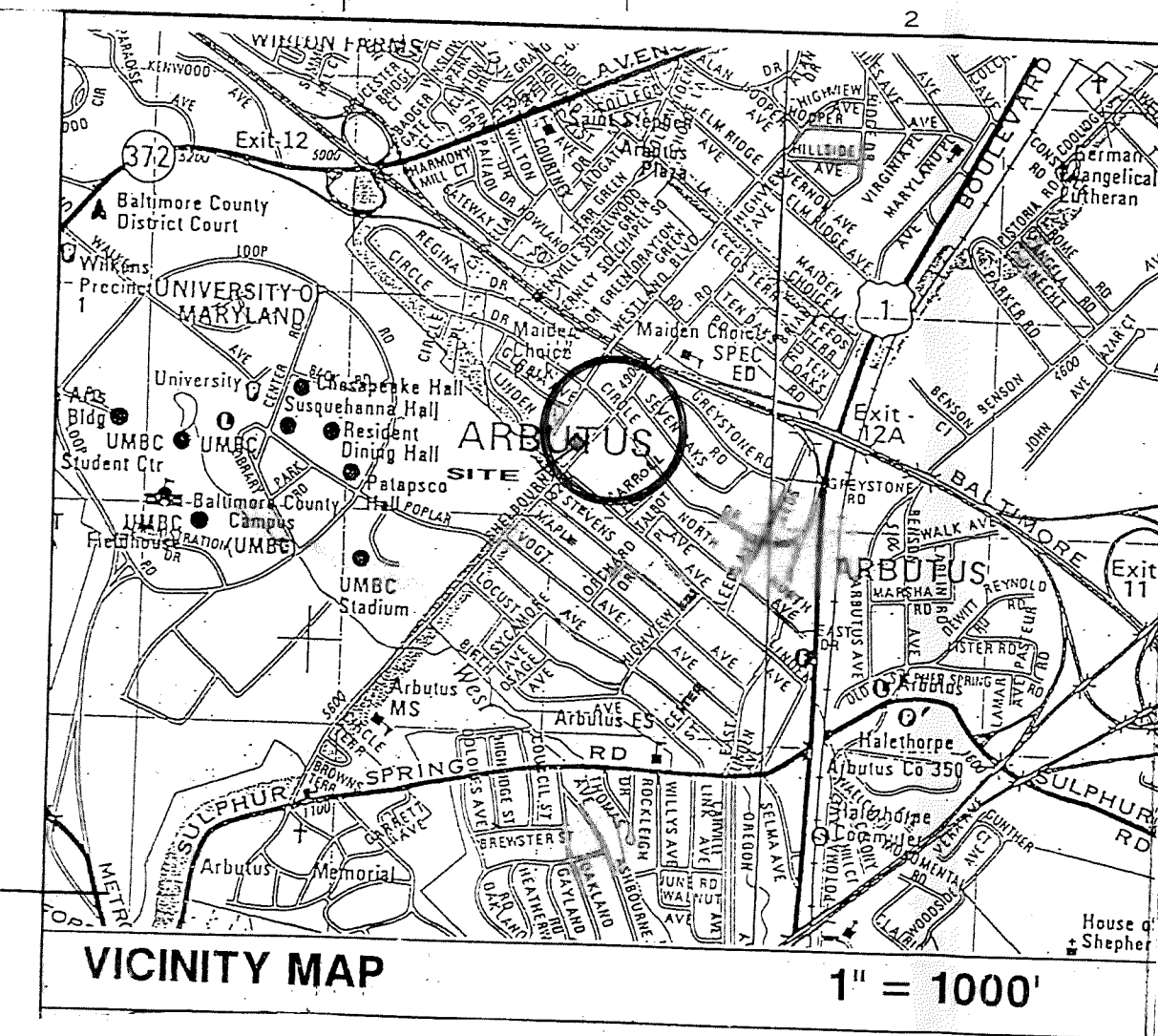
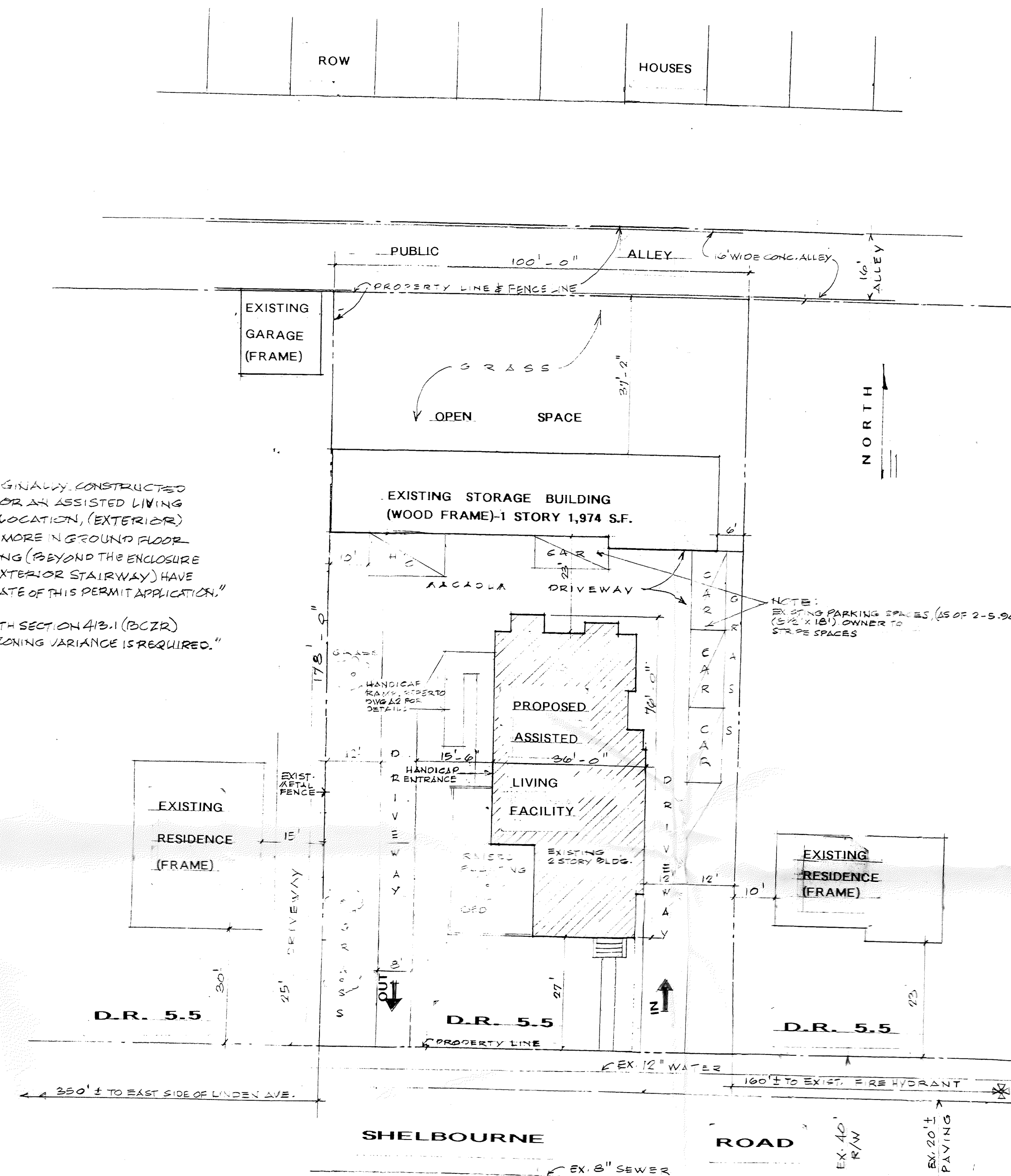
Revisions:

Released For:
☐ Preliminary Only
☐ Bidding
☐ Permits
☐ Construction

Date:
Project No.:
Drawn:
Designed:
Check:

Title: 11/30/99
MISC. DETAILS
& NOTES.

NOTE:
 "THIS BUILDING HAS NOT BEEN ORIGINALLY CONSTRUCTED TO ACCOMMODATE ELDERLY HOUSING OR AN ASSISTED LIVING FACILITY. NO RECONSTRUCTION, RELOCATION, (EXTERIOR) CHANGES OR ADDITIONS (OF 25% OR MORE IN GROUND FLOOR AREA) TO THE EXTERIOR OF THE BUILDING (BEYOND THE ENCLOSURE OF A PORCH OR THE ADDITION OF AN EXTERIOR STAIRWAY) HAVE OCCURRED WITHIN FIVE YEARS OF THE DATE OF THIS PERMIT APPLICATION."
 "ANY PROPOSED SIGNS WILL COMPLY WITH SECTION 413.1 (BCZR) AND ALL ZONING SIGN POLICIES OR A ZONING VARIANCE IS REQUIRED."



SITE & BUILDING DATA

- SITE SQUARE FOOTAGE 19,800 SQ.FT.
- ACRES .45 ACRES
- EXISTING HOUSE FOOTPRINT - FIRST FL. 2,126 S.F., 2ND FL. 850 S.F.
- EXISTING STOR. BLDG. FOOTPRINT 1,880 SQ.FT.
- TOTAL "BUILT" IMP. FOOTPRINT AREA 6,200 SQ.FT.
- FLOOR AREA RATIO 6,200 SQ.FT./19,800 SQ.FT. = 31%
- GROSS FLOOR AREA (HOUSE) = 3,826 S.F.
- REQUIRED SITE AREA PER S.432.5A 7 BEDS = 10,000 S.F. REQUIRED 5 BEDS @ 1,500 EACH OR 7,500 S.F. REQUIRED LOT SIZE = 17,500 S.F.

PARKING DATA

- ASSISTED LIVING FACILITIES
- 1 PARKING SPACE FOR EACH 3 BEDS
- NUMBER OF SPACES REQUIRED 4 (12 BEDS)
- NUMBER OF SPACES PROVIDED 4
- PLUS 1 HANDICAP SPACE
- OWNER: ARNOLD PALITZER C/O LUCKY REALTY CO. P.O. BOX 32531 PIKESVILLE, MD. 21208 TELE. 484-9173

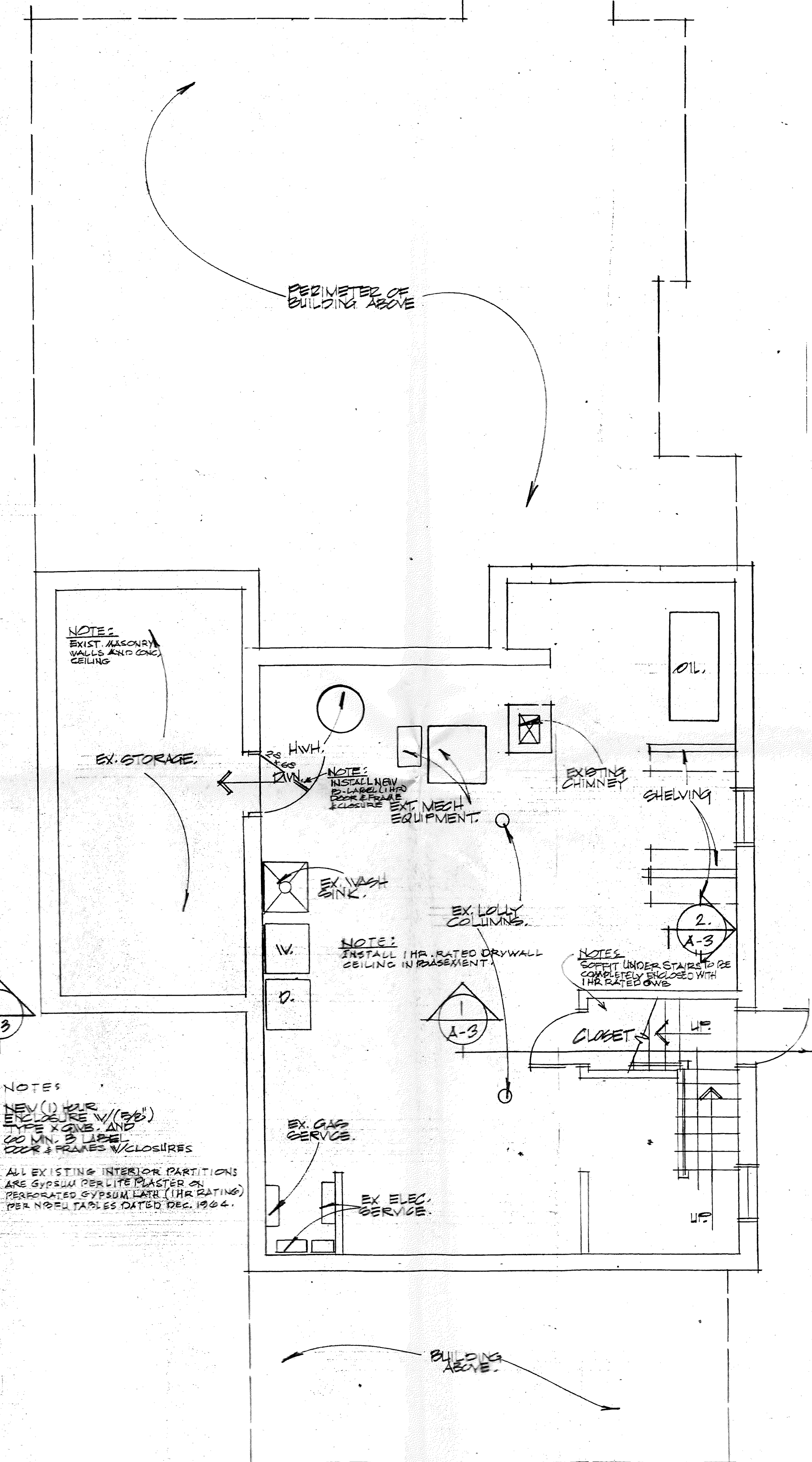
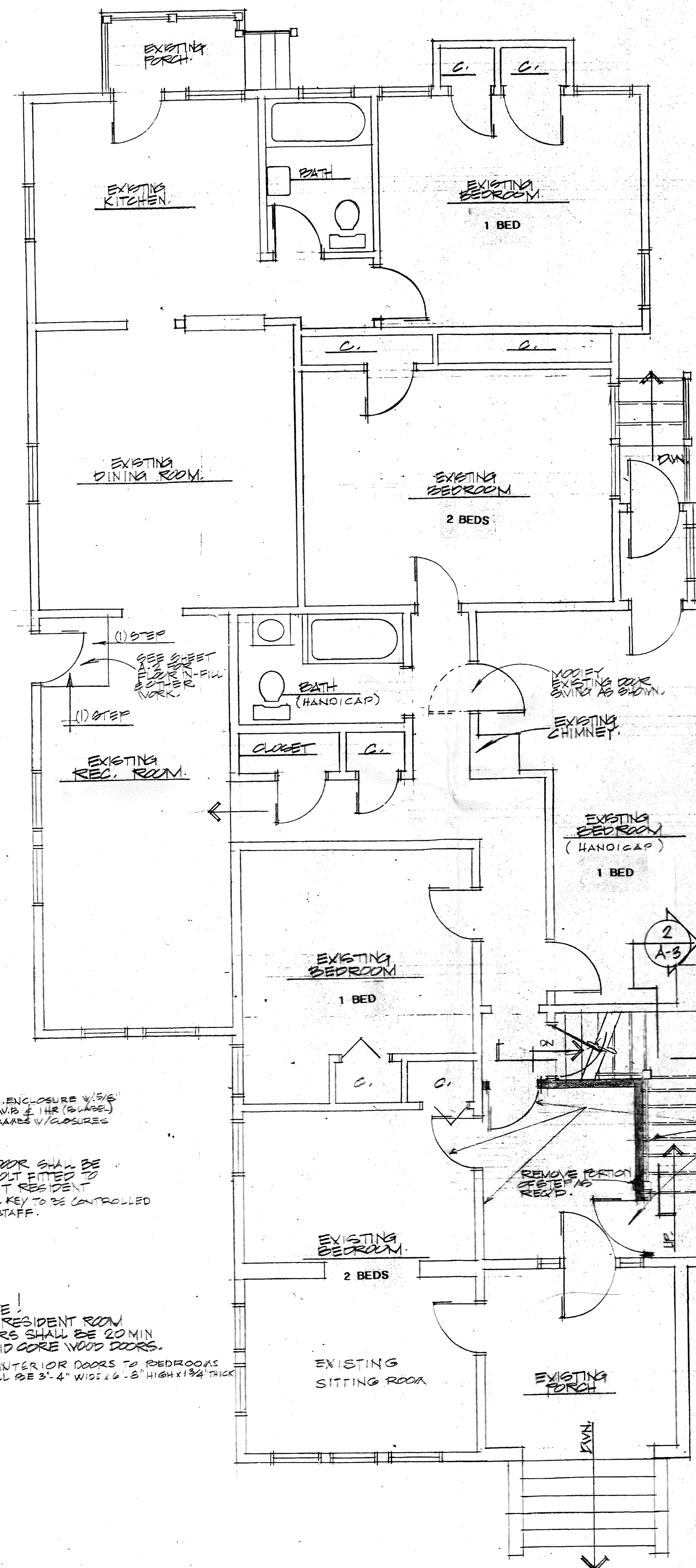
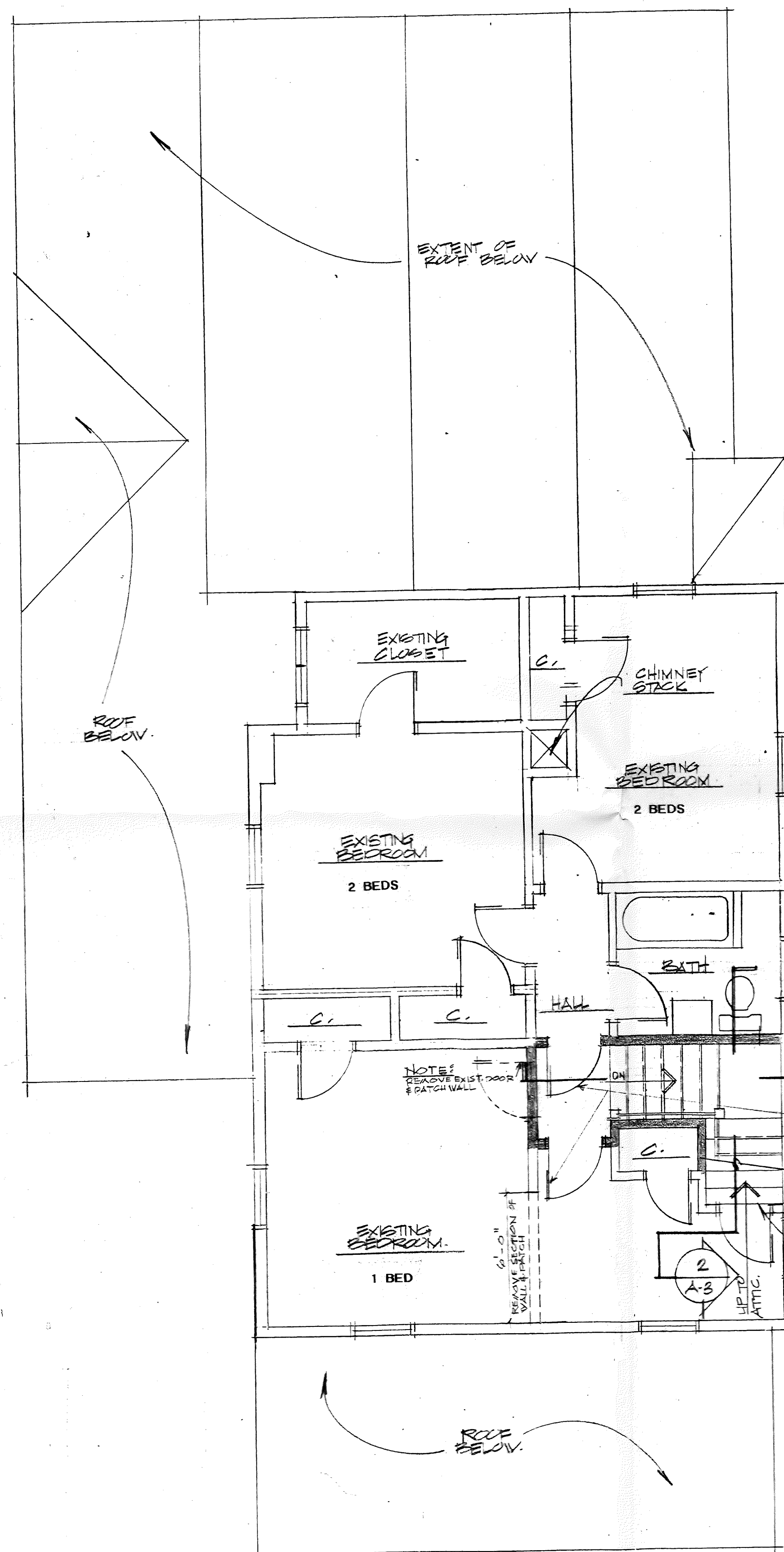
ASSISTED LIVING FACILITY CLASS "A"

OUR HOUSE AT SHELBOURNE
 5108 SHELBOURNE ROAD
 CHANGE IN USE OF OCCUPANCY AND MINOR ALTERATIONS
 "PLAN TO ACCOMPANY PERMIT #B-170266 DATE 11/10/93"
 13th ELECTION DISTRICT BALTIMORE COUNTY, MD.

REVISIONS REV. 8/17/94 "3 3 94" REV. 9/27/94	SCALE: 1" = 20'
	DATE 11-30-93 JOB NO 9307 DESIGNED DRAWN AKB CHECKED DRAWING NUMBER SDP-1

ALBERT K. BROUGHTON
AIA, CSI & ASSOCIATES
ARCHITECT
 1017 CHESTNUT RIDGE DRIVE,
 LUTHERVILLE, MD. 21093 (410) 252-6107 FAX 252-6107

SHEET 1 OF 1



A.K. BROUGHTON A.I.A., C.S.I.
AND ASSOCIATES

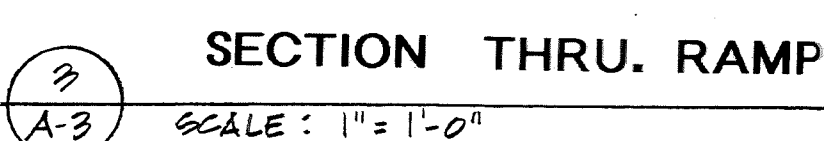
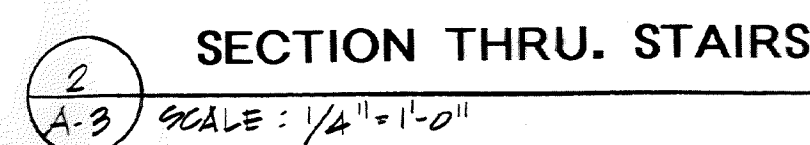
OUR HOUSE
PROPOSED ASSISTED LIVING FACILITY
5108 SHELBOURNE AVE.
ARBUTUS, MD.

Revisions:
10/18/03
11/30/03

REV. 9/27/04

Released For:
☐ Preliminary Only
☐ Bidding
☐ Permits
☐ Construction

Date: **7/24/93**
Project No.:
Drawn:
Designed:
Check:
Title:



SLAB ON GROUND-----100 PSF

Title: 11/30/93
MISC. DETAILS
& NOTES.