

IN RE: PETITIONS FOR SPECIAL HEARING
AND VARIANCE – SE/Corner Winters
Lane and Wayman Street
(519 Winters Lane)
1st Election District
1st Councilmanic District

Donna Lynn Kline
Javed A. Aizaz - Petitioners

* BEFORE THE
* ZONING COMMISSIONER
* OF BALTIMORE COUNTY
* Case No. 99-478-SPHA

*

* * * * *

FINDINGS OF FACT AND CONCLUSIONS OF LAW

This matter comes before the Zoning Commissioner for consideration of Petitions for Special Hearing and Variance relief for the property known as 519 Winters Lane, located in the Catonsville Pines subdivision in western Baltimore County. The Petitions were originally filed by the then owners of the subject property, Donna Lynn Kline and Javed A. Aizaz. At that time, the Petitioners were under contract to sell the property, which was subsequently sold to Jagjit Singh, the current owner. Special hearing relief is requested to approve the subject property as an undersized lot (pursuant to the accompanying variance requests) and a finding that the use of the subject lot for a proposed single family dwelling will not affect density for the surrounding area. In addition, variance relief is sought from Section 1B02.3.C.1 of the Baltimore County Zoning Regulations (B.C.Z.R.) to permit a lot width of 45 feet in lieu of the required 55 feet, a side yard setback of 9½ feet in lieu of the required 10 feet; a lot area of 4,900 sq.ft. in lieu of the required 6,000 sq.ft., and, any other variances deemed necessary by the Zoning Commissioner, and to approve the subject property as an undersized lot, pursuant to Section 304 of the B.C.Z.R. The subject property and relief sought are more particularly described on the site plan submitted which was accepted into evidence and marked as Petitioner's Exhibit 1.

This matter was originally scheduled for public hearing on July 20, 1999. On that date, Mr. Jagjit Singh appeared. Mr. Singh indicated that he recently acquired the property from Donna Kline and Javed Aizaz (June, 1999). He also indicated that following an investigation, it was

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Date 8/28/99
By [Signature]

confirmed that the property had not been duly advertised with a sign providing public notice of the hearing. Thus, the matter was continued from the hearing date of July 20, 1999 and rescheduled for August 10, 1999. The property was also posted with the appropriate public notice advertising the new hearing date.

Mr. Singh appeared at the second hearing date, as did several residents from the surrounding neighborhood who had seen the sign and were interested in the use of the property. They included Grace Robinson, Dan Aple, Sophia Pollock, and Walter and Helen Tilghman.

Testimony and evidence presented revealed that Mr. Singh owns four lots as laid out in the old subdivision of Catonsville Pines. As is the case with many older neighborhoods in Baltimore County, this subdivision was platted many years ago, before the adoption of any zoning regulations in Baltimore County. The parcels owned by Mr. Singh include Lots 19, 20, 21 and 22. Lots 19 and 20 abut one another and are collectively 45 feet wide and 105 feet deep. These two lots are located immediately adjacent to the intersection of Lincoln Avenue and Wayman Street and are improved with a dwelling known as 38 Lincoln Avenue. To the rear of those lots are Lots 21 and 22. Lots 21 and 22 are also collectively 45 feet wide and approximately 109 feet deep and presently constitute a large rear yard area for the dwelling at 38 Lincoln Avenue. Those two lots immediately abut the intersection of Winters Lane and Wayman Street.

Mr. Singh proposes to subdivide the subject property so as to create two parcels; one composed of Lots 19 and 20, and the second composed of Lots 21 and 22. He also envisions constructing a single family dwelling on Lots 21 and 22. That dwelling will front Winters Lane and bear the address 519 Winters Lane. A copy of the deeds for the properties were submitted at the hearing, indicating that these four lots, although conveyed under one deed, have been identified as two parcels. Testimony offered was that the proposed use will be consistent with other uses in the area in that there are other dwellings in this subdivision constructed on two lots as originally platted in this community.

Ms. Robinson and Ms. Pollock both testified that they do not oppose the request but are concerned over the intrusion of any business within the community. For so long as the property is

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Date 8/21/99
By [Signature]

used for residential purposes, they do not oppose the request. Mr. Aple shared those concerns, but also stated that the area at large is over-developed. He fears that development of the subject property will create additional traffic congestion, stress the neighborhood, and cause other detrimental impact.

Based upon the testimony and evidence presented, I am persuaded to grant the relief and permit the construction of a single family dwelling at 519 Winters Lane. In my judgment, the requests are consistent with the existing use of the property; however, in granting the request, I shall impose certain conditions. First, the property may be used only for residential purposes and cannot be used for commercial, retail or business purposes. Second, I will require that the Petitioner submit for review and approval by the Office of Planning, elevation drawings of the proposed dwelling. The Office of Planning will review these drawings to insure that the proposed dwelling will be consistent with other houses in the neighborhood. With these restrictions, I believe that a grant of the Petitions is appropriate.

Pursuant to the advertisement, posting of the property and public hearing on these Petitions held, and for the reasons set forth herein, the special hearing and variance relief shall be granted.

THEREFORE, IT IS ORDERED by the Zoning Commissioner for Baltimore County this 20th day of August, 1999 that the Petition for Special Hearing seeking approval of the subject property as an undersized lot (pursuant to the accompanying variance requests) and a finding that the use of the subject lot for a proposed single family dwelling will not affect density for the surrounding area, in accordance with Petitioner's Exhibit 1, be and is hereby GRANTED; and,

IT IS FURTHER ORDERED that the Petition for Variance seeking relief from Section 1B02.3.C.1 of the Baltimore County Zoning Regulations (B.C.Z.R.) to permit a lot width of 45 feet in lieu of the required 55 feet, a side yard setback of 9½ feet in lieu of the required 10 feet; a lot area of 4,900 sq.ft. in lieu of the required 6,000 sq.ft., and, any other variances deemed necessary by the Zoning Commissioner, and to approve the subject property as an undersized lot,

pursuant to Section 304 of the B.C.Z.R., in accordance with Petitioner's Exhibit 1, be and is hereby GRANTED, subject to the following restrictions:

- 1) The Petitioners may apply for their building permit and be granted same upon receipt of this Order; however, Petitioners are hereby made aware that proceeding at this time is at their own risk until the 30-day appeal period from the date of this Order has expired. If an appeal is filed and this Order is reversed, the relief granted herein shall be rescinded.
- 2) The property may be used only for residential purposes and cannot be used for commercial, retail or business purposes.
- 3) Prior to the issuance of any building permits, the Petitioner shall submit elevation drawings of the proposed dwelling for review and approval by the Office of Planning, to insure that the proposed dwelling will be consistent with other houses in the neighborhood.
- 4) When applying for any permits, the site plan filed must reference this case and set forth and address the restrictions of this Order.


LAWRENCE E. SCHMIDT
Zoning Commissioner
for Baltimore County

LES:bjs

ORDER RECEIVED FOR FILING
Date 8/21/09
By [Signature]



Baltimore County
Zoning Commissioner

Suite 405, County Courts Bldg.
401 Bosley Avenue
Towson, Maryland 21204
410-887-4386
Fax: 410-887-3468

August 20, 1999

Mr. Jagjit Singh
38 Lincoln Avenue
Catonsville, Maryland 21228

RE: PETITIONS FOR SPECIAL HEARING & VARIANCE
SE/Corner Winters Lane and Wayman Street
(519 Winters Lane)
1st Election District – 1st Councilmanic District
Donna Lynn Kline & Javed A. Aizaz - Petitioners
Case No. 99-478-SPHA

Dear Mr. Singh:

Enclosed please find a copy of the decision rendered in the above-captioned matter. The Petitions for Special Hearing and Variance have been granted, in accordance with the attached Order.

In the event any party finds the decision rendered is unfavorable, any party may file an appeal to the County Board of Appeals within thirty (30) days of the date of this Order. For further information on filing an appeal, please contact the Zoning Administration and Development Management office at 887-3391.

Very truly yours,

A handwritten signature in black ink, appearing to read "Lawrence E. Schmidt".

LAWRENCE E. SCHMIDT
Zoning Commissioner
for Baltimore County

LES:bjs

cc: Ms. Donna Kline & Mr. Javed Aizaz
4535 Ashley Court, Ellicott City, Md. 21043
Ms. Grace Robinson, 6006 Harristown Road, Catonsville, Md. 21228
Mr. Dan Aple, 516 Winters Lane, Catonsville, Md. 21228
Ms. Sophia Pollock, 29 Lincoln Avenue, Catonsville, Md. 21228
Mr. & Mrs. Walter E. Tighman, 607 Winters Lane, Catonsville, Md. 21228
People's Counsel; Case File

Come visit the County's Website at www.co.ba.md.us



Printed with Soybean Ink
on Recycled Paper



Baltimore County
Zoning Commissioner

Suite 405, County Courts Bldg.
401 Bosley Avenue
Towson, Maryland 21204
410-887-4386
Fax: 410-887-3468

July 26, 1999

Mr. Jagjit Singh
38 Lincoln Avenue
Catonsville, Maryland 21228

RE: PETITIONS FOR SPECIAL HEARING & VARIANCE
SW/Corner Winters Lane and Wayman Street (519 Winters Lane)
1st Election District - 1st Councilmanic District
Donna Lynn Kline and Javed A. Aizaz - Petitioners
Case No. 99-478-SPHA

Dear Mr. Singh:

As you know, the above-captioned matter was scheduled for a public hearing on Tuesday, July 20, 1999. Only you attended that hearing at which time you disclosed to me that you had purchased the subject property from Ms. Kline and Mr. Aizaz in June, 1999. It was also noted at that time that although the hearing was advertised in the Jeffersonian, it did not appear that the property had been posted as there was no Certificate of Posting in the case file.

In any event, the hearing proceeded on July 20, 1999 with the understanding that if the property had not been posted, as required by law, that the matter would have to be continued to allow for the proper posting of the subject property. As explained at the hearing, the property must be posted for a period not less than 15 days prior to the hearing date to allow for ample public notice of the relief being requested.

Subsequent to the hearing on July 20, 1999, this office was advised by Mr. Pat O'Keefe, Zoning Consultant retained by you, that the property was not posted and as such, would have to be scheduled for a continued hearing. Pursuant to a follow-up conversation with Mr. O'Keefe, it was understood that you would be available to attend a continued hearing on the matter on Tuesday, August 10, 1999 at 9:00 AM. Therefore, this letter is to confirm that the above-captioned matter has been scheduled for a continued hearing on Tuesday, August 10, 1999 at 9:00 AM in Room 407 of the County Courts Building. Although the notice of public hearing need not be readvertised, it is our understanding that you have retained Mr. O'Keefe to post the subject property, and in fact, he has already done so. Thus, assuming there are no requests for postponement, we look forward to seeing you on August 10th. In the meantime, should you have any questions on the subject, please do not hesitate to call this office.

Very truly yours,

LAWRENCE E. SCHMIDT
Zoning Commissioner
for Baltimore County

LES:bjs

cc: Mr. Pat O'Keefe
523 Penny Lane, Cockeysville, Md. 21030
Ms. Donna Kline and Mr. Javed A. Aizaz
4535 Ashley court, Ellicott City, Md. 21043
People's Counsel; Case File

Come visit the County's Website at www.co.ba.md.us





Petition for Special Hearing

to the Zoning Commissioner of Baltimore County

for the property located at 519 Winters Lane
which is presently zoned D.R. - S.5

This Petition shall be filed with the Department of Permits and Development Management. The undersigned, legal owner(s) of the property situate in Baltimore County and which is described in the description and plat attached hereto and made a part hereof, hereby petition for a Special Hearing under Section 500.7 of the Zoning Regulations of Baltimore County, to determine whether or not the Zoning Commissioner should approve that an existing undersized lot proposed for a single family dwelling does not affect density for the surrounding area; therefore, allowing the accompanying variances.

Property is to be posted and advertised as prescribed by the zoning regulations.

I, or we, agree to pay expenses of above Special Hearing, advertising, posting, etc. and further agree to and are to be bounded by the zoning regulations and restrictions of Baltimore County adopted pursuant to the zoning law for Baltimore County.

I/We do solemnly declare and affirm, under the penalties of perjury, that I/we are the legal owner(s) of the property which is the subject of this Petition.

Contract Purchaser/Lessee:

Name - Type or Print _____
Signature _____
Address _____ Telephone No. _____
City _____ State _____ Zip Code _____

Attorney For Petitioner:

Name - Type or Print _____
Signature _____
Company _____
Address _____ Telephone No. _____
City _____ State _____ Zip Code _____

Legal Owner(s):

✓ Donna Lynn Kline 4-12-99
Name - Type or Print _____
✓ Donna Lynn Kline
Signature _____
JAVED A. AIZAZ
Name - Type or Print _____
Signature _____
4535 ASHLEY CT 410-250-1413
Address _____ Telephone No. _____
SUNGATE CITY MD 21043
City _____ State _____ Zip Code _____

Representative to be Contacted:

Javed A. Aizaz
Name _____
1492 Lititz Pike (717) 393-0771 day & eve.
Address _____ Telephone No. _____
Lancaster PA 17601
City _____ State _____ Zip Code _____

OFFICE USE ONLY

ESTIMATED LENGTH OF HEARING _____

UNAVAILABLE FOR HEARING _____

Reviewed By BR Date 5/27/99

Case No. 99-478-SRHA

Date 5/15/98

3 ORDER RECEIVED FOR FILING
5/27/99



John C. Mellema, Jr. Inc.

5409 East Drive

Baltimore, MD 21227

(410) 247-7488 Fax (410) 247-2507

March 1, 1999

Re: # 38 Lincoln Avenue / 519 Winters Lane

To Whom It May Concern:

We are writing you on behalf of our clients Donna Kline and Javed A. Aizaz, owner of the property known as # 38 Lincoln Avenue, in a Baltimore County Subdivision known as Catonsville Pines. Our Clients are respectfully requesting a special hearing for an undersized lot. They (our clients) purchased the property (mentioned here) in November 1996. The property is described in a deed recorded in Baltimore County Maryland in liber 11909 folio 154. The deed description describes the property as 2) parcels of land, the first parcel being lot 19 and 20 block H on a plat of Catonsville Pines recorded in plat book C.W.B. Jr. No. 9 folio 41, the second parcel being known as lot 21 and 22, block H on a plat of Catonsville Pines recorded in plat book 12 folio 89 as you can see on a copy of a plat to accompany special hearing attached herewith. The existing dwelling is located on lot 19 and 20 as described in the first parcel of the aforementioned deed. Our clients would like to have relief from Baltimore County zoning regulations insofar as they pertain to lot area, the second parcel of land is 4, 917.86 square feet of land and parcel one is 4,724.48 square feet of land, our clients would like to acquire a building permit for the second parcel of land described in said deed, however this would make the first and second parcels in violation of area requirements for D.R. 5.5 zoning. Since the property is described as 2 parcels our clients errantly viewed this as an existing dwelling with one additional building lot (oblivious to area requirements for D.R. 5.5 regulations). Their beliefs may have been fueled by the existing dwellings in the subdivision which are located on only (2) lots. Two of these dwellings are adjoiners to this site, being known as #36 Lincoln Avenue (lots 17 & 18) and # 517 Winters Lane (lots 23 & 24). In further investigation it was realized that not only these adjoiners are undersized lots, but other typical conditions exist such as # 30 Lincoln Avenue (lots 11 & 12), # 513 winters Lane (lots 31 & 32), and #515 Winters Lane (lots 29 & 30), the last 2 mentioned here # 513 and 515 Winters Lane being built as recent as 1991, In light of these existing conditions our clients are hoping for relief of the area regulations governing D.R. 5.5 zoning.

Thank you,

John C. Mellema, Jr.

ORDER RECEIVED FOR FILING

Date

By

99-478-SPHA



Petition for Variance

to the Zoning Commissioner of Baltimore County

for the property located at 519 Winters Lane

which is presently zoned D.R.-S.5

This Petition shall be filed with the Department of Permits and Development Management. The undersigned, legal owner(s) of the property situate in Baltimore County and which is described in the description and plat attached hereto and made a part hereof, hereby petition for a Variance from Section(s) 1B02.3.C.1 to permit a lot width of 45 ft. in lieu of the required 55 ft., to permit a side yard setback of 9½ ft. in lieu of 10 ft., to permit a lot size of 4,900 sq. ft. in lieu of 6,000 sq. ft., and any other variances deemed necessary by the Zoning Commissioner, and to approve an undersized lot per Section 3-4 B.C.Z.R. of the Zoning Regulations of Baltimore County, to the zoning law of Baltimore County, for the following reasons: (indicate hardship or practical difficulty)

to be presented at the hearing

Property is to be posted and advertised as prescribed by the zoning regulations.

I, or we, agree to pay expenses of above Variance, advertising, posting, etc. and further agree to and are to be bounded by the zoning regulations and restrictions of Baltimore County adopted pursuant to the zoning law for Baltimore County.

I/We do solemnly declare and affirm, under the penalties of perjury, that I/we are the legal owner(s) of the property which is the subject of this Petition.

Contract Purchaser/Lessee:

Name - Type or Print

Signature

Address

Telephone No.

City

State

Zip Code

Attorney For Petitioner:

Name - Type or Print

Signature

Company

Address

Telephone No.

City

State

Zip Code

Legal Owner(s):

Name - Type or Print

Signature

Name - Type or Print

Signature

Address

City

State

Zip Code

Representative to be Contacted:

Name

Address

City

State

Zip Code

OFFICE USE ONLY

ESTIMATED LENGTH OF HEARING

UNAVAILABLE FOR HEARING

Reviewed By

Date

Case No. 99-478-SPHA

9/15/98

ORDER RECEIVED FOR FILING
8/23/99



John C. Mellema, P.C. Inc.

5409 East Drive

Baltimore, MD 21227

(410) 247-7488 Fax (410) 247-2507

ZONING DESCRIPTION FOR #38 LINCOLN AVENUE

Parcel One

Beginning at the Southwest intersection of Wayman Street (A 40 foot right-of-way) and Lincoln Avenue (A 40 foot right-of-way) being lot 19 and 20 Block H as shown on a Subdivision Plat of Catonsville Pines recorded in Baltimore County, Maryland in plat book 12 folio 89 containing 4724.48 sq. feet of land also being parcel 1 described in deed reference liber 11909 folio 154.

Parcel Two - #519 Winters Lane

Beginning at the Southeast intersection of Winters Lane (a 30 foot wide right-of-way) and Wayman Street (A 40 foot wide right-of-way) being lot 21 and 22 Block H as shown on a Subdivision Plat of Catonsville Pines recorded in Baltimore County, Maryland in plat book 12 folio 89 containing 4917.86 square feet of land also being parcel two described in deed reference liber 11909 folio 154.

99.478-5PHA

#478

**BALTIMORE COUNTY, MARY ND
OFFICE OF BUDGET & FINANCE
MISCELLANEOUS RECEIPT**

No. **065370**

DATE

10/1/99

ACCOUNT

R 001-6150

AMOUNT \$

100.00

RECEIVED

FROM:

J. A. 292

FOR:

to be used for approval

DISTRIBUTION
WHITE - CASHIER

PINK - AGENCY

YELLOW - CUSTOMER

Item 11478

CASHIER'S VALIDATION

99.478-SPHA

PAID RECEIPT

PAID TO

DATE

10/1/99 5/27/99 03:59:47

10/1/99 CASHIER FOR S. P. H. 03:59:47

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NOTICE OF ZONING HEARINGS

The Zoning Commissioner of Baltimore County, by authority of the Zoning Act and Regulations of Baltimore County will hold a public hearing in Towson, Maryland on the property identified herein as follows:

Case: #99-478-SPHA

519 Winters Lane

SWC Winters Lane and Wayman Street

1st Election District - 1st Councilmanic District

Legal Owner(s): Donna Kline & Javed Aizz

Special Hearing: to approve an existing undersized lot, does not affect density.

Variance: to permit a lot width of 45 feet in lieu of the required 55 feet, to permit a side yard setback of 9-1/2 feet in lieu of 10 feet, to permit a lot size of 4,900 square feet in lieu of 6,000 square feet, and any other variances deemed necessary by the zoning commissioner and to approve an undersized lot.

Hearing: Tuesday, July 20, 1999 at 11:00 a.m. in Room 407, County Courts Bldg., 401 Bosley Avenue.

LAWRENCE E. SCHMIDT

Zoning Commissioner for Baltimore County

NOTES: (1) Hearings are Handicapped Accessible; for special accommodations please contact the Zoning Commissioner's Office at (410) 887-4386.

(2) For information concerning the File and/or Hearing, Contact the Zoning Review Office at (410) 887-3391.

7/043 July 1

C322753

CERTIFICATE OF PUBLICATION

TOWSON, MD., 7/11, 1999

THIS IS TO CERTIFY, that the annexed advertisement was published in THE JEFFERSONIAN, a weekly newspaper published in Towson, Baltimore County, Md., once in each of 1 successive weeks, the first publication appearing on 7/11, 1999.

THE JEFFERSONIAN,

J. Wilkinson

LEGAL ADVERTISING

CERTIFICATE OF POSTING

RESCHEDULE

RE Case No. 99-478-SPHA
 Petitioner/Developer SINGH, ETAL
C/O AIZAZ
 Date of Hearing/Closing: 8/10/99
@ 9:00

Baltimore County Department of
 Permits and Development Management
 County Office Building, Room 111
 111 West Chesapeake Avenue
 Towson, MD 21204

Attention: Ms Gwendolyn Stephens

Ladies and Gentlemen

This letter is to certify under the penalties of perjury that the necessary sign(s) required by law
 were posted conspicuously on the property located at # 519 WINTERS LA.

The sign(s) were posted on 7/19/99
 (Month, Day, Year)

Sincerely,

Patrick M O'Keefe 8/2/99
 (Signature of Sign Poster and Date)

PATRICK M. O'KEEFE

(Printed Name)

523 PENNY LANE

(Address)

HUNT VALLEY, MD. 21030

(City, State, Zip Code)

ZONING NOTICE

Case #: 99-478-SPHA

A PUBLIC HEARING WILL BE HELD BY
 THE ZONING COMMISSIONER
 IN TOWSON, MD.

PLACE: ROOM 407, COUNTY COURTS BLDG
 401 BOSLEY AVENUE - TOWSON
 TIME & DATE: AUGUST 10, 1999 9:00 AM

SPECIAL HEARING TO APPROVE AN
 EXISTING UNDERSIZED LOT DOES NOT
 AFFECT DENSITY.
 VARIANCE TO PERMIT A LOT WIDTH OF 35
 FEET IN LIEU OF THE REQUIRED 55 FEET
 PERMIT A SIDEYARD SETBACK OF 25 FEET
 LIEU OF THE 10 FEET, TO PERMIT A LOT
 OF 4900 SQUARE FEET IN LIEU OF 6,000
 AND ANY OTHER VARIANCES DEEMED
 BY THE ZONING COMMISSIONER AND TO APPROVE
 AN UNDERSIZED LOT.

#519 WINTERS LANE

ZONING NOTICE

Case #: 99-478-SPHA
 A PUBLIC HEARING WILL BE HELD BY
 THE ZONING COMMISSIONER
 IN TOWSON, MD.

PLACE: ROOM 407, COUNTY COURTS BLDG
 401 BOSLEY AVENUE - TOWSON
 TIME & DATE: AUGUST 10, 1999 9:00 AM
 SPECIAL HEARING TO APPROVE AN
 EXISTING UNDERSIZED LOT DOES NOT
 AFFECT DENSITY.
 VARIANCE TO PERMIT A LOT WIDTH OF 35
 FEET IN LIEU OF THE REQUIRED 55 FEET
 PERMIT A SIDEYARD SETBACK OF 25 FEET
 LIEU OF THE 10 FEET, TO PERMIT A LOT
 OF 4900 SQUARE FEET IN LIEU OF 6,000
 AND ANY OTHER VARIANCES DEEMED
 BY THE ZONING COMMISSIONER AND TO APPROVE
 AN UNDERSIZED LOT.

**DEPARTMENT OF PERMITS AND DEVELOPMENT MANAGEMENT
ZONING REVIEW**

ADVERTISING REQUIREMENTS AND PROCEDURES FOR ZONING HEARINGS

The Baltimore County Zoning Regulations (BCZR) require that notice be given to the general public/neighboring property owners relative to property which is the subject of an upcoming zoning hearing. For those petitions which require a public hearing, this notice is accomplished by posting a sign on the property (responsibility of the petitioner) and placement of a notice in a newspaper of general circulation in the County, both at least fifteen (15) days before the hearing.

Zoning Review will ensure that the legal requirements for advertising are satisfied. However, the petitioner is responsible for the costs associated with these requirements. The newspaper will bill the person listed below for the advertising. This advertising is due upon receipt and should be remitted directly to the newspaper.

OPINIONS MAY NOT BE ISSUED UNTIL ALL ADVERTISING COSTS ARE PAID.

For Newspaper Advertising:

Item Number or Case Number: 99- 478 - SPH A

Petitioner: D. Kline & T. Aizaz

Address or Location: 519 Winters Lane

PLEASE FORWARD ADVERTISING BILL TO:

Name: Taved Aizaz

Address: 4535 Ashley Ct.

Ellicott City, MD 21043

Telephone Number: 410 - 750 - 1413



Baltimore County
Department of Permits and
Development Management

Development Processing
County Office Building
111 West Chesapeake Avenue
Towson, Maryland 21204
pdmlandacq@co.ba.md.us

June 15, 1999

NOTICE OF ZONING HEARING

The Zoning Commissioner of Baltimore County, by authority of the Zoning Act and Regulations of Baltimore County, will hold a public hearing in Towson, Maryland on the property identified herein as follows:

CASE NUMBER: 99-478-SPHA
519 Winters Lane
SWC Winters Lane and Wayman Street
1st Election District – 1st Councilmanic District
Legal Owner: Donna Kline & Javed Aizaz

Special Hearing to approve an existing undersized lot does not affect density. Variance to permit a lot width of 45 feet in lieu of the required 55 feet, to permit a side yard setback of 9-1/2 feet in lieu of 10 feet, to permit a lot size of 4,900 square feet in lieu of 6,000 square feet, and any other variances deemed necessary by the zoning commissioner and to approve an undersized lot.

HEARING: Tuesday, July 20, 1999 at 11:00 a.m. in Room 407, County Courts Building, 401 Bosley Avenue

A handwritten signature in black ink, appearing to read "Arnold Jablon".

Arnold Jablon
Director

c: Donna Kline & Javed Aizaz

- NOTES: (1) **THE PETITIONER MUST HAVE THE ZONING NOTICE SIGN POSTED BY AN APPROVED POSTER ON THE PROPERTY BY JULY 5, 1999.**
- (2) HEARINGS ARE HANDICAPPED ACCESSIBLE; FOR SPECIAL ACCOMMODATIONS PLEASE CALL THE ZONING COMMISSIONER'S OFFICE AT 410-887-4386.
- (3) FOR INFORMATION CONCERNING THE FILE AND/OR HEARING, CONTACT THE ZONING REVIEW OFFICE AT 410-887-3391.

Come visit the County's Website at www.co.ba.md.us



Printed with Soybean Ink
on Recycled Paper

TO: PATUXENT PUBLISHING COMPANY
July 1, 1999 – Jeffersonian

Please forward billing to:

Taved Aizaz 410-750-1413
4535 Ashley Court
Ellicott City, MD 21043

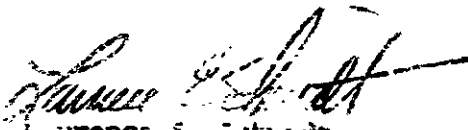
NOTICE OF ZONING HEARING

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SWC Winters Lane and Wayman Street
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Special Hearing to approve an existing undersized lot does not affect density. Variance to permit a lot width of 45 feet in lieu of the required 55 feet, to permit a side yard setback of 9-1/2 feet in lieu of 10 feet, to permit a lot size of 4,900 square feet in lieu of 6,000 square feet, and any other variances deemed necessary by the zoning commissioner and to approve an undersized lot.

HEARING: Tuesday, July 20, 1999 at 11:00 a.m. in Room 407, County Courts Building, 401 Bosley Avenue

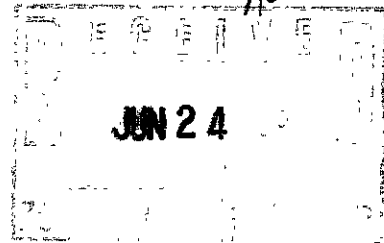


Lawrence E. Schmidt
59

LAWRENCE E. SCHMIDT
ZONING COMMISSIONER FOR BALTIMORE COUNTY

- NOTES: (1) HEARINGS ARE HANDICAPPED ACCESSIBLE; FOR SPECIAL ACCOMODATIONS, PLEASE CONTACT THE ZONING COMMISSIONER'S OFFICE AT 410-887-4386.
- (2) FOR INFORMATION CONCERNING THE FILE AND/OR HEARING, CONTACT THE ZONING REVIEW OFFICE AT 410-887-3391.

BALTIMORE COUNTY, MARYLAND
INTER-OFFICE CORRESPONDENCE



TO: Arnold Jablon, Director
Department of Permits
and Development Management

Date: June 24, 1999

FROM: Arnold F. 'Pat' Keller, III, Director
Office of Planning

SUBJECT: Zoning Advisory Petitions Item No. 478

The Office of Planning recommends that the applicant demonstrate to the satisfaction of the zoning commissioner that the development of the parcel does not affect the overall density of the area.

If there should be any questions or this office can provide additional information, please contact Jeffrey Long in the Office of Planning at 410-887-3480.

Section Chief: _____

AFK/JL



Baltimore County
Fire Department

700 East Joppa Road
Towson, Maryland 21286-5500
410-887-4500

June 16, 1999

Arnold Jablon, Director
Zoning Administration and Development Management
Baltimore County Office Building
Towson, MD 21204
MAIL STOP-1105

RE: Property Owner: SEE BELOW

Location: DISTRIBUTION MEETING OF JUNE 7, 1999

Item No.: See Below

Zoning Agenda:

Gentlemen:

Pursuant to your request, the referenced property has been surveyed by this Bureau and the comments below are applicable and required to be corrected or incorporated into the final plans for the property.

8. The Fire Marshal's Office has no comments at this time, IN REFERENCE TO THE FOLLOWING ITEM NUMBERS:

456, 457, 458, 459, 460, 461, 462, 464, 465, 466, 467,

468, 469, 470, 471, 472, 474, 475, 476, 477, 478, 479,

480, 483, 484, AND 485

REVIEWER: LT. ROBERT P. SAUERWALD

Fire Marshal Office, PHONE 887-4881, MS-1102F

cc: File

Come visit the County's Website at www.co.ba.md.us

RECEIVED JUN 21 1999



B A L T I M O R E C O U N T Y , M A R Y L A N D

I N T E R O F F I C E C O R R E S P O N D E N C E

TO: Arnold Jablon, Director
 Department of Permits & Development
 Management

Date: June 16, 1999

FROM: Robert W. Bowling, Supervisor
 Bureau of Development Plans Review

SUBJECT: Zoning Advisory Committee Meeting
 for June 14, 1999
 Item No. 478

The Bureau of Development Plans Review has reviewed the subject zoning item. Wayman Street is an existing road which shall ultimately be improved as a 30-foot street cross section on a 40-foot right-of-way with a 10-foot revertible slope easement.

Winters Lane is an existing road which shall ultimately be improved as a 30-foot street cross section on a 40-foot right-of-way.

RWB:HJO:jrb

cc: File

RECEIVED JUN 21 1999

ZAC06149.478

BALTIMORE COUNTY, MARYLAND

INTER-OFFICE CORRESPONDENCE

DATE: June 3, 1999

TO: Larry E. Schmidt
Zoning Commissioner

FROM: James H. Thompson - CM
Code Enforcement Supervisor

SUBJECT: ITEM NO.: 478
PETITIONER: Donna L. Kline and Javed A. Aizaz

VIOLATION CASE NO.: 97-8215

LOCATION OF VIOLATION: SEC Winters Lane and Wayman Street
(38 Lincoln Avenue)
1st Election District

DEFENDANT(S): Donna L. Kline and Javed A. Aizaz

Please be advised that the aforementioned petition is the subject of an active violation case. When the petition is scheduled for a public hearing, please notify the following person(s):

NAME

ADDRESS

After the public hearing is held, please send a copy of the Zoning Commissioner's Order to the Code Enforcement Supervisor, so that the appropriate action may be taken relative to the violation case.

JHT/cm/lmh

99-478-SPHA



Maryland Department of Transportation
State Highway Administration

Parris N. Glendening
Governor
John D. Porcari
Secretary
Parker F. Williams
Administrator

Date: 6.4.99

Ms. Gwen Stephens
Baltimore County Office of
Permits and Development Management
County Office Building, Room 109
Towson, Maryland 21204

RE: Baltimore County
Item No. 478 BR

Dear Ms Stephens:

This office has reviewed the referenced item and we have no objection to approval as it does not access a State roadway and is not affected by any State Highway Administration projects.

Should you have any questions regarding this matter, please contact Larry Gredlein at 410-545-5606 or by E-mail at (lgredlein@sha.state.md.us).

Very truly yours,

for Michael M. Lenhart, Chief
Engineering Access Permits Division

My telephone number is _____

Maryland Relay Service for Impaired Hearing or Speech
1-800-735-2258 Statewide Toll Free

Mailing Address: P.O. Box 717 • Baltimore, MD 21203-0717
Street Address: 707 North Calvert Street • Baltimore, Maryland 21202

RE: PETITION FOR SPECIAL HEARING
PETITION FOR VARIANCE
38 Lincoln Avenue, SEC Winters Ln and Wayman St
1st Election District, 1st Councilmanic

Legal Owner: Donna L. Kline and Javed A. Aizaz
Petitioner(s)

* BEFORE THE
* ZONING COMMISSIONER
* FOR
* BALTIMORE COUNTY
*
* Case No. 99-478-SPHA

* * * * *

ENTRY OF APPEARANCE

Please enter the appearance of the People's Counsel in the above-captioned matter. Notice should be sent of any hearing dates or other proceedings in this matter and of the passage of any preliminary or final Order.


PETER MAX ZIMMERMAN
People's Counsel for Baltimore County


CAROLE S. DEMILIO
Deputy People's Counsel
Old Courthouse, Room 47
400 Washington Avenue
Towson, MD 21204
(410) 887-2188

CERTIFICATE OF SERVICE

I HEREBY CERTIFY that on this 28rd day of June, 1999 a copy of the foregoing Entry of Appearance was mailed to Donna L. Kline, 4535 Ashley Court, Ellicott City, MD 21043, and to Javed A. Aizaz, 1492 Lititz Pike, Lancaster, PA 17601, Petitioners.


PETER MAX ZIMMERMAN

**INTER-OFFICE CORRESPONDENCE
RECOMMENDATION FORM**

TO: Director, Office of Planning & Community Conservation
Attention: Jeffrey Long
County Courts Building, Room 406
401 Bosley Avenue
Towson, MD 21204

Permit or Case No. 99-478-SPHA

FROM: Arnold Jablon, Director
Department of Permits & Development Management

RE: Undersized Lots

Residential Processing Fee Paid
(\$50.00)

Accepted by BK
Date 5/27/99

Pursuant to Section 304.2 (Baltimore County Zoning Regulations) effective June 25, 1992, this office is requesting recommendations and comments from the Office of Planning and Community Conservation prior to this office's approval of a dwelling permit.

MINIMUM APPLICANT SUPPLIED INFORMATION:

Print Name of Applicant JARED A AIZAZ Address 4535 ASHLEY CT ELLICOTT CITY MD 21043 Telephone Number 410-750-1413
Lot Address LOT #21 22 519 Winters Lane Election District 1 Councilmanic District 1 Square Feet 4,900

Lot Location: N E S W side/corner of _____ (street) _____ feet from N E S W corner of _____ (street)

Land Owner: JARED A AIZAZ & DONNA KLINE Tax Account Number 0102650750

Address: 4535 ASHLEY CT ELLICOTT CITY MD 21043 Telephone Number (410) 750-1413

CHECKLIST OF MATERIALS- (to be submitted for design review by the Office of Planning and Community Conservation)

TO BE FILLED IN BY ZONING REVIEW, DEPARTMENT OF PERMITS AND DEVELOPMENT MANAGEMENT ONLY!

	YES	NO
1. This Recommendation Form (3 copies)	<u>X</u>	
2. Permit Application		<u>X</u>
3. Site Plan		
Property (3 copies)	<u>X</u>	
Topo Map (2 copies): available in Room 206, County Office Building - (please label site clearly)	<u>X</u>	
4. Building Elevation Drawings	<u>X</u>	
5. Photographs (please label all photos clearly)		
Adjoining Buildings	<u>X</u>	
Surrounding Neighborhood	<u>X</u>	
6. Current Zoning Classification: <u>D.R. - S.5</u>		

TO BE FILLED IN BY THE OFFICE OF PLANNING ONLY!

RECOMMENDATIONS / COMMENTS:

☐ Approval ☐ Disapproval ☐ Approval conditioned on required modifications of the application to conform with the following recommendations:

*Sent to DPCC
6/15/99
sj*

Signed by: _____
for the Director, Office of Planning and Community Conservation

Date: _____

99-478-SPHA

Revised 2/25/99

SCHEDULED DATE, CERTIFICATE OF FILING AND POSTING FOR A BUILDING PERMIT APPLICATION PURSUANT TO SECTION 304.2

Department of Permits and Development Management (PDM)
County Office Building
111 West Chesapeake Avenue
Towson, Maryland 21204

The application for your proposed Building Permit application has been reviewed and is accepted for filing by _____ on _____ Date (A)

A sign indicating the proposed building must be posted on the property for fifteen (15) days before a decision can be rendered. The cost of filing is \$50.00. This fee is subject to change. Confirm all current fees prior to filing the application.

In the absence of a request for public hearing during the 15-day posting period, a decision can be expected within approximately four weeks. However, if a valid demand is received by the closing date, then the decision shall only be rendered after the required public special hearing.

*SUGGESTED POSTING DATE _____ D (15 Days Before C)

DATE POSTED _____

HEARING REQUESTED? YES _____ NO _____ - DATE _____

CLOSING DAY (LAST DAY FOR HEARING DEMAND) _____ C (B-3 Work Days)

TENTATIVE DECISION DATE _____ B (A + 30 Days)

*Usually within 15 days of filing

CERTIFICATE OF POSTING

District: _____

Location of Property: _____

Posted by: _____ Date of Posting: _____

Signature

Number of Signs

2290
PP/21/0
KMC
AH92-854-PP

INTER-OFFICE CORRESPONDENCE
RECOMMENDATION FORM

TO: Director, Office of Planning & Community Conservation
Attention: Jeffrey Long
County Courts Building, Room 406
401 Bosley Avenue
Towson, MD 21204

Permit or Case No. 99-478-SPA A

FROM: Arnold Jablon, Director
Department of Permits & Development Management

Residential Processing Fee Paid
(\$50.00)

Accepted by BK
Date 5/27/99

RE: Undersized Lots

Pursuant to Section 304.2 (Baltimore County Zoning Regulations) effective June 25, 1992, this office is requesting recommendations and comments from the Office of Planning and Community Conservation prior to this office's approval of a dwelling permit.

MINIMUM APPLICANT SUPPLIED INFORMATION:

Print Name of Applicant JARED A AIZAZ Address 4535 ASHLEY CT ELLICOTT CITY MD 21043 Telephone Number 410-750-1413
Lot Address LOT #21 22 519 Winters Lane Election District 1 Councilmanic District 1 Square Feet 4,900 ft.²

Lot Location: N E S W side/corner of Winters Lane & Wayman St feet from N E S W corner of _____ (street) _____ (street)

Land Owner: JARED A AIZAZ & DONNA KLINE Tax Account Number 01 02 650 750

Address: 4535 ASHLEY CT ELLICOTT CITY MD 21043 Telephone Number (410) 750-1413

CHECKLIST OF MATERIALS- (to be submitted for design review by the Office of Planning and Community Conservation)

TO BE FILLED IN BY ZONING REVIEW, DEPARTMENT OF PERMITS AND DEVELOPMENT MANAGEMENT ONLY!
PROVIDED?

	YES	NO
1. This Recommendation Form (3 copies)	<u>X</u>	
2. Permit Application		<u>X</u>
3. Site Plan		
Property (3 copies)	<u>X</u>	
Topo Map (2 copies) available in Room 206, County Office Building - (please label site clearly)	<u>X</u>	
4. Building Elevation Drawings	<u>X</u>	
5. Photographs (please label all photos clearly)		
Adjoining Buildings	<u>X</u>	
Surrounding Neighborhood	<u>X</u>	
6. Current Zoning Classification: <u>D.R. - S.5</u>		

TO BE FILLED IN BY THE OFFICE OF PLANNING ONLY!

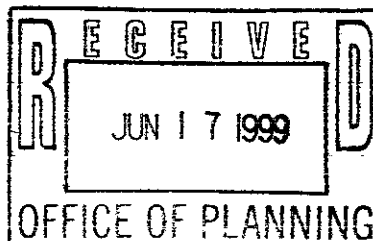
RECOMMENDATIONS / COMMENTS:

☐ Approval ☒ Disapproval ☐ Approval conditioned on required modifications of the application to conform with the following recommendations:

Applicant must demonstrate to the satisfaction of the zoning commission that the development of the parcel does not affect overall density.

Signed by: Jeffrey W. Long
for the Director, Office of Planning and Community Conservation

Date: 6/18/99



SCHEDULED DATE, CERTIFICATE OF FILING AND POSTING FOR A BUILDING PERMIT APPLICATION PURSUANT TO SECTION 304.2

Department of Permits and Development Management (PDM)
County Office Building
111 West Chesapeake Avenue
Towson, Maryland 21204

The application for your proposed Building Permit application has been reviewed and is accepted for filing by _____ on _____ Date _____ (A)

A sign indicating the proposed building must be posted on the property for fifteen (15) days before a decision can be rendered. The cost of filing is \$50.00. This fee is subject to change. Confirm all current fees prior to filing the application.

In the absence of a request for public hearing during the 15-day posting period, a decision can be expected within approximately four weeks. However, if a valid demand is received by the closing date, then the decision shall only be rendered after the required public special hearing.

*SUGGESTED POSTING DATE _____ D (15 Days Before C)

DATE POSTED _____

HEARING REQUESTED? YES _____ NO _____ - DATE _____

CLOSING DAY (LAST DAY FOR HEARING DEMAND) _____ C (B-3 Work Days)

TENTATIVE DECISION DATE _____ B (A + 30 Days)

*Usually within 15 days of filing

CERTIFICATE OF POSTING

District: _____

Location of Property: _____

Posted by: _____ Signature _____ Date of Posting: _____

Number of Signs: _____

PLEASE PRINT CLEARLY

CITIZEN SIGN-IN SHEET

NAME
Grace Robinson
Dan Aple
Sophia L. Pollock
Helen N. Tilghman
Walter E. Tilghman
Jagjit Singh

ADDRESS
6006 Haristown Rd. 21228
516 Winters Ln 21228
29d LINCOLN Ave. 21228
607 WINTERS LA 21228
607 WINTERS LA 21228
38 LINCON AVE 21228



PLEASE PRINT CLEARLY

PETITIONER(S) SIGN-IN SHEET

38 LINCOLN

NAME

ADDRESS

~~JAVED AIZAZ, DOAN KLINE~~ 38 LINCOLN AVE

JAGJIT SINGH

CATONS VILLE, BALTIMORE
M.D 21228.

only
Singh
present

4/10/09
4/10/09
4/10/09

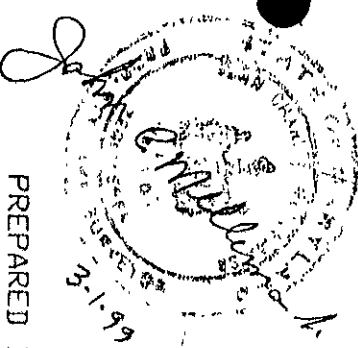
4/10/09
4/10/09
4/10/09
4/10/09
4/10/09

Property not posted
Must be scheduled
8/10/09

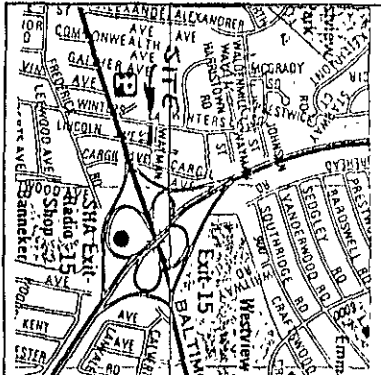
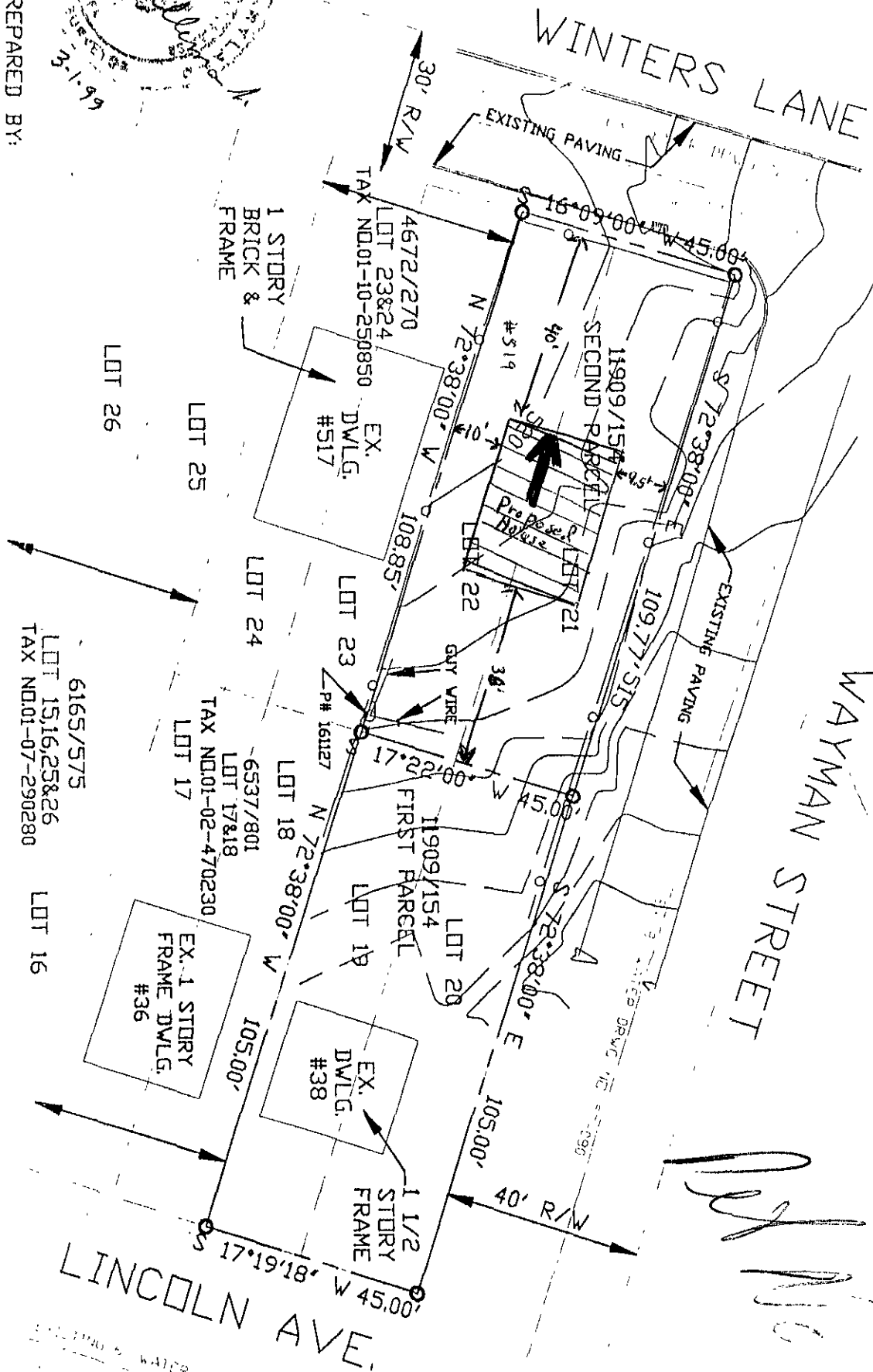
Pat O'Keefe
523 Perry Rd
Cockeysville, MD 21030
410-512-4621



PLAT TO ACCOMPANY PETITION FOR ZONING ☒ VARIANCE ☒ SPECIAL HEARING



PREPARED BY:
JOHN C. MELLEMA SR., INC.
LAND SURVEYORS
5409 EAST DR. BALTO. CO., MD. 21227
PH: 410-247-7488 FAX: 410-247-2507



VICINITY MAP
SCALE 1"=2000'

LOCATION INFORMATION	
COUNCILMANIC DIST. 1	
ELECTION DIST. 1	
ZONING: DR. S.5	
1"=200' SCALE MAP #SV-1F & #SV-1G	
LOT SIZE:	
AREA OF FIRST PARCEL 4724.49 SQ. FT.	
AREA OF SECOND PARCEL 4912.86 SQ. FT.	
AREA OF TOTAL PARCEL 9637.35 SQ. FT.	
PUBLIC PRIVATE	
SEWER ☒	PRIVATE ☐
WATER ☒	PRIVATE ☐
CHECK/MAKE PAY CRITICAL AREA ☐ YES ☒ NO	
PRIOR ZONING HEARING NONE ☐ YES ☒ NO	
PROPERTY ADDRESS: 519 Winters Lane	
SUBDIVISION NAME: CATONSVILLE PINES	
PLAT BOOK 12 FOLIO 89	
LOTS 19, 20, 21 & 22 BLOCK H	
DEED REF: 11909/154	
OWNER: DONNA KLINE & JAYED A. AIZAZ	
SCALE 1"=30'	
DATE, FEBRUARY, 1999	
TAX ID NO. 01-02-650750	
TAX ID NO. 01-02-651290	

ZONING OFFICE USE ONLY	
REVIEWED BY: JCM	CASE: 99-478-SPHA
DATE: 4/78	

99-478-SPHA

CASE # XI-799

WHEREFORE, IT IS ORDERED by the Zoning Commission of Baltimore County that the development plan submitted in accordance with the provisions of the Baltimore County Zoning Ordinance, Chapter 21-101, be and is hereby approved; and,

IT IS FURTHER ORDERED that the Developer shall prepare and submit to the Planning and Zoning Commission (P&ZC), within 15 days from the date of this order, a development plan which reflects and incorporates the terms, conditions, and restrictions of this decision and order and/or the development plan comments, as more fully set forth above.

Any appeal from this decision must be taken in accordance with Section 26-109 of the Baltimore County Code and the applicable provisions of the law.

[Signature]
Zoning Commission
for Baltimore County

125:200

CASE # XI-799

WHEREFORE, IT IS ORDERED by the Deputy Zoning Commission/Planning Office of Baltimore County that the development plan submitted in accordance with the provisions of the Baltimore County Zoning Ordinance, Chapter 21-101, be and is hereby APPROVED, subject to the following conditions and restrictions:

1. The Developer shall be required to submit to the Department of Environmental Protection and Resource Management an alternative analysis regarding the sewer line that is proposed to be installed within the forest buffer and forest conservation easement area.
2. The Developer shall be required to include within the common driveway easement agreement, relating to Lots 29 thru 32 of this subdivision, provisions for the maintenance of the private box culvert located under the driveway that services the aforementioned lots.

Any appeal from this decision must be taken in accordance with Section 26-109 of the Baltimore County Code and the applicable provisions of law.

[Signature]
TIMOTHY M. KOTROCO
DEPUTY ZONING COMMISSIONER/
HEARING OFFICER
FOR BALTIMORE COUNTY

22. A copy of the final plan, including all amendments and corrections, shall be submitted to the Department of Environmental Protection and Resource Management for review and approval.
23. A copy of the final plan, including all amendments and corrections, shall be submitted to the Department of Public Works for review and approval.
24. A copy of the final plan, including all amendments and corrections, shall be submitted to the Department of Planning and Zoning for review and approval.
25. A copy of the final plan, including all amendments and corrections, shall be submitted to the Department of Public Safety for review and approval.
26. A copy of the final plan, including all amendments and corrections, shall be submitted to the Department of Public Health for review and approval.
27. A copy of the final plan, including all amendments and corrections, shall be submitted to the Department of Public Works for review and approval.
28. A copy of the final plan, including all amendments and corrections, shall be submitted to the Department of Public Safety for review and approval.
29. A copy of the final plan, including all amendments and corrections, shall be submitted to the Department of Public Health for review and approval.
30. A copy of the final plan, including all amendments and corrections, shall be submitted to the Department of Public Works for review and approval.

DATE	REVISIONS
10/10/99	1. ADJUST PROPERTY LINES TO REFLECT THE RESULTS OF THE SURVEY.
10/15/99	2. ADJUST PROPERTY LINES TO REFLECT THE RESULTS OF THE SURVEY.
10/20/99	3. ADJUST PROPERTY LINES TO REFLECT THE RESULTS OF THE SURVEY.
10/25/99	4. ADJUST PROPERTY LINES TO REFLECT THE RESULTS OF THE SURVEY.
10/30/99	5. ADJUST PROPERTY LINES TO REFLECT THE RESULTS OF THE SURVEY.
11/05/99	6. ADJUST PROPERTY LINES TO REFLECT THE RESULTS OF THE SURVEY.
11/10/99	7. ADJUST PROPERTY LINES TO REFLECT THE RESULTS OF THE SURVEY.
11/15/99	8. ADJUST PROPERTY LINES TO REFLECT THE RESULTS OF THE SURVEY.
11/20/99	9. ADJUST PROPERTY LINES TO REFLECT THE RESULTS OF THE SURVEY.
11/25/99	10. ADJUST PROPERTY LINES TO REFLECT THE RESULTS OF THE SURVEY.

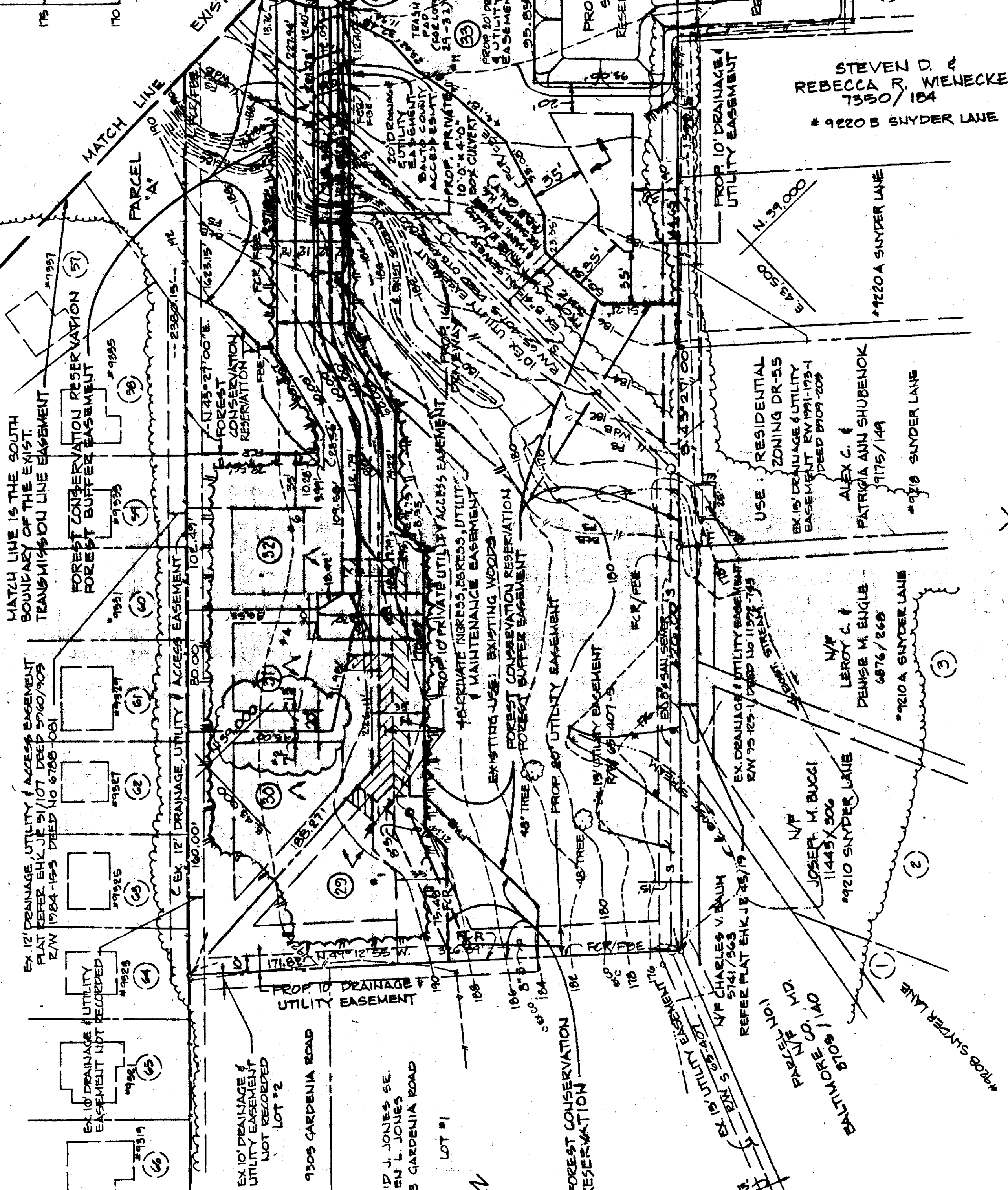
ENVIRONMENTAL TYPICAL DWELLINGS AS SHOWN DICTATE A SPECIFIC ORIENTATION WHICH ALLOWS COMPLIANCE WITH THE BALTIMORE COUNTY ZONING REGULATIONS AND SHOULD THE ORIENTATION CHANGE THE SETBACKS REQUIRED BY SECTION 21-101.2.C.1, MUST BE MET.

BUILDING SETBACKS
FRONT - 25' FROM PROPERTY LINE
SIDE - 15' FROM PROPERTY LINE
REAR - 30' FROM PROPERTY LINE

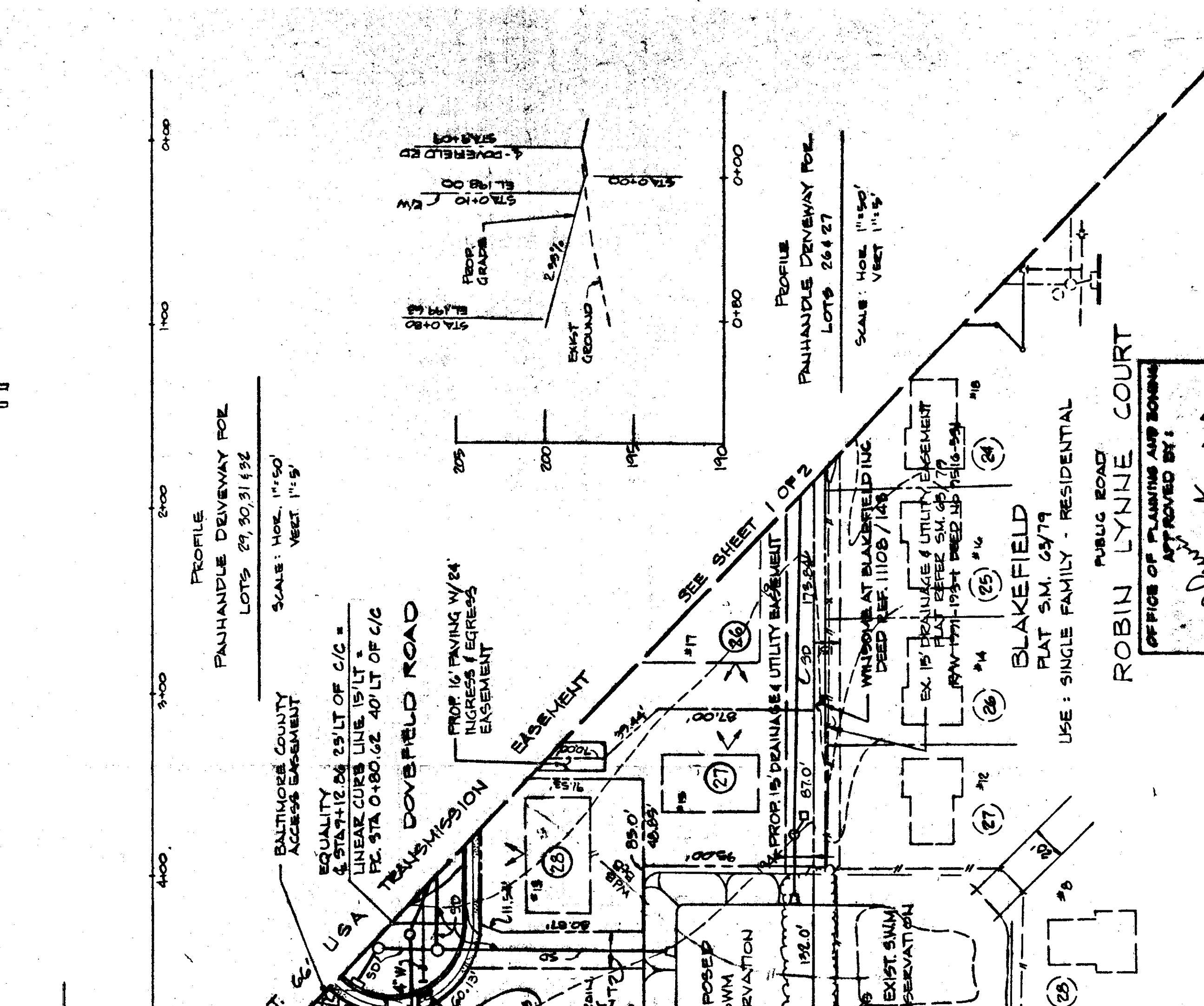
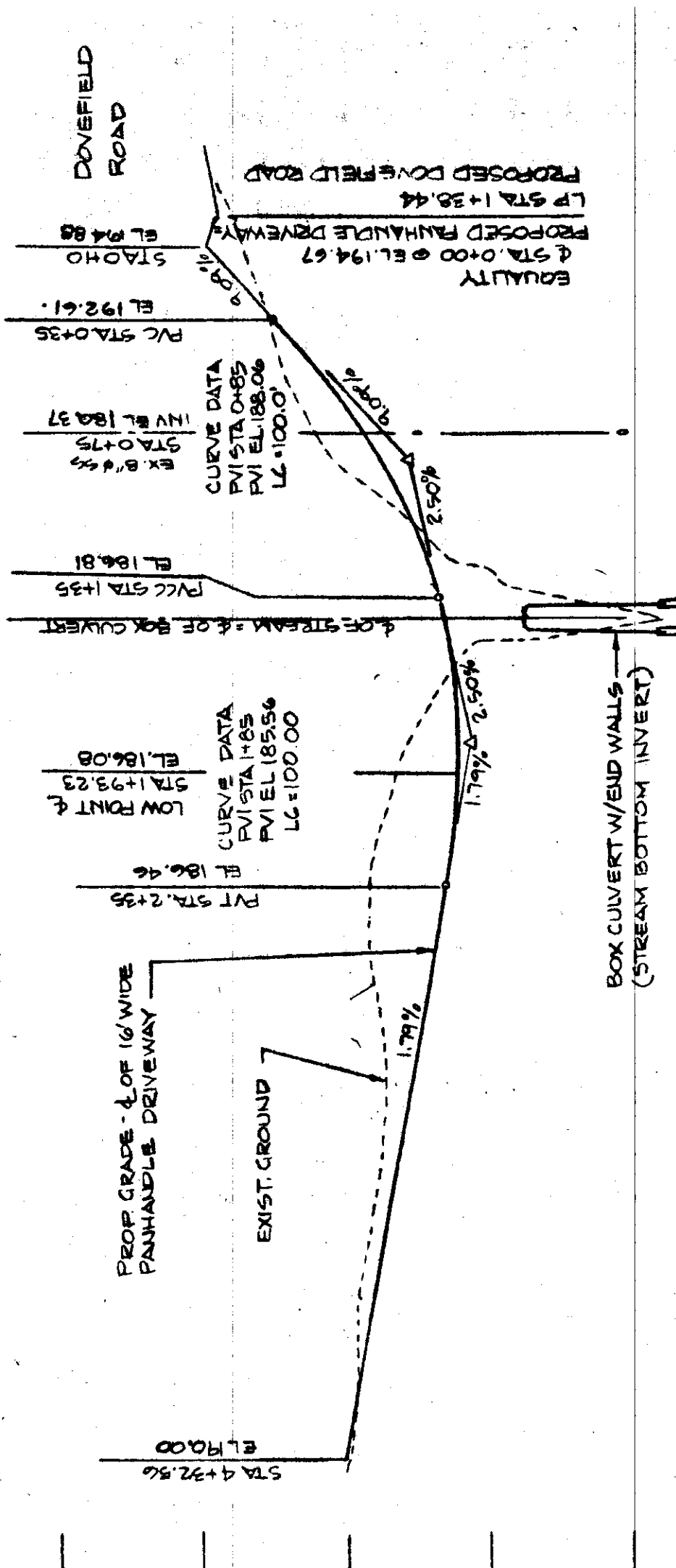
SIGNATURES OF PROPERTY OWNERS WITHIN 300' OF BUILDING:
LOT 29: *[Signature]* THOMAS GARY LIKENS
LOT 30: *[Signature]* KEVIN L. SMITH
LOT 31: *[Signature]* THERESE A. SMITH

SECTION TWO
JASPER PROPERTY
FLAT EHLER, 5/1/07
USE: SINGLE FAMILY RESIDENTIAL

RAMBLEBROOK ROAD



NOTE: ALL PORTIONS OF THE FOREST BUFFER EASEMENT MUST BE REVEGETATED WITH NATIVE SPECIES OF SHRUBS (AND TREES WHERE ALLOWED BY PUBLIC WORKS), AND THE F&B, LIMIT PERMANENTLY FENCED AS REQUIRED FOR THE ROAD CROSSING OF THE STREAM.

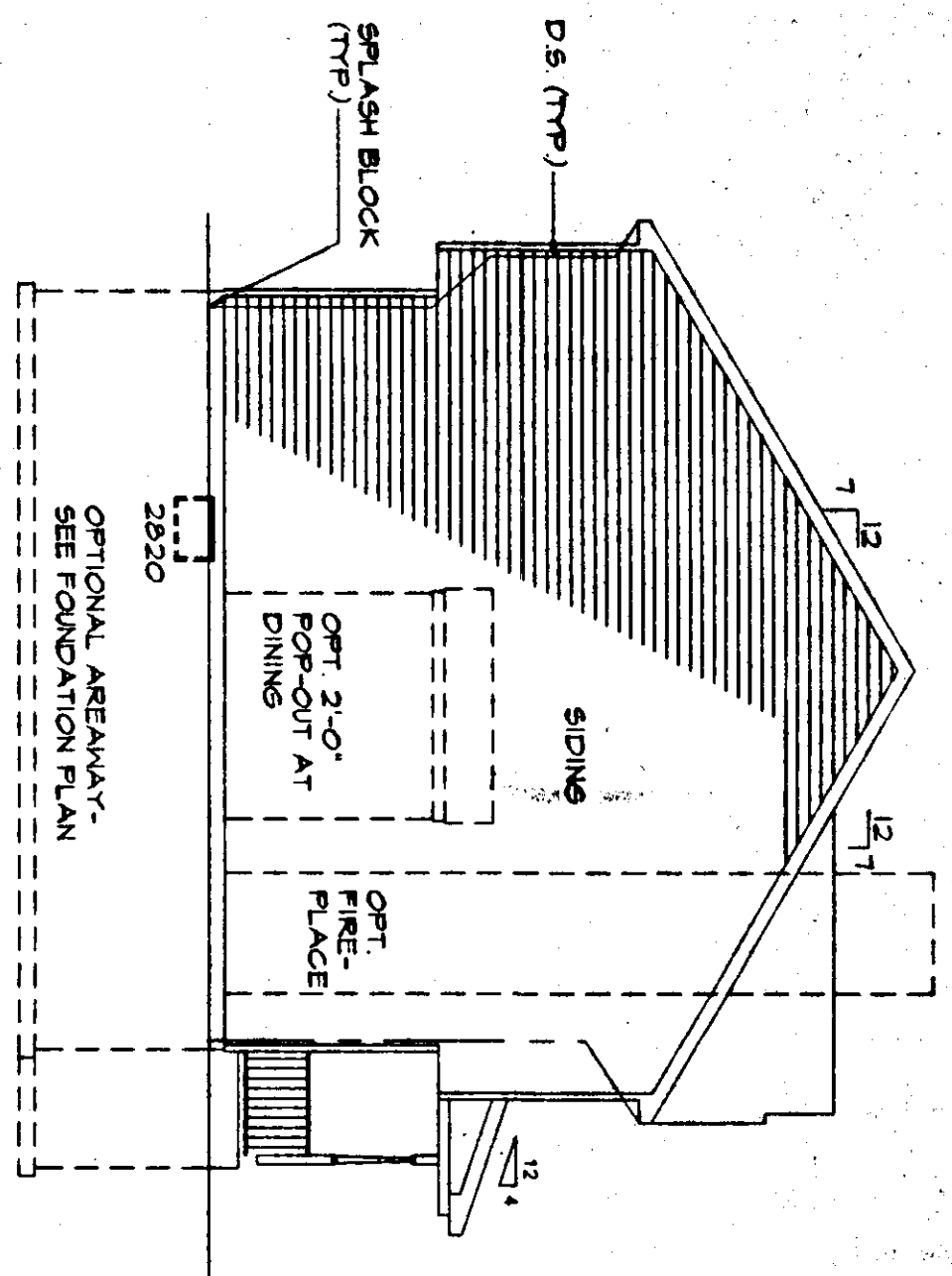


ROBIN LYNNE COURT
PUBLIC ROAD
USE: SINGLE FAMILY - RESIDENTIAL
PLAT 5M 03/79

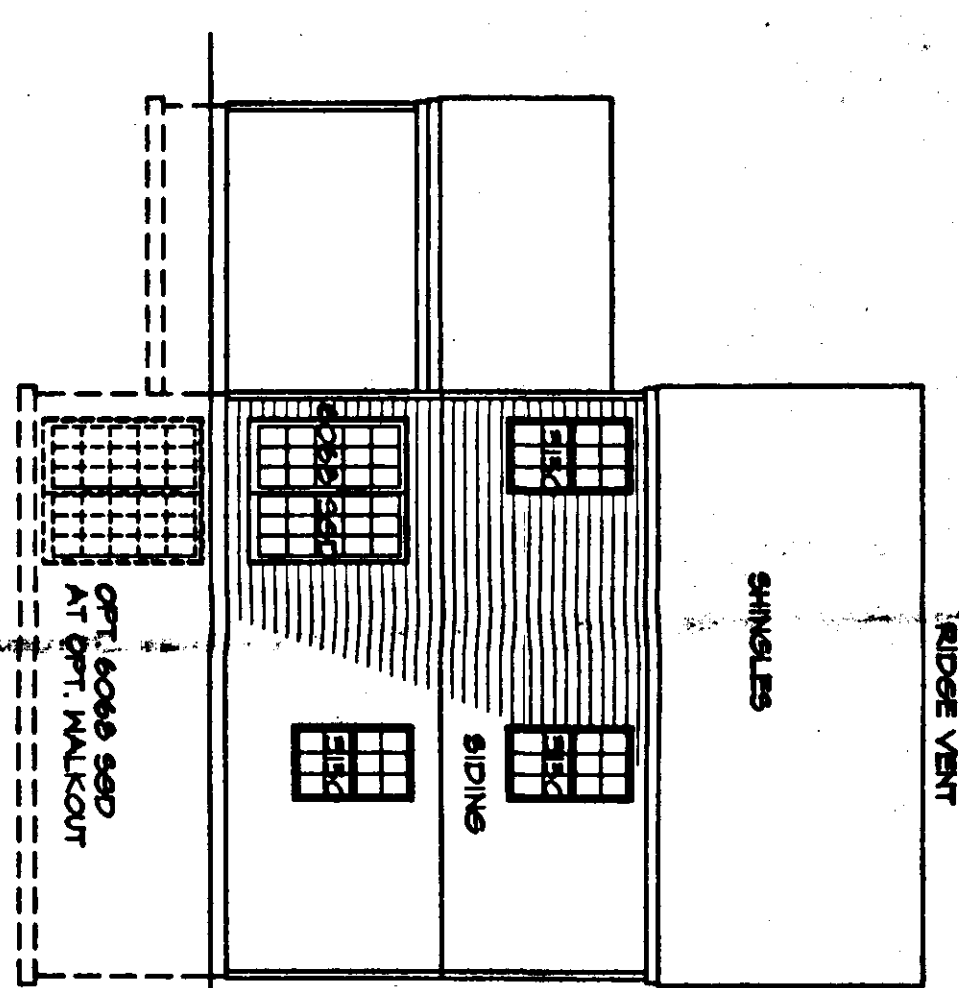
289 AMENDED FINAL DEVELOPMENT PLAN P.D.M. #
THE LIKENS PROPERTY XI-799
BALTIMORE COUNTY, MARYLAND
ELECTION DISTRICT 11C5
DATE: OCT 10, 1998
SCALE: 1"=50'
SHEET 2 OF 2
CONTRACT NUMBER: 97-121

DEVELOPMENT ENGINEERS & SURVEYORS
SITE ENGINEERS & SURVEYORS
6603 YORK ROAD (410) 377-2600 BALTIMORE, MARYLAND 21212
DATE: 10/10/99
REVISIONS: 1. ADJUST PROPERTY LINES TO REFLECT THE RESULTS OF THE SURVEY.

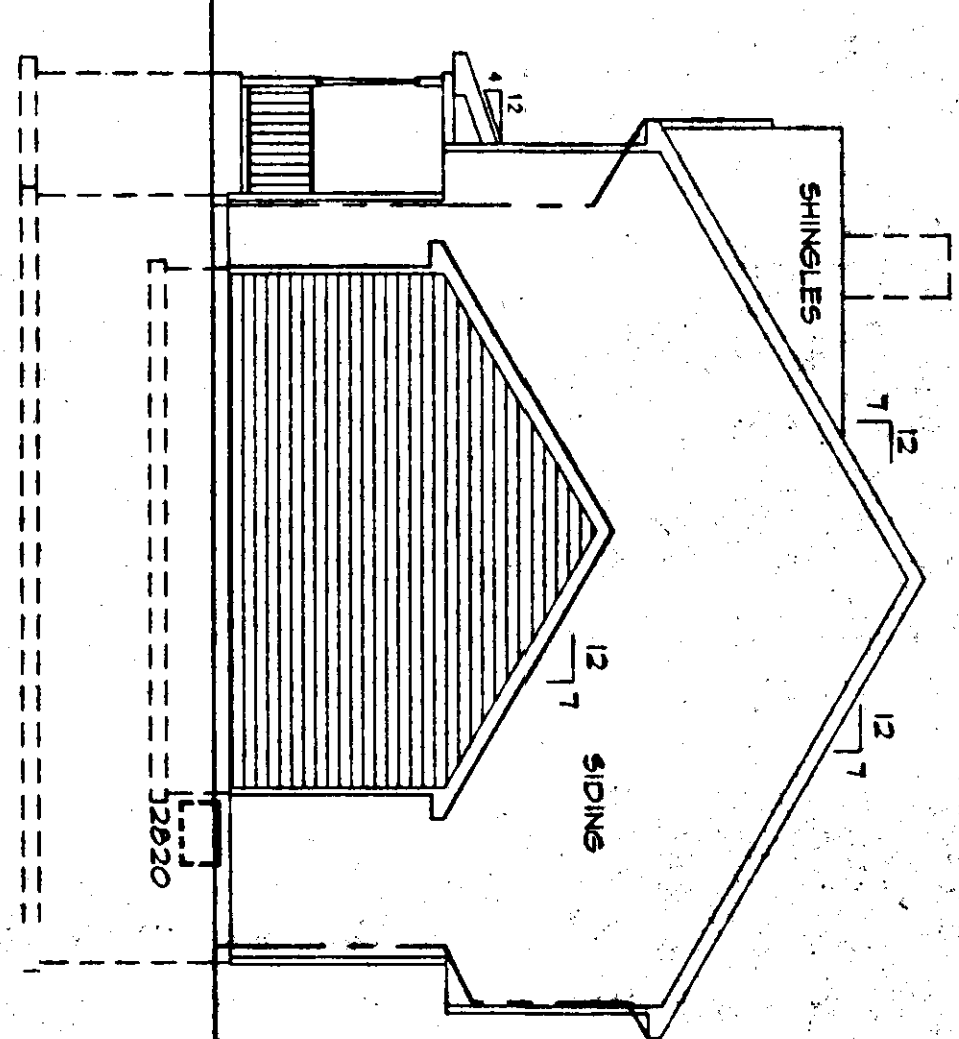
289 AMENDED FINAL DEVELOPMENT PLAN P.D.M. #
THE LIKENS PROPERTY XI-799
BALTIMORE COUNTY, MARYLAND
ELECTION DISTRICT 11C5
DATE: OCT 10, 1998
SCALE: 1"=50'
SHEET 2 OF 2
CONTRACT NUMBER: 97-121



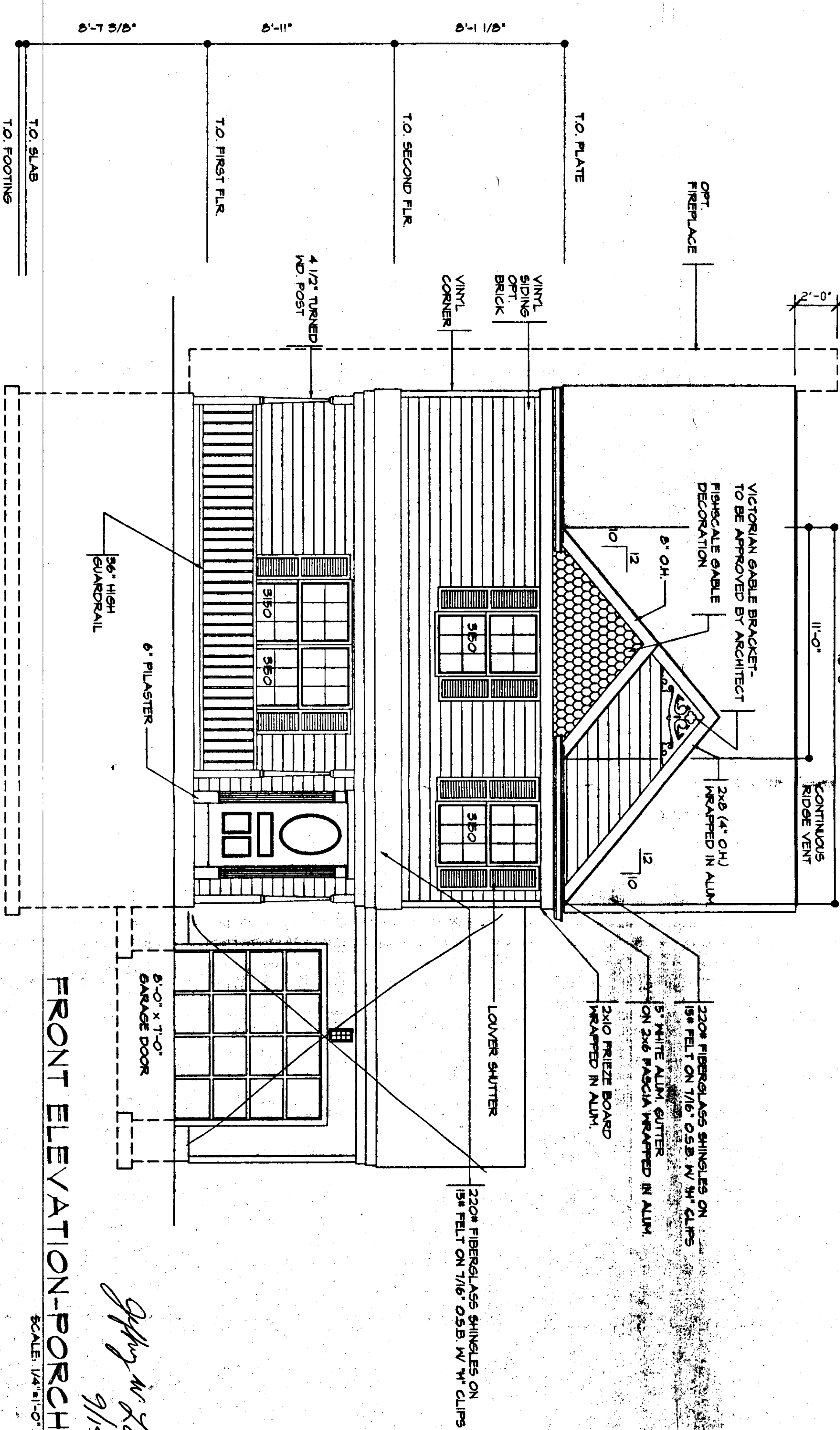
LEFT SIDE ELEVATION
SCALE: 1/8"=1'-0"



REAR ELEVATION
SCALE: 1/8"=1'-0"



RIGHT SIDE ELEVATION
SCALE: 1/8"=1'-0"



FRONT ELEVATION-PORCH
SCALE: 1/4"=1'-0"

Jeffrey M. Long
9/15/99

ELEVATIONS -PORCH

CONTENTS	SCALE	DATE	DRWN	PRJTD
LS-96814-MS				
PROJECT TITLE:				

ISSUE	DATE

DRAWINGS TO BE REVIEWED BY A LOCAL ARCHITECT OR ENGINEER TO VERIFY ALL LOCAL CODES ARE MET.

2

SHEET NO.

ISSUE

DATE	BY	REVISION

CONTENTS

DATE

BY

PROJECT

LS-96814-MS

FOUNDATION PLAN

ARCHITECT OR ENGINEER TO VERIFY THAT ALL LOCAL CODES ARE MET.

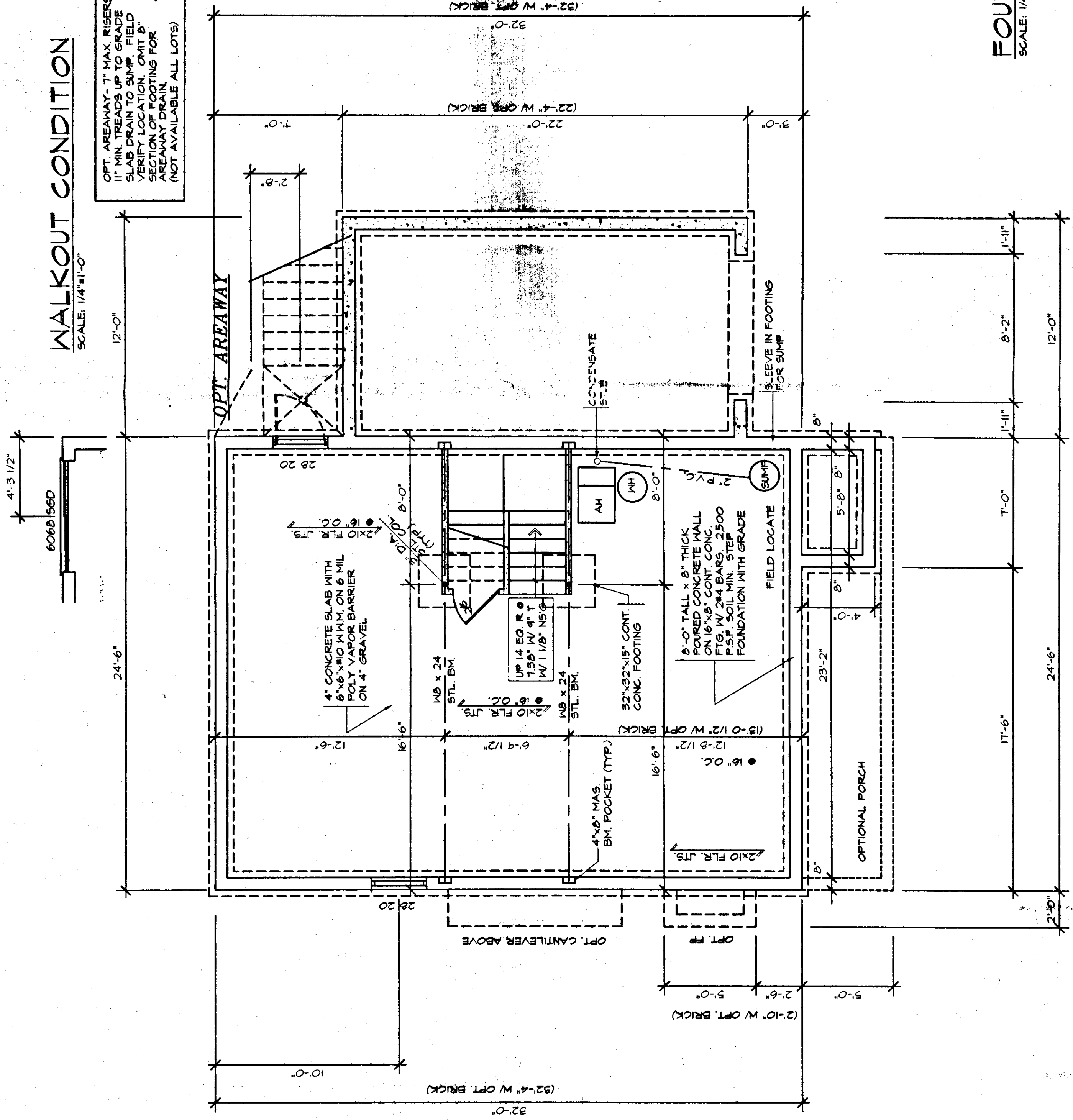
GENERAL NOTES

- All work shall be performed in accordance with all applicable national, state and local codes, regulations, and PMVA 199.
- Contractor shall verify all conditions and dimensions of existing structure and foundation prior to construction and/or correction before proceeding with work.
- All dimensions shall be read or calculated as follows:
 - All footings to be below first line (see local code) and must rest on undisturbed soil capable of handling the loading. Consult local engineer for proper footing and reinforcing sizes.
 - Contractor shall verify compatibility of the footing with all site requirements.
 - If backfill exceeds 4' against any foundation wall reference to per code.
 - All foundation and structural members shall be designed and constructed in accordance with the variance in local codes, soil bearing conditions, from the depth, geological and weather conditions. All structural members shall be designed and verified all structural details and conditions to meet all local codes and to have a quality and safe structure.
 - All load carrying and steel structural members shall be designed and constructed in accordance with all national, state and local building codes where applicable.
 - All columns or solid framing should be designed to carry loads and should extend down into the foundation and be braced against lateral movement. Floor and beam ends shall be braced against lateral movement. Footing designed to carry load.
 - Provide parties at mid height of walls.
 - All joints and rollers shall be aligned over base below.
 - All rollers shall be (2) 2400N, 10/12 plywood floor joists where observation is required.
 - Frame to install double floor joists under partition wall parallel to joist direction.
 - Provide 1/4" cross bracing at mid point of span or 8'-0" O.C. maximum in all floors.
 - All exterior corners (inside and outside corners) shall be braced with 1/2" CDX plywood. Nailing shall be 6d common at 8" O.C. at all exterior corners and 12" O.C. at all interior corners. Option - approved diagonal corner braces both directions at all corners.
 - Provide double 2x8 strongback at mid span for ceiling joists with spans greater than 10'-0".
 - Provide collar ties at upper 1/3 of vertical distance between ridge board and ceiling joists at 4'-0" O.C. maximum.
 - Hip, valley rafters, and ridge boards shall be one 2" size larger than rafters.
 - Roof decking shall be 1/2" CDX plywood minimum.
 - Where pre-engineered floor and roof trusses are used, drawings which bear seal of a registered engineer in state in which work is to be performed.
 - All ceiling joists and rafter bracing to below the load bearing walls designed to carry load the ceiling joists and rafter bracing shall be supported by thickened slab, grade beam or footing designed to carry load.

WALKOUT CONDITION

SCALE: 1/4"=1'-0"

OPT. AREAWAY- T MAX RISERS 11" MIN. TREADS UP TO GRADE SLAB DRAIN TO SUMP. FIELD VERIFY LOCATION. OMIT 8" SECTION OF FOOTING FOR AREAWAY DRAIN (NOT AVAILABLE ALL LOTS)



FOUNDATION PLAN

SCALE: 1/4"=1'-0"



- ## FIRST FLOOR PLAN

CONTENTS

SCALE

DATE:

DEVELOPMENT

PRJT NO

LS-96814-MS

PROJECT TITLE:

DRAWINGS TO BE REVIEWED BY A LOCAL ARCHITECT OR ENGINEER TO VERIFY THAT ALL LOCAL CODES ARE MET.

ISSUE	
DATE	

5

3567

FIRST FLOOR PLAN

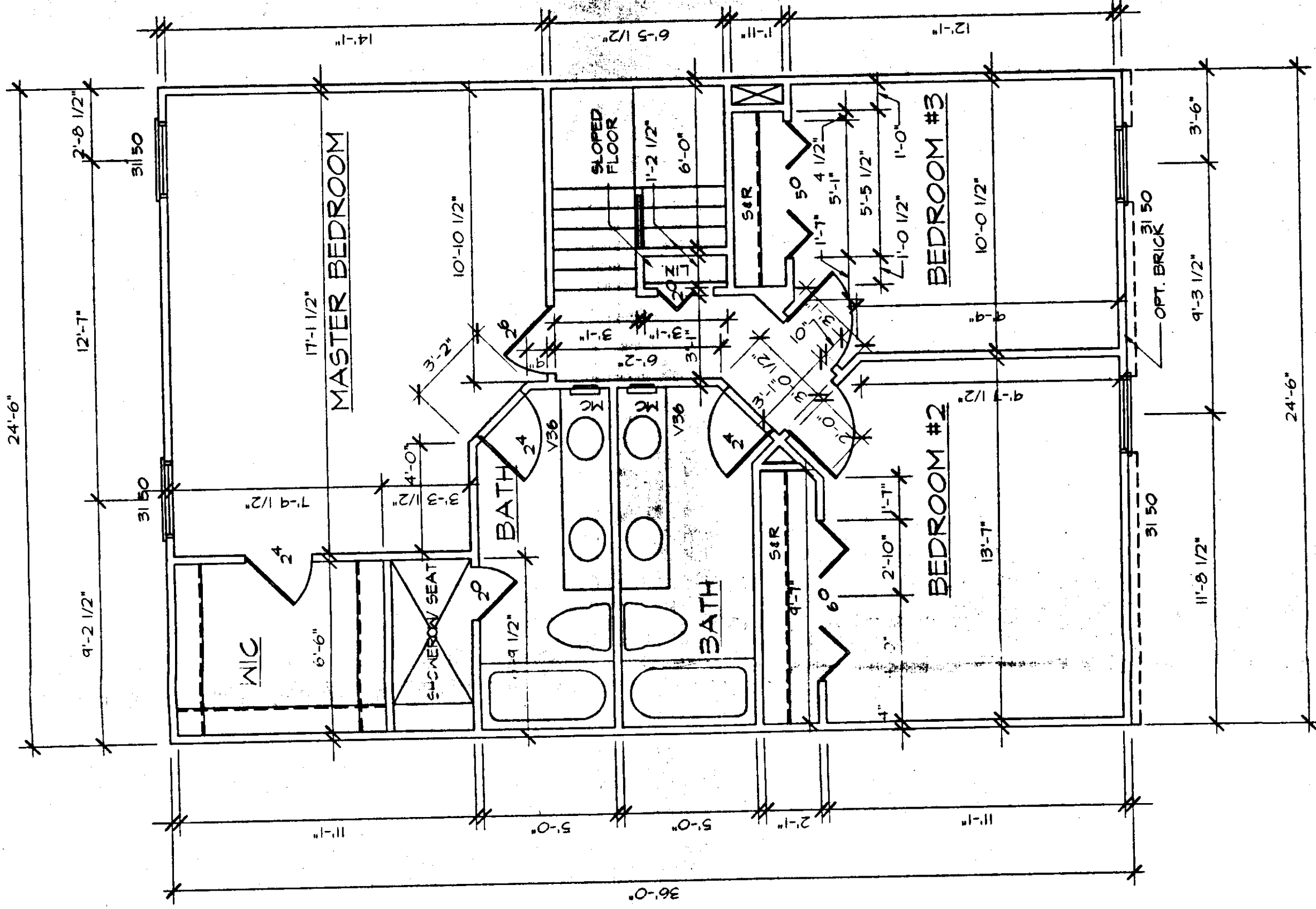
SCALE: 1/4"=1'-0"

SCALE: 1/4"=1'-0"

GENERAL NOTES

- 1) All work shall be performed in accordance with applicable building codes, local codes, regulations, and FMVIA HFS.
- 2) Contractor shall verify all conditions and dimensions at site before beginning construction. Any discrepancies shall be corrected before proceeding with work.
- 3) All dimensions shall be read or calculated and never scaled.
- 4) All footings to be below frost line (see local code) and shall be designed and constructed by a licensed engineer for proper footing and reinforcing steel.
- 5) Contractor shall ensure compatibility of the building with all site requirements.
- 6) If backfill exceeds 4' against any foundation wall, reinforcement shall be provided.
- 7) All foundation and structural members shall be designed and constructed in accordance with applicable building codes, local codes, regulations, and FMVIA HFS. Where construction is occurring due to a wide variance in local codes, soil bearing conditions, frost line depth, etc., the contractor shall be responsible for obtaining all structural details and conditions to meet all local codes and to ensure a quality and safe structure.
- 8) All steel, concrete and steel structural members shall be of a good grade and quality and meet all national, state and local building codes where applicable.
- 9) All columns or solid framing should be designed to carry loads in all directions and shall be floor and be supported by a thickened slab, grade beam or footing designed to carry load.
- 10) Provide parline at mid height of walls.
- 11) All joints and rafters shall be aligned over studs below.
- 12) All headers shall be (2) 2"x10"s w/1/2" plywood flush plate unless otherwise noted.
- 13) Provide to install double floor joists under partition wall parallel to joist direction.
- 14) Provide 1x4 cross bracing (in mid point of span and 8' on center) under all exterior walls.
- 15) All exterior corners (inside and outside corners) shall be braced with 1/2" CDX plywood. Nailing schedule shall be 8d common at 6" o.c. in all directions. (Option - approved diagonal corner brace in both directions at all corners.)
- 16) Provide double 2x6 strongback at mid span for ceiling joists with spans greater than 10'-0".
- 17) Provide collar ties at upper 1/3 of vertical distance between ridge board and ceiling joists at 4'-0" o.c. minimum.
- 18) Hip, valley rafters, and ridge boards shall be one "2x" size larger than rafters.
- 19) Roof decking shall be 1/2" CDX plywood minimum.
- 20) Where pre-engineered floor and roof trusses are used, truss manufacturer must provide shop drawings which bear seal of a registered engineer in state in which work is to be performed.
- 21) All steel framing and other bracing to bear on load bearing walls designed to carry load line all levels and terminate at basement floor and be permitted by independent structural engineer. Floor and ceiling designed to carry load.

MEDICINE CABINET-
R.O. = 15" X 19"



(SEE STANDARD PLAN FOR TYPICAL NOTES)

SECOND FLOOR PLAN (OPTIONAL)

SCALE: 1/4"=1'-0"

TWO BATH

DRAWINGS TO BE REVIEWED BY A LOCAL ARCHITECT OR ENGINEER TO VERIFY THAT ALL LOCAL CODES ARE MET.

SECOND FLOOR PLANS

DATE: 10/11/11
BY: [Signature]
PROJECT TITLE: LS-96814-MS

CONTENTS

ISSUE

REVISION

4

SECTION

SCALE: 1/4"=1'-0"

5

ISSUE NO.

ISSUE NO.	DATE	BY	FOR

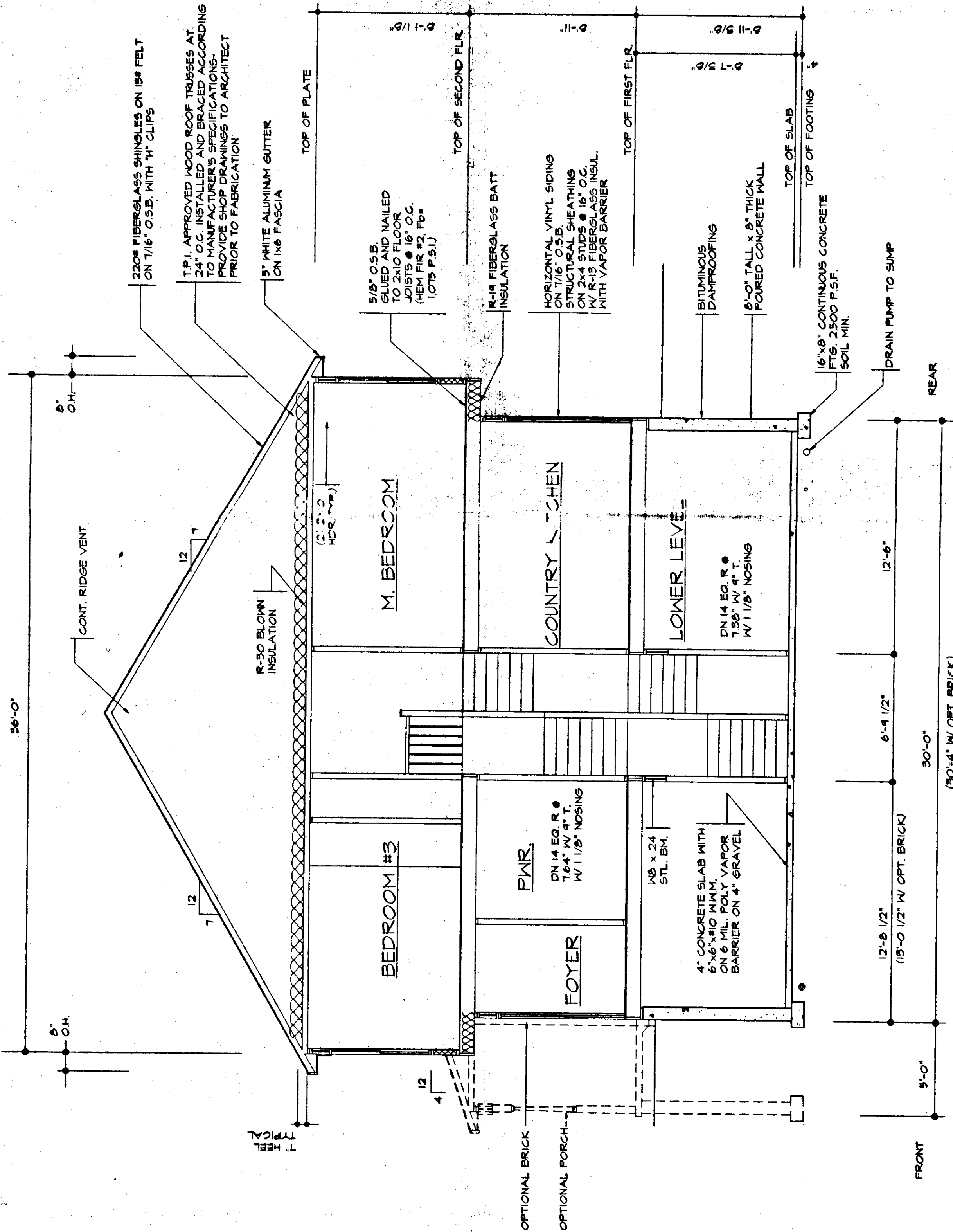
SECTION

DATE BY FOR

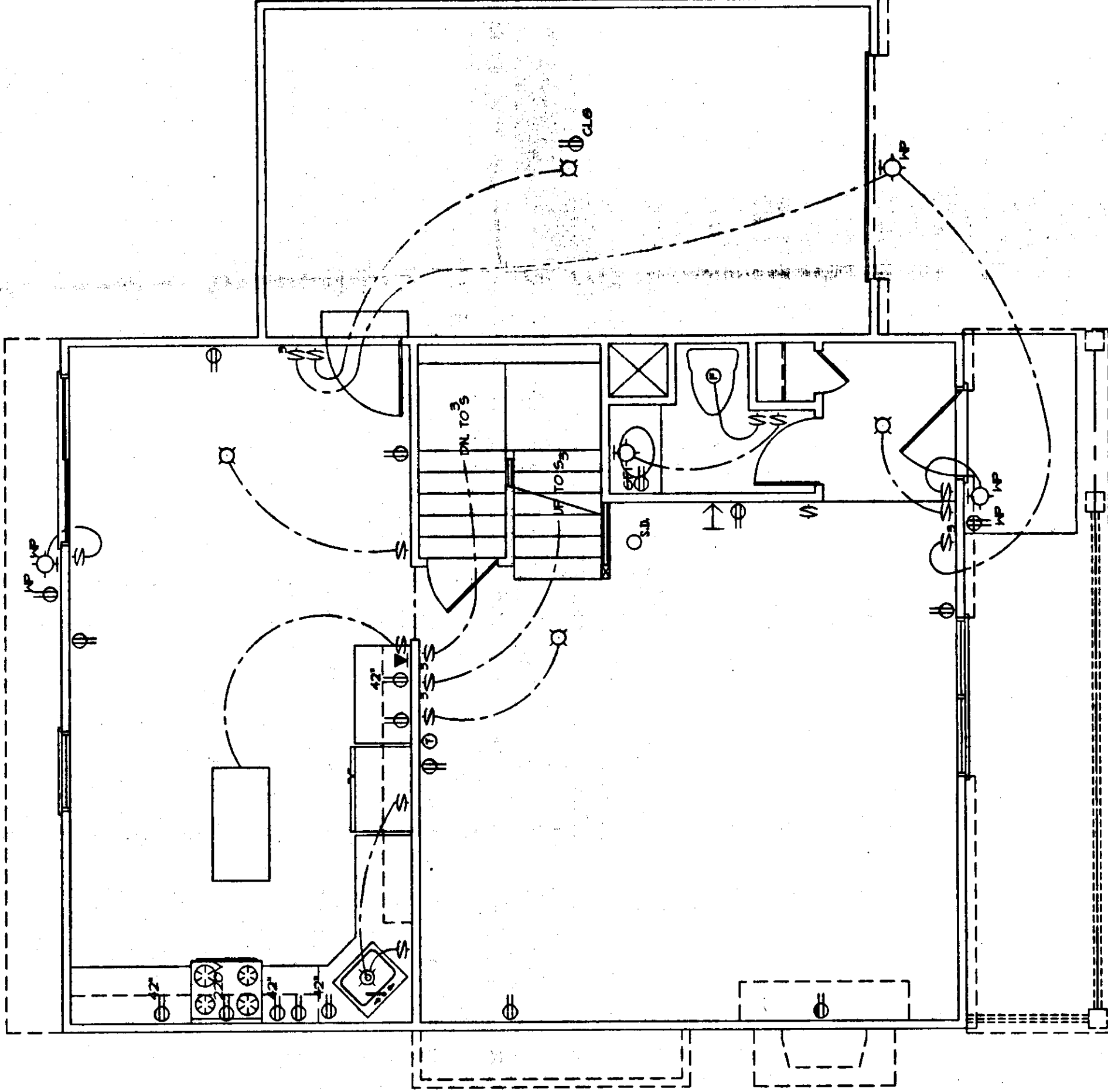
LS-96814-MS

PROJECT TITLE

DRAWINGS TO BE REVIEWED BY A LOCAL ARCHITECT OR ENGINEER TO VERIFY THAT ALL LOCAL CODES ARE MET.



LEGEND	
	WALL MTD. LIGHT FIXTURE
	CLG. MTD. LIGHT FIXTURE
	RECESSED LIGHT FIXTURE
	2'x2' FLOOR LT. FIXTURE
	2'x4' FLOOR LT. FIXTURE
	CLG. MTD. DUPLEX
	WATERPRF. DUPLEX OUTLET
	SPLIT DUPLEX
	DUPLEX OUTLET
	220V OUTLET
	GROUNDING DUPLEX
	DUPLEX OUTLET 42\"/>
	SINGLE SWITCH
	3-WAY SWITCH
	SMOKE DETECTOR
	TELEPHONE JACK
	CABLE T.V. JACK
	EXHAUST FAN
	CEILING FAN



FIRST FLOOR ELECTRIC PLAN
SCALE: 1/4"=1'-0"

SHEET NO.	9
ISSUE	
DATE	

PROJECT TITLE		LS-96814-M5	
CONTENTS		DATE:	
SCALE:		DRAWN:	
FIRST FLOOR ELECTRIC PLAN		PRINTED:	

DRAWINGS TO BE REVIEWED BY A LOCAL ARCHITECT OR ENGINEER TO VERIFY THAT ALL LOCAL CODES ARE MET.

