

IN RE: PETITION FOR VARIANCE
N/S Long Green Pike, 800' NE of the
c/l of Hydes Road
(13126 Long Green Pike)
11th Election District
6th Councilmanic District

Marc J. Loundas, et ux
Petitioners

* BEFORE THE
* ZONING COMMISSIONER
* OF BALTIMORE COUNTY
* Case No. 00-149-A
*

* * * * *

FINDINGS OF FACT AND CONCLUSIONS OF LAW

This matter comes before the Zoning Commissioner for consideration of a Petition for Variance filed by the owners of the subject property, Marc J. and Margaret Loundas. The Petitioners seek relief from Section 400 of the Baltimore County Zoning Regulations (B.C.Z.R.) to permit an accessory structure (proposed garage) to be located in the side yard with a height of 25 feet in lieu of the required rear yard location and maximum height allowed of 15 feet. The subject property and relief sought are more particularly described on the site plan submitted which was accepted into evidence and marked as Petitioner's Exhibit 1.

It is to be noted that this variance request was originally filed through the administrative variance process, pursuant to Section 26-127 of the Baltimore County Code. That Section permits the owner/residence of a residential property to seek variance relief without the necessity of a public hearing, unless a request for same is made within 15 days of the posting date. In this case, the property was duly posted with a sign giving public notice of the request on October 24, 1999. As permitted by Code, an adjacent neighbor, John R. Lindung, requested a hearing on the matter within the 15-day posting period. Thus, the matter was scheduled for a public hearing.

Appearing at the requisite public hearing held in support of this request were Marc J. Loundas, property owner, Paul W. Botzler, Professional Engineer who prepared the site plan for this property, and Randy Twing, Builder. Mr. Lindung did not appear and there were no other

ORDER RECEIVED FOR FILING
Date 12/21/99
By [Signature]

interested persons present. Mr. Loundas indicated that Mr. Lindung had recently sold his property and no longer resided in the area.

The subject property is located in the Long Green Valley section of Baltimore County, not far from the site of the Carroll Manor Middle School. Testimony and evidence presented revealed that the subject property is an irregularly shaped parcel containing approximately 2.0 acres in area, zoned R.C.2. Vehicular access to the property is by way of a private drive which leads from Long Green Pike. Mr. & Mrs. Loundas have apparently owned and resided on the property since 1985. Presently, the property is improved with a single family dwelling, which features an attached deck, an in-ground swimming pool, and freestanding cabana. The subject of the requested variance is the proposed construction of a detached garage. As shown on the site plan, the Petitioners proposed to construct a two-story detached garage, 26' x 38' in dimension, in their side yard, approximately 15 feet from the adjacent agriculturally-zoned property owned by Dorsey Fleming. Testimony indicated that Mr. Fleming raises beef cattle on his property. The Petitioners only use their property for residential purposes.

As to the Petition for Variance, testimony indicated that Mr. Loundas collects antiques/classic automobiles as a hobby. Mr. Loundas indicated that the proposed garage is necessary to provide additional storage space for household items, and that certain antique vehicles will also be stored therein. It was indicated that the garage will not be used for business or commercial purposes; strictly as an accessory building to the dwelling. The proposed garage will have electric, but will not have access to well or septic facilities. Elevation drawings of the proposed structure were submitted at the hearing. Those drawings show that the building will be attractive in construction and design. Due to the location of existing improvements on the property and the design of the existing dwelling, the requested variances are necessary in order to construct the garage as proposed. Testimony indicated that the angle of the proposed roof will be consistent

FILED
12/21/09
[Signature]
[Signature]

with the house, which has a high, steep roof.

As noted above, there were no Protestants at the hearing. Moreover, the Zoning Plans Advisory Committee (ZAC) comments were generally neutral, but for a comment from the Department of Environmental Protection and Resource Management (DEPRM). That agency recommends denial of the variance to permit the garage to be located in the side yard. That comment indicates that the garage should be located elsewhere on the site, due to the fact that the locale is an agricultural preservation area.

In response to this contention, Mr. Loundas indicated that his neighbor, Dorsey Fleming, does not object to the proposed location of the garage. Moreover, photographs of the property and surrounding vicinity were shown at the hearing.

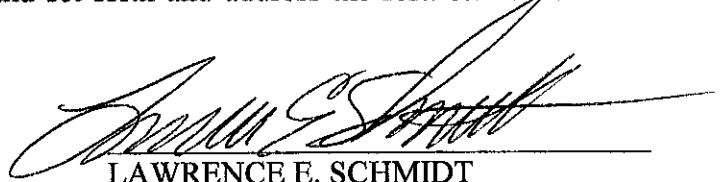
In my judgment, the requested variances should be granted. In this regard, I am persuaded that the Petitioners have presented sufficient evidence to meet the standards set forth in Section 307 of the B.C.Z.R. As to the ZAC comment submitted by DEPRM, I do not believe that construction of the garage elsewhere on the lot is appropriate. The garage will be built next to an existing driveway which serves the dwelling. To require the Petitioners to place the garage elsewhere on the lot would require an extension of that driveway and additional area of impervious surface. In addition, retaining the open, undeveloped character of the rear of this lot is appropriate. Moreover, based upon the photographs submitted, I do not believe that the location of the garage where proposed will be detrimental to Mr. Fleming's operation. Apparently, that neighbor has no objections to the proposed use. For these reasons, I am persuaded to grant the variances.

Pursuant to the advertisement, posting of the property and public hearing on this Petition held, and for the reasons set forth above, the relief requested shall be granted.

THEREFORE, IT IS ORDERED by the Zoning Commissioner for Baltimore County
this 21st day of December, 1999 that the Petition for Variance seeking relief from Section 400

of the Baltimore County Zoning Regulations (B.C.Z.R.) to permit an accessory structure (proposed garage) to be located in the side yard with a height of 25 feet in lieu of the required rear yard location and maximum height allowed of 15 feet, in accordance with Petitioner's Exhibit 1, be and is hereby GRANTED, subject to the following restrictions:

- 1) The Petitioners may apply for their building permit and be granted same upon receipt of this Order; however, Petitioners are hereby made aware that proceeding at this time is at their own risk until the 30-day appeal period from the date of this Order has expired. If an appeal is filed and this Order is reversed, the relief granted herein shall be rescinded.
- 2) The proposed garage shall be used for residential purposes, only. There shall be no business or commercial activities conducted therein.
- 3) When applying for a building permit, the site plan and landscaping plan filed must reference this case and set forth and address the restrictions of this Order.


LAWRENCE E. SCHMIDT
Zoning Commissioner
for Baltimore County

LES:bjs

ORDER RECEIVED
Date 12/21/99
FILING




Baltimore County
Zoning Commissioner

Suite 405, County Courts Bldg.
401 Bosley Avenue
Towson, Maryland 21204
410-887-4386
Fax: 410-887-3468

December 21, 1999

Mr. & Mrs. Marc J. Loundas
13126 Long Green Pike
Hydes, Maryland 21082

RE: PETITION FOR VARIANCE
N/S Long Green Pike, 800' NE of the c/l of Hydes Road
(13126 Long Green Pike)
11th Election District - 6th Councilmanic District
Marc J. Loundas, et ux - Petitioners
Case No. 00-149-A

Dear Mr. & Mrs. Loundas:

Enclosed please find a copy of the decision rendered in the above-captioned matter. The Petition for Variance has been granted, in accordance with the attached Order.

In the event any party finds the decision rendered is unfavorable, any party may file an appeal to the County Board of Appeals within thirty (30) days of the date of this Order. For further information on filing an appeal, please contact the Zoning Administration and Development Management office at 887-3391.

Very truly yours,

A handwritten signature in black ink, appearing to read "Lawrence E. Schmidt".

LAWRENCE E. SCHMIDT
Zoning Commissioner
for Baltimore County

LES:bjs

cc: Mr. Paul W. Botzler
P.O. Box 226, Glen Arm, Md. 21057
DEPRM; People's Counsel; Case File





Petition for Administrative Variance to the Zoning Commissioner of Baltimore County

for the property located at 13126 LongGreen Pike
which is presently zoned RC2

This Petition shall be filed with the Department of Permits and Development Management. The undersigned, legal owner(s) of the property situate in Baltimore County and which is described in the description and plat attached hereto and made a part hereof, hereby petition for a Variance from Section(s)

to allow a 26' x 38' x 25' high (max.) height accessory structure to be constructed in side yard of existing house in lieu of required rear yard and 15' (max.) height.

of the zoning regulations of Baltimore County, to the zoning law of Baltimore County, for the reasons indicated on the back of this petition form.

Property is to be posted and advertised as prescribed by the zoning regulations.

I, or we, agree to pay expenses of above Variance, advertising, posting, etc. and further agree to and are to be bounded by the zoning regulations and restrictions of Baltimore County adopted pursuant to the zoning law for Baltimore County.

I/We do solemnly declare and affirm, under the penalties of perjury, that I/we are the legal owner(s) of the property which is the subject of this Petition.

Contract Purchaser/Lessee:

Legal Owner(s):

n/a
Name - Type or Print

Marc J. Loundas
Name - Type or Print

Signature

Signature

Address Telephone No.

Margaret Loundas
Name - Type or Print

City State Zip Code

Signature

Attorney For Petitioner:

13126 Long Green Pike 592-6211

n/a
Name - Type or Print

Address Telephone No.

Hydes MD 21082

Signature

City State Zip Code

Representative to be Contacted:

Company

Paul W. Botzler, P.E.
Name

Address Telephone No.

P. O. Box 226 (410) 592-5020
Address Telephone No.

State Zip Code

Glen Arm MD 21057
City State Zip Code

Public Hearing having been formally demanded and/or found to be required, it is ordered by the Zoning Commissioner of Baltimore County, this _____ day of _____ that the subject matter of this petition be set for a public hearing, advertised, as required by the zoning regulations of Baltimore County and that the property be reposted.

Zoning Commissioner of Baltimore County

CASE NO. 00-149-A

Reviewed By MDK Date 10/13/99

Estimated Posting Date 10/24/99

close - 11/8/99

RECEIVED 9/15/98

ORDER REVIEWED FOR FILING

Affidavit in Support of Administrative Variance

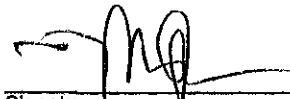
The undersigned hereby affirms under the penalties of perjury to the Zoning Commissioner of Baltimore County, as follows: That the information herein given is within the personal knowledge of the Affiant(s) and that Affiant(s) is/are competent to testify thereto in the event that a public hearing is scheduled in the future with regard thereto.

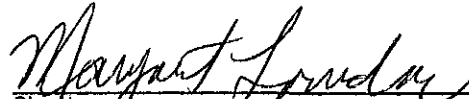
That the Affiant(s) does/do presently reside at 13126 Long Green Pike
Address
Hydes, MD 21082
City State Zip Code

That based upon personal knowledge, the following are the facts upon which I/we base the request for an Administrative Variance at the above address (indicate hardship or practical difficulty):

due to the unique shape and layout of the existing dwelling, driveway and lot boundaries, it is practically difficult to situate a garage/accessory structure near the access drive and still be entirely behind the house and to match the house architecture, the structure, practically, needs to be 25' max.

That the Affiant(s) acknowledge(s) that if a formal demand is filed, Affiant(s) will be required to pay a reposting and advertising fee and may be required to provide additional information.


Signature
Marc J. Loundas
Name - Type or Print


Signature
Margaret Loundas
Name - Type or Print

STATE OF MARYLAND, COUNTY OF BALTIMORE, to wit:

I HEREBY CERTIFY, this 6th day of October, 1999, before me, a Notary Public of the State of Maryland, in and for the County aforesaid, personally appeared

Marc J Loundas and Margaret Loundas
the Affiant(s) herein, personally known or satisfactorily identified to me as such Affiant(s), and made oath in due form of law that the matters and facts hereinabove set forth are true and correct to the best of his/her/their knowledge and belief.

AS WITNESS my hand and Notarial Seal

October 6, 1999
Date


Notary Public
My Commission Expires 1-1-03

Affidavit in Support of Administrative Variance

The undersigned hereby affirms under the penalties of perjury to the Zoning Commissioner of Baltimore County, as follows: That the information herein given is within the personal knowledge of the Affiant(s) and that Affiant(s) is/are competent to testify thereto in the event that a public hearing is scheduled in the future with regard thereto.

That the Affiant(s) does/do presently reside at 13126 Long Green Pike
Address
Hydes, MD 21082
City State Zip Code

That based upon personal knowledge, the following are the facts upon which I/we base the request for an Administrative Variance at the above address (indicate hardship or practical difficulty):

due to the unique shape and layout of the existing dwelling, driveway and lot boundaries, it is practically difficult to situate a garage/accessory structure near the access drive and still be entirely behind the house and to match the house architecture, the structure, practically, needs to be 25' max.

That the Affiant(s) acknowledge(s) that if a formal demand is filed, Affiant(s) will be required to pay a reposting and advertising fee and may be required to provide additional information.

Marc J. Loundas
Signature
Marc J. Loundas
Name - Type or Print

Margaret Loundas
Signature
Margaret Loundas
Name - Type or Print

STATE OF MARYLAND, COUNTY OF BALTIMORE, to wit:

I HEREBY CERTIFY, this 6th day of October, 1999, before me, a Notary Public of the State of Maryland, in and for the County aforesaid, personally appeared

Marc J Loundas and Margaret Loundas
the Affiant(s) herein, personally known or satisfactorily identified to me as such Affiant(s), and made oath in due form of law that the matters and facts hereinabove set forth are true and correct to the best of his/her/their knowledge and belief.

AS WITNESS my hand and Notarial Seal

October 6, 1999
Date

Mary Elizabeth Meyers
Notary Public
My Commission Expires 1-1-03



Petition for Administrative Variance

to the Zoning Commissioner of Baltimore County

for the property located at 13126 Long Green Pike
which is presently zoned RC2

This Petition shall be filed with the Department of Permits and Development Management. The undersigned, legal owner(s) of the property situate in Baltimore County and which is described in the description and plat attached hereto and made a part hereof, hereby petition for a Variance from Section(s)

to allow a 26' x 38' x 25' high (max.) height accessory structure to be constructed in side yard of existing house in lieu of required rear yard and 15' (max.) height.

of the zoning regulations of Baltimore County, to the zoning law of Baltimore County, for the reasons indicated on the back of this petition form.

Property is to be posted and advertised as prescribed by the zoning regulations.

I, or we, agree to pay expenses of above Variance, advertising, posting, etc. and further agree to and are to be bounded by the zoning regulations and restrictions of Baltimore County adopted pursuant to the zoning law for Baltimore County.

I/We do solemnly declare and affirm, under the penalties of perjury, that I/we are the legal owner(s) of the property which is the subject of this Petition.

Contract Purchaser/Lessee:

n/a

Name - Type or Print

Signature

Address

Telephone No.

City

State

Zip Code

Attorney For Petitioner:

n/a

Name - Type or Print

Signature

Company

Address

Telephone No.

City

State

Zip Code

Legal Owner(s):

Marc J. Loundas

Name - Type or Print

Signature

Margaret Loundas

Name - Type or Print

Signature

13126 Long Green Pike 592-6211

Address

Hydes

MD

Telephone No.

21082

City

State

Zip Code

Representative to be Contacted:

Paul W. Botzler, P.E.

Name

P. O. Box 226 (410) 592-5020

Address

Glen Arm, MD

Telephone No.

21057

City

State

Zip Code

A Public Hearing having been formally demanded and/or found to be required, it is ordered by the Zoning Commissioner of Baltimore County, this 10/15/98 day of October, that the subject matter of this petition be set for a public hearing, advertised, as required by the zoning regulations of Baltimore County and that the property be reposted.

Zoning Commissioner of Baltimore County

CASE NO. 00-144-A

Reviewed By MKL Date 10/17/98

Estimated Posting Date 10/24/98

REU 9/15/98

C/000-11/8/98

ZONING PERSCRIPTION

FOR: 13126 Long Green Pike

Beginning at a point on the north side of Long Green Pike which is 40 feet wide at a distance of 800 feet North and East of the centerline of its intersection with Hydes Road and following a private drive 2400 ft. North West to corner of said lot, as owned by Marc J. and Margaret R. Loundas, as recorded in Deed Liber 13422 Folio 257, and following thence from said corner of beginning the following seven courses and distances: North $58^{\circ}28'23''$ West, 16.43' to a pipe found thence; North $10^{\circ}54'22''$ West, 62.21'; North $53^{\circ}30'49''$ West, 192.03'; North $04^{\circ}18'39''$ West, 287.44'; South $81^{\circ}31'00''$ East, 78.46', South $61^{\circ}49'00''$ East, 287.62'; South $21^{\circ}49'08''$ West, 348.01' to the point of beginning. Containing 2.00 acres of land, more or less, and located in the 11th Election District and 6th Councilmanic District of Baltimore County, Maryland.

00-149-A

149

BALTIMORE COUNTY, MARYLAND
OFFICE OF BUDGET & FINANCE
MISCELLANEOUS RECEIPT

No. 073214

DATE 10/13/99 ACCOUNT 01-615
By: MJK
Jhn. 144 AMOUNT \$ 50.00

RECEIVED FROM: Tamarack Construction - 13126 Long Green Pike

FOR: 010-Res Admin Variances - \$50.00

DISTRIBUTION
WHITE - CASHIER PINK - AGENCY YELLOW - CUSTOMER

PAID RECEIPT
PRICES ACTUAL TIME
10/13/99 10/13/99 10:37:50
REG #003 CASHIER PIER PEN DRAWER 3
Dept 5 520 ZONING VERIFICATION
Receipt # 101661
OR NO. 073214
Receipt Tot 50.00
50.00 CR .00 CR
Baltimore County, Maryland

CASHIER'S VALIDATION

BALTIMORE COUNTY, MARYLAND
OFFICE OF BUDGET & FINANCE
MISCELLANEOUS RECEIPT

No. 073214

DATE 10/13/99 ACCOUNT 01-615
By: MJK
Jhn 144 AMOUNT \$ 50.00

RECEIVED FROM: Tamarack Construction - 13126 Long Green Pike

FOR: 010-Res Admin Variances - \$50.00

DISTRIBUTION
WHITE - CASHIER PINK - AGENCY YELLOW - CUSTOMER

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PRICES ACTUAL TIME
10/13/99 10/13/99 10:37:50
REG #003 CASHIER PIER PEN DRAWER 3
Dept 5 520 ZONING VERIFICATION
Receipt # 101661
OR NO. 073214
Receipt Tot 50.00
50.00 CR .00 CR
Baltimore County, Maryland

CASHIER'S VALIDATION

**BALTIMORE COUNTY, MARYLAND
OFFICE OF BUDGET & FINANCE
MISCELLANEOUS RECEIPT**

No. 075701

DATE 11-8-99 ACCOUNT Rec-6135

AMOUNT \$ 40

RECEIVED FROM: John R. Zindene

FOR: Hearing Request 00-149-A

DISTRIBUTION

WHITE - CASHIER

PINK - AGENCY

YELLOW - CUSTOMER

PAID RECEIPT

PROCESS ACTUAL TIME
11/12/1999 11/10/1999 15:13:23
PSG MONS CASHIER MRS FEM DOWNER
Dept 5 SEE ZINDENS VERIFICATION
Receipt # 105128 UFLN
CR NO. 075701

Receipt Tot 40.00
40.00 OK 70 24
Baltimore County, Maryland

CASHIER'S VALIDATION

Gwen Stephens
Baltimore County Office of Permits and Development Management
Zoning Review
Baltimore County Office Building
111 W. Chesapeake Avenue
Towson, MD 21204

Challenge *

To: Gwen

11/3/99

11/5/99

g

wct

uc

Dear Ms. Stephens:

Per my phone conversation yesterday with John Lewis, I am writing in reference to case #00 - 149 - A (Marc Loundas, Long Green Pike, Hydes, MD--request for variance to build garage). I wish to challenge this request for a zoning variance, and I request a hearing. Please advise me of the time and date of this hearing so that I may attend.

I live within 1,000 feet of the property in question. In fact, my property directly borders it.

Enclosed is a check for \$40 payable to Baltimore County.

Sincerely,

John R. Loundas

John R. Loundas
13128 Long Green Pike
Hydes, MD 21082
tel. 410-592-6072

99-2826

JOHN R. LINDUNG
MARY BETH LINDUNG
13128 LONG GREEN PIKE
HYDES, MD 21082

07-98

7-163/520 MD
8059

389

Pay to the
Order of

Baltimore County
Forty

Date 11-1-99

\$ 40. -

Dollars

NationsBank
NationsBank, N.A.

challenge case
For 00-149-A

Mary Beth Lindung

052001633 003919785756 0389

GUARDIAN SAFETY GREEN WGN

CERTIFICATE OF PUBLICATION

TOWSON, MD, 11-26, 1999

THIS IS TO CERTIFY, that the annexed advertisement was published in THE JEFFERSONIAN, a weekly newspaper published in Towson, Baltimore County, Md., once in each of 1 successive weeks, the first publication appearing on 11-25, 1999.

NOTICE OF ZONING HEARING

The Zoning Commissioner of Baltimore County, by authority of the Zoning Act and Regulations of Baltimore County, will hold a public hearing in Towson, Maryland on the property identified herein as follows.

Case: #00-149-A

13126 Long Green Pike

N/S Long Green Pike, 800' NE of c/l Hydes Road and
2400' NE of that intersection

11th Election District - 6th Councilmanic District

Legal Owner(s): Margaret Loundas and Marc J. Loundas
Administrative Variance: to allow a 26 foot by 38 foot by 25 foot high (maximum) height accessory structure to be constructed in side yard in lieu of required rear yard and 15 ft. (maximum) height.

Hearing: Tuesday, December 14, 1999 at 10:00 a.m. in
Room 407 Courts Building, 401 Bosley Ave., Towson, MD.

LAWRENCE E. SCHMIDT

Zoning Commissioner for Baltimore County

NOTES: (1) Hearings are Handicapped Accessible; for special accommodations Please Contact the Zoning Commissioner's Office at (410) 887-4386.

(2) For information concerning the File and/or Hearing. Contact the Zoning Review Office at (410) 887-3391.

11/299 Nov. 25

C355758

S. Wilkinson
THE JEFFERSONIAN,

LEGAL ADVERTISING

CERTIFICATE OF POSTING

RE: Case No.: 00-149-A

Petitioner/Developer: _____

MARC LOUNDAS

Date of Hearing/Closing: 11/8/99

Baltimore County Department of
Permits and Development Management
County Office Building, Room 111
111 West Chesapeake Avenue
Towson, MD 21204

Attention: Ms. Gwendolyn Stephens

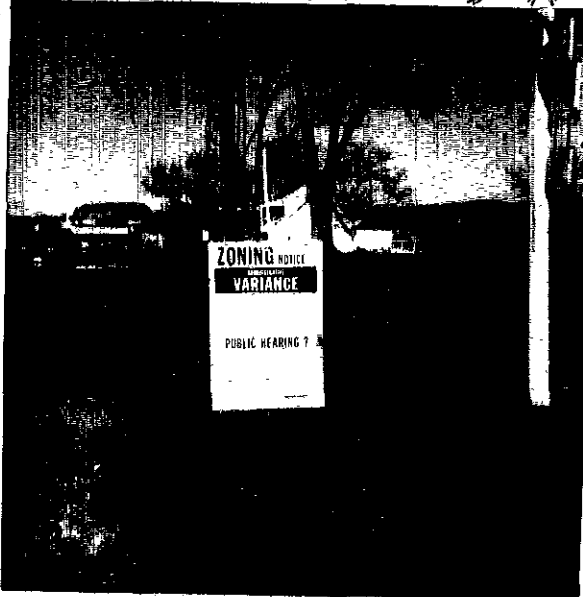
Ladies and Gentlemen:

This letter is to certify under the penalties of perjury that the necessary sign(s) required by law were posted conspicuously on the property located at _____

13126 LONG GREEN PIKE

The sign(s) were posted on 10/24/99
(Month, Day, Year)

CASE # 00-149-A



Sincerely,

Richard E. Hoffman 10/24/99
(Signature of Sign Poster and Date)

RICHARD E. HOFFMAN
(Printed Name)

904 DELLWOOD DR.
(Address)

FALLSTON, MD 21047
(City, State, Zip Code)

(410) 879-3122
(Telephone Number)

13126 LONG GREEN PIKE

POSTED 10/24/99

Richard E. Hoffman 10/24/99



Baltimore County
Department of Permits and
Development Management

Director's Office
County Office Building
111 West Chesapeake Avenue
Towson, Maryland 21204
410-887-3353
Fax: 410-887-5708

November 16, 1999

NOTICE OF ZONING HEARING

The Zoning Commissioner of Baltimore County, by authority of the Zoning Act and Regulations of Baltimore County, will hold a public hearing in Towson, Maryland on the property identified herein as follows:

CASE NUMBER: 00-149-A

13126 Long Green Pike

N/S Long Green Pike, 800' NE of c/l Hydes Road and 2400' NE of that intersection
11th Election District - 6th Councilmanic District

Legal Owner(s): Margaret Loundas and Marc J. Loundas

Administrative Variance to allow a 26 foot by 38 foot by 25 foot high (maximum) height accessory structure to be constructed in side yard in lieu of required rear yard and 15 ft. (maximum) height.

HEARING: TUESDAY, DECEMBER 14, 1999 at 10:00 a.m. in Room 407 Courts Building, 401 Bosley Avenue, Towson MD.

A handwritten signature in black ink, appearing to read "Arnold Jablon".

Arnold Jablon
Director

cc: Marc and Margaret Loundas
Paul W. Botzler, P.E.

- NOTES: (1) THE PETITIONER MUST HAVE THE ZONING NOTICE SIGN POSTED BY AN APPROVED POSTER ON THE PROPERTY BY NOVEMBER 23, 1999.
- (2) HEARINGS ARE HANDICAPPED ACCESSIBLE; FOR SPECIAL ACCOMMODATIONS PLEASE CONTACT THE ZONING COMMISSIONER'S OFFICE AT 410-887-4386.
- (3) FOR INFORMATION CONCERNING THE FILE AND/OR HEARING, CONTACT THE ZONING REVIEW OFFICE AT 410-887-3391.



TO: PATUXENT PUBLISHING COMPANY
November 23, 1999 Issue - Jeffersonian

Please forward billing to:

Marc J. Loundas
13126 Long Green Pike
Hydes, MD 21082
410-592-5020

NOTICE OF ZONING HEARING

The Zoning Commissioner of Baltimore County, by authority of the Zoning Act and Regulations of Baltimore County, will hold a public hearing in Towson, Maryland on the property identified herein as follows:

CASE NUMBER: 00-149-A

13126 Long Green Pike

N/S Long Green Pike, 800' NE of c/l Hydes Road and 2400' NE of that intersection
11th Election District - 6th Councilmanic District

Legal Owner(s): Margaret Loundas and Marc J. Loundas

Administrative Variance to allow a 26 foot by 38 foot by 25 foot high (maximum) height accessory structure to be constructed in side yard in lieu of required rear yard and 15 ft. (maximum) height.

HEARING: TUESDAY, DECEMBER 14, 1999 at 10:00 a.m. in Room 407 Courts Building, 401 Bosley Avenue, Towson MD.



Lawrence E. Schmidt

LAWRENCE E. SCHMIDT
ZONING COMMISSIONER FOR BALTIMORE COUNTY

- NOTES: (1) HEARINGS ARE HANDICAPPED ACCESSIBLE; FOR SPECIAL ACCOMMODATIONS PLEASE CONTACT THE ZONING COMMISSIONER'S OFFICE AT 410-887-4386.
(2) FOR INFORMATION CONCERNING THE FILE AND/OR HEARING, CONTACT THE ZONING REVIEW OFFICE AT 410-887-3391.

DEPARTMENT OF PERMITS AND DEVELOPMENT MANAGEMENT
ZONING REVIEW

ADVERTISING REQUIREMENTS AND PROCEDURES FOR ZONING HEARINGS

The Baltimore County Zoning Regulations (BCZR) require that notice be given to the general public/neighboring property owners relative to property which is the subject of an upcoming zoning hearing. For those petitions which require a public hearing, this notice is accomplished by posting a sign on the property (responsibility of the petitioner) and placement of a notice in a newspaper of general circulation in the County, both at least fifteen (15) days before the hearing.

Zoning Review will ensure that the legal requirements for advertising are satisfied. However, the petitioner is responsible for the costs associated with these requirements. The newspaper will bill the person listed below for the advertising. This advertising is due upon receipt and should be remitted directly to the newspaper.

OPINIONS MAY NOT BE ISSUED UNTIL ALL ADVERTISING COSTS ARE PAID.

For Newspaper Advertising:

Item Number or Case Number: CO-149-A

Petitioner: Marc J. Loundas

Address or Location: 13126 Long Green Pike

PLEASE FORWARD ADVERTISING BILL TO:

Name: Marc J. Loundas

Address: 13126 Long Green Pike
Hydes, MD

Telephone Number: (410) 592-5020

ADMINISTRATIVE VARIANCE INFORMATION SHEET AND DATES

Case Number 00- 149 -A Address 13126 Long Green Pike
Contact Person: Mitchell J. Kellman Phone Number: 410-887-3391
Planner, Please Print Your Name
Filing Date: 10/13/99 Posting Date: 10/24/99 Closing Date: 11/8/99

Any contact made with this office regarding the status of the administrative variance should be through the contact person (planner) using the case number.

1. **POSTING/COST:** The petitioner must use one of the sign posters on the approved list (on the reverse side of this form) and the petitioner is responsible for all printing/posting costs. Any reposting must be done only by one of the sign posters on the approved list and the petitioner is again responsible for all associated costs. The zoning notice sign must be visible on the property on or before the posting date noted above. It should remain there through the closing date.
2. **DEADLINE:** The closing date is the deadline for an occupant or owner within 1,000 feet to file a formal request for a public hearing. Please understand that even if there is no formal request for a public hearing, the process is not complete on the closing date.
3. **ORDER:** After the closing date, the file will be reviewed by the zoning or deputy zoning commissioner. He may: (a) grant the requested relief; (b) deny the requested relief; or (c) order that the matter be set in for a public hearing. You will receive written notification (typically within 7 to 10 days of the closing date) as to whether the petition has been granted, denied, or will go to public hearing. The order will be mailed to you by First Class mail.
4. **POSSIBLE PUBLIC HEARING AND REPOSTING:** In cases that must go to a public hearing (whether due to a neighbor's formal request or by order of the zoning or deputy zoning commissioner), notification will be forwarded to you. The sign on the property must be changed giving notice of the hearing date, time and location. As when the sign was originally posted, certification of this change and a photograph of the altered sign must be forwarded to this office.

(Detach Along Dotted Line)

Petitioner: This Part of the Form is for the Sign Poster Only

USE THE ADMINISTRATIVE VARIANCE SIGN FORMAT

Case Number 00- 149 -A Address 13126 Long Green Pike
Petitioner's Name Marc J. Loundas Telephone (410) 592-6211
Posting Date: 10/24/99 Closing Date: 11/8/99
Wording for Sign: To Permit a 25' high maximum height accessory structure
in the side yard in lieu of the 15' maximum height and
required rear yard, respectively.

BALTIMORE COUNTY DEPARTMENT OF PERMITS AND DEVELOPMENT MANAGEMENT
ZONING REVIEW

APPROVED SIGN POSTERS

Stacy Gardner
Shannon-Baum Signs, Inc.
105 Competitive Goals Drive
Eldersburg, MD 21784

Telephone: 410-781-4000
Toll Free: 800-368-2295
Fax: 410-781-4673

Richard Hoffman
904 Dellwood Drive
Fallston, MD 21047

Telephone: 410-879-3122

Garland E. Moore
3225 Ryerson Circle
Baltimore, MD 21227

Telephone: 410-242-4263
Mobile: 410-382-4470

Tom Ogle
325 Nicholson Road
Baltimore, MD 21221

Telephone: 410-687-8405
Mobile: 410-262-8163
Fax: 410-687-4381

Patrick M. O'Keefe, Sr.
523 Penny Lane
Hunt Valley, MD 21030

Telephone: 410-666-5366
Cell: 410-905-8571
Fax: 410-628-2574
410-882-2469

Linda M. Jones
Daft-McCune-Walker, Inc.
200 East Pennsylvania Avenue
Towson, MD 21286

Telephone: 410-296-3333
Fax: 410-296-4705

THE PETITIONER MUST USE ONE OF THE SIGN POSTERS ON THIS APPROVAL LIST. ANY REPOSTING MUST ALSO BE DONE BY ONE OF THESE APPROVED POSTERS. IF YOU WISH TO SELECT A POSTER NOT SHOWN ON THE LIST ABOVE, PRIOR APPROVAL BY THE DEPARTMENT OF PERMITS AND DEVELOPMENT MANAGEMENT/ZONING REVIEW IS REQUIRED.

THIS DEPARTMENT IS NOT ASSOCIATED WITH ANY OF THE ABOVE POSTERS, NOR DO WE RECOMMEND ANY SPECIFIC ONE. WE DO SUGGEST THAT YOU CONTACT A NUMBER OF THEM TO COMPARE PRICES SINCE THEIR CHARGES MAY VARY.

WCR - Revised 5/18/99

To: Paul Botzler
Fax: (410) 592-3189
2 sheets



Baltimore County
Department of Permits and
Development Management

Development Processing
County Office Building
111 West Chesapeake Avenue
Towson, Maryland 21204
pdmlandacq@co.ba.md.us

December 9, 1999

Mr. Paul Botzler, P.E.
P. O. Box 226
Glen Arm, Maryland 21057

Dear Mr. Botzler:

RE: Case Number 00-149-A , 13126 Long Green Pike

The above referenced petition was accepted for processing by the Bureau of Zoning Review, Department of Permits and Development Management (PDM) on 10/24/99.

The Zoning Advisory Committee (ZAC), which consists of representatives from several Baltimore County approval agencies, has reviewed the plans that were submitted with your petition. All comments submitted thus far from the members of the ZAC are attached. These comments are not intended to indicate the appropriateness of the zoning action requested, but to ensure that all parties (zoning commissioner, attorney, petitioner, etc.) are made aware of plans or problems with regard to the proposed improvements that may have a bearing on this case. All comments will be placed in the permanent case file.

If you need further information or have any questions, please do not hesitate to contact the commenting agency.

Sincerely,

A handwritten signature in black ink that reads "W. Carl Richards, Jr." followed by a stylized flourish.

W. Carl Richards, Jr.
Zoning Supervisor
Zoning Review

WCR:rsj

Enclosures

c: Marc & Margaret Loundas





Baltimore County
Fire Department

Office of the Fire Marshal
700 East Joppa Road
Towson, Maryland 21286-5500
410-887-4880

November 29, 1999

RECEIVED JAN 05 2000

Department of Permits and
Development Management (PDM)
County Office Building, Room 111
Mail Stop #1105
111 West Chesapeake Avenue
Towson, Maryland 21204

ATTENTION: Gwen Stephens

RE: Property Owner: SEE BELOW

Location: DISTRIBUTION MEETING OF OCTOBER 25, 1999

Item No.: See Below

Dear Ms. Stephens:

Pursuant to your request, the referenced property has been surveyed by this Bureau and the comments below are applicable and required to be corrected or incorporated into the final plans for the property.

8. The Fire Marshal's Office has no comments at this time,
IN REFERENCE TO THE FOLLOWING ITEM NUMBERS:

130, 131, 133, 134, 135, 137, 140, 142, 143, 144, 148,
149, 150, 151, 152,

REVIEWER: LIEUTENANT HERB TAYLOR, Fire Marshal's Office
PHONE 887-4881, MS-1102F

cc: File



BALTIMORE COUNTY, MARYLAND

INTEROFFICE CORRESPONDENCE

TO: Arnold Jablon, Director
Department of Permits & Development
Management

Date: November 4, 1999

FROM: *RWB* Robert W. Bowling, Supervisor
Bureau of Development Plans Review

SUBJECT: Zoning Advisory Committee Meeting
for November 1, 1999
Item Nos. 130, 131, 132, 133, 134,
135, 136, 137, 138, 140, 141, 142,
144, 145, 146, 148, 149, 150, 152,
153, and 154

The Bureau of Development Plans Review has reviewed the subject zoning items, and we have no comments.

RWB:HJO:jrb

cc: File

BALTIMORE COUNTY, MARYLAND
DEPARTMENT OF ENVIRONMENTAL PROTECTION & RESOURCE MANAGEMENT

TO: Arnold Jablon

FROM: R. Bruce Seeley *RB*

DATE: November 5, 1999

SUBJECT: Zoning Item #149
13126 Long Green Pike

Zoning Advisory Committee Meeting of October 25, 1999

- _____ The Department of Environmental Protection and Resource Management has no comments on the above-referenced zoning item.
- _____ The Department of Environmental Protection and Resource Management requests an extension for the review of the above-referenced zoning item to determine the extent to which environmental regulations apply to the site.
- X The Department of Environmental Protection and Resource Management offers the following comments on the above-referenced zoning item:
- X This property is located in an Agricultural Preservation Area with active agricultural uses. The proposed structure exceeds the size of the garage and should therefore, be subject to a minimum 35' setback to the adjacent farm. A reduced setback of 15' would increase the potential for conflict with adjacent agricultural uses. The owner should find another location within the 2 acres that is suitable and meets at 35' setback requirement. Consequently, denial of this petition is recommended.

*Hearing Requested
per POB. 11/9/99*

BALTIMORE COUNTY, MARYLAND

12/14

INTER-OFFICE CORRESPONDENCE

TO: Arnold Jablon, Director
Department of Permits
and Development Management

Date: November 2, 1999

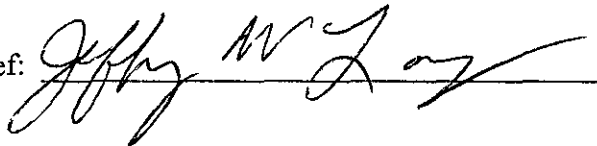
FROM: Arnold F. 'Pat' Keller, III, Director
Office of Planning

SUBJECT: Zoning Advisory Petitions

The Office of Planning has no comment on the following petition(s):
Item No(s): 144 and 149

If there should be any questions or this office can provide additional information, please
contact Jeffrey Long in the Office of Planning at 410-887-3480.

Section Chief:



AFK/JL



Maryland Department of Transportation
State Highway Administration

Parris N. Glendening
Governor

John D. Porcari
Secretary

Parker F. Williams
Administrator

Date: 8-25-99

Ms. Gwen Stephens
Baltimore County Office of
Permits and Development Management
County Office Building, Room 109
Towson, Maryland 21204

RE: Baltimore County
Item No. 149 MJK

Dear Ms Stephens:

This office has reviewed the referenced item and we have no objection to approval as it does not access a State roadway and is not affected by any State Highway Administration projects.

Should you have any questions regarding this matter, please contact Larry Gredlein at 410-545-5606 or by E-mail at (lgredlein@sha.state.md.us).

Very truly yours,

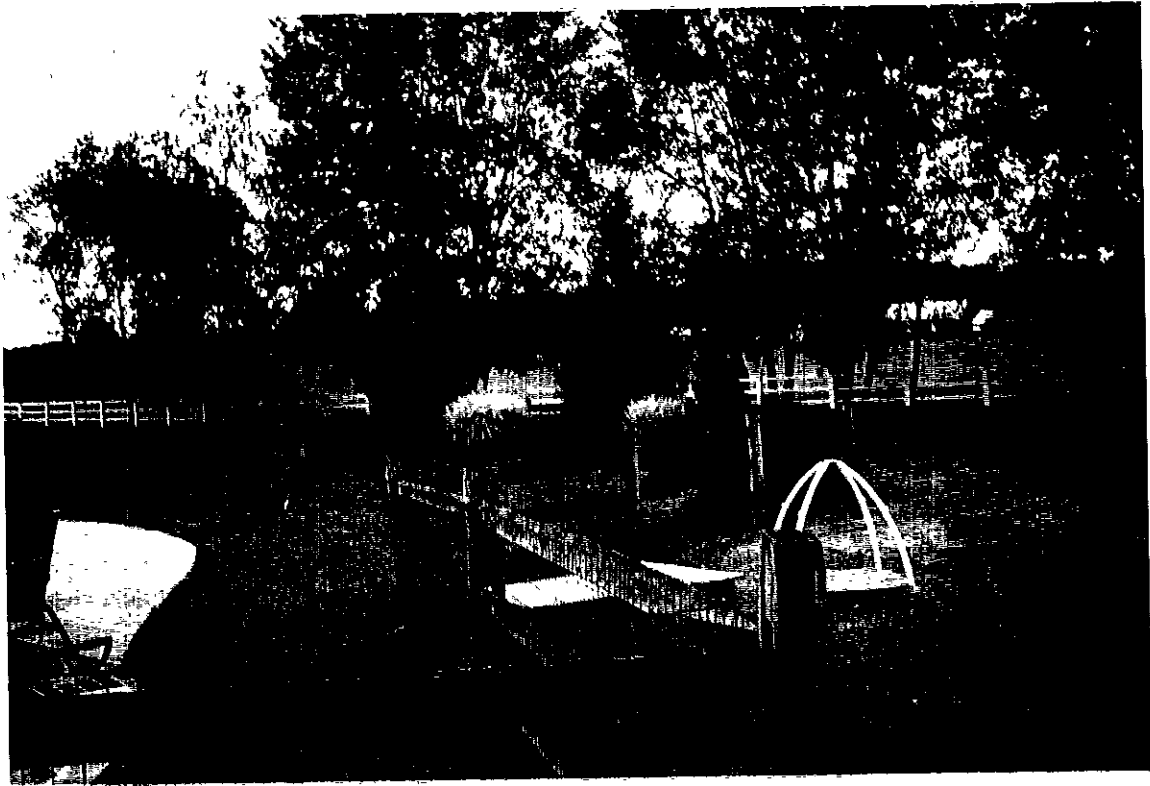
to Kenneth A. McDonald Jr., Chief
Engineering Access Permits Division

My telephone number is _____

Maryland Relay Service for Impaired Hearing or Speech
1-800-735-2258 Statewide Toll Free

Mailing Address: P.O. Box 717 • Baltimore, MD 21203-0717
Street Address: 707 North Calvert Street • Baltimore, Maryland 21202

00-149-A



BALTIMORE COUNTY, MARYLAND

INTER-OFFICE CORRESPONDENCE

TO: Arnold Jablon, Director
Department of Permits
and Development Management

Date: October 7, 1999

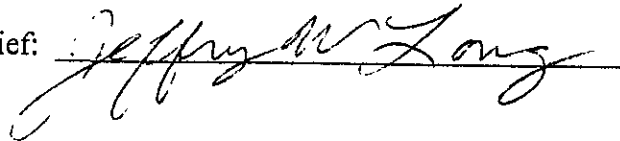
FROM: Arnold F. 'Pat' Keller, III, Director
Office of Planning

SUBJECT: Zoning Advisory Petitions

The Office of Planning has no comment on the following petition(s):
Item No(s): 102, 106, and 115

If there should be any questions or this office can provide additional information, please contact Jeffrey Long in the Office of Planning at 410-887-3480.

Section Chief:

A handwritten signature in cursive script, reading "Jeffrey M. Long", written over a horizontal line.

AFK/JL

00-149-A



BALTIMORE COUNTY, MARYLAND

INTER-OFFICE CORRESPONDENCE

TO: Arnold Jablon, Director
Department of Permits and
Development Management

DATE: October 8, 1999

FROM: Arnold F. 'Pat' Keller, III, Director
Office of Planning

SUBJECT: 3749 Proctor Lane

INFORMATION:

Item Number: 104

Petitioner: Gardner Property

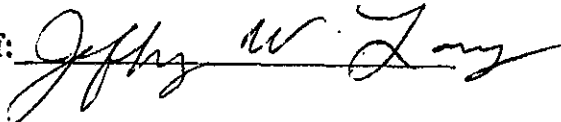
Zoning: DR 3.5

Requested Action: Administrative Variance

SUMMARY OF RECOMMENDATIONS:

The subject request will directly impact the residence located at 3751 Proctor Lane; therefore, the applicants should be required to demonstrate that the residents of the above-mentioned property have been notified of the plan to erect a 6-foot fence.

Section Chief:



AFK/JL

00-149-A



BALTIMORE COUNTY, MARYLAND

INTER-OFFICE CORRESPONDENCE

TO: Arnold Jablon, Director
Department of Permits
and Development Management

Date: October 8, 1999

FROM: Arnold F. 'Pat' Keller, III, Director
Office of Planning

SUBJECT: Zoning Advisory Petitions

The Office of Planning has no comment on the following petition(s):
Item No(s): 108, 113, 114, 117, 123, 124, and 129

If there should be any questions or this office can provide additional information, please contact Jeffrey Long in the Office of Planning at 410-887-3480.

Section Chief:

A handwritten signature in cursive script, appearing to read "Jeffrey Long", is written over a horizontal line.

AFK/JL

Plat to accompany Petition for Zoning Administrative Variance

PROPERTY ADDRESS: 13126 Long Green Pike

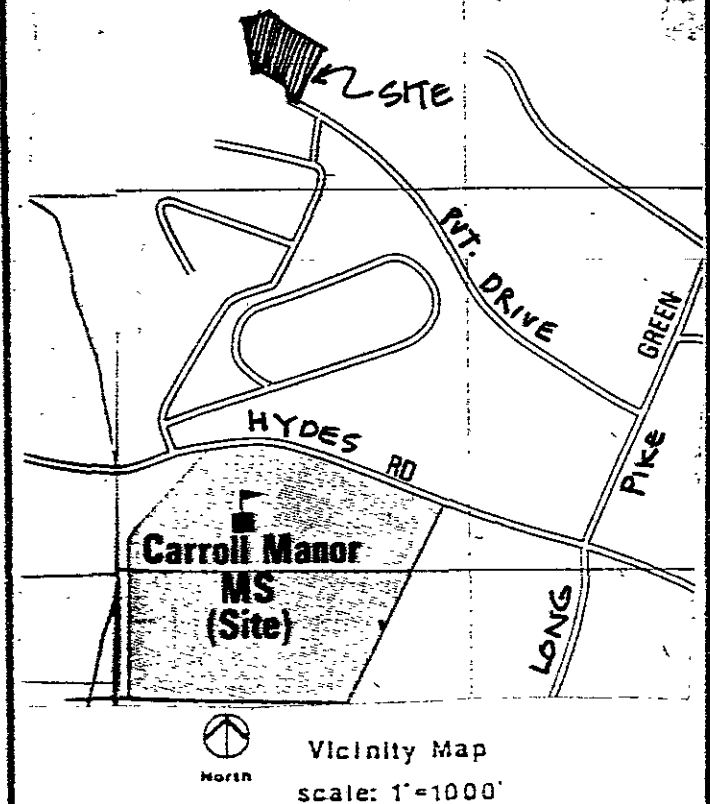
Subdivision name: n/a

plat book# _____, folio# _____, lot# _____, section# _____

OWNER: Marc J. and Margaret R. Loundas

JOHN C. UNITAS 5687 PATTERSON RD
7560/1062 11-2000014897

(AGRICULTURAL)



LOCATION INFORMATION

Election District: 11

Councilmanic District: 6

1"=200' scale map#: 18G

Zoning: RC-2

Lot size: 2.0 acreage 87,120. square feet

	public	private
SEWER:	☐	☒
WATER:	☐	☒
Chesapeake Bay Critical Area:	☐	☒

Prior Zoning Hearings: n/a

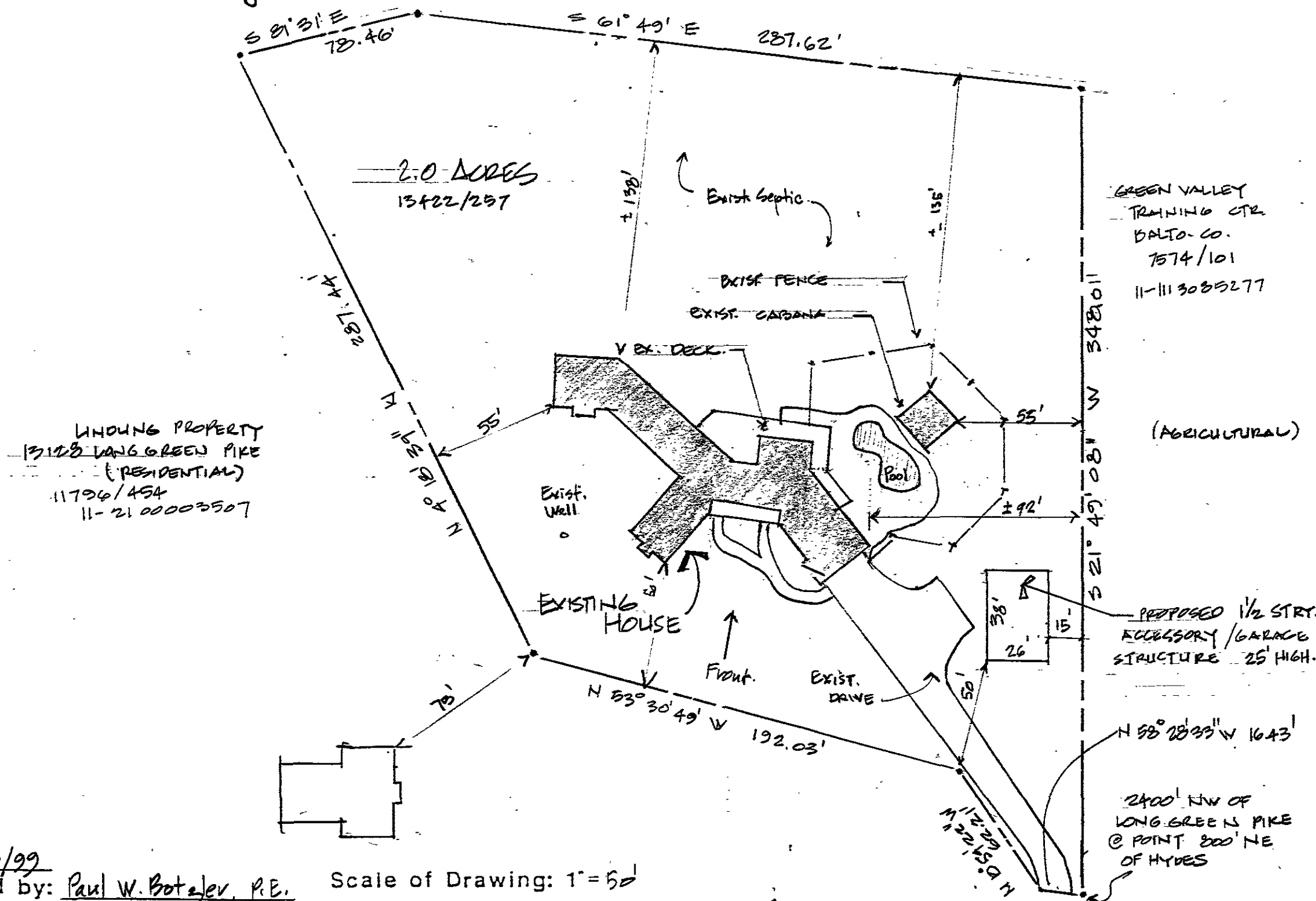
Zoning Office USE ONLY!

reviewed by: _____ ITEM #: _____ CASE#: _____

WPK

149

00-149-A



North

date: 9/9/99

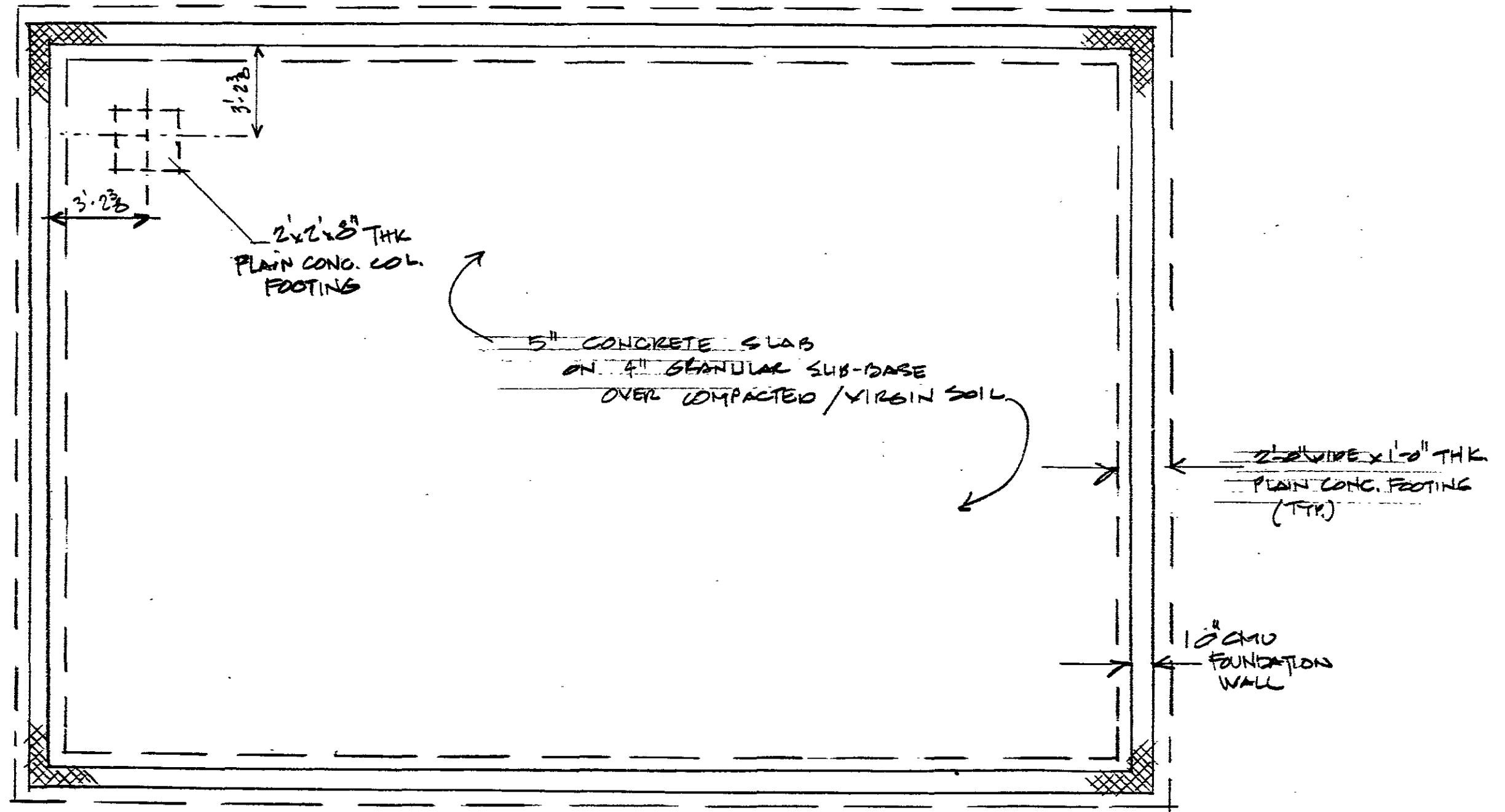
prepared by: Paul W. Botzler, P.E.

Scale of Drawing: 1"=50'

GARAGE/ACCESSORY BUILDING
MARC J. LOUNDAS RESIDENCE
13126 LONG GREEN PIKE 21082

TAMTECH SERVICES, INC.
PAUL W. BOTZLER, P.E.
P. O. BOX 226 GLEN ARM, MD 21057

FOUNDATION PLAN $\frac{1}{4}'' = 1'-0''$



A-1

TAMTECH SERVICES, INC.
PAUL W. BOTZLER, P.E.
P. O. BOX 226 GLEN ARM, MD 21057

[illegible]

A-2

TAMTECH SERVICES, INC.
PAUL W. BOTZLER, P.E.
P. O. BOX 226 GLEN ARM, MD 21057

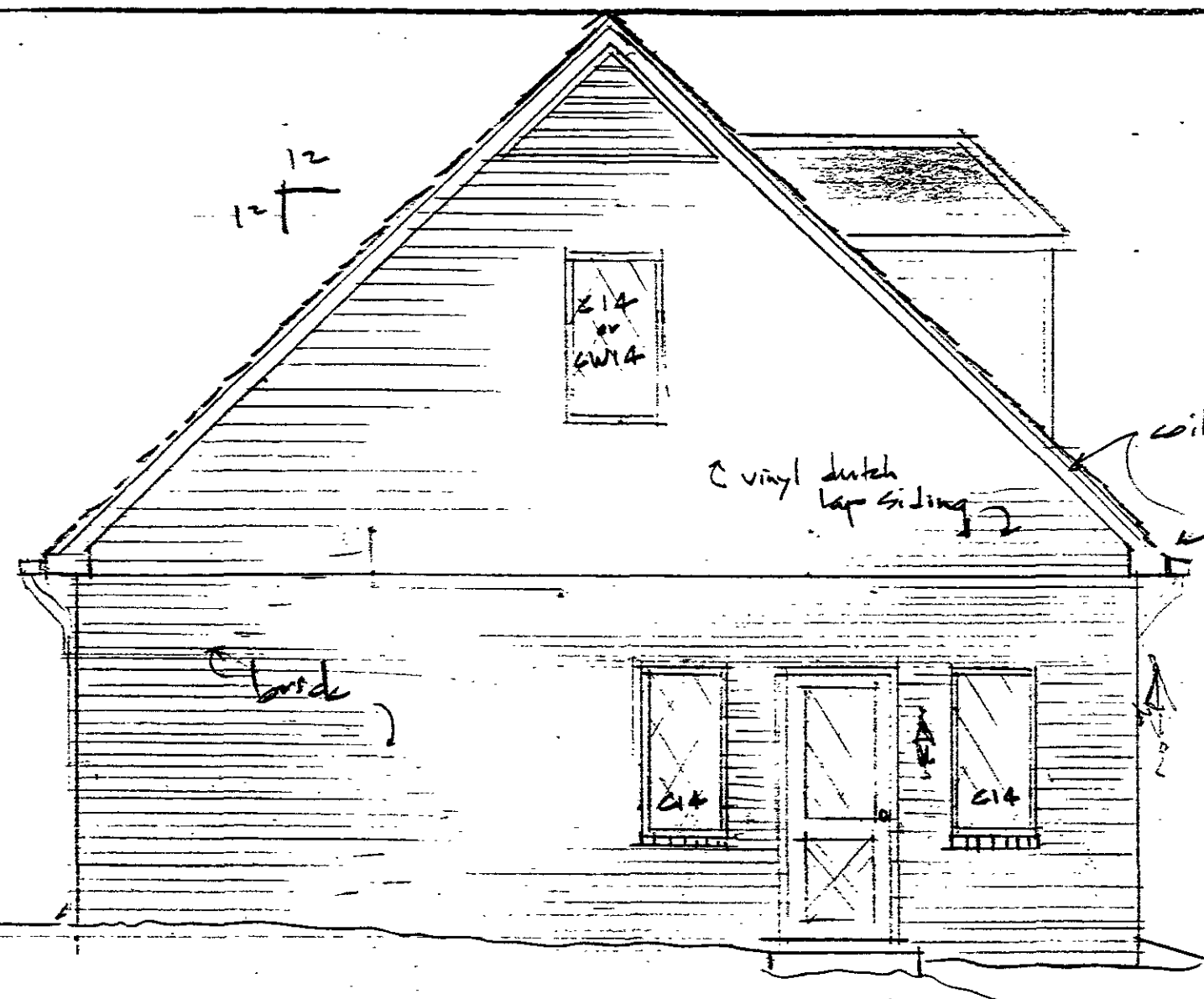
Hand-drawn floor plan of a room with various annotations and dimensions:

- Top Left:** A door is labeled "DN" with an arrow pointing left.
- Top Center:** An arrow points to the top wall with the label "leave space".
- Top Right:** An arrow points to the top wall with the label "frame knee wall 5' high".
- Center:** An arrow points to the central area with the label "former level future studio". Below this, a bracket indicates "(3/4\" T&G plywood floor)".
- Bottom Left:** An arrow points to the bottom wall with the label "frame gable end walls".
- Bottom Center:** Two rectangular areas are labeled "lave".
- Right Side:** A vertical dimension line is labeled "AP32" and "CN14".
- Bottom Right:** A vertical dimension line is labeled "CN24" and "or CN235".
- Left Side:** A vertical dimension line is labeled "CN14" and "AP32".

A-Z

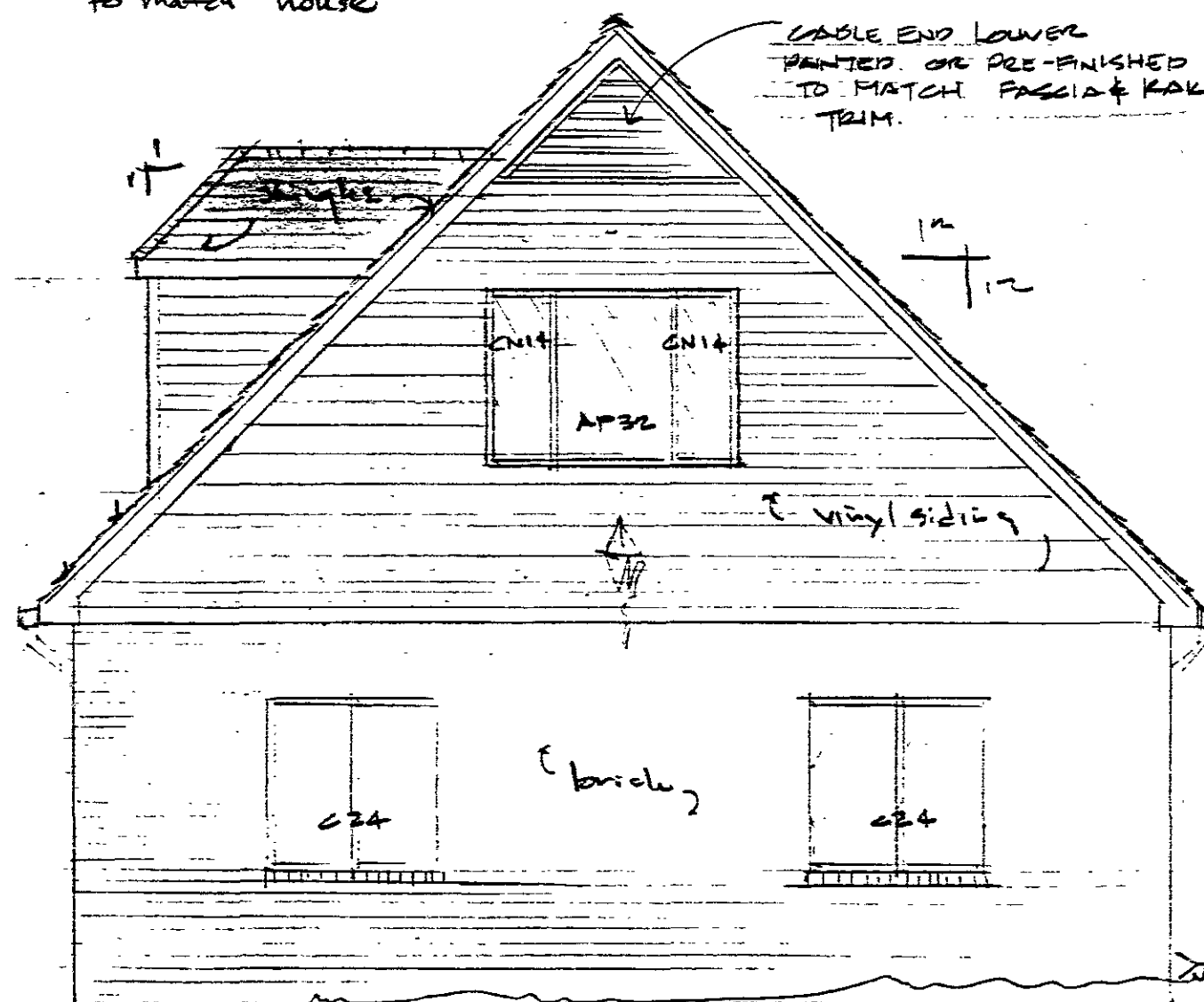
GARAGE/ACCESSORY BUILDING
MARC J. LOUNDAS RESIDENCE
13126 LONG GREEN PIKE 21082

TAMTECH SERVICES, INC.
PAUL W. BOTZLER, P.E.
P. O. BOX 226 GLEN ARM, MD 21057



NORTH END ELEVATION

1/4"



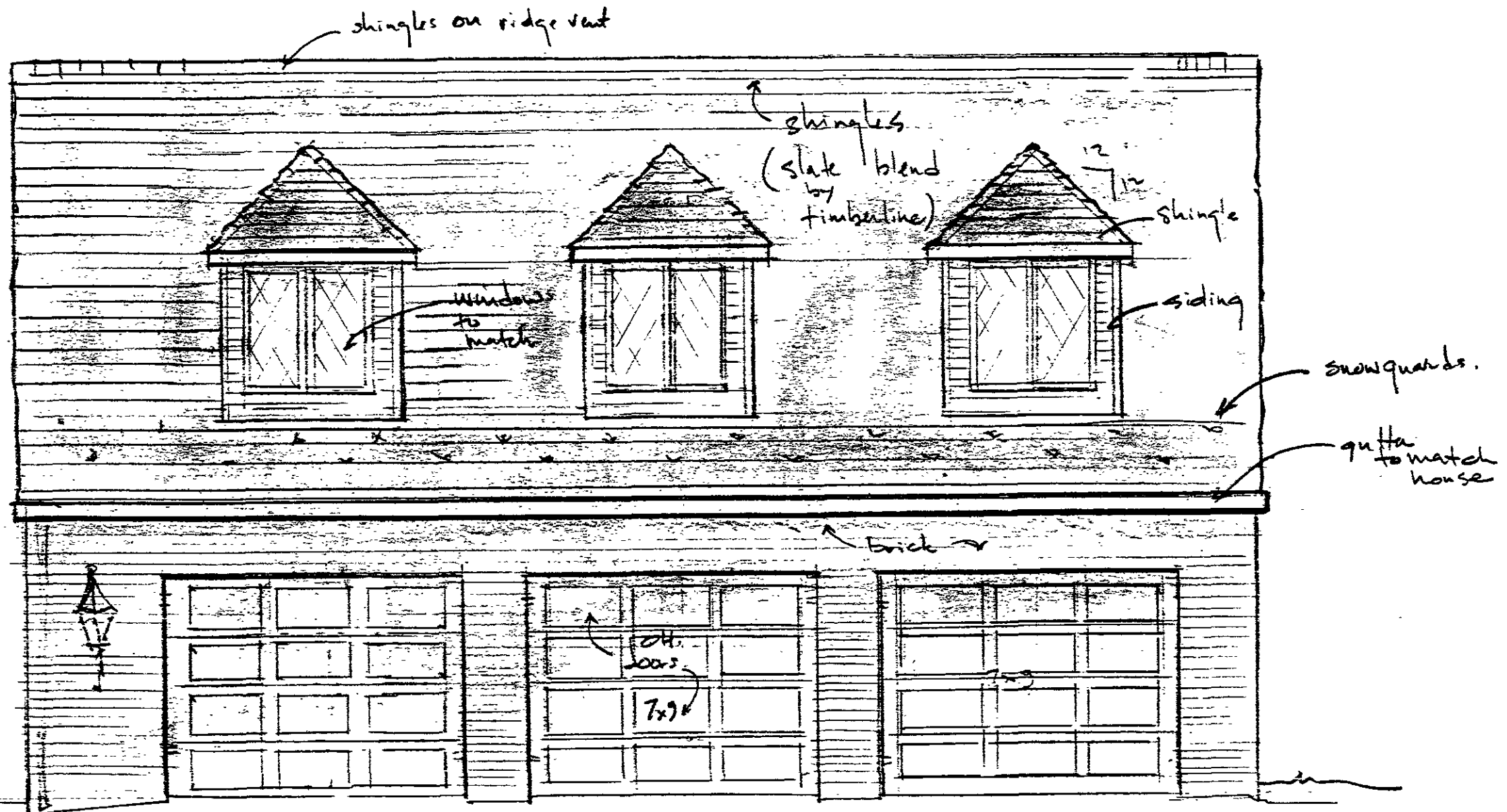
SOUTH END ELEVATION

1/4"

A-4

GARAGE/ACCESSORY BUILDING
MARC J. LOUNDAS RESIDENCE
13126 LONG GREEN PIKE 21082

TAMTECH SERVICES, INC.
PAUL W. BOTZLER, P.E.
P. O. BOX 226 GLEN ARM, MD 21057



FRONT ELEVATION

$\frac{1}{4}'' = 1'-0''$

A-5

TAMTECH SERVICES, INC.
PAUL W. BOTZLER, P.E.
P. O. BOX 226 GLEN ARM, MD 21057

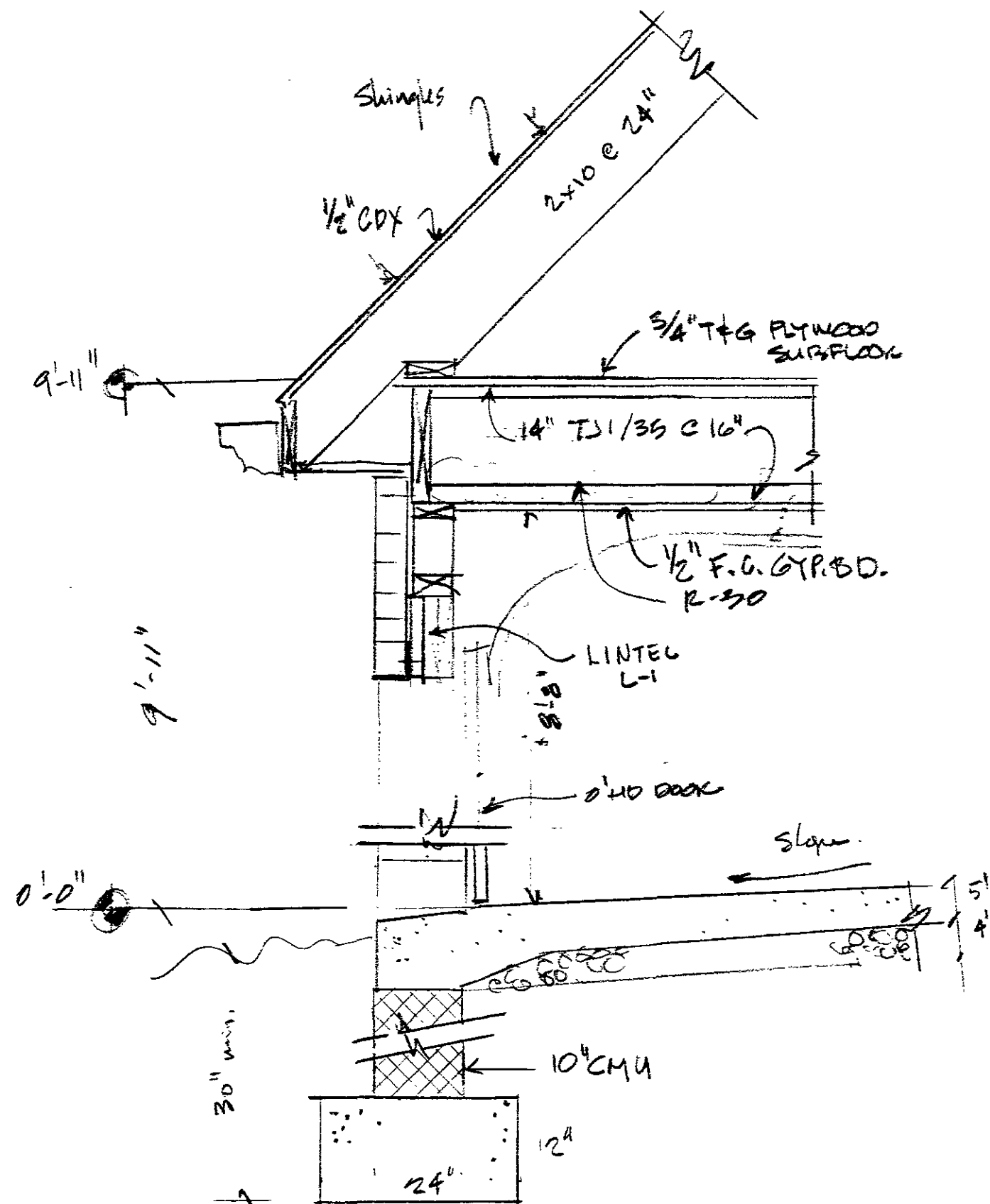
The drawing shows a rectangular room with overall dimensions of 9'-0" by 10'-8". Key features include:

- Stair Hole:** Located in the top-left corner, measuring 36" x 36".
- Reinforcement:**
 - (23) 14" T₁/35 @ 16"
 - (6)
 - DBL
 - L1
 - Lintel (1) 13/4" x 9 1/2" LVL w/ 3x3x1/4" X
 - 3/8" @ 16"
- Dimensions:**
 - Overall width: 9'-0"
 - Overall height: 10'-8"
 - Stair hole offset from left wall: 36"
 - Stair hole offset from top wall: 36"
 - Distance from stair hole to right wall: 5'-6" min
- Notes:**
 - STAIR DETAIL
 - 3" Lolly Column

A-6

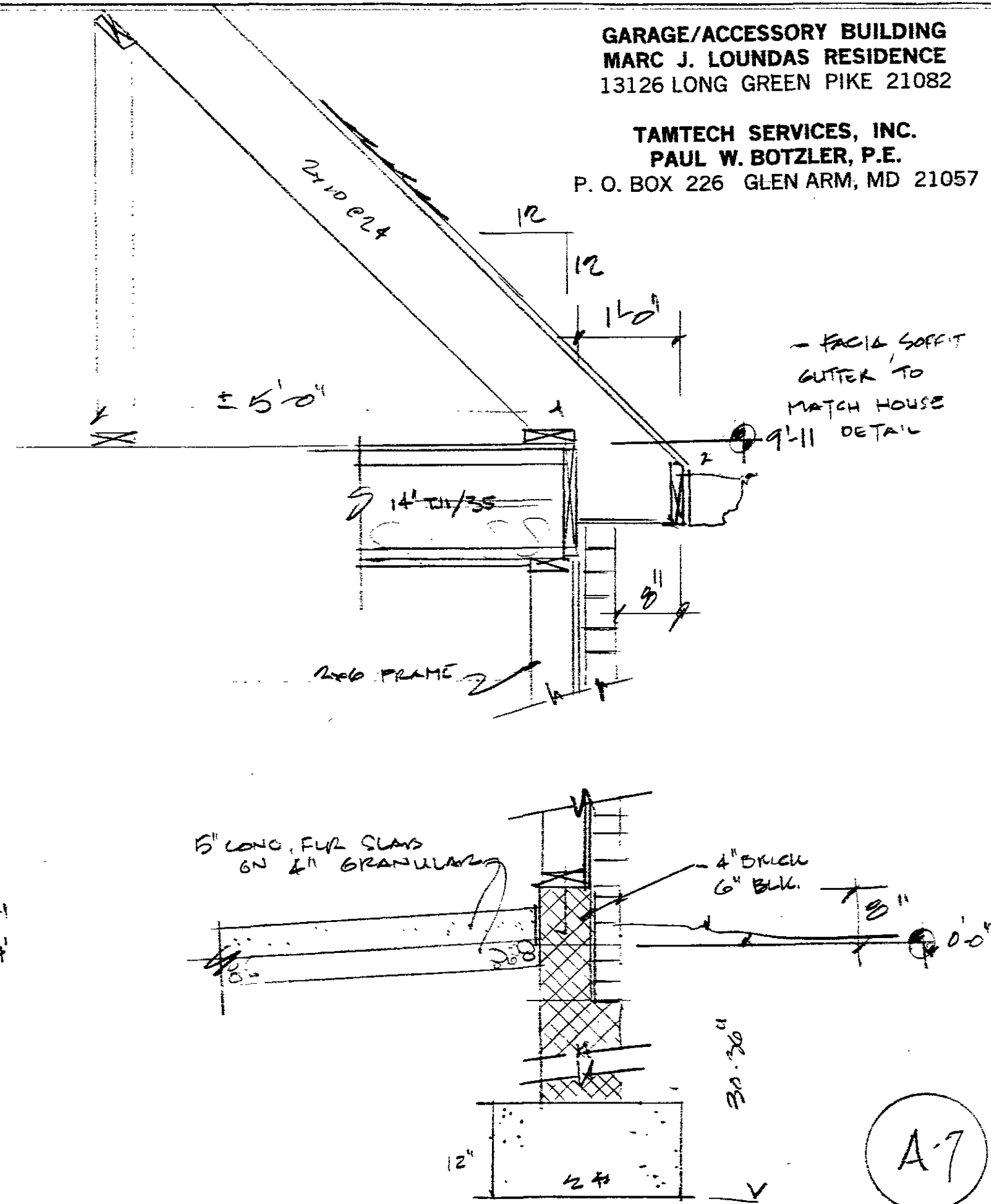
CROSS-SECTION

3/4" = 1'-0"



GARAGE/ACCESSORY BUILDING
MARC J. LOUNDAS RESIDENCE
13126 LONG GREEN PIKE 21082

TAMTECH SERVICES, INC.
PAUL W. BOTZLER, P.E.
P. O. BOX 226 GLEN ARM, MD 21057



A-7

SPECIFICATIONS

DESIGN LIVE LOADS

ROOF (snow)	30 psf
FLOOR (garage)	50 psf or 2 KIP conc.
(upper floor)	50 psf
STRUCTURE (wind)	15 psf (70 mph)

FOUNDATIONS

The footings have been designed for a minimum bearing capacity of 2000 psf provided at the founded depth by original undisturbed soil. If these conditions do not exist, notify the Architect/Engineer for corrections.

All the exterior (exposed) wall footings shall be founded 2'-6" (min.) below final exterior grade.

Footing reinforcing is to be continuous and/or lapped 30 bar diameters, and placed in accordance with the plans.

Backfill under the slab on grade shall be compacted to a dry density of 95% as determined by AASHTO T-180.

Provide adequate shoring only for foundation and/or retaining walls. Backfill cautiously only after bracing/floor decks are in place.

CONCRETE

All concrete work shall conform to the provisions of the "Specification for Structural Concrete for Buildings" (ACI-301-85) and to the "Building Code Requirements for Reinforced Concrete" (ACI-318-89). As Applicable, the work should also conform to:

- ACI 305-82 "Recommended Practice for Hot Weather Concreting"
- ACI 306-83 "Recommended Practice for Cold Weather Concreting"
- ACI 347-68 "Recommended Practice for Concrete Formwork"

All concrete shall be stone aggregate type of design compressive strength of 3000 PSI at 28 days, unless otherwise noted. Concrete exposed to weather shall have air entrainment of +5%. No other admixtures shall be used without approval.

All concrete specified for use as fill for masonry walls shall be a pea gravel aggregate mix of 3000 PSI design strength. Grout, when specified, shall conform to ASTM C-476.

MASONRY

All exterior walls, and all walls supporting loads, shall be constructed of load bearing concrete masonry units, conforming to ASTM C-90, TYPE N-1.

All C.M.U. bearing wall to be laid with type "S" mortar.

Mortar for non-bearing brick veneer work to be type N or S, colored as required to meet architectural design intent.

Masonry walls shall be reinforced with bed joint reinforcing by "DUR-O-WAL", or equal, at 16" vertical.

All masonry materials and installation shall conform to the standards and recommendations of the NCMA.

REINFORCING STEEL

Reinforcing bars shall be deformed billet steel conforming to ASTM A-615. Bars to be Grade 40, unless otherwise indicated, sized as shown, and handled, placed, and tied in accordance with ACI "Manual of Standard Practice for Detailing Reinforced Concrete Structures".

All welded wire fabric (WWM), when specified, shall conform to ASTM A-185, and to be 6"x6"-10/10 unless otherwise noted. Fabric to be placed mid-slab, or 2" from surface of slab, whichever is less.

**GARAGE/ACCESSORY BUILDING
MARC J. LOUNDAS RESIDENCE
13126 LONG GREEN PIKE 21082**

**TAMTECH SERVICES, INC.
PAUL W. BOTZLER, P.E.
P. O. BOX 226 GLEN ARM, MD 21057**

A-8

STRUCTURAL AND MISCELLANEOUS STEEL

All structural and miscellaneous steel shall conform to the latest edition of AISC "Code of Standard Practice for Steel Buildings and Bridges", and shall conform to ASTM A-36.

Bolts shall be sized as shown and conform to ASTM A-325N. Anchor bolts shall meet ASTM A-307. Structural welding shall be done by AWS certified technicians, using E-70XX electrodes, in conformance with AWS "Standard Code for ARC and GAS welding in Building Construction".

Structural Steel pipes shall conform to ASTM A-501.

All structural steel surfaces shall be shop cleaned and prepared in accordance with SSPC-SP3, and painted with accordance with the manufacturer's recommendations.

No cutting, drilling, or openings, other than those indicated are permitted on steel components, without approval from the Engineer.

Steel beams supporting roof/floor joist systems shall have a 2x wood bearing plate bolted to the top flange by 3/8" diameter steel bolts at 24", staggered.

WOOD FRAMING

All wood construction to conform to the "Code of Standard Practice", AITC 106-77.

Lumber for bearing wall rafters, and joists to be HEM-FIR NO. 2 or SPF NO.2 or better at 19% max. moisture content. Pressure Treated wood, when indicated, shall be CCA-60. Micro-laminated Lumber shall be sized as shown, and meet or exceed $F_b=2800$ PSI, $F_v=285$ PSI, and $E=2.0 \times 10^6$ PSI.

Provide steel connectors by TECO or SIMPSON and manufacturer's fasteners to secure all trusses, headed joists or rafters, and beam-column connections. Nailing shall meet or exceed the schedule of the BOCA Basic Building Code.

Pre-drill for all screws, bolts, and nails greater than 16d. Bolts to be fitted with flat washers at contact surfaces.

Plywood shall be of the thickness shown, made with exterior glue of pine/fir species. Plywood conform to the APA standards for design and construction, and shall bear the stamp of APA for the appropriate grade and span of the application.

INSPECTIONS

Inspections of materials, components fabrications field installations, soil conditions or other as may be required by BOCA or County Code is not provided by the undersigned. The Owner will be responsible for retaining all appropriate and/or required professionals for any field inspection for progress, compliance or quality control.

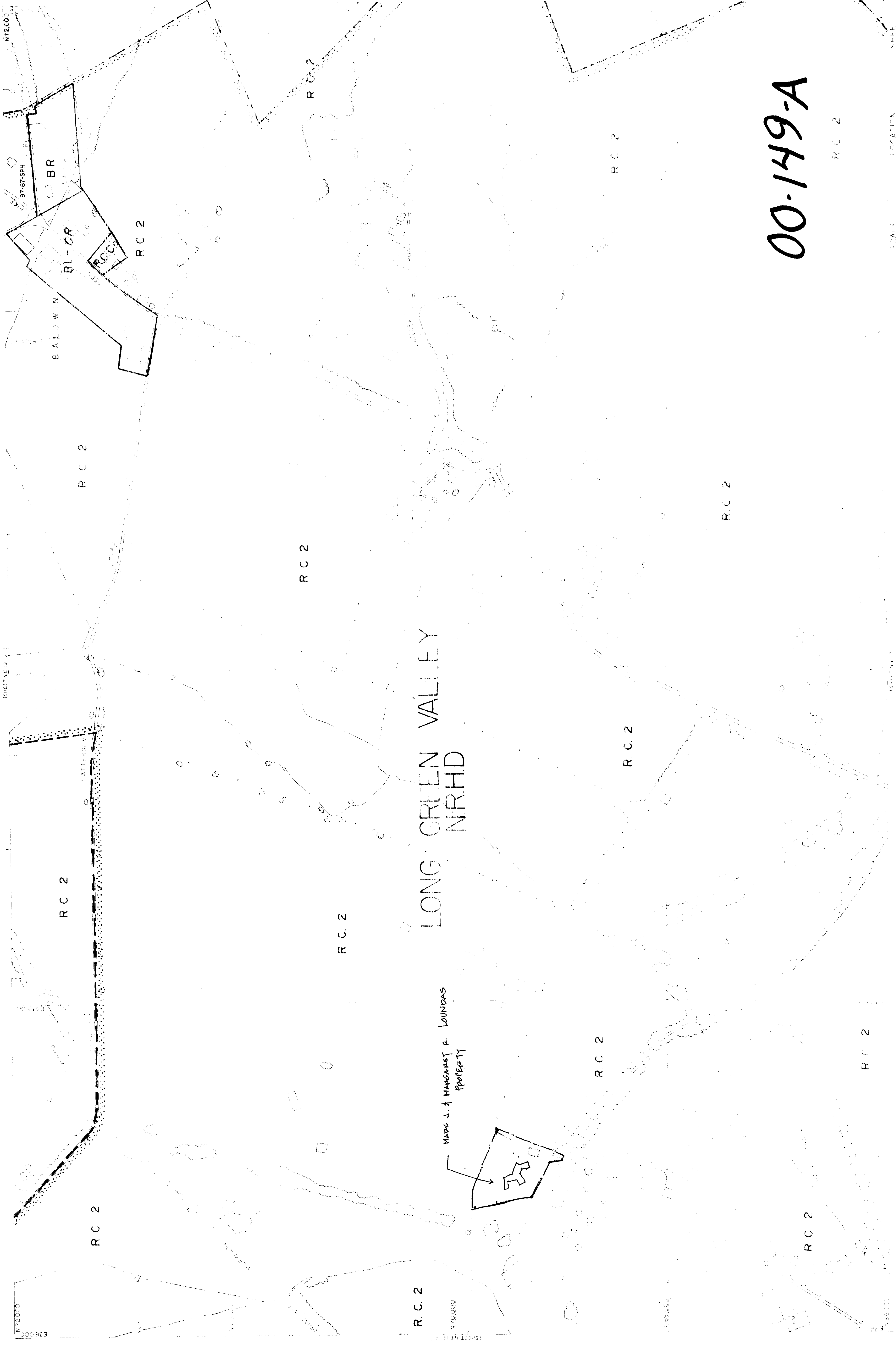
CHANGES

Changes of any kind which will effect the length, tributary area, loading pattern, support location of any structural member; and field cutting, notching, drilling of structural components are not permitted without written approval by the design engineer.

**GARAGE/ACCESSORY BUILDING
MARC J. LOUNDAS RESIDENCE
13126 LONG GREEN PIKE 21082**

**TAMTECH SERVICES, INC.
PAUL W. BOTZLER, P.E.
P. O. BOX 226 GLEN ARM, MD 21057**

A-9



BALTIMORE COUNTY
OFFICE OF PLANNING AND ZONING
OFFICIAL ZONING MAP

00-149-A

SCALE	LOCATION	DATE	BR
		OF	
		PHOTOGRAPHY	
		ANALYST	
		1984	

UU-SW
UU-NW

THIS MAP HAS BEEN REVISED TO REFLECT THE
CHANGES TO THE ZONING MAP
BY BUCHART HORN, INC. BALTIMORE, MD. 21201

