

IN RE: PETITION FOR VARIANCE
E/S Silver Lane, 1300' E of the c/l
Cedar Creek Road
(2011 Silver Lane)
15th Election District
5th Councilmanic District

Charles Schaller, et ux
Petitioners

* BEFORE THE
* ZONING COMMISSIONER
* OF BALTIMORE COUNTY
* Case No. 00-208-A
*

* * * * *

FINDINGS OF FACT AND CONCLUSIONS OF LAW

This matter comes before the Zoning Commissioner for consideration of a Petition for Variance filed by the owners of the subject property, Charles and Audrey Schaller. The Petitioners seek relief from Section 1A04.3.B.2 of the Baltimore County Zoning Regulations (B.C.Z.R.) to permit side yard setbacks of 10 feet and 10.5 feet in lieu of the required 50 feet each and to permit a front yard setback to the centerline of the street of 51 feet in lieu of the required 75 feet; and, to approve the subject property as an undersized lot, pursuant to Section 304 of the B.C.Z.R. The subject property and relief sought are more particularly described on the site plan submitted which was accepted into evidence and marked as Petitioner's Exhibit 1.

Appearing at the requisite public hearing held in support of this request was Raymond James, the Petitioners' son-in-law. Also present were Leroy Sennett, a community activist, and Catherine Travis, who resides on the adjacent property at 2019 Silver Lane. There were no Protestants or other interested persons present.

Testimony and evidence presented revealed that the subject property consists of two lots, known as Lots 512 and 513 of the subdivision known as Cedar Beach, an older waterfront community located not far from Sue Creek in Essex. Each lot is 50 feet wide along Silver Lane, but tapers to a narrow dimension in the rear. Lot 512 is 40.3 feet wide along the rear property line, and Lot 513 is only 29 feet wide along its rear property line. The lots contain a combined gross area of .275 acres, more or less, zoned R.C.5, and are presently unimproved. Testimony indicated

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Date

By

that Mr. & Mrs. Schaller have owned the property for many years, since approximately 1942. Mr. James testified that he proposes to construct a modular home, 60 feet wide by 27.5 feet deep in dimension, on the property. He indicated that Mr. & Mrs. Schaller, who are each elderly and over the age of 80 years, will reside in the dwelling with himself and his wife; thus, a rancher style dwelling was chosen so as to avoid the necessity of steps. Due to the proposed style of the home and its significant width, the requested variances are necessary.

Testimony was also received from Mrs. Travis who resides on the adjacent property known as 2019 Silver Lane. She actually owns three lots, specifically, Lots 514, 515, and 516. Lot 514 is located immediately adjacent to the Petitioners' property and is unimproved at this time. However, it is used as a side yard for the Travis dwelling which is located on Lot 515. Mrs. Travis acknowledged that the Schallers should be given an opportunity to build on their property. That is, she recognized their property rights and the hardship they would suffer if strict adherence to the regulations were required. Nonetheless, she believes that the relief requested is excessive. She noted that most houses in the area have larger setbacks than the 10-foot proposed herein and requested that there be a modification to the plan and/or a reorientation of the dwelling so as to provide greater side setbacks.

Mr. Sennett commented on the integrity of the zoning regulations, the age of this subdivision and the character of the neighborhood.

Upon due consideration of the testimony and evidence offered, I am persuaded that some variance relief should be granted. If no variance were granted, the Petitioners would have an unbuildable lot. At its widest point, the subject parcel is only 100 feet wide; thus, compliance with the required 50-foot side setback is impossible. Moreover, it appears that many of the houses in the neighborhood are built on double or triple lots; thus, what is proposed here is not inconsistent with the vicinity. Nonetheless, I agree with Mrs. Travis' comment that the requested relief is excessive. Although I am appreciative of Mr. James' concerns regarding his elderly in-laws, the proposed house will remain on this property long after their passing or relocation. Their

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Date

By

immediate short-term needs are not sufficient to justify the excessive variance relief that has been requested.

Based upon the testimony and evidence offered, I will grant modified variance relief to allow a dwelling to be constructed on the property. However, any such structure shall maintain a minimum setback of 20 feet on each side, and a 50-foot setback from the centerline of the street. In my judgment, an appropriately sized dwelling can be built within these guidelines. Moreover, I will require that the Petitioner submit building elevation drawings of any proposed dwelling for review and approval by the Office of Planning to insure compatibility with the surrounding neighborhood. A Zoning Advisory Committee (ZAC) comment from that agency indicated that building elevation drawings of the proposed dwelling had not been submitted for their review and approval, and they wanted the opportunity to review such drawings before the issuance of any permits. Particularly with the modification of the requested variance relief, such a restriction is appropriate and I shall so Order. Moreover, the Petitioners shall be required to comply with the ZAC comments submitted by the Department of Environmental Protection and Resource Management (DEPRM), dated December 15, 1999, relative to Chesapeake Bay Critical Areas legislation, and the Bureau of Development Plans Review, dated December 10, 1999, regarding the sewer connection for the proposed dwelling.

Pursuant to the advertisement, posting of the property and public hearing on this Petition held, and for the reasons set forth herein, a modification of the requested relief shall be granted.

THEREFORE, IT IS ORDERED by the Zoning Commissioner for Baltimore County this 7th day of January, 2000 that a variance from Section 1A04.3.B.2 of the Baltimore County Zoning Regulations (B.C.Z.R.) to permit minimum side yard setbacks of 20 feet in lieu of the required 50 feet each and a minimum front yard setback to the centerline of the street of 50 feet in lieu of the required 75 feet be and is hereby GRANTED; and,

IT IS FURTHER ORDERED that the subject property is approved as an undersized lot, pursuant to Section 304 of the B.C.Z.R., subject, however, to the following restrictions:

- 1) The Petitioners may apply for their building permit and be granted same upon receipt of this Order; however, Petitioners are hereby made aware that proceeding at this time is at their own risk until the 30-day appeal period from the date of this Order has expired. If an appeal is filed and this Order is reversed, the relief granted herein shall be rescinded.
- 2) In accordance with the Zoning Advisory Committee (ZAC) comment submitted by the Office of Planning, dated December 14, 1999, the Petitioners shall submit building elevation drawings of the proposed dwelling, incorporating the modified relief granted herein, for their review and approval, prior to the issuance of any building permits.
- 3) Compliance with the ZAC comments submitted by the Department of Environmental Protection and Resource Management (DEPRM), dated December 15, 1999, and the Bureau of Development Plans Review, dated December 10, 1999, copies of which are attached hereto and made a part hereof.
- 4) When applying for any permits, the site plan filed must reference this case and set forth and address the restrictions of this Order.


LAWRENCE E. SCHMIDT
Zoning Commissioner
for Baltimore County

LES:bjs

ORDER RECEIVED FOR FILING

Date: 1/2/00

By: [Signature]



Baltimore County
Zoning Commissioner

Suite 405, County Courts Bldg.
401 Bosley Avenue
Towson, Maryland 21204
410-887-4386
Fax: 410-887-3468

January 7, 2000

Mr. & Mrs. Charles Schaller
343 South Newkirk Street
Baltimore, Maryland 21224

RE: PETITION FOR VARIANCE
E/S Silver Lane, 1300' E of the c/l Cedar Creek Road
(2011 Silver Lane)
15th Election District – 5th Councilmanic District
Charles Schaller, et ux - Petitioners
Case No. 00-208-A

Dear Mr. & Mrs. Schaller:

Enclosed please find a copy of the decision rendered in the above-captioned matter. The Petition for Variance has been granted, in accordance with the attached Order.

In the event any party finds the decision rendered is unfavorable, any party may file an appeal to the County Board of Appeals within thirty (30) days of the date of this Order. For further information on filing an appeal, please contact the Zoning Administration and Development Management office at 887-3391.

Very truly yours,

A handwritten signature in black ink, appearing to read "Lawrence E. Schmidt".

LAWRENCE E. SCHMIDT
Zoning Commissioner
for Baltimore County

LES:bjs

cc: Mr. Raymond James
6900 Ridgeway Road, Baltimore, Md. 21222
Chesapeake Bay Critical Areas Commission
45 Calvert Street, 2nd Floor, Annapolis, Md. 21401
DEPRM; OP; People's Counsel; Case File





Petition for Variance

to the Zoning Commissioner of Baltimore County

for the property located at 2011 Silver Lane
which is presently zoned R-C-5

This Petition shall be filed with the Department of Permits and Development Management. The undersigned, legal owner(s) of the property situate in Baltimore County and which is described in the description and plat attached hereto and made a part hereof, hereby petition for a Variance from Section(s) 1A04.3.B.2 to permit side yard setbacks of 10 ft. and 10.5 ft. in lieu of the required 50 ft. and to permit a front yard setback to the center line of the street of 51 ft. in lieu of the required 75 ft. To approve an undersized lot per Section 304. of the Zoning Regulations of Baltimore County, to the zoning law of Baltimore County, for the following reasons: (indicate hardship or practical difficulty)

To be presented at the hearing

Property is to be posted and advertised as prescribed by the zoning regulations.

I, or we, agree to pay expenses of above Variance, advertising, posting, etc. and further agree to and are to be bounded by the zoning regulations and restrictions of Baltimore County adopted pursuant to the zoning law for Baltimore County.

I/We do solemnly declare and affirm, under the penalties of perjury, that I/we are the legal owner(s) of the property which is the subject of this Petition.

Contract Purchaser/Lessee:

Name - Type or Print

Signature

Address Telephone No.

City State Zip Code

Attorney For Petitioner:

Name - Type or Print

Signature

Company

Address Telephone No.

City State Zip Code

Case No. 00-208-A

REV 9/15/98

Legal Owner(s):

CHARLES SCHALLER

Name - Type or Print

* Charles Schaller

Signature

Audrey Schaller

Name - Type or Print

* Audrey Schaller

Signature

343 So NEWKirk Street

Address

Telephone No.

Baltimore, MD 21224 410-276-2821

City

State

Zip Code

Representative to be Contacted:

Raymond James

Name

6900 Ridgeway Road 410 day & eve. 282-8688

Address

Telephone No.

Baltimore, MD 21224

City

State

Zip Code

OFFICE USE ONLY

ESTIMATED LENGTH OF HEARING

UNAVAILABLE FOR HEARING

Reviewed By AR Date 11/13/99

ORDER RECEIVED FOR FILING

Date

By

Zoning Description

Zoning Description For 2011 Silver Lane

Beginning at a point on the East side of Silver Lane which is 40' wide at a distance of

1,300' E. of the center of the nearest improvement intersecting street Cedar Creek Rd.

which is 40' wide.

Being Lot # 512 & 513 Block CWB, Section #12 in the subdivision of

Cedar Beach as recorded in Baltimore County Plat Book # CWB # 12, Foil # 90-91

Contains 11,994 Square feet Also Known as 2011 Silver Lane and located in the 15

Election District, 5 Councilmanic District.

Request 10' Side yard set back.

CERTIFICATE OF PUBLICATION

NOTICE OF ZONING HEARINGS

The Zoning Commissioner of Baltimore County, by authority of the Zoning Act and Regulations of Baltimore County will hold a public hearing in Towson, Maryland on the property identified herein as follows:

Case: #00-208-A
2011 Silver Lane
E/S Silver Lane, 1300' E of
centerline Cedar Creek Road
15th Election District

5th Councilmanic District
Legal Owner(s): Audrey
Schaller & Charles Schaller

Variance: to permit side
yard setbacks of 10 feet and
10.5 feet in lieu of the re-
quired 50 feet; to permit a
front yard setback to the
centerline of the street of 51
feet in lieu of the required
75 feet; and to approve an
undersized lot.

Hearing: Monday, January
3, 2000 at 10:00 a.m. in
Room 407, County Courts
Building, 401 Bosley Ave-
nue.

LAWRENCE E. SCHMIDT
Zoning Commissioner for
Baltimore County

NOTES: (1) Hearings are
Handicapped Accessible; for
special accommodations
Please Contact the Zoning
Commissioner's Office at
(410) 887-4386.

(2) For information con-
cerning the File and/or
Hearing, Contact the Zoning
Review Office at (410) 887-
3391.

12/15/99 Dec 16 C359252

TOWSON, MD, 12-16, 1999

THIS IS TO CERTIFY, that the annexed advertisement was
published in THE JEFFERSONIAN, a weekly newspaper published in
Towson, Baltimore County, Md., once in each of 1 successive
weeks, the first publication appearing on 12-16, 1999

THE JEFFERSONIAN,

S. William

LEGAL ADVERTISING

CERTIFICATE OF POSTING

**RE: CASE # 00-208-A
PETITIONER/DEVELOPER
(Charles Schaller)
DATE OF Hearing
(Jan 3, 2000)**

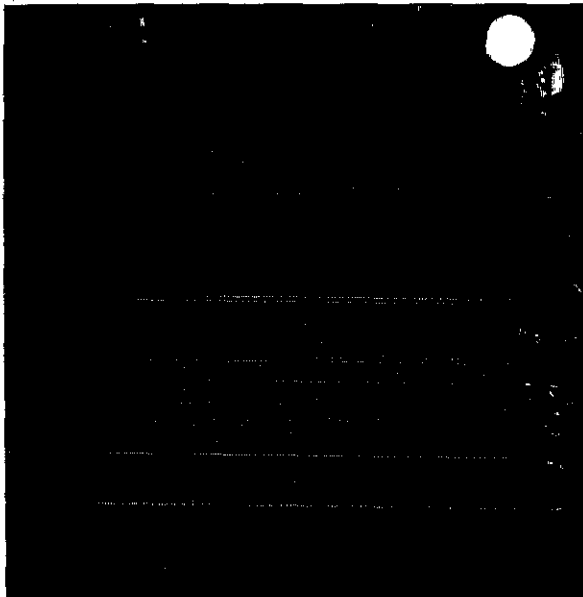
**Baltimore County Department of
Permits and Development Management
County Office Building, Room 111
111 West Chesapeake Ave.
Towson, Maryland 21204**

ATTENTION : MS. GWENDOLYN STEPHENS

LADIES AND GENTLEMEN:

**This letter is to certify under the penalties of perjury that the necessary
sign[s] required by law were posted conspicuously on the property located at
2011 Silver Lane Baltimore, Maryland 21221—**

**The sign[s] were posted on 12-17-99
[Month, Day, Year]**



Sincerely,

**Thomas P. Ogle, Sr. 12/17/99
[Signature of Sign Poster & Date]**

Thomas P. Ogle, Sr.

325 Nicholson Road

Baltimore, Maryland 21221

**(410)-687-8405
[Telephone Number]**

RE: PETITION FOR VARIANCE
2011 Silver Lane, E/S Silver Ln,
1300' E of c/l Cedar Creek Rd
15th Election District, 5th Councilmanic

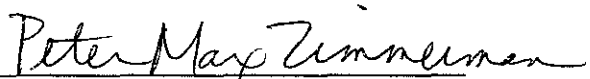
Legal Owner: Charles & Audrey Schaller
Petitioner(s)

* BEFORE THE
* ZONING COMMISSIONER
* FOR
* BALTIMORE COUNTY
* Case No. 00-208-A

* * * * *

ENTRY OF APPEARANCE

Please enter the appearance of the People's Counsel in the above-captioned matter. Notice should be sent of any hearing dates or other proceedings in this matter and of the passage of any preliminary or final Order.


PETER MAX ZIMMERMAN
People's Counsel for Baltimore County


CAROLE S. DEMILIO
Deputy People's Counsel
Old Courthouse, Room 47
400 Washington Avenue
Towson, MD 21204
(410) 887-2188

CERTIFICATE OF SERVICE

29th
I HEREBY CERTIFY that on this *29th* day of December, 1999 a copy of the foregoing Entry of Appearance was mailed to Raymond James, 6900 Ridgeway Road, Baltimore, MD 21222, representative for Petitioners.


PETER MAX ZIMMERMAN

TO: PATUXENT PUBLISHING COMPANY
Thursday, December 16, 1999 Issue – Jeffersonian

Please forward billing to:

Charles Schaller 410-276-2321
343 S. Newkirk Street
Baltimore, MD 21224

NOTICE OF ZONING HEARING

The Zoning Commissioner of Baltimore County, by authority of the Zoning Act and Regulations of Baltimore County, will hold a public hearing in Towson, Maryland on the property identified herein as follows:

CASE NUMBER: 00-208-A

2011 Silver Lane

E/S Silver Lane, 1300' E of centerline Cedar Creek Road

15th Election District – 5th Councilmanic District

Legal Owner: Audrey Schaller & Charles Schaller

Variance to permit side yard setbacks of 10 feet and 10.5 feet in lieu of the required 50 feet; to permit a front yard setback to the centerline of the street of 51 feet in lieu of the required 75 feet; and to approve an undersized lot.

HEARING: Monday, January 3, 2000 at 10:00 a.m. in Room 407, County Courts Building, 401 Bosley Avenue



Lawrence E. Schmidt

LAWRENCE E. SCHMIDT
ZONING COMMISSIONER FOR BALTIMORE COUNTY

- NOTES: (1) HEARINGS ARE HANDICAPPED ACCESSIBLE; FOR SPECIAL ACCOMODATIONS, PLEASE CONTACT THE ZONING COMMISSIONER'S OFFICE AT 410-887-4386.
- (2) FOR INFORMATION CONCERNING THE FILE AND/OR HEARING, CONTACT THE ZONING REVIEW OFFICE AT 410-887-3391.



Baltimore County
Department of Permits and
Development Management

Director's Office
County Office Building
111 West Chesapeake Avenue
Towson, Maryland 21204
410-887-3353
Fax: 410-887-5708

December 8, 1999

NOTICE OF ZONING HEARING

The Zoning Commissioner of Baltimore County, by authority of the Zoning Act and Regulations of Baltimore County, will hold a public hearing in Towson, Maryland on the property identified herein as follows:

CASE NUMBER: 00-208-A

2011 Silver Lane

E/S Silver Lane, 1300' E of centerline Cedar Creek Road

15th Election District – 5th Councilmanic District

Legal Owner: Audrey Schaller & Charles Schaller

Variance to permit side yard setbacks of 10 feet and 10.5 feet in lieu of the required 50 feet; to permit a front yard setback to the centerline of the street of 51 feet in lieu of the required 75 feet; and to approve an undersized lot.

HEARING: Monday, January 3, 2000 at 10:00 a.m. in Room 407, County Courts Building, 401 Bosley Avenue

A handwritten signature in cursive script, reading "Arnold Jablon" with a small "sg" at the end.

Arnold Jablon
Director

c: Audrey & Charles Schaller, 343 S. Newkirk Street, Baltimore 21224
Raymond James, 6900 Ridgeway Road, Baltimore 21222

- NOTES: (1) **THE PETITIONER MUST HAVE THE ZONING NOTICE SIGN POSTED BY AN APPROVED POSTER ON THE PROPERTY BY DECEMBER 19, 1999.**
- (2) HEARINGS ARE HANDICAPPED ACCESSIBLE; FOR SPECIAL ACCOMMODATIONS PLEASE CALL THE ZONING COMMISSIONER'S OFFICE AT 410-887-4386.
- (3) FOR INFORMATION CONCERNING THE FILE AND/OR HEARING, CONTACT THE ZONING REVIEW OFFICE AT 410-887-3391.



**DEPARTMENT OF PERMITS AND DEVELOPMENT MANAGEMENT
ZONING REVIEW**

ADVERTISING REQUIREMENTS AND PROCEDURES FOR ZONING HEARINGS

The Baltimore County Zoning Regulations (BCZR) require that notice be given to the general public/neighboring property owners relative to property which is the subject of an upcoming zoning hearing. For those petitions which require a public hearing, this notice is accomplished by posting a sign on the property (responsibility of the petitioner) and placement of a notice in a newspaper of general circulation in the County, both at least fifteen (15) days before the hearing.

Zoning Review will ensure that the legal requirements for advertising are satisfied. However, the petitioner is responsible for the costs associated with these requirements. The newspaper will bill the person listed below for the advertising. This advertising is due upon receipt and should be remitted directly to the newspaper.

OPINIONS MAY NOT BE ISSUED UNTIL ALL ADVERTISING COSTS ARE PAID.

For Newspaper Advertising:

Item Number or Case Number: 00-208-A
Petitioner: CHARLES SCHALLER
Address or Location: 2017 SILVER LA.

PLEASE FORWARD ADVERTISING BILL TO:

Name: CHARLES SCHALLER
Address: 343 So. NEWKirk Street.
BALtimore, MARYLAND 21224
Telephone Number: 410-276-7321

Revised 2/20/98 - SCJ



Baltimore County
Department of Permits and
Development Management

Development Processing
County Office Building
111 West Chesapeake Avenue
Towson, Maryland 21204
pdmlandacq@co.ba.md.us

December 30, 1999

Mr. Raymond James
6900 Ridgeway Road
Baltimore, Maryland 21222

Dear Mr. James:

RE: Case Number 00-208-A , 2011 Silver Lane

The above referenced petition was accepted for processing by the Bureau of Zoning Review, Department of Permits and Development Management (PDM) on 11/13/99.

The Zoning Advisory Committee (ZAC), which consists of representatives from several Baltimore County approval agencies, has reviewed the plans that were submitted with your petition. All comments submitted thus far from the members of the ZAC are attached. These comments are not intended to indicate the appropriateness of the zoning action requested, but to ensure that all parties (zoning commissioner, attorney, petitioner, etc.) are made aware of plans or problems with regard to the proposed improvements that may have a bearing on this case. All comments will be placed in the permanent case file.

If you need further information or have any questions, please do not hesitate to contact the commenting agency.

Sincerely,

A handwritten signature in black ink that reads "W. Carl Richards, Jr.".

W. Carl Richards, Jr.
Zoning Supervisor
Zoning Review

WCR:rsj

Enclosures

c: Charles Schaller



B A L T I M O R E C O U N T Y , M A R Y L A N D

I N T E R O F F I C E C O R R E S P O N D E N C E

TO: Arnold Jablon, Director
 Department of Permits & Development
 Management

Date: December 10, 1999

FROM: Robert W. Bowling, Supervisor
 Bureau of Development Plans Review

SUBJECT: Zoning Advisory Committee Meeting
 for December 6, 1999
 Item Nos. 208

The Bureau of Development Plans Review has reviewed the subject zoning item. If the variance is granted, the owner will be required to connect to the existing pressure sewer in Silver Lane using a grinder pump sewer house connection. See drawing number 90-1685 for additional information.

RWB:HJO:jrb

cc: File

ZAC12699.208



Baltimore County
Fire Department

Office of the Fire Marshal
700 East Joppa Road
Towson, Maryland 21286-5500
December 17, 410-887-4880

~~Department of Permits and~~
Development Management (PDM)
County Office Building, Room 111
Mail Stop #1105
111 West Chesapeake Avenue
Towson, Maryland 21204

RECEIVED JAN 06 2000

ATTENTION: Gwen Stephens

RE: Property Owner: See Below

Item No.: 206, 208, 209, 210, 212, 214, 215, 218

Dear Ms. Stephens:

Pursuant to your request, the referenced property has been surveyed by this Bureau and the comments below are applicable and required to be corrected or incorporated into the final plans for the property.

The Fire Marshal's Office has no comments at this time.

Cc: file



BALTIMORE COUNTY, MARYLAND
DEPARTMENT OF ENVIRONMENTAL PROTECTION & RESOURCE MANAGEMENT

TO: Arnold Jablon

FROM: R. Bruce Seeley *RBS*

DATE: December 15, 1999

SUBJECT: Zoning Item #208
2011 Silver Lane

Zoning Advisory Committee Meeting of November 29, 1999

- _____ The Department of Environmental Protection and Resource Management has no comments on the above-referenced zoning item.
- _____ The Department of Environmental Protection and Resource Management requests an extension for the review of the above-referenced zoning item to determine the extent to which environmental regulations apply to the site.
- X The Department of Environmental Protection and Resource Management offers the following comments on the above-referenced zoning item:
- _____ X Development of the property must comply with the Regulations for the Protection of Water Quality, Streams, Wetlands and Floodplains (Sections 14-331 through 14-350 of the Baltimore County Code).
- _____ Development of this property must comply with the Forest Conservation Regulations (Section 14-401 through 14-422 of the Baltimore County Code).
- X Development of this property must comply with the Chesapeake Bay Critical Area Regulations (Sections 26-436 through 26-461, and other Sections, of the Baltimore County Code).

1/3

BALTIMORE COUNTY, MARYLAND

INTER-OFFICE CORRESPONDENCE

TO: Arnold Jablon, Director
Department of Permits and
Development Management

DATE: December 14, 1999

FROM: Arnold F. 'Pat' Keller, III, Director
Office of Planning

SUBJECT: 2011 Silver Lane

INFORMATION:

Item Number: 208

Petitioner: Charles Schaller

Zoning: RC-5

Requested Action: Variance

SUMMARY OF RECOMMENDATIONS:

The Office of Planning cannot provide substantive comments until such time as the applicant submits elevation drawings for the proposed house to this office for review and approval. We request that the elevation drawing be submitted to the Office of Planning prior to a final decision in this matter, and not as a condition of approval.

If there should be any questions, please contact Karin Brown, Fifth District Community Planner, at 410-887-3480.

Section Chief:



AFK/JL

887-3391

INTER-OFFICE CORRESPONDENCE
RECOMMENDATION FORM

TO: Director, Office of Planning & Community Conservation
Attention: Jeffrey Long
County Courts Building, Room 406
401 Bosley Avenue
Towson, MD 21204

Permit or Case No. 00-208-A

FROM: Arnold Jablon, Director
Department of Permits & Development Management

Residential Processing Fee Paid
(\$50.00)Accepted by BJL
Date 11/15/99

RE: Undersized Lots

Pursuant to Section 304.2 (Baltimore County Zoning Regulations) effective June 25, 1992, this office is requesting recommendations and comments from the Office of Planning and Community Conservation prior to this office's approval of a dwelling permit

MINIMUM APPLICANT SUPPLIED INFORMATION:

CHARLES SCHALLER 6900 RIDGEWAY Rd. 410-282-8688
Print Name of Applicant Address Telephone Number
Lot Address 2011 SILVER LA (Lots 512 & 513) Election District 15 Councilmanic District 5 Square Feet 14,994

Lot Location: N W side corner of Silver Lane 1,300' feet from N W corner of Cedar Creek Rd.
(street) (street)

Land Owner: CHARLES SCHALLER Tax Account Number 15190 70330

Address: 6900 RIDGEWAY RD 21222 Telephone Number (410) 282-8688

CHECKLIST OF MATERIALS- (to be submitted for design review by the Office of Planning and Community Conservation)

TO BE FILLED IN BY ZONING REVIEW, DEPARTMENT OF PERMITS AND DEVELOPMENT MANAGEMENT ONLY!
PROVIDED?

	YES	NO
1. This Recommendation Form (3 copies)	☒	☐
2. Permit Application	☐	☒
3. Site Plan	☒	☐
Property (3 copies)	☒	☐
Topo Map (2 copies) available in Room 206, County Office Building - (please label site clearly)	☒	☐
4. Building Elevation Drawings	☒	☐
5. Photographs (please label all photos clearly)	☒	☐
Adjoining Buildings	☒	☐
Surrounding Neighborhood	☒	☐
6. Current Zoning Classification: <u>RC-5</u>		

TO BE FILLED IN BY THE OFFICE OF PLANNING ONLY!

RECOMMENDATIONS / COMMENTS:

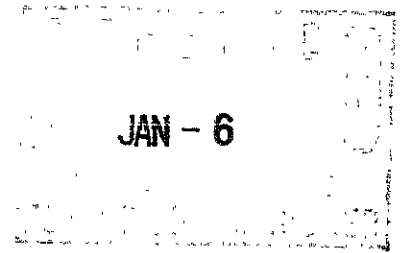
☐ Approval ☐ Disapproval ☐ Approval conditioned on required modifications of the application to conform with the following recommendations:

Signed by: _____
for the Director, Office of Planning and Community Conservation

Date _____

2019 Silver Lane
Baltimore, MD 21221-6135
January 5, 2000

Lawrence Schmitt
Commissioner of Zoning
Suite 405, County Courts Building
401 Bosley Avenue
Towson, MD 21204



Dear Sir, Re: Case # 00-208-A - 10:00am 1/3/00

Following the above hearing in your court, I began, mentally, to compute the impact of my suggestion to Mr. Jones to change the orientation of his planned house to the lot. This would change the overall appearance, however, it would not change the fact that the proposed house would have a much larger square foot ratio of house to size of lot than that of the overall community in this area. (please refer to the sewer map I gave you.) I now realize the size of the Footprint of this house is inappropriate in the neighborhood and ask that you consider this fact in your decision.

Respectfully,
Catherine T. Travis

P.S. Perhaps 30' side setback would be more compatible.

Case #
00-208-A

January 4, 2000

Commissioner Lawrence Schmidt
Commissioner of Zoning
Suite 405 County Court Bldg
Towson MD 21204

Dear Commissioner,

I am writing to oppose the requested set-back for the property at 2019 Silver Lane Road, Cedar Beach – Back River Neck Peninsula, Essex, Baltimore County.

This property is just “two doors” from my own home – 2005 Silver Lane Road. The proposed construction for this lot, in my opinion, is not in the best interest of the property owners nor the neighborhood. And there are several reasons why I feel this way.

First, I was born and raised in Cedar Beach (I bought my parents house in 1986); and moved back here because I like the make up of the area – wooded lots, individual homes with big yards, young families with lots of kids...

1. The current make-up of the neighborhood makes it a great place to raise kids!
2. A great place to know your neighbors **without** being right on top of each other.
3. This proposal would remove yet another wooded site.!
4. ---- displacing all the animals that have taken refuge there due to the greatly declining habitat on the peninsula. And,
5. The removal of these trees will also remove a major wind-break for my property and that of my immediate neighbor. This ‘coverage’ is essential especially during any ‘Nor’ester that comes through from time to time.
6. Plus, the proposed house size and placement would put them almost in the lap of their neighbors; the lot is odd shaped – this house !? Too big for it!
7. A very important issue to consider, is the traffic patterns of this immediate block. While the removal of the trees will increase visibility around this curve, it would still be extremely hazardous to anyone trying to back into or out of the driveway for this property – regardless of which side of the house they put the driveway.
8. I believe, the community association and my neighbors worked extremely hard – just a few years ago, to fight to keep this neighborhood as is – individual homes with nice sized yards. This exception would open the door to change all that.

Now, following the hearing, I have learned new information about the residents who plan to live there. And, before I comment – know that I have worked for 30 years for the State Department’s Division of Rehabilitation Services and am a firm believer in integration of individuals with disabilities into every neighborhood– so it is not with fear of being near someone with a problem that I make the following comments. However, having known several elderly individuals with Alzheimer’s, I do not believe this would be a safe environment for that individual. Yes, caretakers will be available, but how often do we hear in the news about someone who has been lost! I do not want to hear that

my neighbor has gotten lost in the nearby woods or fallen into the water which is within walking distance of this property. I do not want the neighborhood kids 'finding' an injured or drowned individual in these circumstances. And, yes I have two such 'kids' - my grandchildren are 10 and 12. They travel and play in and around the woods, and while they may be 'the rescuers' of such a lost person; they may just as easily be the ones to find a 'body.' Within a few blocks of this property is extensive woods both to the east and the west - a great hazard. To the east and the north are also waterfront properties - more hazards.

So I ask that you seriously consider this weighty problem. Not only is the lot too small for such a proposed house. Is it a wise place for these four 'older' people to live? Have they even considered the presence of the kids in this neighborhood? We have a busload of elementary school kids, plus some kids who go to private schools. We have a busload of middle school plus kids who go to magnate schools; and at least a dozen+ high schoolers. Within a few short years, our middle school kids will be in high school and will be driving. We already have a number of dirt bikes and four-wheelers that roam the woods and yards - and yes, sometimes the streets. While we do have many of us 'graying' residents, we are used to what we have here, but there are more and more families moving in with young children. One of the newest homes - at Silver Lane and Cedar Creek - have 3 kids under 10! Is this the type of neighborhood these folks want to live in? Are they prepared to deal with the noise level - add to that in the summer -- boats and jet skis? Are these people aware that we live in the plane flight path for Martins Airport? When The Med-Evac flies over, the windows do rattle!? Do these people know that? Are they willing to live with that? Or are they going to move in and raise a fuss?

In terms of them cutting down all those trees... Are they going to re-plant trees to replace them? How will the loss of trees effect our water absorption, wind protection, etc - as I mentioned above? How detrimental will this be to the conservation efforts? Isn't this property considered to be within a critical watershed area since we are so close to so much water which directly effects the Bay?

So please note, I have many, many reasons why this proposed development is not in the best interest of the owners, neighbors, neighborhood, or our natural habitat.

Your consideration of these arguments would be greatly appreciated. Please know that I am sorry I could not be at the hearing due to commitments at work.

Sincerely,



Anna M. Renault
2005 Silver Lane Road
Baltimore MD 21221-6135
410-391-8260

FAX COVER SHEET

DATE: 1/6

TO: Commissioner Schmidt

FROM: Anna M. Renault

TOTAL PAGES: (Including cover sheet) 3

COMMENTS: _____

To The Magistrate of the
Court:

Jan. 3, 2000
Protesting Variance Applied For:

The is undersized and no
place for exit. The side
setback should be at least
30 ft. I feel that the
exit from the driveway and
our driveway is too close to
exit. The road runs in a
circle. There would not be
adequate parking. The lot
is not sufficient for the houses
over.

Jan. 3-2000

To whom it may concern -

The undersigned objects to the proposed variance
for lot 512 and lot 513 located on Silver Lane.

Owen D. Telford.

2009 Silver Ln.

Belts. Md. 21221

PLEASE PRINT CLEARLY

PETITIONER(S) SIGN-IN SHEET

NAME

ADDRESS

Raymond H James

6900 Ridgeway Rd Bk 2122



PLEASE PRINT CLEARLY

CITIZEN SIGN-IN SHEET

NAME

ADDRESS

LEROY SENNETT

1716 BEAHWOOD (21221)

Catherine Travis

Mrs. Catherine Travis
2019 Silver Lane
Baltimore, MD 21221-6135

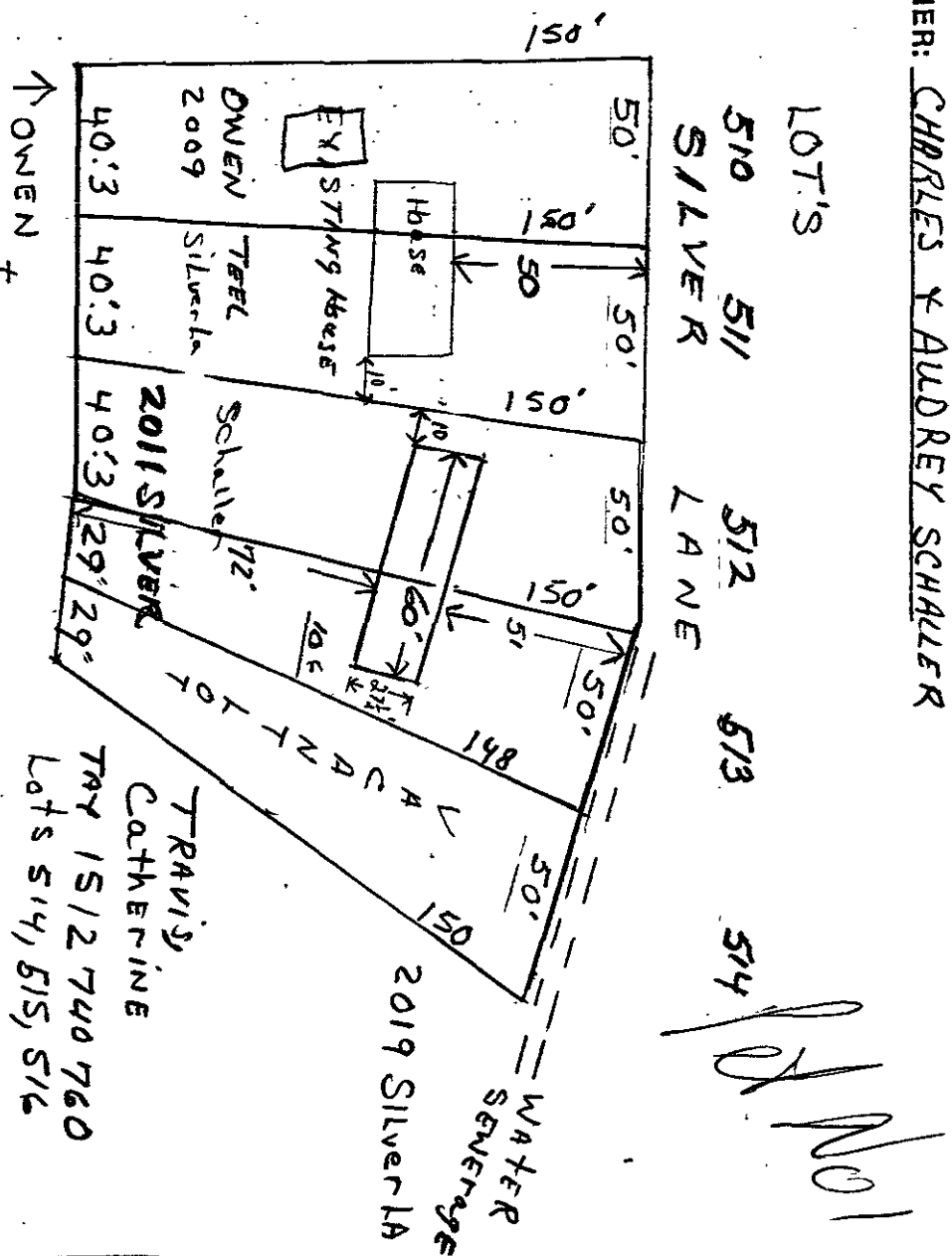


Plat to accompany Petition for Zoning ☒ Variance ☐ Special Hearing

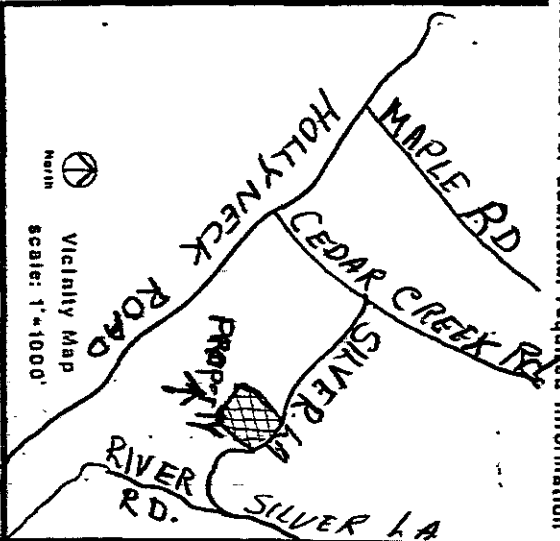
PROPERTY ADDRESS: 2011 SILVER LANE

see pages 5 & 6 of the CHECKLIST for additional required information

subdivision name: CEDAR BEACH
 plat book # 973, lot # 26, section # 90+91
 OWNER: CHARLES & AUDREY SCHALLER



North
 date: 10-1-99
 prepared by: R. JAMES Scale of Drawing: 1" = 50'



LOCATION INFORMATION

Election District: 15
 Councilmanic District: 5
 1" = 200' scale map:
 Zoning: RC 5
 Lot size: 275 14994
 acreage square feet

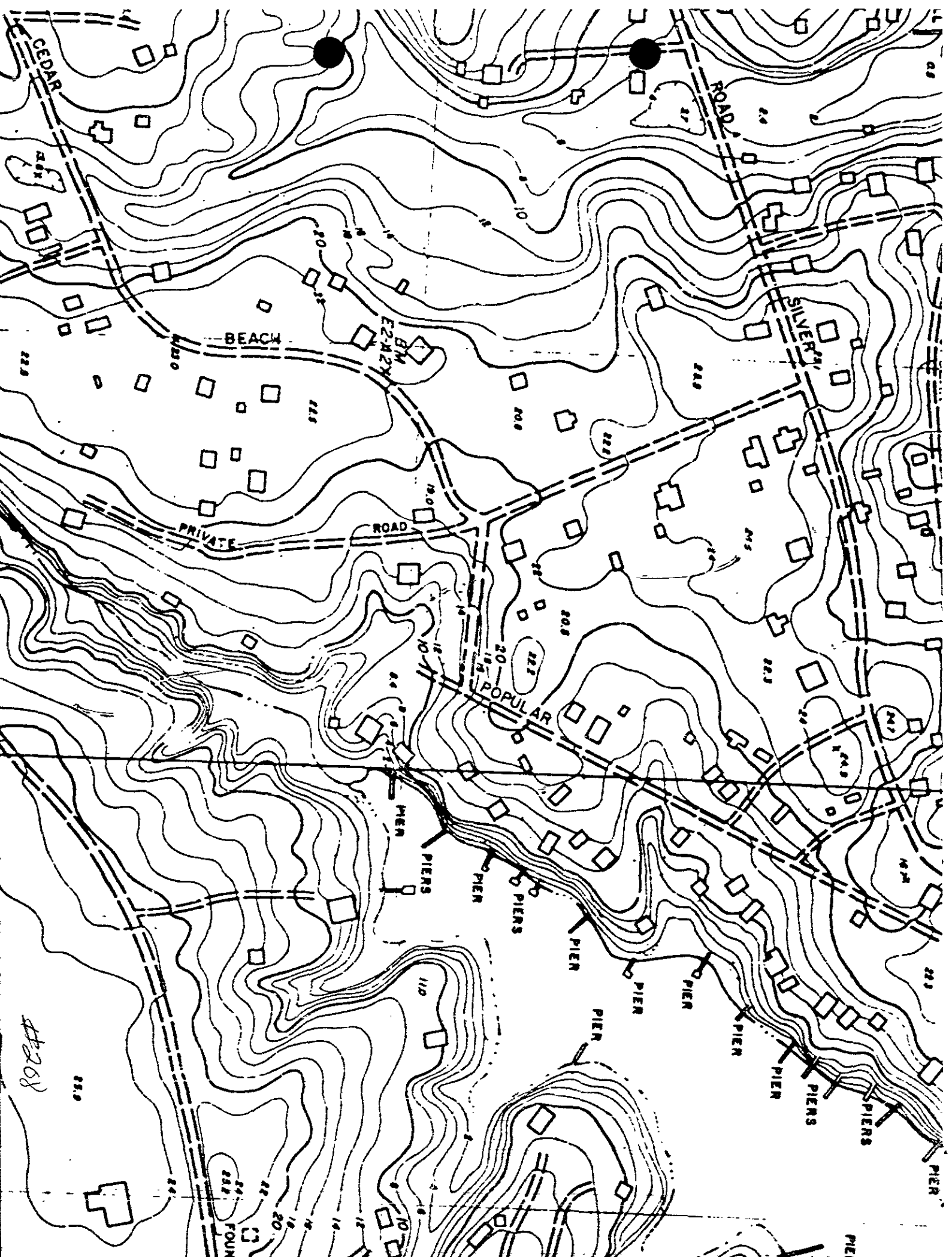
SEWER: ☒ public ☐ private
 WATER: ☒ ☐
 Chesapeake Bay Critical Area: ☒ yes ☐ no
 Prior Zoning Hearings:

NONE

Zoning Office USE ONLY!

reviewed by: ITEM #: CASE#:

RM 208 60-208-A



1503370900
4460/577

JOHNEY JAMES
& MARYANN REED
1700008646
15697/752

SIMPLEX
GRINDER PUMP
W/8" ACCESSWAY
INV. EL. 15.5

STA. 3+04
22 1/2° BEND
56,059
E 57,049

CONCRETE
DR.

STA. 2+78
1 1/2° BEND
56,040
E 57,065

STA. 2+38
22 1/2° BEND
56,013
E 57,095

JOHN G. & LOUISE S.
MANK
1513202131
2973/281

SILVER LANE

PROP. 4" PRESSURE
SEWER

STA. 3+50
IN-LINE
CLEANOUT

GRAVEL DR.

#2019
FF 277
CE 197
(EST)

THOMAS LEON &
CORINNE MARIE LAM
1501350620
5945/155

GRAVEL
DR.

#2027
FF 220
CE 106

#2025
FF 208
CE 150

MACADAM DR.

#2009
FF 268
CE 197

CHARLES E. & AUDREY
W. SCHALLER
1519076339
2582/213

1519640430
6922/349

CATHERINE T.
LUNDQUIST
1512740769
2822/352

RIVER

ROAD

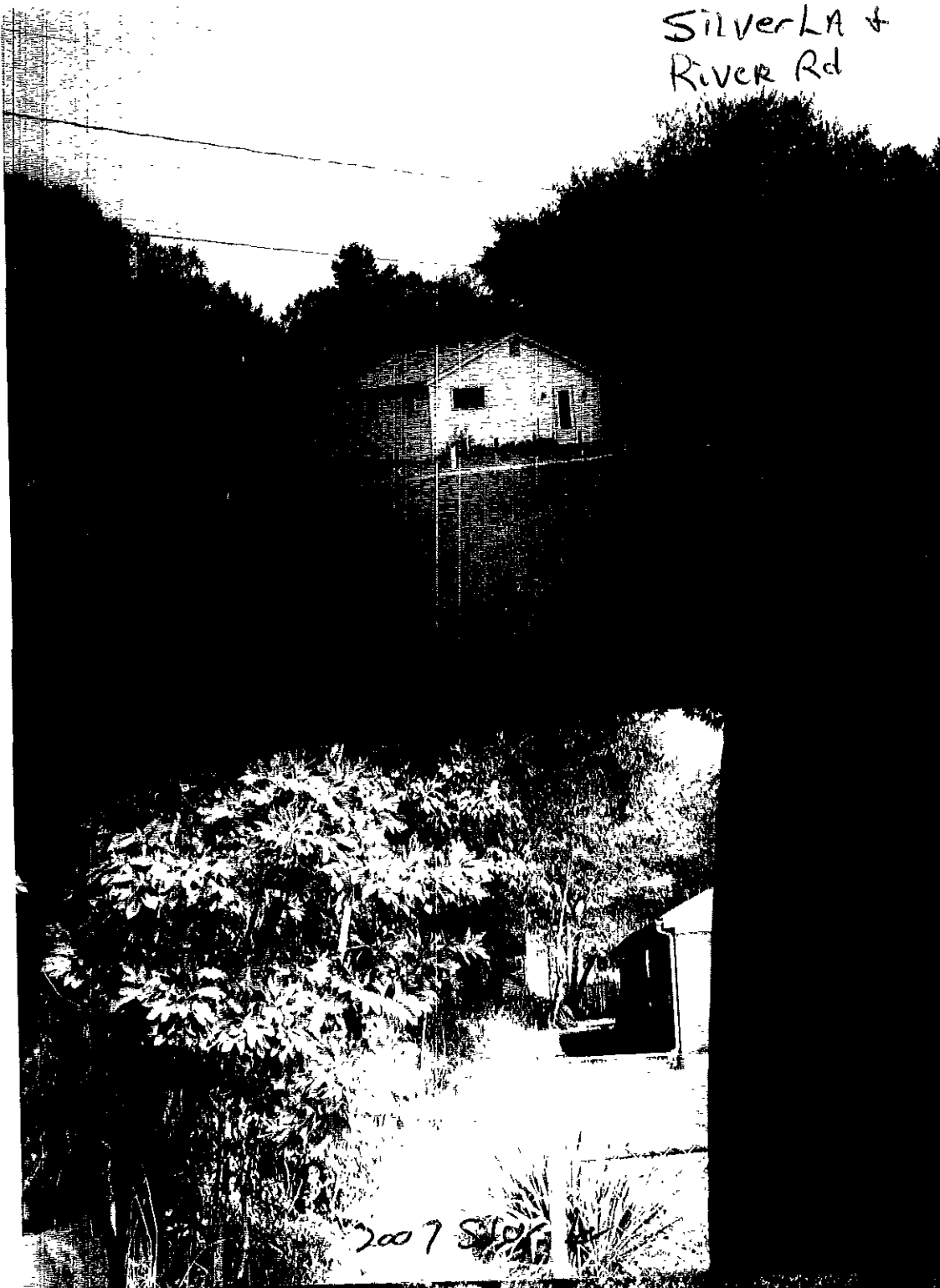
EX. 8" WATER

EX. 8" WATER

FOR CO
SEE SHI



Silver LA +
River Rd



2007 Slope



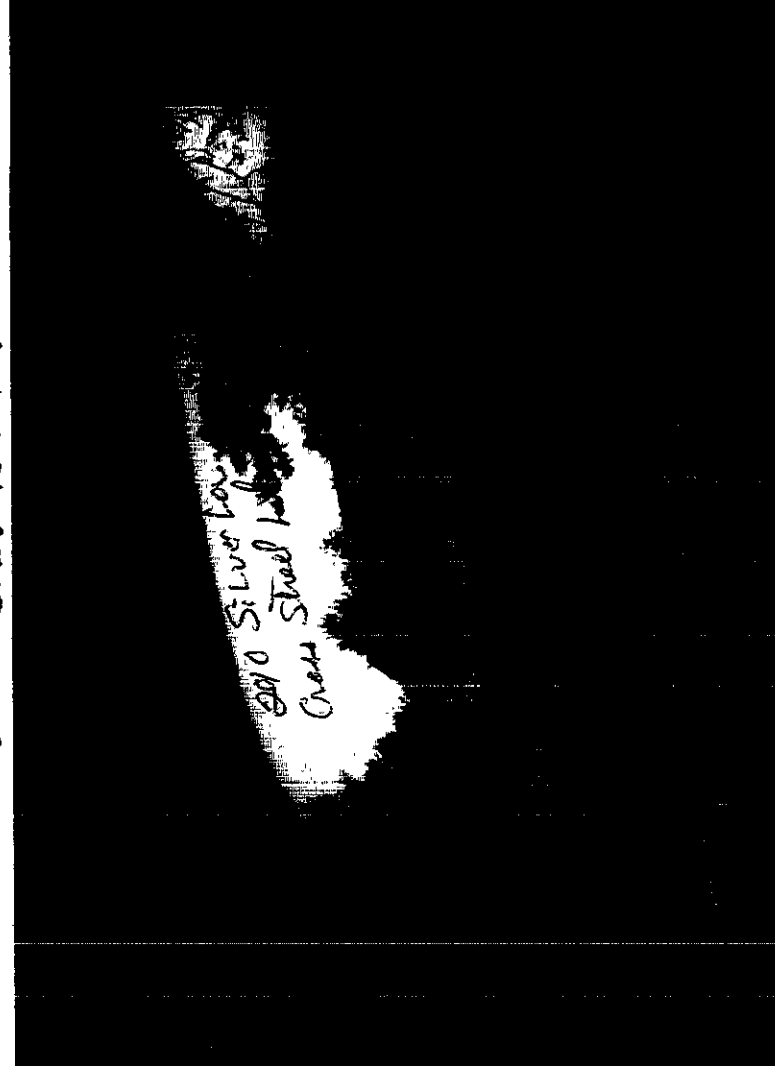
2018 S

Case # 00-218-A
photographs

1/2 CEDAR BEACH Silver Ln Adjacent Property

2010 SILVER LANE

2018 SILVER LANE

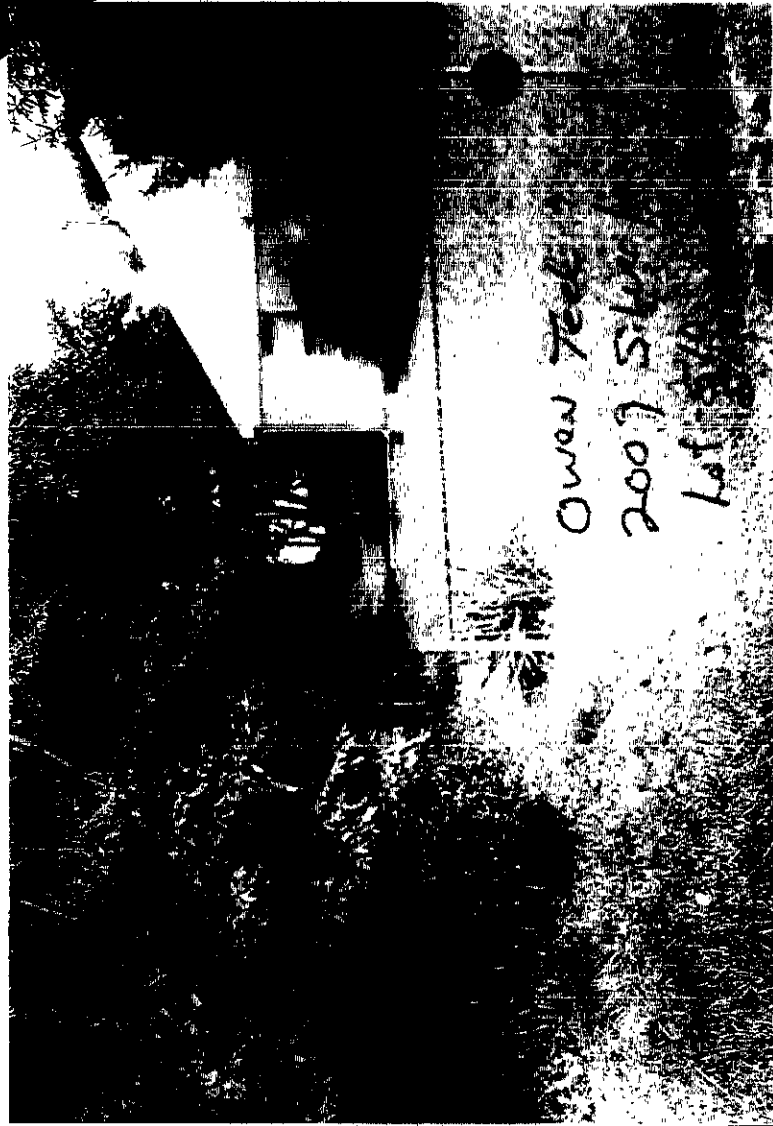


Silver Ln +
River Rd.





TRAILS
2019 Silver LA



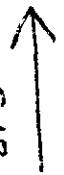
Owen 7000
2007 Silver
Lot 514



CEDAR BEACH
Silver LA

CEDAR BEACH
Lot 514
Silver LA

CEDAR BEACH
Silver LA Lot 512
513



Cedar Beach
Lot 510 + 511
Silver LA
CEDAR BEACH
ADJACENT PROPERTY

H 2013

MUNCY HOMES

MUNCY HOMES, INC. - PLANT LOCATIONS

PLANT 1:
MUNCY HOMES DIVISION
1567 PA ROUTE 442 EAST, P.O. BOX 325
MUNCY, PA 17756

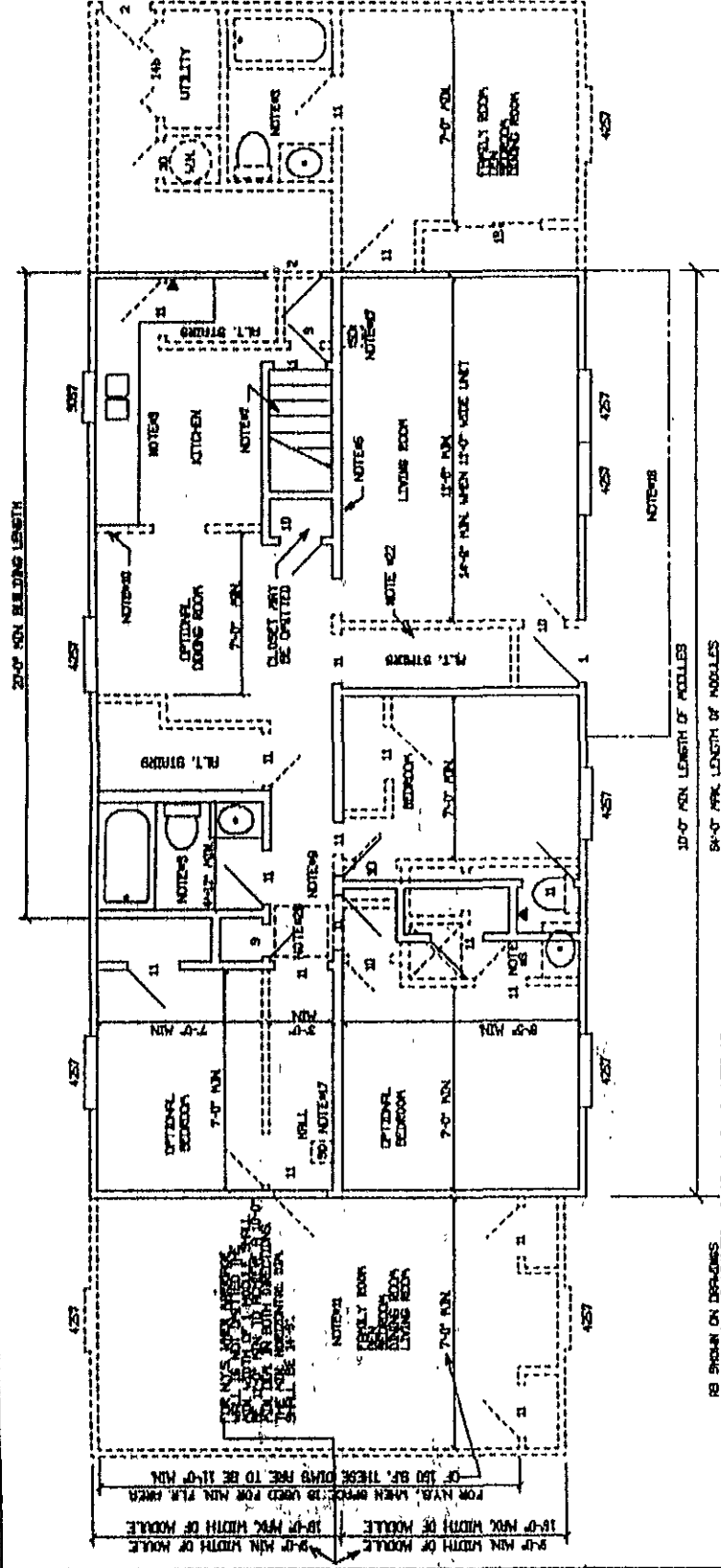
PLANT 2:
SUPERIOR BUILDERS DIVISION
1565 PA ROUTE 442 EAST, P.O. BOX 344
MUNCY, PA 17756

PLANT 3:
PREMIER BUILDERS DIVISION
1567 PA ROUTE 442 EAST, P.O. BOX 337
MUNCY, PA 17756

DESIGN LOADS:
FLOOR: 40 PSF (30 PSF SLEEPING)
WIND: SEE EXT. SIDEWALL STUD SUMMARIES.
DRAWING 3c
ROOF: 30 PSF (NOT FOR NTS)
40 PSF, 60 PSF

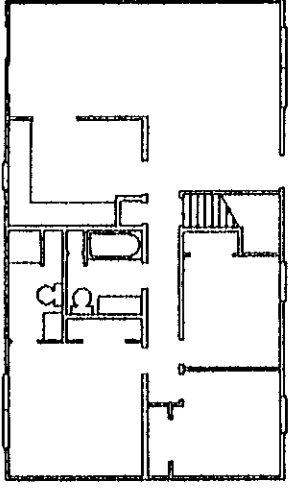
NTS ENERGY CONSERVATION CONSTRUCTION CODE:
COMPLIANCE SHALL BE THRU PART 5 OR PART 6
WHEN USING PART 6, INDIVIDUAL CALCULATIONS
SHALL BE DONE FOR EACH HOME.

INDEX			INDEX			INDEX			MODEL LIST		
SHEET NO.	DESCRIPTION	DATE OF REVISION	SHEET NO.	DESCRIPTION	DATE OF REVISION	SHEET NO.	DESCRIPTION	DATE OF REVISION	SHEET NO.	DESCRIPTION	DATE OF REVISION
1a	COVER SHEET	3-22-91	7a	CROSS SECTION FOR 2a-4	3-22-91	2a	BRANCH - 1 FAMILY	3-22-95	1	BRANCH - 1 FAMILY	3-22-95
2a	TYP BRANCH PLAN	3-22-91	7b	CONNECTION DET. - 90 & 100	3-22-91	2b	CAPE - 1 FAMILY	3-22-95	2	CAPE - 1 FAMILY	3-22-95
2b	TYP CAPE PLAN	3-22-91	7c	CROSS SECTION FOR 2a-4	3-22-91	2c	RAISED BRANCH - 1 FAMILY	3-22-95	2d	BRANCH ELL - 1 FAMILY	3-22-95
2c	TYP RAISED BRANCH	3-22-91	7d	CAPE MODELS - ALT. DET.	3-22-91	2d	BRANCH ELL - 1 FAMILY	3-22-95	2e	BRANCH TEE - 1 FAMILY	3-22-95
2d	TYP BRANCH ELL	3-22-91	7e	CROSS SECTION FOR 2a-4	3-22-91	2e	BRANCH TEE - 1 FAMILY	3-22-95	2f	SPLIT LEVEL ELL - 1 FAMILY	3-22-95
2e	TYP BRANCH TEE	3-22-91	7f	CROSS SECTION FOR 2a-4	3-22-91	2f	SPLIT LEVEL ELL - 1 FAMILY	3-22-95	2g	SPLIT LEVEL TEE - 1 FAMILY	3-22-95
2f	TYP SPLIT LEVEL ELL	3-22-91	7g	CROSS SECTION FOR 2a-4	3-22-91	2g	SPLIT LEVEL TEE - 1 FAMILY	3-22-95	2h	BRANCH - 1 or 2 FAMILY	3-22-95
2g	TYP SPLIT LEVEL TEE	3-22-91	7h	CROSS SECTION FOR 2a	3-22-91	2h	BRANCH - 1 or 2 FAMILY	3-22-95	2i	2 STORY - 1 FAMILY	3-22-95
2h	BRANCH - 1 STORY - 1 FAMILY	3-22-91	7i	CROSS SECTION FOR 2a	3-22-91	2i	2 STORY - 1 FAMILY	3-22-95	2j	2 STORY - 2 FAMILY	3-22-95
2i	ATTACHED OR 2 FAMILY	3-22-91	7j	CROSS SECTION FOR 2a	3-22-91	2j	2 STORY - 2 FAMILY	3-22-95	2k	2 STORY UPPER/LOWER - 2 FAMILY	3-22-95
2j	RAISED BRANCH - 1 FAMILY	3-22-91	7k	CROSS SECTION FOR 2a	3-22-91	2k	2 STORY - 2 FAMILY	3-22-95	2l	END TO END SPLIT - 1 FAMILY	3-22-95
2k	ATTACHED OR 2 FAMILY	3-22-91	7l	CROSS SECTION FOR 2a	3-22-91	2l	END TO END SPLIT - 1 FAMILY	3-22-95	2m	CONTEMPORARY 2 STORY - 1 FAMILY	3-22-95
2l	TYP 2 STORY	3-22-91	7m	ALTERNATE CONST. DETAILS	3-22-91	2m	CONTEMPORARY 2 STORY - 1 FAMILY	3-22-95	2n	SINGLE FAMILY ATTACHED - 1 FAMILY	3-22-95
2m	2 STORY - 2 FAMILY	3-22-91	7n	1/2 CATH. ROOF DET.	3-22-91	2n	SINGLE FAMILY ATTACHED - 1 FAMILY	3-22-95	2o	1 MOBILE BRANCH - 1 FAMILY	3-22-95
2n	2 STORY UPPER/LOWER 2 FAMILY	3-22-91	7o	ALTERNATE CONST. DETAILS	3-22-91	2o	1 MOBILE BRANCH - 1 FAMILY	3-22-95	2p	1 MOBILE WIDE 2 STORY - 1 FAMILY	3-22-95
2o	2 STORY SPLIT	3-22-91	7p	ALTERNATE CONST. DETAILS	3-22-91	2p	1 MOBILE WIDE 2 STORY - 1 FAMILY	3-22-95	2q	3 MOBILE BRANCH - 1 FAMILY	3-22-95
2p	SIDE TO SIDE SPLIT	3-22-91	7q	SEL. BOX CATH. ROOF DET.	3-22-91	2q	3 MOBILE BRANCH - 1 FAMILY	3-22-95	2r	SPLIT BOX - 1 FAMILY	3-22-95
2q	TYP CONTEMPORARY 2 STORY	3-22-91	7r	CROSS SECTION FOR 2a	3-22-91	2r	SPLIT BOX - 1 FAMILY	3-22-95	2s	6 MOBILE 2 STORY - 1 FAMILY	3-22-95
2q	1 FAMILY ATTACHED - 2 STORY	3-22-91	7s	CROSS SECTION FOR 2a	3-22-91	2s	6 MOBILE 2 STORY - 1 FAMILY	3-22-95	2t	ALTERNATE 2 STORY - 1 FAMILY	3-22-95
2q	TYP SINGLE MOBILE BRANCH	3-22-91	7t	CROSS SECTION FOR 2a	3-22-91	2t	ALTERNATE 2 STORY - 1 FAMILY	3-22-95	2u	INDUSTRIES MODEL & NOTES	3-22-95
2q	TYP SINGLE MOBILE 2 STORY	3-22-91	7u	CROSS SECTION FOR 2a	3-22-91	2u	INDUSTRIES MODEL & NOTES	3-22-95	2v	NUMBER OF PAGES IN THE SET	3-22-95
2q	3 MOBILE BRANCH PLAN	3-22-91	7v	CROSS SECTION FOR 2a	3-22-91	2v	NUMBER OF PAGES IN THE SET	3-22-95	2w	WHEN DRAWINGS LISTED IN THE INDEX ARE	3-22-95
2q	SPLIT BOX	3-22-91	7w	CROSS SECTION FOR 2a	3-22-91	2w	WHEN DRAWINGS LISTED IN THE INDEX ARE	3-22-95	2x	THEY HAVE BEEN PHOTOGRAPHICALLY REDUCED	3-22-95
2q	SIX BOX 2 STORY	3-22-91	7x	CROSS SECTION FOR 2a	3-22-91	2x	THEY HAVE BEEN PHOTOGRAPHICALLY REDUCED	3-22-95			
2q	ALTERNATE 2 STORY	3-22-91	7y	CROSS SECTION FOR 2a	3-22-91						
2q	2 OPTIONAL ELEVATIONS	3-22-91	7z	CROSS SECTION FOR 2a	3-22-91						
2q	2 OPTIONAL ELEVATIONS	3-22-91	7z	CROSS SECTION FOR 2a	3-22-91						
2q	2 OPTIONAL ELEVATIONS	3-22-91	7z	CROSS SECTION FOR 2a	3-22-91						
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2q	2 OPTIONAL ELEVATIONS	3-22-91	7z	CROSS SECTION FOR 2a	3-22-91						
2q	2 OPTIONAL ELEVATIONS	3-22-91	7z	CROSS SECTION FOR 2a	3-22-91						
2q	2 OPTIONAL ELEVATIONS	3-22-91	7z	CROSS SECTION FOR 2a	3-22-91						
2q	2 OPTIONAL ELEVATIONS	3-22-91	7z	CROSS SECTION FOR 2a	3-22-91						
2q	2 OPTIONAL ELEVATIONS	3-22-91	7z	CROSS SECTION FOR 2a	3-22-91						
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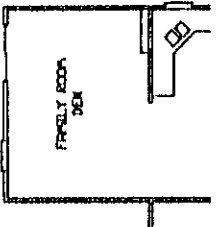


IS SHOWN ON DEPICTION OF ROOMS. ROOMS ARE LOCATED UNITS OF EITHER IN BOTH EXITS AND STAIRS. ALL UNITS MAY BE VENTILATED. UNITS ARE LOCATED IN THE PLAN. UNITS ARE LOCATED IN THE PLAN. UNITS ARE LOCATED IN THE PLAN.

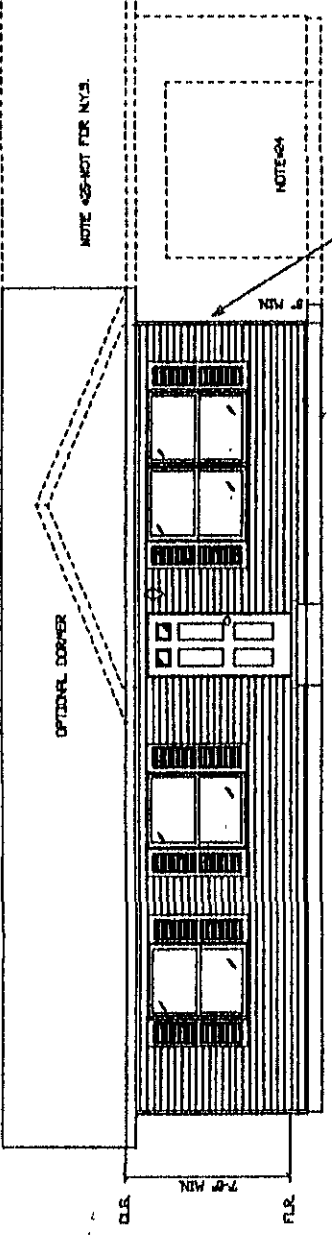
1ST FLOOR PLAN
SEE SHEET #2. GENERAL NOTE #3 & 47
SCALE: 1/8"=1'-0"



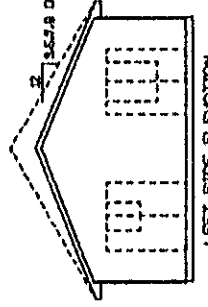
PLAN SHOWING ALT. HALL LOCATION
SCALE: 1/8"=1'-0"



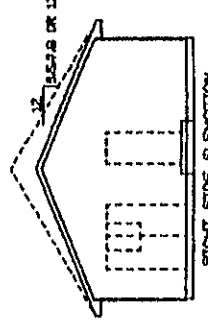
PLAN W/TYPE OPT. OFFSET
SEE SHEET #2.2 FOR OPT. ELEVATIONS
SCALE: 1/8"=1'-0"



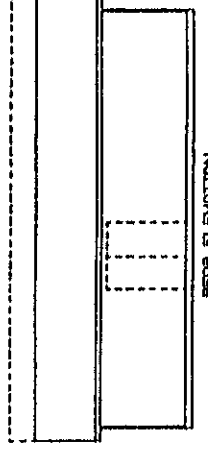
FRONT ELEVATION
SCALE: 1/4"=1'-0"



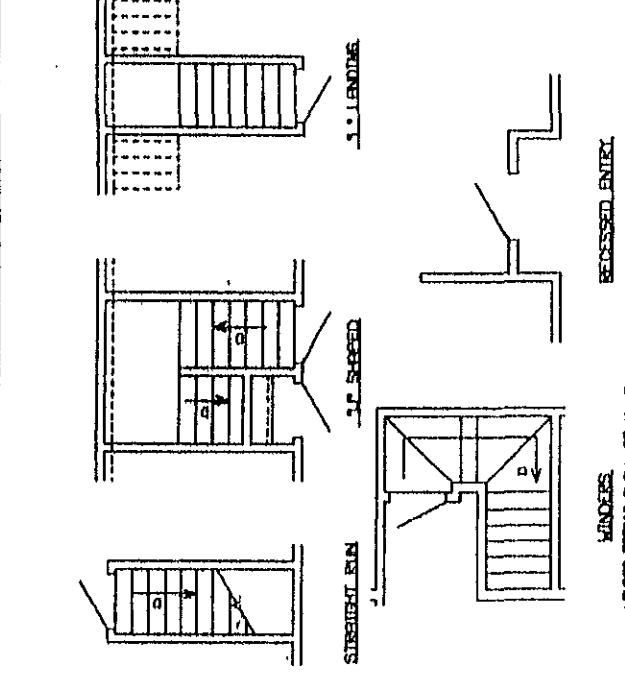
LEFT SIDE ELEVATION
SCALE: 1/8"=1'-0"



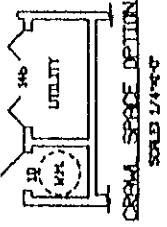
RIGHT SIDE ELEVATION
SCALE: 1/8"=1'-0"



REAR ELEVATION
SCALE: 1/8"=1'-0"



STAIRS & ENTRY DETAILS - SEE NOTE #22
SCALE: 1/4"=1'-0"



FLOOR PLAN NOTES CONT.

14. A. SEE SHEET #2.2 FOR OPT. OFFSET. SEE SHEET #2.2 FOR OPT. ELEVATIONS.
15. THIS WITH ANY OTHER UNIT, SEE SHEET #2.2 FOR OPT. ELEVATIONS.
16. OPTIONAL CEILING AVAILABLE IN MOST UNITS.
17. FOR NYA, SEE SHEET #2.2 FOR OPT. OFFSET. SEE SHEET #2.2 FOR OPT. ELEVATIONS.
18. 1. SEE SHEET #2.2 FOR OPT. OFFSET. SEE SHEET #2.2 FOR OPT. ELEVATIONS.
19. 1. SEE SHEET #2.2 FOR OPT. OFFSET. SEE SHEET #2.2 FOR OPT. ELEVATIONS.
20. ATTIC ACCESS 22'-0".
21. FOR OPTIONAL ELEVATIONS, SEE SHEET #2.2.
22. SEE SHEET #2.2 FOR OPT. OFFSET. SEE SHEET #2.2 FOR OPT. ELEVATIONS.
23. FOR OPTIONAL CLOSET CONFIGURATIONS, SEE SHEET #2.2.
24. 1. SEE SHEET #2.2 FOR OPT. OFFSET. SEE SHEET #2.2 FOR OPT. ELEVATIONS.
25. 1. SEE SHEET #2.2 FOR OPT. OFFSET. SEE SHEET #2.2 FOR OPT. ELEVATIONS.
26. 1. SEE SHEET #2.2 FOR OPT. OFFSET. SEE SHEET #2.2 FOR OPT. ELEVATIONS.

- ### NOTES
1. SEE SHEET #2.2 FOR OPT. OFFSET. SEE SHEET #2.2 FOR OPT. ELEVATIONS.
 2. SEE SHEET #2.2 FOR OPT. OFFSET. SEE SHEET #2.2 FOR OPT. ELEVATIONS.
 3. SEE SHEET #2.2 FOR OPT. OFFSET. SEE SHEET #2.2 FOR OPT. ELEVATIONS.
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 8. SEE SHEET #2.2 FOR OPT. OFFSET. SEE SHEET #2.2 FOR OPT. ELEVATIONS.
 9. SEE SHEET #2.2 FOR OPT. OFFSET. SEE SHEET #2.2 FOR OPT. ELEVATIONS.
 10. SEE SHEET #2.2 FOR OPT. OFFSET. SEE SHEET #2.2 FOR OPT. ELEVATIONS.
 11. SEE SHEET #2.2 FOR OPT. OFFSET. SEE SHEET #2.2 FOR OPT. ELEVATIONS.
 12. SEE SHEET #2.2 FOR OPT. OFFSET. SEE SHEET #2.2 FOR OPT. ELEVATIONS.
- ### FLOOR PLAN NOTES
1. SEE SHEET #2.2 FOR OPT. OFFSET. SEE SHEET #2.2 FOR OPT. ELEVATIONS.
 2. SEE SHEET #2.2 FOR OPT. OFFSET. SEE SHEET #2.2 FOR OPT. ELEVATIONS.
 3. SEE SHEET #2.2 FOR OPT. OFFSET. SEE SHEET #2.2 FOR OPT. ELEVATIONS.
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 11. SEE SHEET #2.2 FOR OPT. OFFSET. SEE SHEET #2.2 FOR OPT. ELEVATIONS.
 12. SEE SHEET #2.2 FOR OPT. OFFSET. SEE SHEET #2.2 FOR OPT. ELEVATIONS.

MASTER SERIES			
RANCH MODELS			
FLOOR PLAN ELEVATIONS & NOTES			
MUNDT HOMES, INC.			
P.O. BOX 246, RT. 442 EAST			
MUNDT PA. 17758			
DRN BY	DATE	SCALE	REV. SHT. NO.
A.L.	3-22-81	SCALE	8-23-85 23

ELECTRIC CIRCUIT SCHEDULE

[illegible][illegible][illegible]

DOOR SCHEDULE				WINDOW SCHEDULE						
SY.	DESCRIPTION	MATERIAL	FINISH	TYPE	IDENT. NUMBER	U VALUE	LIGHT	VENT	TYPE	MARK
1	STEEL	PTD	BLANK		W001	27/19	4.81	237	94/04	W001
2	STEEL	PTD	BLANK		W002	27/19	4.81	237	94/04	W002
3	STEEL	PTD	BLANK		W003	27/19	4.81	237	94/04	W003
4	STEEL	PTD	BLANK		W004	27/19	4.81	237	94/04	W004
5	STEEL	PTD	BLANK		W005	27/19	4.81	237	94/04	W005
6	STEEL	PTD	BLANK		W006	27/19	4.81	237	94/04	W006
7	STEEL	PTD	BLANK		W007	27/19	4.81	237	94/04	W007
8	STEEL	PTD	BLANK		W008	27/19	4.81	237	94/04	W008
9	STEEL	PTD	BLANK		W009	27/19	4.81	237	94/04	W009
10	STEEL	PTD	BLANK		W010	27/19	4.81	237	94/04	W010
11	STEEL	PTD	BLANK		W011	27/19	4.81	237	94/04	W011
12	STEEL	PTD	BLANK		W012	27/19	4.81	237	94/04	W012
13	STEEL	PTD	BLANK		W013	27/19	4.81	237	94/04	W013
14	STEEL	PTD	BLANK		W014	27/19	4.81	237	94/04	W014
15	STEEL	PTD	BLANK		W015	27/19	4.81	237	94/04	W015
16	STEEL	PTD	BLANK		W016	27/19	4.81	237	94/04	W016
17	STEEL	PTD	BLANK		W017	27/19	4.81	237	94/04	W017
18	STEEL	PTD	BLANK		W018	27/19	4.81	237	94/04	W018
19	STEEL	PTD	BLANK		W019	27/19	4.81	237	94/04	W019
20	STEEL	PTD	BLANK		W020	27/19	4.81	237	94/04	W020
21	STEEL	PTD	BLANK		W021	27/19	4.81	237	94/04	W021
22	STEEL	PTD	BLANK		W022	27/19	4.81	237	94/04	W022
23	STEEL	PTD	BLANK		W023	27/19	4.81	237	94/04	W023
24	STEEL	PTD	BLANK		W024	27/19	4.81	237	94/04	W024
25	STEEL	PTD	BLANK		W025	27/19	4.81	237	94/04	W025
26	STEEL	PTD	BLANK		W026	27/19	4.81	237	94/04	W026
27	STEEL	PTD	BLANK		W027	27/19	4.81	237	94/04	W027
28	STEEL	PTD	BLANK		W028	27/19	4.81	237	94/04	W028
29	STEEL	PTD	BLANK		W029	27/19	4.81	237	94/04	W029
30	STEEL	PTD	BLANK		W030	27/19	4.81	237	94/04	W030
31	STEEL	PTD	BLANK		W031	27/19	4.81	237	94/04	W031
32	STEEL	PTD	BLANK		W032	27/19	4.81	237	94/04	W032
33	STEEL	PTD	BLANK		W033	27/19	4.81	237	94/04	W033
34	STEEL	PTD	BLANK		W034	27/19	4.81	237	94/04	W034
35	STEEL	PTD	BLANK		W035	27/19	4.81	237	94/04	W035
36	STEEL	PTD	BLANK		W036	27/19	4.81	237	94/04	W036
37	STEEL	PTD	BLANK		W037	27/19	4.81	237	94/04	W037
38	STEEL	PTD	BLANK		W038	27/19	4.81	237	94	

NOTE: ALL ROOMS SHALL COMPLY WITH THE FOLLOWING REQUIREMENTS:

- 1- FOR CORRIDORS AND ROOMS, THE MINIMUM WIDTH CLEAR OPENING SHALL BE 2'-0".
- 2- FOR CORRIDORS AND ROOMS, THE MINIMUM HEIGHT CLEAR OPENING SHALL BE 7'-6".
- 3- SPACES MEETING THE MINIMU SPACE REQUIREMENTS MAY BE 2'-0" & 7'-6" IN HEIGHT.
- 4- ALL LIGHT, VENT & CORRIDOR SHALL COMPLY WITH APPLICABLE SPACE REQUIREMENTS.
- 5- ROOMS ARE TO HAVE A MINIMUM OF ONE (1) WINDOW OR DOOR TO THE OUTSIDE.
- 6- IF NO OTHER LIVING & SLEEPING SPACE SHALL BE PROVIDED FOR EACH FLOOR.
- 7- IF NO OTHER LIVING & SLEEPING SPACE SHALL BE PROVIDED FOR EACH FLOOR, THEN AT LEAST ONE (1) WINDOW OR DOOR SHALL HAVE A MINIMUM OF 1 1/2 SQ. FT. & 7'-0" HIGH.
- 8- IF NO OTHER LIVING & SLEEPING SPACE SHALL BE PROVIDED FOR EACH FLOOR, THEN AT LEAST ONE (1) WINDOW OR DOOR SHALL HAVE A MINIMUM OF 1 1/2 SQ. FT. & 7'-0" HIGH.
- 9- IF NO OTHER LIVING & SLEEPING SPACE SHALL BE PROVIDED FOR EACH FLOOR, THEN AT LEAST ONE (1) WINDOW OR DOOR SHALL HAVE A MINIMUM OF 1 1/2 SQ. FT. & 7'-0" HIGH.

Author	Year	Country	Sample Size	Age Range	Gender	Study Type	Findings
Smith et al.	2015	USA	1,200	18-25	Male	Quantitative	High levels of stress and anxiety reported.
Johnson et al.	2016	UK	800	26-35	Female	Qualitative	Focus on mental health challenges.
Chen et al.	2017	China	2,500	36-45	Male	Quantitative	Increased risk of depression.
Lee et al.	2018	South Korea	900	46-55	Female	Qualitative	Stress management techniques.
Wang et al.	2019	Canada	1,100	56-65	Male	Quantitative	Low levels of stress.
Miller et al.	2020	Australia	750	66-75	Female	Qualitative	Focus on aging and health.
Nguyen et al.	2021	Vietnam	1,300	76-85	Male	Quantitative	High levels of physical activity.
Patel et al.	2022	India	1,600	86-95	Female	Qualitative	Focus on family and community.
Kim et al.	2023	Japan	1,400	96-105	Male	Quantitative	Low levels of stress.

NEW YORK ENERGY SUMMARY & NOTES (SEE NOTES #1, #2, #12)

L	MOD	TYPE OF HEAT	ROOF/CEILING		FLOOR		WALL	DESIGN TEMPERATURE	DESIGN MOD
			R	U	R	U			
1	5000 - 5000	WATER HEATING	10	1.00	10	1.00	10	100	1.00
2	5000 - 5000	WATER HEATING	10	1.00	10	1.00	10	100	1.00
3	5000 - 5000	WATER HEATING	10	1.00	10	1.00	10	100	1.00
4	5000 - 5000	WATER HEATING	10	1.00	10	1.00	10	100	1.00
5	5000 - 5000	WATER HEATING	10	1.00	10	1.00	10	100	1.00
6	5000 - 5000	WATER HEATING	10	1.00	10	1.00	10	100	1.00
7	5000 - 5000	WATER HEATING	10	1.00	10	1.00	10	100	1.00
8	5000 - 5000	WATER HEATING	10	1.00	10	1.00	10	100	1.00
9	5000 - 5000	WATER HEATING	10	1.00	10	1.00	10	100	1.00
10	5000 - 5000	WATER HEATING	10	1.00	10	1.00	10	100	1.00
11	5000 - 5000	WATER HEATING	10	1.00	10	1.00	10	100	1.00
12	5000 - 5000	WATER HEATING	10	1.00	10	1.00	10	100	1.00
13	5000 - 5000	WATER HEATING	10	1.00	10	1.00	10	100	1.00
14	5000 - 5000	WATER HEATING	10	1.00	10	1.00	10	100	1.00
15	5000 - 5000	WATER HEATING	10	1.00	10	1.00	10	100	1.00
16	5000 - 5000	WATER HEATING	10	1.00	10	1.00	10	100	1.00
17	5000 - 5000	WATER HEATING	10	1.00	10	1.00	10	100	1.00
18	5000 - 5000	WATER HEATING	10	1.00	10	1.00	10	100	1.00
19	5000 - 5000	WATER HEATING	10	1.00	10	1.00	10	100	1.00
20	5000 - 5000	WATER HEATING	10	1.00	10	1.00	10	100	1.00
21	5000 - 5000	WATER HEATING	10	1.00	10	1.00	10	100	1.00
22	5000 - 5000	WATER HEATING	10	1.00	10	1.00	10	100	1.00
23	5000 - 5000	WATER HEATING	10	1.00	10	1.00	10	100	1.00
24	5000 - 5000	WATER HEATING	10	1.00	10	1.00	10	100	1.00
25	5000 - 5000	WATER HEATING	10	1.00	10	1.00	10	100	1.00
26	5000 - 5000	WATER HEATING	10	1.00	10	1.00	10	100	1.00
27	5000 - 5000	WATER HEATING	10	1.00	10	1.00	10	100	1.00
28	5000 - 5000	WATER HEATING	10	1.00	10	1.00	10	100	1.00
29	5000 - 5000	WATER HEATING	10	1.00	10	1.00	10	100	1.00
30	5000 - 5000	WATER HEATING	10	1.00	10	1.00	10	100	1.00
31	5000 - 5000	WATER HEATING	10	1.00	10	1.00	10	100	1.00
32	5000 - 5000	WATER HEATING	10	1.00	10	1.00	10	100	1.00
33	5000 - 5000	WATER HEATING	10	1.00	10	1.00	10	100	1.00
34	5000 - 5000	WATER HEATING	10	1.00	10	1.00	10	100	1.00
35	5000 - 5000	WATER HEATING	10	1.00	10	1.00	10	100	1.00
36	5000 - 5000	WATER HEATING	10	1.00	10	1.00	10	100	1.00
37	5000 - 5000	WATER HEATING	10	1.00	10	1.00	10	100	1.00
38	5000 - 5000	WATER HEATING	10	1.00	10	1.00	10	100	1.00
39	5000 - 5000	WATER HEATING	10	1.00	10	1.00	10	100	1.00
40	5000 - 5000	WATER HEATING	10	1.00	10	1.00	10	100	1.00
41	5000 - 5000	WATER HEATING	10	1.00	10	1.00	10	100	1.00
42	5000 - 5000	WATER HEATING	10	1.00	10	1.00	10	100	1.00
43	5000 - 5000	WATER HEATING	10	1.00	10	1.00	10	100	1.00
44	5000 - 5000	WATER HEATING	10	1.00	10	1.00	10	100	1.00
45	5000 - 5000	WATER HEATING	10	1.00	10	1.00	10	100	1.00
46	5000 - 5000	WATER HEATING	10	1.00	10	1.00	10	100	1.00
47	5000 - 5000	WATER HEATING	10	1.00	10	1.00	10	100	1.00
48	5000 - 5000	WATER HEATING	10	1.00	10	1.00	10	100	1.00
49	5000 - 5000	WATER HEATING	10	1.00	10	1.00	10	100	1.00
50	5000 - 5000	WATER HEATING	10	1.00	10	1.00	10	100	1.00

1. COMPLIANCE TO THE NEW YORK STATE ENERGY CODE SHALL BE ACHIEVED THROUGH PART 5 OF PART 1.
2. WHEN PART 5 IS USED, PARTICULAR UNIT CALCULATIONS SHALL BE PROVIDED TO THE LOCAL BUILDING OFFICIAL.
3. UNIFORMITY OF INSULATION SHALL BE MAINTAINED THROUGHOUT THE ENTIRE PROJECT.
4. FOR ROADS, SPILL, HEATED OR UNHEATED BASEMENTS, ROADS, AND/OR TRANSITION WALLS SHALL BE INSULATED IN ACCORDANCE WITH THE NEW YORK STATE ENERGY CODE.
5. INSULATION SHALL BE PROVIDED TO THE ENTIRE PERIMETER OF THE BUILDING, INCLUDING THE ROADS, BASEMENTS, AND/OR TRANSITION WALLS.
6. INSULATION SHALL BE PROVIDED TO THE ENTIRE PERIMETER OF THE BUILDING, INCLUDING THE ROADS, BASEMENTS, AND/OR TRANSITION WALLS.
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50. INSULATION SHALL BE PROVIDED TO THE ENTIRE PERIMETER OF THE BUILDING, INCLUDING THE ROADS, BASEMENTS, AND/OR TRANSITION WALLS.

INSULATION SPECIFICATIONS - SEE NOTES #1, #2, #12 AND #7

STATE	ROOF/CEILING		WALL		FLOOR		DESIGN TEMPERATURE	DESIGN MOD
	R	U	R	U	R	U		
CONNECTICUT	10	1.00	10	1.00	10	1.00	100	1.00
DELAWARE	10	1.00	10	1.00	10	1.00	100	1.00
FLORIDA	10	1.00	10	1.00	10	1.00	100	1.00
GEORGIA	10	1.00	10	1.00	10	1.00	100	1.00
ILLINOIS	10	1.00	10	1.00	10	1.00	100	1.00
INDIANA	10	1.00	10	1.00	10	1.00	100	1.00
IOVA	10	1.00	10	1.00	10	1.00	100	1.00
KANSAS	10	1.00	10	1.00	10	1.00	100	1.00
KENTUCKY	10	1.00	10	1.00	10	1.00	100	1.00
LOUISIANA	10	1.00	10	1.00	10	1.00	100	1.00
MAINE	10	1.00	10	1.00	10	1.00	100	1.00
MARYLAND	10	1.00	10	1.00	10	1.00	100	1.00
MASSACHUSETTS	10	1.00	10	1.00	10	1.00	100	1.00
MICHIGAN	10	1.00	10	1.00	10	1.00	100	1.00
MINNESOTA	10	1.00	10	1.00	10	1.00	100	1.00
MISSISSIPPI	10	1.00	10	1.00	10	1.00	100	1.00
MISSOURI	10	1.00	10	1.00	10	1.00	100	1.00
MONTANA	10	1.00	10	1.00	10	1.00	100	1.00
NEBRASKA	10	1.00	10	1.00	10	1.00	100	1.00
NEVADA	10	1.00	10	1.00	10	1.00	100	1.00
NEW HAMPSHIRE	10	1.00	10	1.00	10	1.00	100	1.00
NEW JERSEY	10	1.00	10	1.00	10	1.00	100	1.00
NEW MEXICO	10	1.00	10	1.00	10	1.00	100	1.00
NEW YORK	10	1.00	10	1.00	10	1.00	100	1.00
NEW ZEALAND	10	1.00	10	1.00	10	1.00	100	1.00
NORTH CAROLINA	10	1.00	10	1.00	10	1.00	100	1.00
NORTH DAKOTA	10	1.00	10	1.00	10	1.00	100	1.00
OHIO	10	1.00	10	1.00	10	1.00	100	1.00
OKLAHOMA	10	1.00	10	1.00	10	1.00	100	1.00
OREGON	10	1.00	10	1.00	10	1.00	100	1.00
PENNSYLVANIA	10	1.00	10	1.00	10	1.00	100	1.00
RHODE ISLAND	10	1.00	10	1.00	10	1.00	100	1.00
SOUTH CAROLINA	10	1.00	10	1.00	10	1.00	100	1.00
SOUTH DAKOTA	10	1.00	10	1.00	10	1.00	100	1.00
TENNESSEE	10	1.00	10	1.00	10	1.00	100	1.00
TEXAS	10	1.00	10	1.00	10	1.00	100	1.00
UTAH	10	1.00	10	1.00	10	1.00	100	1.00
VIRGINIA	10	1.00	10	1.00	10	1.00	100	1.00
WASHINGTON	10	1.00	10	1.00	10	1.00	100	1.00
WEST VIRGINIA	10	1.00	10	1.00	10	1.00	100	1.00
WISCONSIN	10	1.00	10	1.00	10	1.00	100	1.00
WYOMING	10	1.00	10	1.00	10	1.00	100	1.00

INSULATION SHALL BE PROVIDED TO THE ENTIRE PERIMETER OF THE BUILDING, INCLUDING THE ROADS, BASEMENTS, AND/OR TRANSITION WALLS.

[illegible]

INSULATION SPECIFICATIONS:

STATE	ROOF/CEILING		WALL		FLOOR	
	R	U	R	U	R	U
CONNECTICUT	22	200	13	200	-	13
DELAWARE	22	200	13	200	-	13
FLORIDA	22	200	13	200	-	13
GEORGIA	22	200	13	200	-	13
ILLINOIS	22	200	13	200	-	13
INDIANA	22	200	13	200	-	13
IOVA	22	200	13	200	-	13
KANSAS	22	200	13	200	-	13
KENTUCKY	22	200	13	200	-	13
LOUISIANA	22	200	13	200	-	13
MAINE	22	200	13	200	-	13
MARYLAND	22	200	13	200	-	13
MASSACHUSETTS	22	200	13	200	-	13
MICHIGAN	22	200	13	200	-	13
MINNESOTA	22	200	13	200	-	13
MISSISSIPPI	22	200	13	200	-	13
MISSOURI	22	200	13	200	-	13
MONTANA	22	200	13	200	-	13
NEBRASKA	22	200	13	200	-	13
NEVADA	22	200	13	200	-	13
NEW HAMPSHIRE	22	200	13	200	-	13
NEW JERSEY	22	200	13	200	-	13
NEW YORK	22	200	13	200	-	13
NEW YORK - NOTE #1	22	200	13	200	-	13
NEW YORK - NOTE #2	22	200	13	200	-	13
NEW YORK - NOTE #3	22	200	13	200	-	13
NEW YORK - NOTE #4	22	200	13	200	-	13
NEW YORK - NOTE #5	22	200	13	200	-	13
NEW YORK - NOTE #6	22	200	13	200	-	13
NEW YORK - NOTE #7	22	200	13	200	-	13
NEW YORK - NOTE #8	22	200	13	200	-	13
NEW YORK - NOTE #9	22	200	13	200	-	13
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NEW YORK - NOTE #13	22	200	13	200	-	13
NEW YORK - NOTE #14	22	200	13	200	-	13
NEW YORK - NOTE #15	22	200	13	200	-	13
NEW YORK - NOTE #16	22	200	13	200	-	13
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NEW YORK - NOTE #25	22	200	13	200	-	13
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NEW YORK - NOTE #27	22	200	13	200	-	13
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NEW YORK - NOTE #29	22	200	13	200	-	13
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NEW YORK - NOTE #31	22	200	13	200	-	13
NEW YORK - NOTE #32	22	200	13	200	-	13
NEW YORK - NOTE #33	22	200	13	200	-	13
NEW YORK - NOTE #34	22	200	13	200	-	13
NEW YORK - NOTE #35	22	200	13	200	-	13
NEW YORK - NOTE #36	22	200	13	200	-	13
NEW YORK - NOTE #37	22	200	13	200	-	13

[illegible]

CHICAGO AND OHIO ENERGY SUMMARY - TYPE A-1 BUILDINGS - SE

NO	ROOF CEILING LB	WALL LB	FLOOR LB - NOTE #1	PER CLIMATE 80	DESIGN MOD
800	406	410	41	41	PER CLIMATE 80
800 - 800	406	41	41	41	PER CLIMATE 80
MOON DLT					PER CLIMATE 80

WALL COVERING SCHEDULE		
WALL COVERING	STUD SPACING	
1/4" WOOD PANELING	16" O.C.	
1/2" GYPSUM BOARD	16" O.C. OR 24" O.C.	
1/2" VINYL COVERED GYP. BD.	16" O.C. OR 24" O.C.	

MASTER SERIES			
ALL MODELS			
SCHEDULES & NOTES			
MUNCY HOMES, INC.			
P.O. BOX 246, RT. 442 EAST			
MUNCY PA. 17756			
URN BY	DATE	SCALE	REV.
M.I.	3-22-91	NOVA	7-3-97

[illegible]

- 1 IF BUILDER EXCEEDS MAX. COLUMN SPACING
STAY IN PLACE IN ORDER TO MAINTAIN
FOR REINFORCING REBAR WILL BE REQUIRED
BY THE MANUFACTURER.
- 2 EXT. JOINTS SHOWN ON FLOOR PLAN MUST
CONFORM TO MAX. JOINT SPACING
SPECIFICATIONS TO EXTEND DOWN OVER
FLOOR DETAIL IN ORDER TO AVOID
PLACEMENT OF REBAR IN JOINTS AND LENGTHEN
PLASTERS ARE REQUIRED TO BE ZERO-SEALER MUST
CHECK SOIL CONDITIONS & FILL AREAS WITH
4 INCHES OF GRAVEL TO PREVENT
FLOODING OF JOINTS WITH WELLS ABOVE
5 EXCESS SPACE FILLATION REQUIRED UPON
FLOOR. ZERO VENTILATION 1/2 INCH
OF DRAIN SPACE MUST BE PROVIDED FOR
PROT. AGAINST A MOISTURE PROOF WITH SLOPING
OF LAYERS.
- 6 THIS DETAIL WILL HAVE DRAIN LOCAL RESIST
7 FLOOR MUST BE SUFFICIENT FOR COLUMN SPACING
NOT PER STATE APPROVAL
- 8 MAX. JOINT SPACING FOR SIZE WORK
MUST BE SET-UP INSTALLATION OF THE
SHALL BE DONE AT AN ANGLE OF A
PROGRESS TO BE COMPLETED IN THE SHIRT &
BASED ON SETTING SOIL CONDITIONS &
APPROPRIATE FOR
- 9 STRIPS ARE THE RESPONSIBILITY OF THE
BUILDER TO PROVIDE TWO HANDLES FOR
EACH OF THE TWO HANDLES FOR
1/2 INCH IN EACH DIRECTION
- 10 MAX. JOINT SPACING FOR REINFORCING REBAR
SHALL BE SET-UP INSTALLATION OF THE
1/2 INCH TO BE SET-UP WITH
11 MAX. JOINT SPACING FOR REINFORCING REBAR
SHALL BE SET-UP INSTALLATION OF THE
12 MAX. JOINT SPACING FOR REINFORCING REBAR
SHALL BE SET-UP INSTALLATION OF THE
13 MAX. JOINT SPACING FOR REINFORCING REBAR
SHALL BE SET-UP INSTALLATION OF THE
14 MAX. JOINT SPACING FOR REINFORCING REBAR
SHALL BE SET-UP INSTALLATION OF THE

STEEL COLUMN SPACING MAX.				
1 STORY CENTER GIRDER MEMBERS				
UNIT	SIZE	AMOUNT	CLEAR SPACING	
24"x4" WIDE	24	4 MEMBERS	7'-0"	
		"	"	8'-0"
24"x6" WIDE	24	3 MEMBERS	"	8'-0"
		"	"	9'-0"
24"x8" WIDE	24	"	"	9'-0"
24"x10" WIDE	24	"	"	9'-0"
24"x12" WIDE	24	"	"	9'-0"
1 1/2 TO 2 STORY CTR GIRDER MEMB.				
UNIT	SIZE	AMOUNT	CLEAR SPACING	
24"x4" WIDE	24	4 MEMBERS	8'-0"	
24"x6" WIDE	24	3 MEMBERS	7'-0"	
		"	"	8'-0"
24"x8" WIDE	24	"	"	8'-0"
		"	"	9'-0"
24"x10" WIDE	24	"	"	9'-0"
24"x12" WIDE	24	"	"	9'-0"

NOTE
CONCRETE WALL SPACING IS DEPENDENT UPON THE
INSULATION OF A 2" x 4" STEEL PLATE
FASTENED TO THE WALL.

MASTER SERIES

RANCH CAFE, TWO STORY & CONTEMP.

FOUNDATION PLAN DETAILS & NOTES

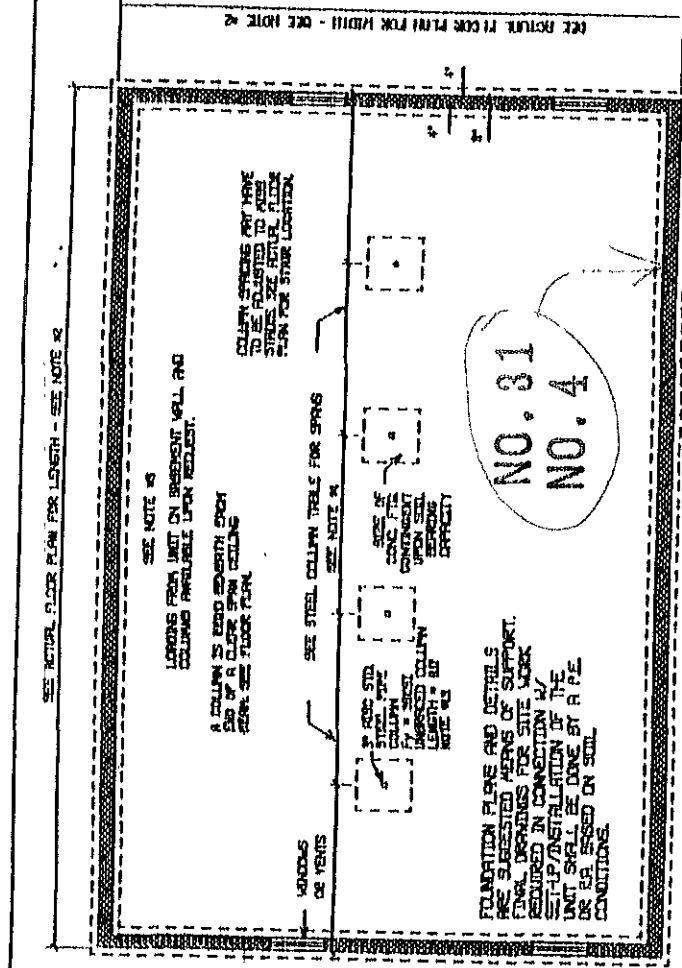
MURPHY HOMES, INC.

P.O. BOX 248 RT. 442 EAST

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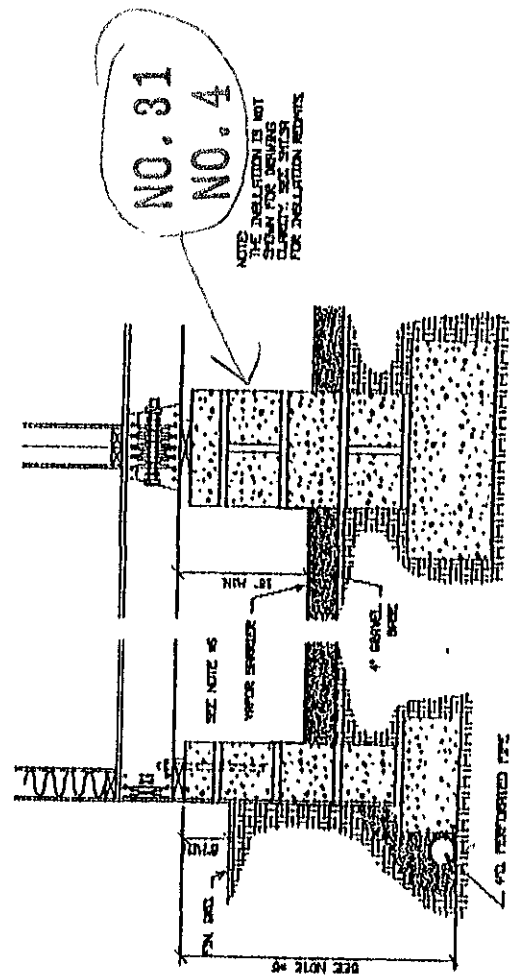
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70	NOV	2-2-55	

DATATYPE NAME

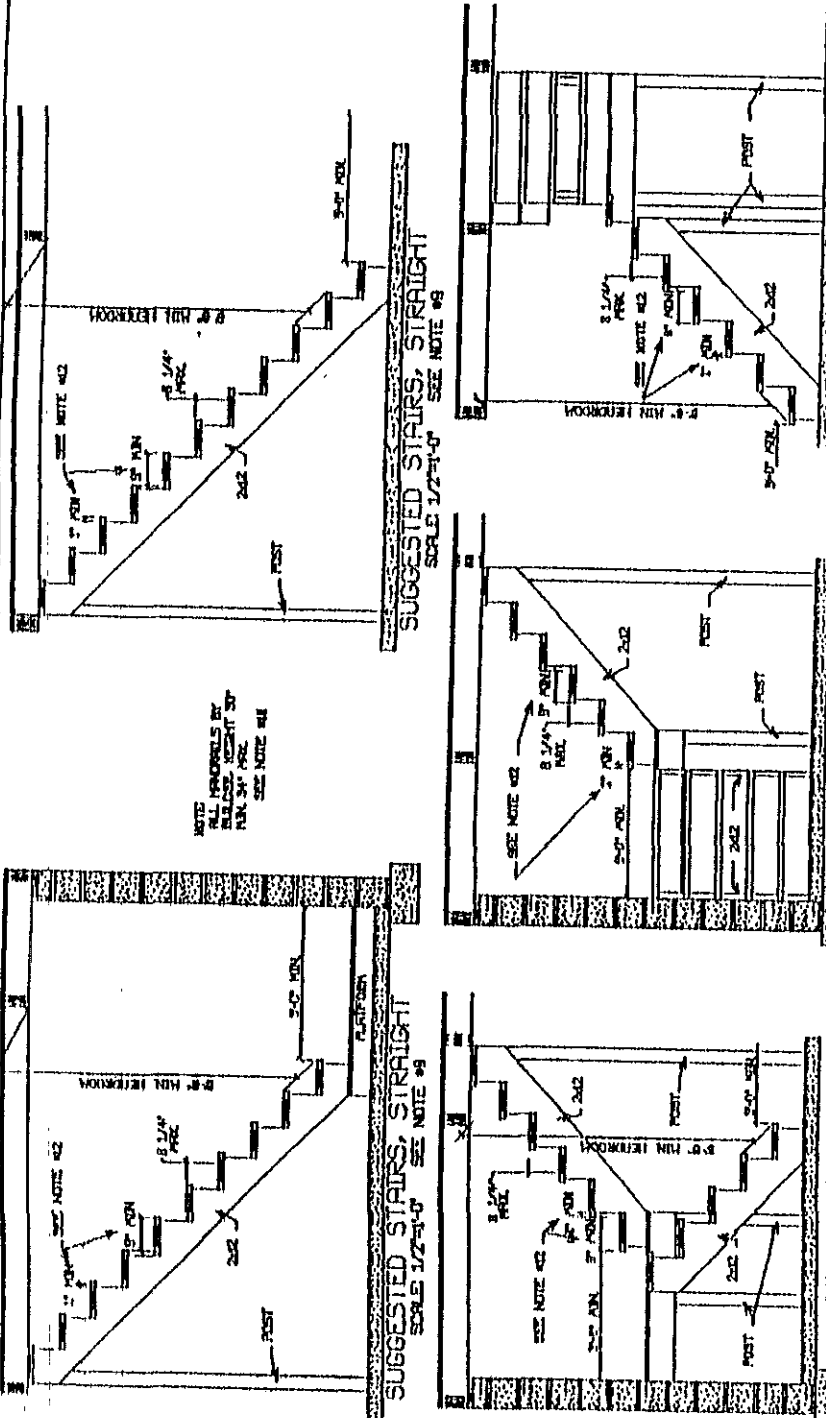


TYP. FOUNDATION PLAN
SCALE 1/4"=1'-0"

NOTE
ALL MATERIALS & LABOR REMAIN BELOW BOTTOM OF FLOOD LAST IS
THE RESPONSIBILITY OF THE BUILDING DEPT. NO ONE HAS SUGGESTED
ONLY A FURTHER CONSTRUCTION MUST COMPLY WITH ALL FLOOD TIDE CODES



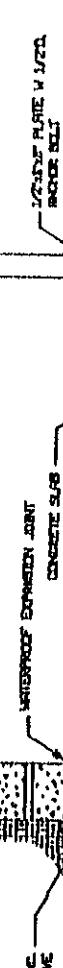
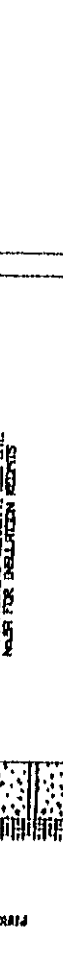
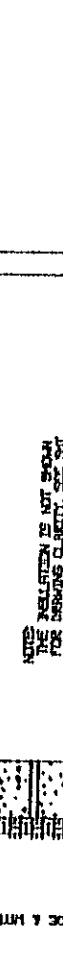
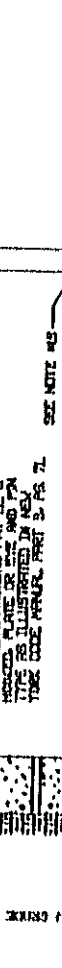
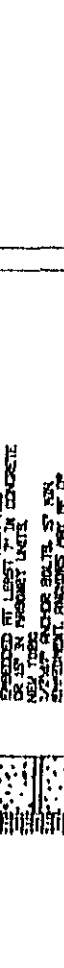
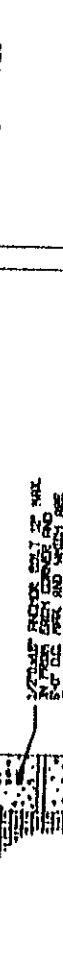
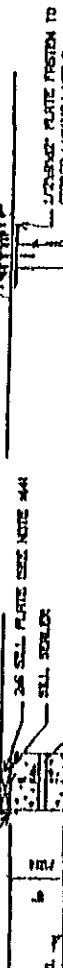
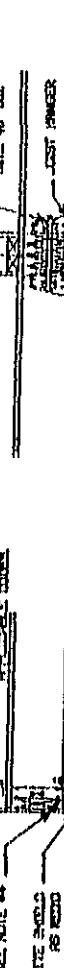
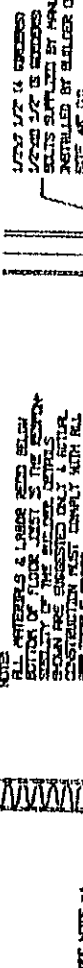
CRAWL SPACE DETAILS
SCALE 1"=1'-0"



SUGGESTED STAIRS, WINDERS
SCALE: 1/2"=1'-0" SEE NOTE #8

SUGGESTED STAIRS, L-SHAPE
SCALE 1/2"=1'-0" SEE NOTE #9

WANTED STAIRS, U-SHOPE
SEE NOTE #9

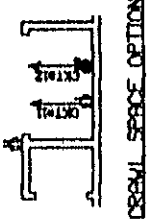


TYP. FOUNDATION WALL
SCALE 1"=1'-0"

CENTER COLUMN

NOTES

1. SEE NOTES 1-5 FOR GENERAL NOTES.
2. SEE NOTES 6-10 FOR ELECTRICAL NOTES.
3. SEE NOTES 11-15 FOR HEATING NOTES.
4. SEE NOTES 16-20 FOR PLUMBING NOTES.
5. SEE NOTES 21-25 FOR FINISHES.
6. SEE NOTES 26-30 FOR STRUCTURAL NOTES.
7. SEE NOTES 31-35 FOR MECHANICAL NOTES.
8. SEE NOTES 36-40 FOR OTHER NOTES.
9. SEE NOTES 41-45 FOR GENERAL NOTES.
10. SEE NOTES 46-50 FOR ELECTRICAL NOTES.
11. SEE NOTES 51-55 FOR HEATING NOTES.
12. SEE NOTES 56-60 FOR PLUMBING NOTES.
13. SEE NOTES 61-65 FOR FINISHES.
14. SEE NOTES 66-70 FOR STRUCTURAL NOTES.
15. SEE NOTES 71-75 FOR MECHANICAL NOTES.
16. SEE NOTES 76-80 FOR OTHER NOTES.
17. SEE NOTES 81-85 FOR GENERAL NOTES.
18. SEE NOTES 86-90 FOR ELECTRICAL NOTES.
19. SEE NOTES 91-95 FOR HEATING NOTES.
20. SEE NOTES 96-100 FOR PLUMBING NOTES.
21. SEE NOTES 101-105 FOR FINISHES.
22. SEE NOTES 106-110 FOR STRUCTURAL NOTES.
23. SEE NOTES 111-115 FOR MECHANICAL NOTES.
24. SEE NOTES 116-120 FOR OTHER NOTES.
25. SEE NOTES 121-125 FOR GENERAL NOTES.
26. SEE NOTES 126-130 FOR ELECTRICAL NOTES.
27. SEE NOTES 131-135 FOR HEATING NOTES.
28. SEE NOTES 136-140 FOR PLUMBING NOTES.
29. SEE NOTES 141-145 FOR FINISHES.
30. SEE NOTES 146-150 FOR STRUCTURAL NOTES.
31. SEE NOTES 151-155 FOR MECHANICAL NOTES.
32. SEE NOTES 156-160 FOR OTHER NOTES.
33. SEE NOTES 161-165 FOR GENERAL NOTES.
34. SEE NOTES 166-170 FOR ELECTRICAL NOTES.
35. SEE NOTES 171-175 FOR HEATING NOTES.
36. SEE NOTES 176-180 FOR PLUMBING NOTES.
37. SEE NOTES 181-185 FOR FINISHES.
38. SEE NOTES 186-190 FOR STRUCTURAL NOTES.
39. SEE NOTES 191-195 FOR MECHANICAL NOTES.
40. SEE NOTES 196-200 FOR OTHER NOTES.
41. SEE NOTES 201-205 FOR GENERAL NOTES.
42. SEE NOTES 206-210 FOR ELECTRICAL NOTES.
43. SEE NOTES 211-215 FOR HEATING NOTES.
44. SEE NOTES 216-220 FOR PLUMBING NOTES.
45. SEE NOTES 221-225 FOR FINISHES.
46. SEE NOTES 226-230 FOR STRUCTURAL NOTES.
47. SEE NOTES 231-235 FOR MECHANICAL NOTES.
48. SEE NOTES 236-240 FOR OTHER NOTES.
49. SEE NOTES 241-245 FOR GENERAL NOTES.
50. SEE NOTES 246-250 FOR ELECTRICAL NOTES.
51. SEE NOTES 251-255 FOR HEATING NOTES.
52. SEE NOTES 256-260 FOR PLUMBING NOTES.
53. SEE NOTES 261-265 FOR FINISHES.
54. SEE NOTES 266-270 FOR STRUCTURAL NOTES.
55. SEE NOTES 271-275 FOR MECHANICAL NOTES.
56. SEE NOTES 276-280 FOR OTHER NOTES.
57. SEE NOTES 281-285 FOR GENERAL NOTES.
58. SEE NOTES 286-290 FOR ELECTRICAL NOTES.
59. SEE NOTES 291-295 FOR HEATING NOTES.
60. SEE NOTES 296-300 FOR PLUMBING NOTES.
61. SEE NOTES 301-305 FOR FINISHES.
62. SEE NOTES 306-310 FOR STRUCTURAL NOTES.
63. SEE NOTES 311-315 FOR MECHANICAL NOTES.
64. SEE NOTES 316-320 FOR OTHER NOTES.
65. SEE NOTES 321-325 FOR GENERAL NOTES.
66. SEE NOTES 326-330 FOR ELECTRICAL NOTES.
67. SEE NOTES 331-335 FOR HEATING NOTES.
68. SEE NOTES 336-340 FOR PLUMBING NOTES.
69. SEE NOTES 341-345 FOR FINISHES.
70. SEE NOTES 346-350 FOR STRUCTURAL NOTES.
71. SEE NOTES 351-355 FOR MECHANICAL NOTES.
72. SEE NOTES 356-360 FOR OTHER NOTES.
73. SEE NOTES 361-365 FOR GENERAL NOTES.
74. SEE NOTES 366-370 FOR ELECTRICAL NOTES.
75. SEE NOTES 371-375 FOR HEATING NOTES.
76. SEE NOTES 376-380 FOR PLUMBING NOTES.
77. SEE NOTES 381-385 FOR FINISHES.
78. SEE NOTES 386-390 FOR STRUCTURAL NOTES.
79. SEE NOTES 391-395 FOR MECHANICAL NOTES.
80. SEE NOTES 396-400 FOR OTHER NOTES.
81. SEE NOTES 401-405 FOR GENERAL NOTES.
82. SEE NOTES 406-410 FOR ELECTRICAL NOTES.
83. SEE NOTES 411-415 FOR HEATING NOTES.
84. SEE NOTES 416-420 FOR PLUMBING NOTES.
85. SEE NOTES 421-425 FOR FINISHES.
86. SEE NOTES 426-430 FOR STRUCTURAL NOTES.
87. SEE NOTES 431-435 FOR MECHANICAL NOTES.
88. SEE NOTES 436-440 FOR OTHER NOTES.
89. SEE NOTES 441-445 FOR GENERAL NOTES.
90. SEE NOTES 446-450 FOR ELECTRICAL NOTES.
91. SEE NOTES 451-455 FOR HEATING NOTES.
92. SEE NOTES 456-460 FOR PLUMBING NOTES.
93. SEE NOTES 461-465 FOR FINISHES.
94. SEE NOTES 466-470 FOR STRUCTURAL NOTES.
95. SEE NOTES 471-475 FOR MECHANICAL NOTES.
96. SEE NOTES 476-480 FOR OTHER NOTES.
97. SEE NOTES 481-485 FOR GENERAL NOTES.
98. SEE NOTES 486-490 FOR ELECTRICAL NOTES.
99. SEE NOTES 491-495 FOR HEATING NOTES.
100. SEE NOTES 496-500 FOR PLUMBING NOTES.
101. SEE NOTES 501-505 FOR FINISHES.
102. SEE NOTES 506-510 FOR STRUCTURAL NOTES.
103. SEE NOTES 511-515 FOR MECHANICAL NOTES.
104. SEE NOTES 516-520 FOR OTHER NOTES.
105. SEE NOTES 521-525 FOR GENERAL NOTES.
106. SEE NOTES 526-530 FOR ELECTRICAL NOTES.
107. SEE NOTES 531-535 FOR HEATING NOTES.
108. SEE NOTES 536-540 FOR PLUMBING NOTES.
109. SEE NOTES 541-545 FOR FINISHES.
110. SEE NOTES 546-550 FOR STRUCTURAL NOTES.
111. SEE NOTES 551-555 FOR MECHANICAL NOTES.
112. SEE NOTES 556-560 FOR OTHER NOTES.
113. SEE NOTES 561-565 FOR GENERAL NOTES.
114. SEE NOTES 566-570 FOR ELECTRICAL NOTES.
115. SEE NOTES 571-575 FOR HEATING NOTES.
116. SEE NOTES 576-580 FOR PLUMBING NOTES.
117. SEE NOTES 581-585 FOR FINISHES.
118. SEE NOTES 586-590 FOR STRUCTURAL NOTES.
119. SEE NOTES 591-595 FOR MECHANICAL NOTES.
120. SEE NOTES 596-600 FOR OTHER NOTES.
121. SEE NOTES 601-605 FOR GENERAL NOTES.
122. SEE NOTES 606-610 FOR ELECTRICAL NOTES.
123. SEE NOTES 611-615 FOR HEATING NOTES.
124. SEE NOTES 616-620 FOR PLUMBING NOTES.
125. SEE NOTES 621-625 FOR FINISHES.
126. SEE NOTES 626-630 FOR STRUCTURAL NOTES.
127. SEE NOTES 631-635 FOR MECHANICAL NOTES.
128. SEE NOTES 636-640 FOR OTHER NOTES.
129. SEE NOTES 641-645 FOR GENERAL NOTES.
130. SEE NOTES 646-650 FOR ELECTRICAL NOTES.
131. SEE NOTES 651-655 FOR HEATING NOTES.
132. SEE NOTES 656-660 FOR PLUMBING NOTES.
133. SEE NOTES 661-665 FOR FINISHES.
134. SEE NOTES 666-670 FOR STRUCTURAL NOTES.
135. SEE NOTES 671-675 FOR MECHANICAL NOTES.
136. SEE NOTES 676-680 FOR OTHER NOTES.
137. SEE NOTES 681-685 FOR GENERAL NOTES.
138. SEE NOTES 686-690 FOR ELECTRICAL NOTES.
139. SEE NOTES 691-695 FOR HEATING NOTES.
140. SEE NOTES 696-700 FOR PLUMBING NOTES.
141. SEE NOTES 701-705 FOR FINISHES.
142. SEE NOTES 706-710 FOR STRUCTURAL NOTES.
143. SEE NOTES 711-715 FOR MECHANICAL NOTES.
144. SEE NOTES 716-720 FOR OTHER NOTES.
145. SEE NOTES 721-725 FOR GENERAL NOTES.
146. SEE NOTES 726-730 FOR ELECTRICAL NOTES.
147. SEE NOTES 731-735 FOR HEATING NOTES.
148. SEE NOTES 736-740 FOR PLUMBING NOTES.
149. SEE NOTES 741-745 FOR FINISHES.
150. SEE NOTES 746-750 FOR STRUCTURAL NOTES.
151. SEE NOTES 751-755 FOR MECHANICAL NOTES.
152. SEE NOTES 756-760 FOR OTHER NOTES.
153. SEE NOTES 761-765 FOR GENERAL NOTES.
154. SEE NOTES 766-770 FOR ELECTRICAL NOTES.
155. SEE NOTES 771-775 FOR HEATING NOTES.
156. SEE NOTES 776-780 FOR PLUMBING NOTES.
157. SEE NOTES 781-785 FOR FINISHES.
158. SEE NOTES 786-790 FOR STRUCTURAL NOTES.
159. SEE NOTES 791-795 FOR MECHANICAL NOTES.
160. SEE NOTES 796-800 FOR OTHER NOTES.
161. SEE NOTES 801-805 FOR GENERAL NOTES.
162. SEE NOTES 806-810 FOR ELECTRICAL NOTES.
163. SEE NOTES 811-815 FOR HEATING NOTES.
164. SEE NOTES 816-820 FOR PLUMBING NOTES.
165. SEE NOTES 821-825 FOR FINISHES.
166. SEE NOTES 826-830 FOR STRUCTURAL NOTES.
167. SEE NOTES 831-835 FOR MECHANICAL NOTES.
168. SEE NOTES 836-840 FOR OTHER NOTES.
169. SEE NOTES 841-845 FOR GENERAL NOTES.
170. SEE NOTES 846-850 FOR ELECTRICAL NOTES.
171. SEE NOTES 851-855 FOR HEATING NOTES.
172. SEE NOTES 856-860 FOR PLUMBING NOTES.
173. SEE NOTES 861-865 FOR FINISHES.
174. SEE NOTES 866-870 FOR STRUCTURAL NOTES.
175. SEE NOTES 871-875 FOR MECHANICAL NOTES.
176. SEE NOTES 876-880 FOR OTHER NOTES.
177. SEE NOTES 881-885 FOR GENERAL NOTES.
178. SEE NOTES 886-890 FOR ELECTRICAL NOTES.
179. SEE NOTES 891-895 FOR HEATING NOTES.
180. SEE NOTES 896-900 FOR PLUMBING NOTES.
181. SEE NOTES 901-905 FOR FINISHES.
182. SEE NOTES 906-910 FOR STRUCTURAL NOTES.
183. SEE NOTES 911-915 FOR MECHANICAL NOTES.
184. SEE NOTES 916-920 FOR OTHER NOTES.
185. SEE NOTES 921-925 FOR GENERAL NOTES.
186. SEE NOTES 926-930 FOR ELECTRICAL NOTES.
187. SEE NOTES 931-935 FOR HEATING NOTES.
188. SEE NOTES 936-940 FOR PLUMBING NOTES.
189. SEE NOTES 941-945 FOR FINISHES.
190. SEE NOTES 946-950 FOR STRUCTURAL NOTES.
191. SEE NOTES 951-955 FOR MECHANICAL NOTES.
192. SEE NOTES 956-960 FOR OTHER NOTES.
193. SEE NOTES 961-965 FOR GENERAL NOTES.
194. SEE NOTES 966-970 FOR ELECTRICAL NOTES.
195. SEE NOTES 971-975 FOR HEATING NOTES.
196. SEE NOTES 976-980 FOR PLUMBING NOTES.
197. SEE NOTES 981-985 FOR FINISHES.
198. SEE NOTES 986-990 FOR STRUCTURAL NOTES.
199. SEE NOTES 991-995 FOR MECHANICAL NOTES.
200. SEE NOTES 996-1000 FOR OTHER NOTES.



TYPICAL ELECTRICAL LAYOUT

TYPICAL ELECTRIC HEAT LAYOUT

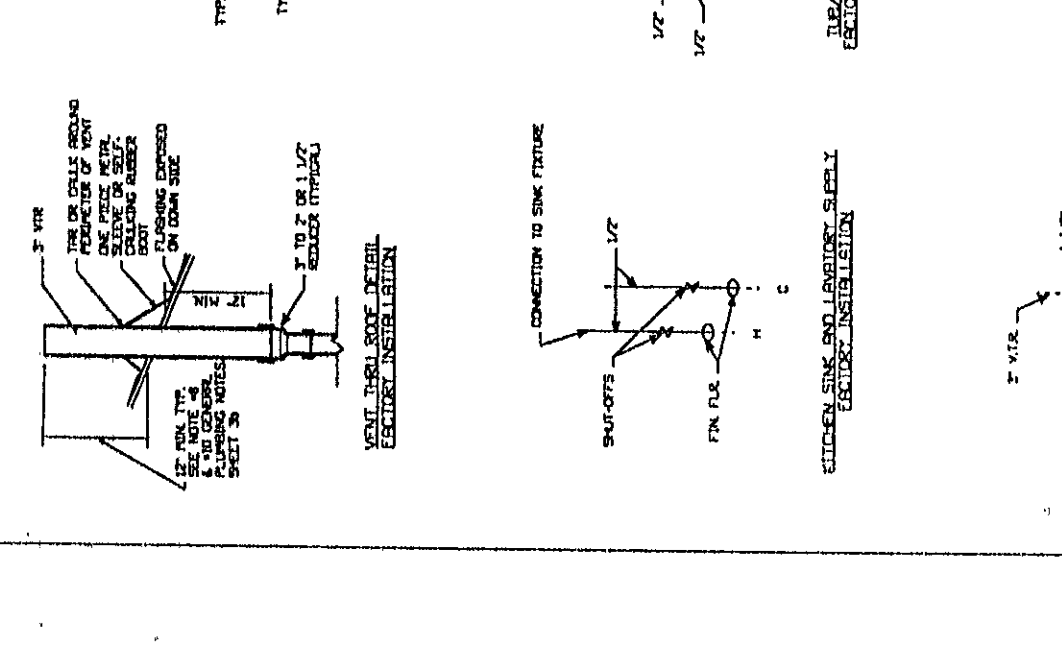
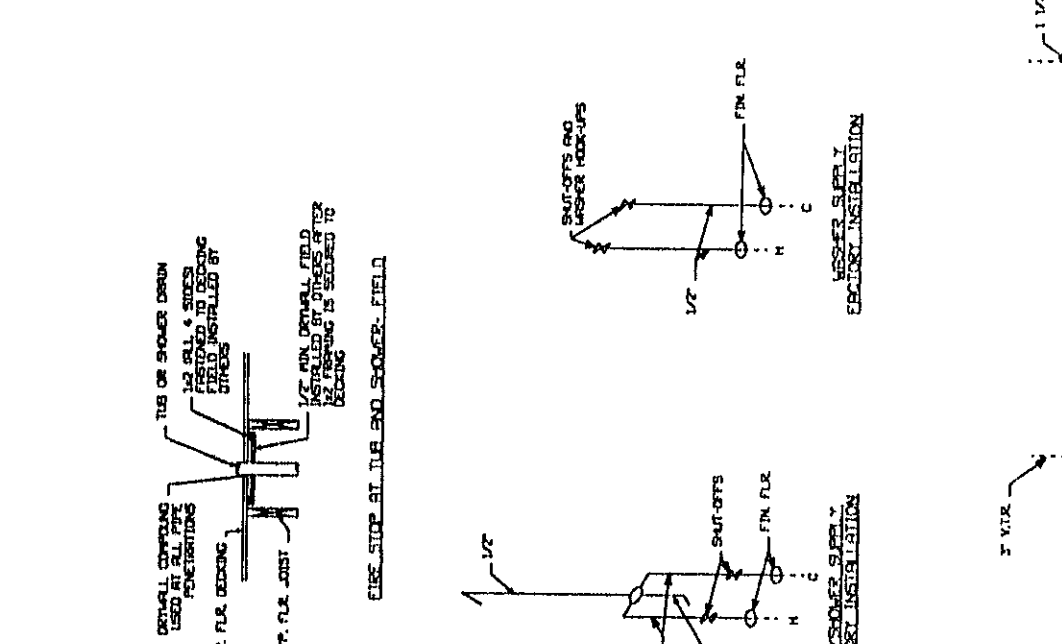
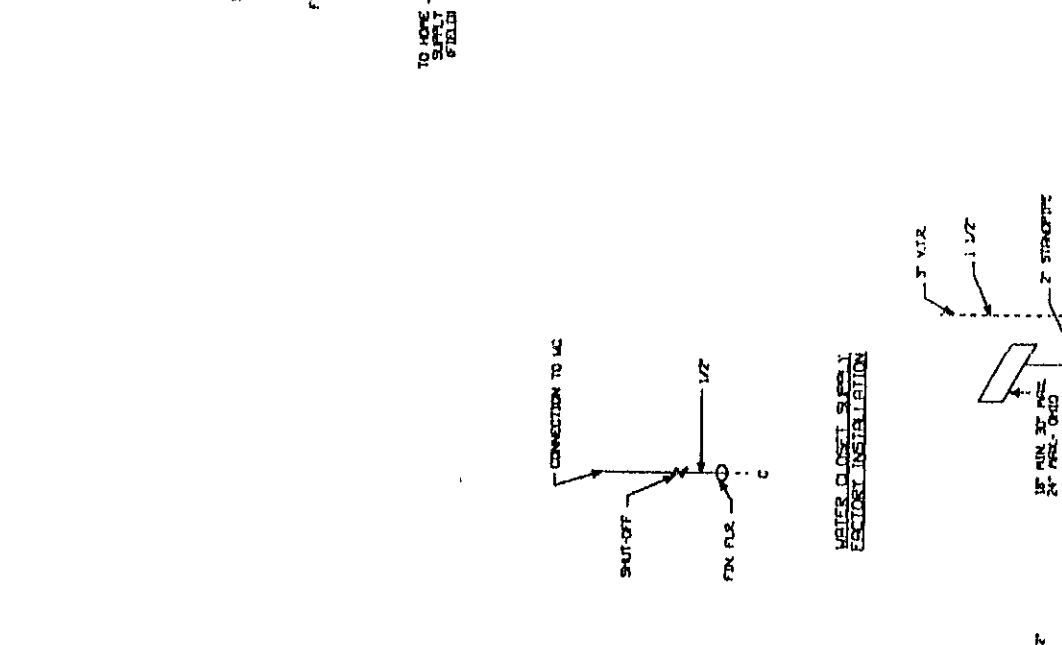
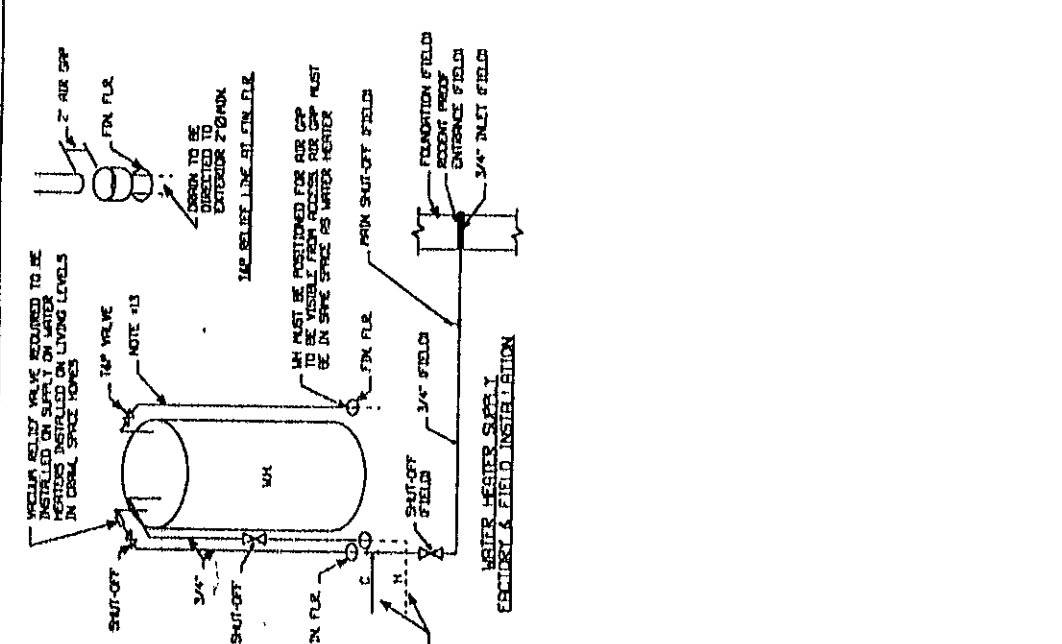
TYPICAL HYDRONIC HEAT LAYOUT

MASTER SERIES					
RANCH MODELS					
ELECTRICAL & HEAT LAYOUT					
MUNCY HOMES, INC.					
P.O. BOX 246, RT. 442 EAST					
MUNCY PA. 17756					
DRN BY	DATE	SCALE	REV.	SHT. NO.	
A.J.L.	5-22-51	1/4"=1'-0"	5-24-56	5	

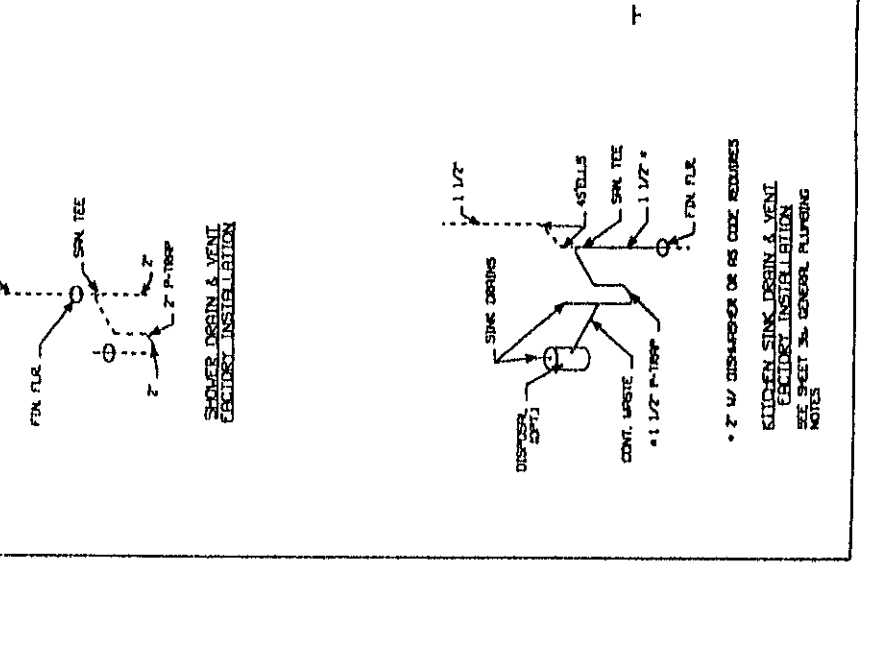
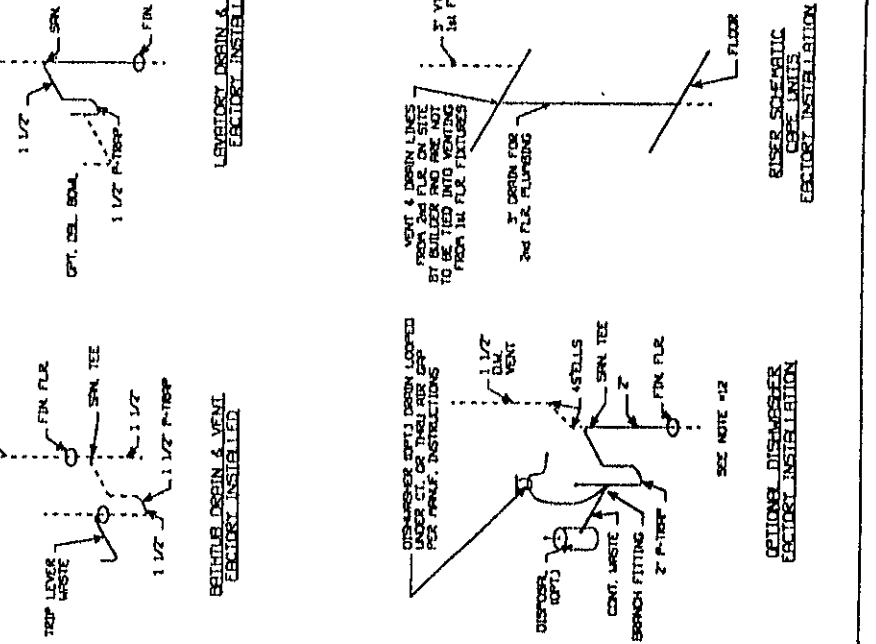
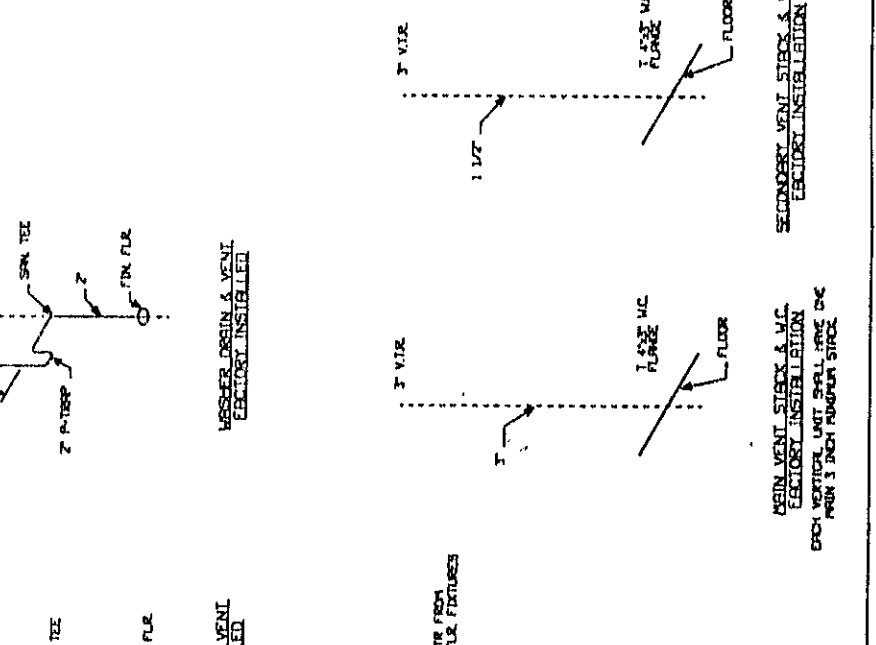
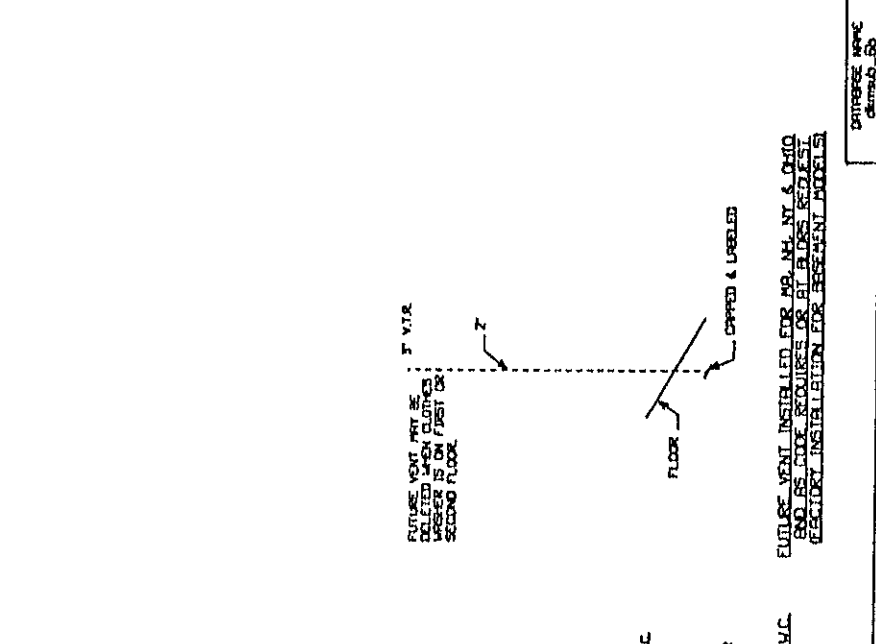
DIFFERENCE NOTE
CHANGED 5

NOTES

1. FOR STANDARDS AND APPLICABLE NOTES SEE SHEET 101.
2. SEE SHEET 101 FOR TYPICAL FUTURE CLEARANCES.
3. FUTURE VENT PIPING SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING NOTES:
4. FUTURE VENT PIPING SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING NOTES:
5. FUTURE VENT PIPING SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING NOTES:
6. FUTURE VENT PIPING SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING NOTES:
7. FUTURE VENT PIPING SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING NOTES:
8. FUTURE VENT PIPING SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING NOTES:
9. FUTURE VENT PIPING SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING NOTES:
10. FUTURE VENT PIPING SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING NOTES:
11. FUTURE VENT PIPING SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING NOTES:
12. FUTURE VENT PIPING SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING NOTES:
13. FUTURE VENT PIPING SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING NOTES:
14. FUTURE VENT PIPING SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING NOTES:
15. FUTURE VENT PIPING SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING NOTES:
16. FUTURE VENT PIPING SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING NOTES:
17. FUTURE VENT PIPING SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING NOTES:
18. FUTURE VENT PIPING SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING NOTES:
19. FUTURE VENT PIPING SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING NOTES:
20. FUTURE VENT PIPING SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING NOTES:



MASTER SERIES			
ALL MODELS			
PLUMBING			
MUNCY HOMES, INC.			
P.O. BOX 246, RT. 442 EAST			
MUNCY PA 17758			
DRN BY	DATE	SCALE	REV. SHT. NO.
P.L.	3-22-91	NONE	5-9-97 50



FUTURE VENT PIPING SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING NOTES:

SECONDARY VENT STACK & V.C. FACTORY INSTALLATION

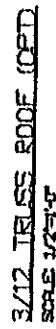
MAIN VENT STACK & V.C. FACTORY INSTALLATION

RISER SCHEMATIC FACTORY INSTALLATION

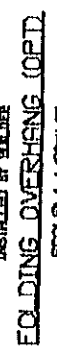
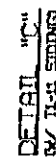
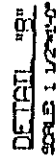
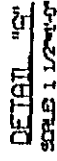
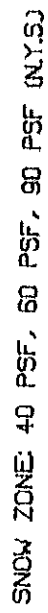
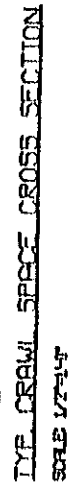
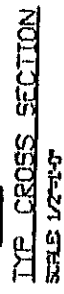
CEILING DISCHARGE FACTORY INSTALLATION

KITCHEN SINK DRAIN & VENT FACTORY INSTALLATION

2\"/>



FOR ON SITE FASTENING
SEE TYPICAL CONSTRUCTION
DETAILS, SHIT 7
AND SETUP MANUAL



- NOTES
1. [REDACTED] [REDACTED] [REDACTED]
 2. [REDACTED] [REDACTED] [REDACTED]
 3. [REDACTED] [REDACTED] [REDACTED]
 4. [REDACTED] [REDACTED] [REDACTED]
 5. [REDACTED] [REDACTED] [REDACTED]

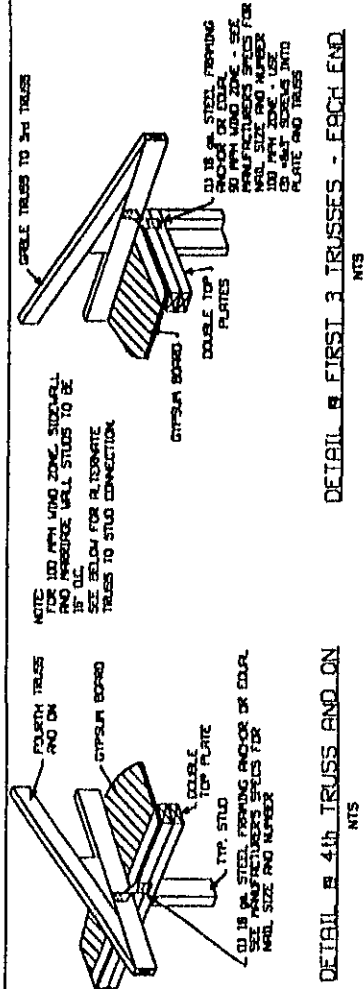
MASTER SERIES			
RANCH MODELS			
CROSS SECTION			
MUNCY HOMES, INC.			
P.O. BOX 246, RT. 442 EAST			
MUNCY PA. 17758			
TURN BY	DATE	SCALE	REV.
	3-22-61	3/4"=1"	3-22-65
M.J.			78

1. FOR DISTANCES NOT SPECIFICALLY COVERED IN THIS ZONING ORDINANCE, THE DISTANCE BETWEEN THE PROPOSED DEVELOPMENT AND THE EXISTING DEVELOPMENT SHALL BE 1/2 MILE.
2. THE USE OF SUBSTITUTING FARMS FOR RESIDENTIAL DEVELOPMENT SHALL BE LIMITED TO FARMS OF A MINIMUM OF 10 ACRES. THE FARMS SHALL BE USED FOR AGRICULTURAL, SCIENTIFIC, RECREATION, OR EDUCATIONAL PURPOSES. THE FARMS SHALL BE USED IN ACCORDANCE WITH ZONING ORDINANCE AND ZONING MAP. THE FARMS SHALL BE USED WITH AGRICULTURAL PURPOSES AND SHALL BE USED IN ACCORDANCE WITH ZONING ORDINANCE AND ZONING MAP.
3. ZONING ORDINANCE FOR A 1 STORY UNIT IS BASED ON A 1/2 ACRE PLOT. ZONING ORDINANCE FOR A 2 STORY UNIT IS BASED ON A 1/2 ACRE PLOT.
4. THE 1/2 ACRE ZONE IS APPLICABLE TO THE DISTRICTS OF ATLANTA, GAITHERSBURG, ROCKVILLE, WASHINGTON, AND WOODLAND. THE 1/2 ACRE ZONE IS APPLICABLE TO THE DISTRICTS OF ATLANTA, GAITHERSBURG, ROCKVILLE, WASHINGTON, AND WOODLAND.
5. THE 1/2 ACRE ZONE IS APPLICABLE TO THE DISTRICTS OF ATLANTA, GAITHERSBURG, ROCKVILLE, WASHINGTON, AND WOODLAND.



5-1-21 : JTB

CONNECTION SCHEDULE FOR WIND RESISTANCE ONE AND TWO STORY UNITS



THE NEW YORK PUBLIC LIBRARY

LOCATION	FASTENERS & SIZE	QUANTITY
FLOOR TO FOUNDATION CONNECTION BY BULDER	GRV. STRAP 1 1/2"x3/8" GA. WELD - 100' FOR STRAP	WELD DIRECT TO WALL AND RUN JOINT 8' O.C.
SIDEWALL STRIPS TO TOP PLATE	2"x5" SIZED SCHEDULE 40 STEEL 1/2"x3/8" GA. STRAP	2' O.C.
ROOFING WALL TO TRUSS END PLATE	GRV. STRAP 1 1/2"x3/8" GA. STRAP	01 EACH STUD 02 EACH JOINT - 020 EACH STRAP
STUD TO TRUSS AND	GRV. STRAP 1 1/2"x3/8" GA. STRAP	02 STRAPS AT 48" O.C.
R.I. STUD TO TRUSS - 50 MPH ZONE	GRV. STRAP 1 1/2"x3/8" GA. STRAP	03 EACH JOINT - 041 EACH STRAP
R.I. STUD TO TRUSS - 100 MPH ZONE	GRV. STRAP 1 1/2"x3/8" GA. STRAP	03 STRAPS AT 48" O.C.
STUD	WELD - 115"x2 1/2"	041 EACH JOINT - 028 EACH STRAP
TOP AND BOTTOM PLATES TO STUD	WELD - 130"x3 1/2"	03 DIRECT EACH END
BOTTOM PLATE TO FLOOR	WELD - 130"x3 1/2"	8' O.C.
ALTERNATE TRUSS TO SIDEWALL STUD	GRV. STRAP 1 1/2"x3/8" GA. WELD - 130"x3 1/2"	01 EACH STUD 01 EACH JOINT - 020 EACH STRAP

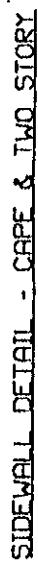
OUTSIDE MORE
 DETAILS 7/4/1



0-1-271 : 37605



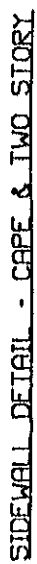
SCALE: 1/2"=1'-0"



SCALE: 1/2"=1'-0"

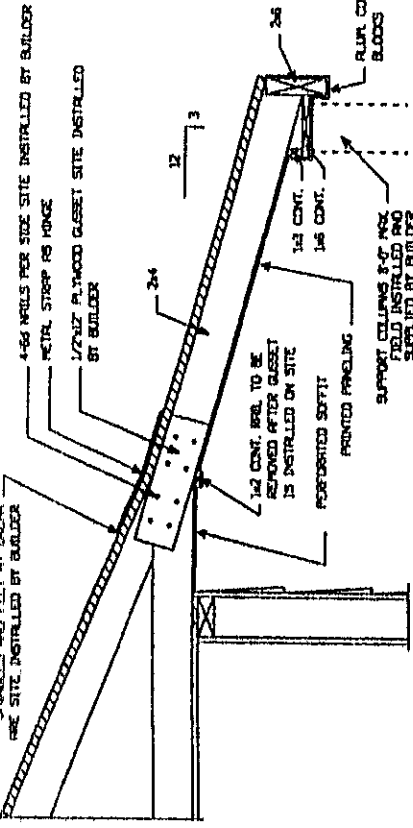


0-1-271 1:37BOS
GNIDIS 11-11 PLIM



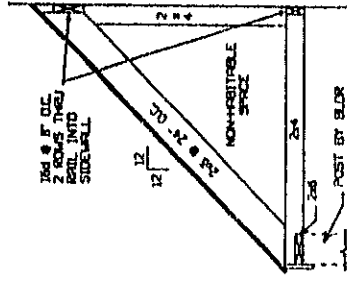
WITH 71-11 SIDING
SCALE: 1 1/2"=1'-0"

DETAIL #8



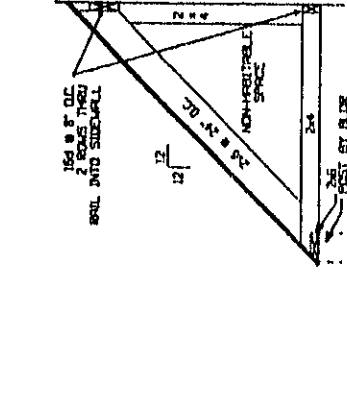
5/12 HINGED PORCH ROOF FIELD WORK

THIS ROOF IS SHIPPED FOLDED BACK UP ON HOUSE
ROOF AND LOWERED ON SITE BY CRANE

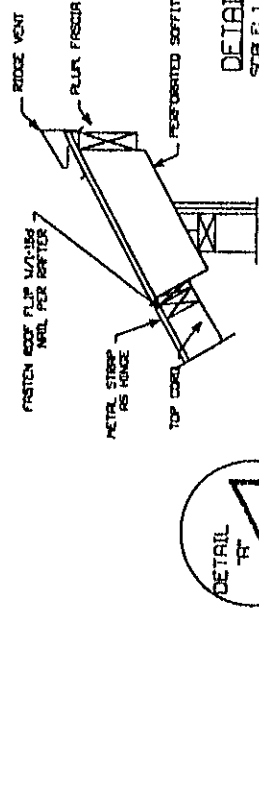


OPTIONAL ROOF DORMERS

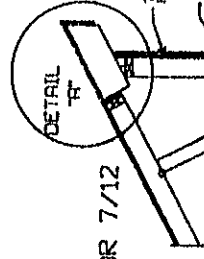
5-1676 3726



DETAIL #3

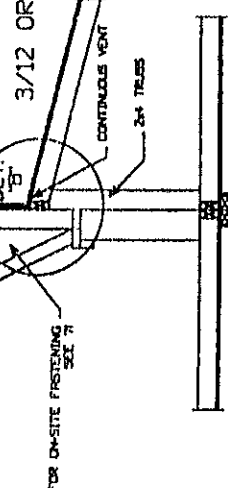


SCALE: 1/2" = 1'-0"
DETAIL "A"

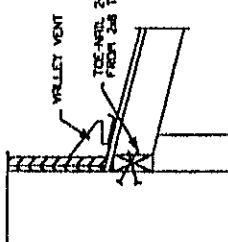


7/15 AGENCY RATED S-RTING OR EQUAL
PRE-CUT FOR SITE INSTALLATION BY BUILDER

TI-11 SIDING OR EQUAL SUPPLIED PRE-CUT FOR SITE
INSTALLATION BY OWNER

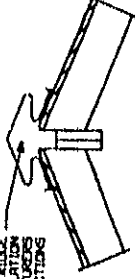


0-1-21 1 3HDS
B. THIED
DETAIL "B"



SECTION THRU OFFSET ROOF FIELD WORK

APPENDIX E

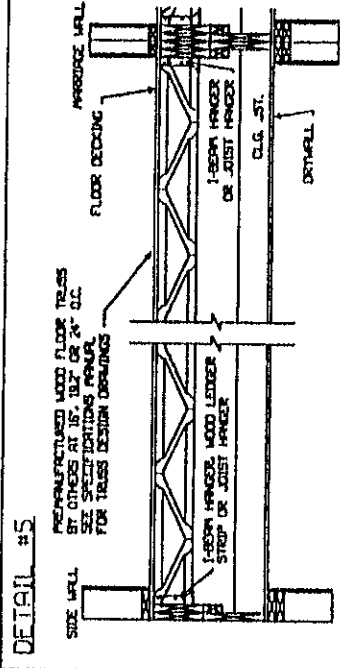


DETAIN #4

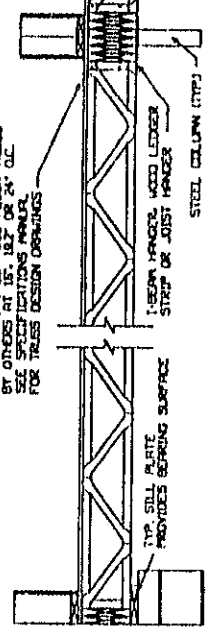
MANUFACTURER SUPPLIES KITCHEN
VENT FOR FIELD INSTALLATION
BY OTHERS AS PER MANUFACTURER'S
INSTRUCTIONS

FIELD INSTALLED RIDGE VENT DETAILS

ERG 2014-01-01



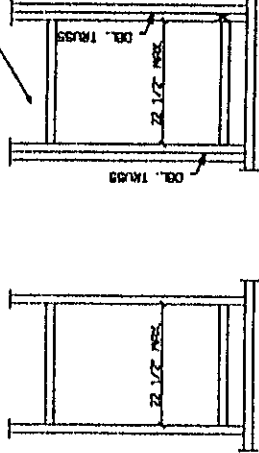
TYPICAL SECOND FLOOR



TYPICAL FIRST FLOOR

OPTIONAL FLOOR TRUSS DETAILS

DATE: 11/11/2015



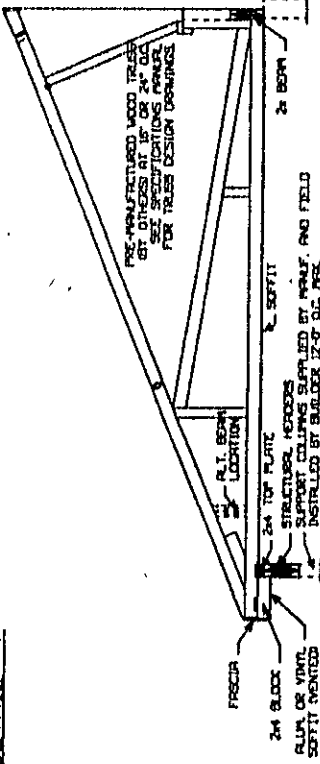
150

BLOCKING ALONG TOP CHORD
OF TRUSS FOR BEARING
WALLS. BLOCKING IS 2x4
AT 10' O.C. MAX FOR
50 PSF SNOW. BLOCKING IS
NOT REQUIRED ALONG THE TOP
CHORD WHEN SNOW LOAD IS
40 PSF.

TYP. ATTIC ACCESS AND SKYLIGHT FRAMING

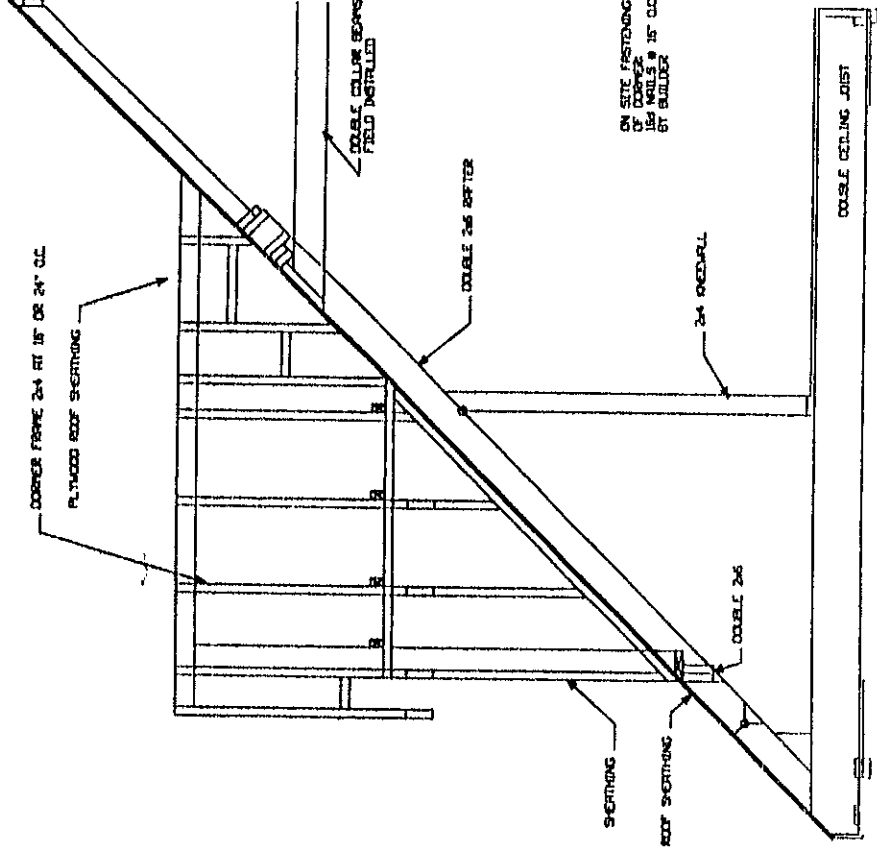
0-1-4/E 37605

DETAIL = 7



TYPE SECTION THRU CARPORT

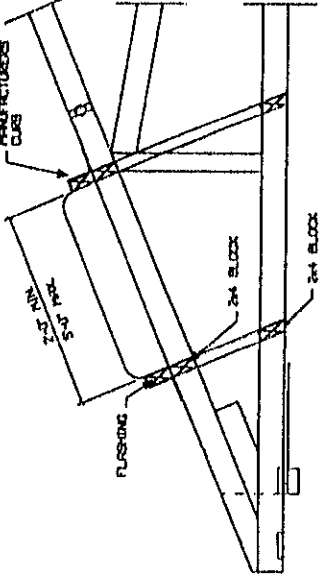
309-317-17-1-0



FIELD INSTALLED DORMER DETAIL

1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35	36	37	38	39	40	41	42	43	44	45	46	47	48	49	50	51	52	53	54	55	56	57	58	59	60	61	62	63	64	65	66	67	68	69	70	71	72	73	74	75	76	77	78	79	80	81	82	83	84	85	86	87	88	89	90	91	92	93	94	95	96	97	98	99	100
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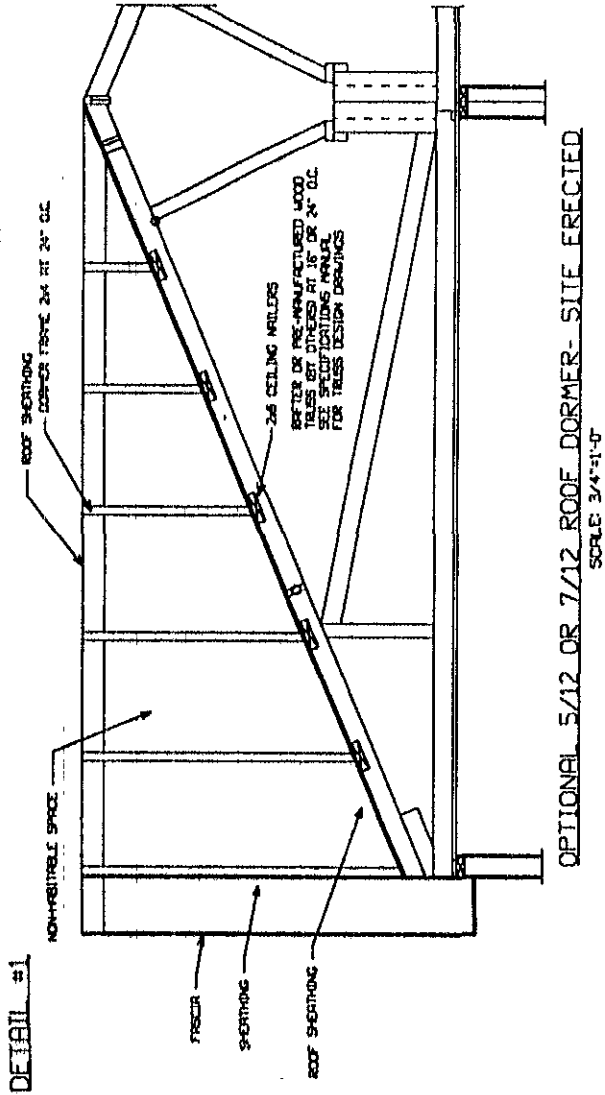
44-1574-3205



THE 30 THINGS

MASTER SERIES				
ALL MODELS				
FRAMING DETAILS				
MUNCY HOMES, INC.				
P.O. BOX 248, RT. 442 EAST				
MUNCY PA. 17756				
DRN BY	DATE	SCALE	REV.	SHT. NO.
M.L.	3-22-91	9'-0"=1'	5-9-97	2a

DETAIL #1

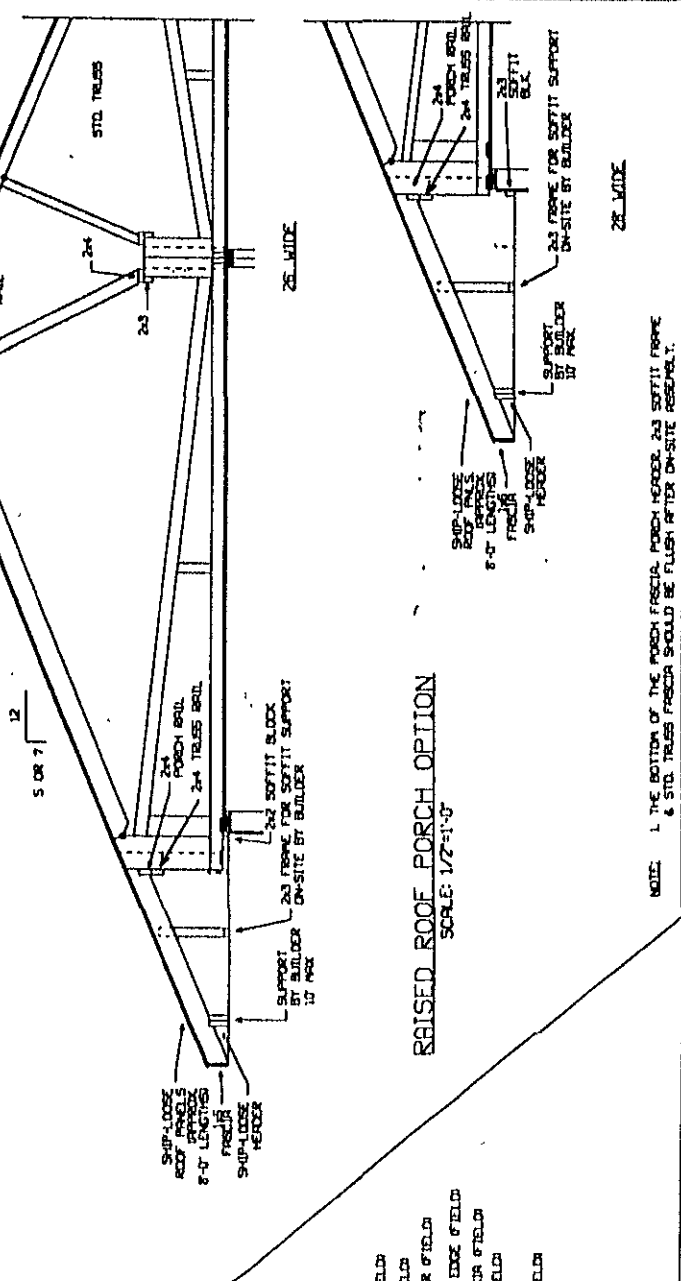


OPTIONAL 5/12 OR 7/12 ROOF DORMER - SIDE ELEVATION

SCALE: 3/4"=1'-0"

DETAIL #2

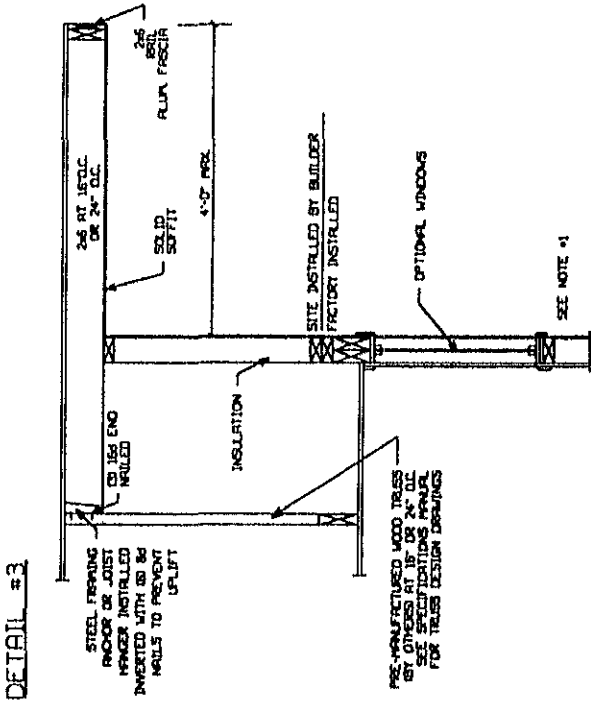
DETAIL #4



ALL RAISED ROOF PORCH OPTION

SCALE: 1/2"=1'-0"

DETAIL #3

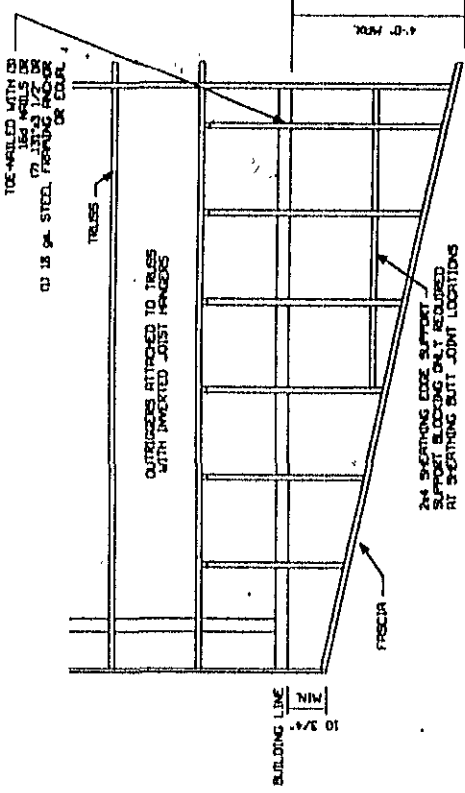


WINGED GABLE THRU WINGED GABLE

SCALE: 1/2"=1'-0"

WINGED GABLE PLAN VIEW

SCALE: 1/2"=1'-0"



OPT. INT. NON-LOADBEARING STEEL STUD PARTITIONS

SCALE: 1/2"=1'-0"

NOTES:
1. STEEL STUDS HAVE PRE-DRILLED HOLES FOR ELECTRICAL WIRING.
2. WIRING IS PROTECTED BY THE USE OF NON-METALLIC INSERTS.

OUTSIDE TYPE
PARTITION

SNOW ZONE: 40 PSF, 60 PSF, 90 PSF (NYS)

NOTES

1. UNLESS SPECIFIED, ROOF IS FOR OPEN CEILING.
2. UNLESS SPECIFIED, ROOF IS FOR OPEN CEILING.
3. UNLESS SPECIFIED, ROOF IS FOR OPEN CEILING.
4. UNLESS SPECIFIED, ROOF IS FOR OPEN CEILING.

ALL MODELS
FRAMING DETAILS

MUNCY HOMES, INC.

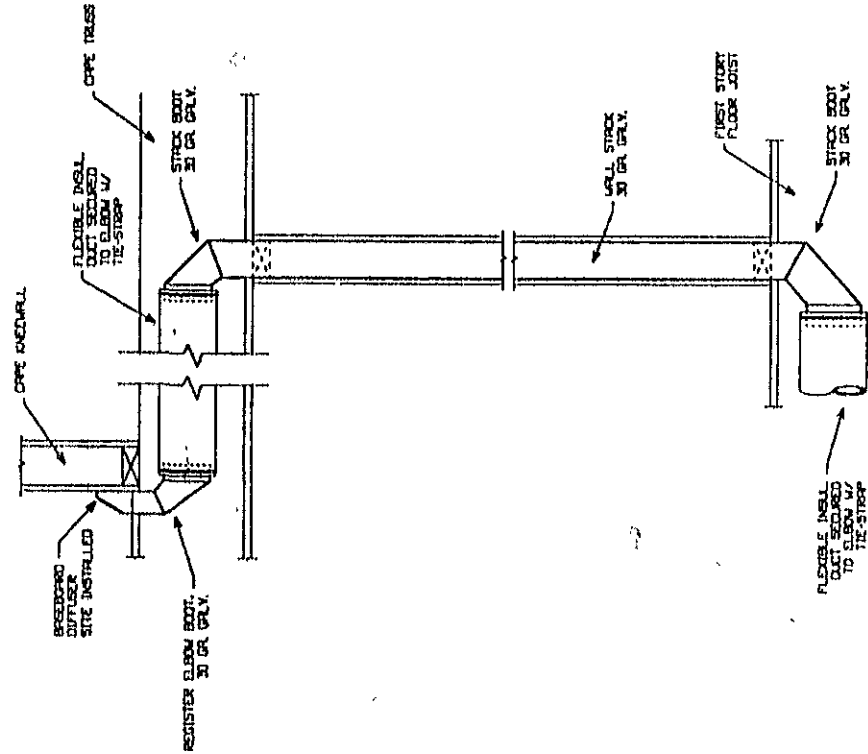
P.O. BOX 245, RT. 442 EAST

MUNCY PA 17755

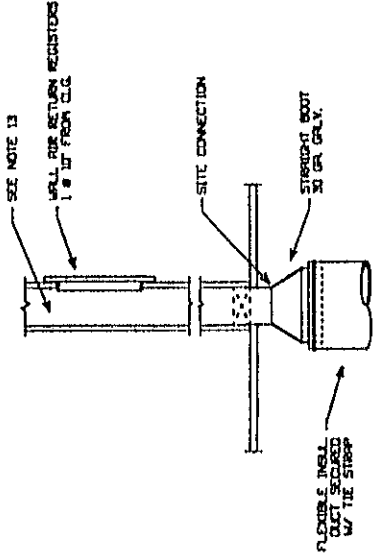
DRAWN BY	DATE	SCALE	REV.	SHT. NO.
M.J.	3-22-91	SHOWN	10-10-97	86

NOTES

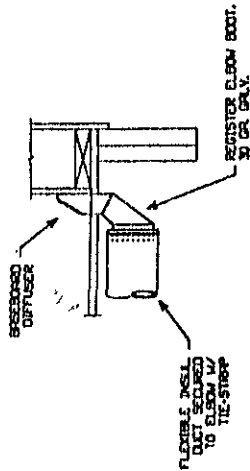
1. THIS DUCT SYSTEMS WILL BE LOCATED IN A FLOOR AREA WITH ACCESS TO THE EXTERIOR AND A FLOOR AREA WITH ACCESS TO THE EXTERIOR.
2. ALL HANGERS SHALL BE DESIGNED AND INSTALLED TO SUPPORT THE DUCT SYSTEM AND SHALL BE LOCATED AT 16" ON CENTER.
3. ALL HANGERS SHALL BE DESIGNED AND INSTALLED TO SUPPORT THE DUCT SYSTEM AND SHALL BE LOCATED AT 16" ON CENTER.
4. ALL HANGERS SHALL BE DESIGNED AND INSTALLED TO SUPPORT THE DUCT SYSTEM AND SHALL BE LOCATED AT 16" ON CENTER.
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9. ALL HANGERS SHALL BE DESIGNED AND INSTALLED TO SUPPORT THE DUCT SYSTEM AND SHALL BE LOCATED AT 16" ON CENTER.
10. ALL HANGERS SHALL BE DESIGNED AND INSTALLED TO SUPPORT THE DUCT SYSTEM AND SHALL BE LOCATED AT 16" ON CENTER.
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12. ALL HANGERS SHALL BE DESIGNED AND INSTALLED TO SUPPORT THE DUCT SYSTEM AND SHALL BE LOCATED AT 16" ON CENTER.
13. ALL HANGERS SHALL BE DESIGNED AND INSTALLED TO SUPPORT THE DUCT SYSTEM AND SHALL BE LOCATED AT 16" ON CENTER.



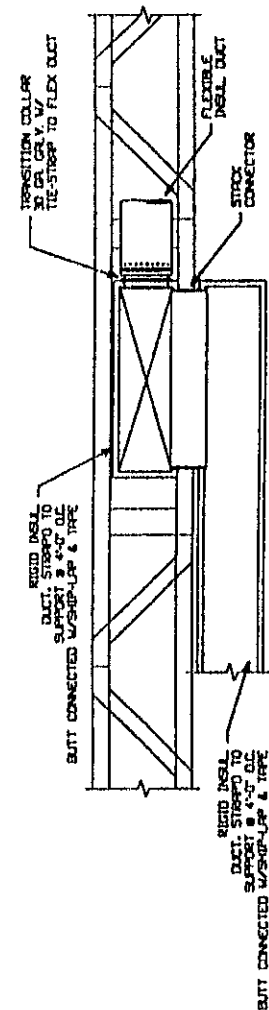
TYPICAL CAPE WALL STACK
SCALE: 1 1/2"=1'-0"



DETAIL "C-C"
SCALE: 1 1/2"=1'-0"



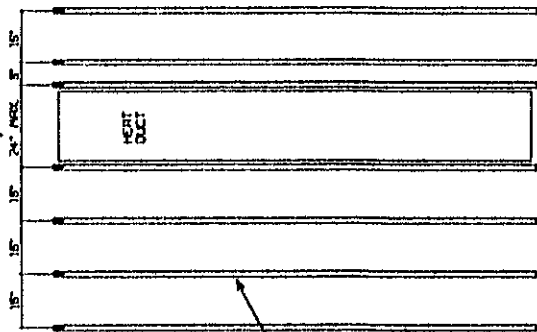
DETAIL "B-B"
SCALE: 1 1/2"=1'-0"



DETAIL "A-A"
SCALE: 1 1/2"=1'-0"

SPREAD FLOOR JOISTS FOR
HEAT DUCT WHEN JOISTS ARE 16" O.C.
SCALE: 1/2"=1'-0"

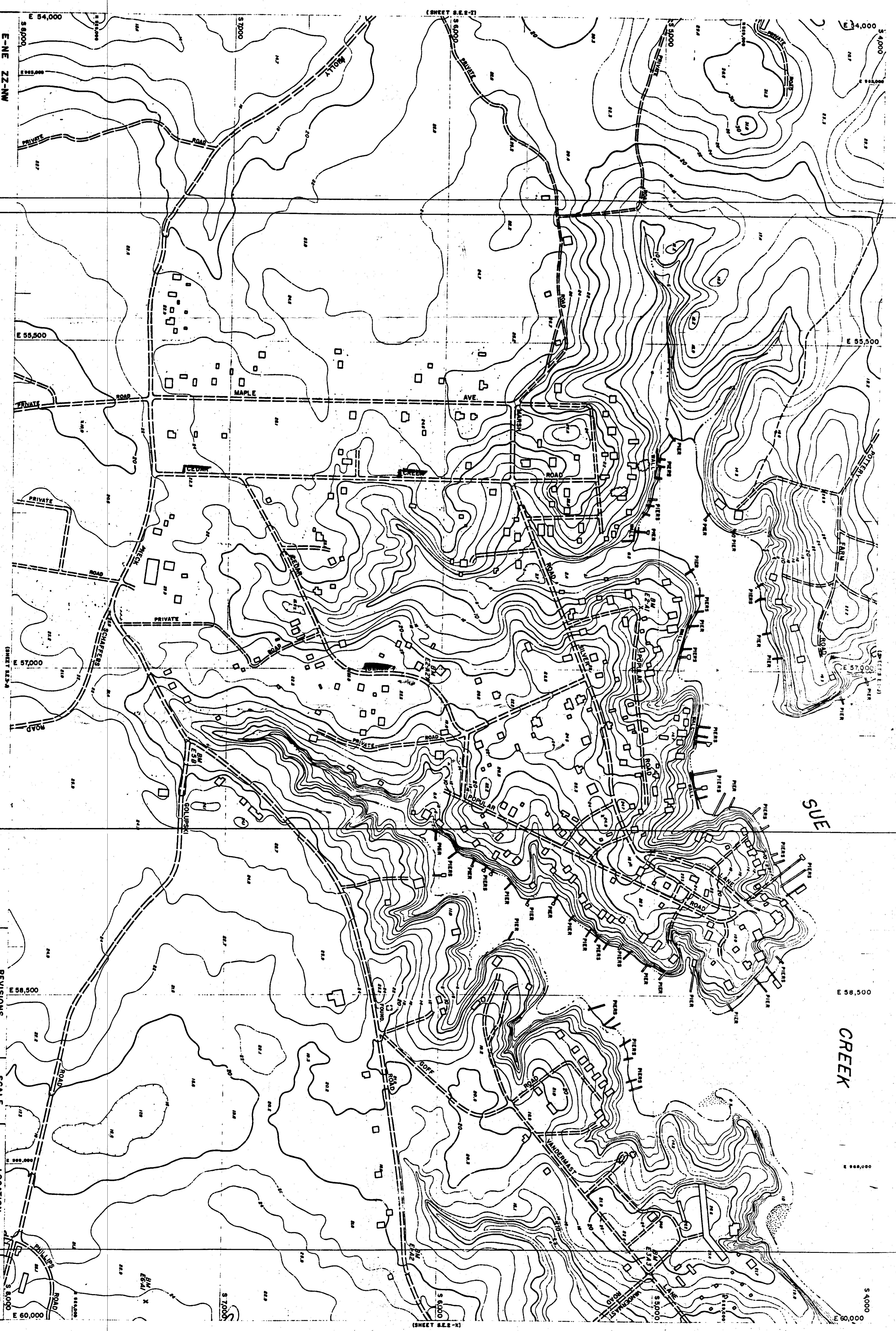
JOISTS ARE SPACED FOR THE MAIN DUCT
USING THE STACK CONNECTOR



FLOOR JOISTING IS 5/8" O.C.
STANDARD FLOOR JOISTING IS 16" O.C.
WHEN FLOOR JOISTING IS 5/8" O.C.
THE FLOOR JOISTING SHALL BE 16" O.C.
SEE FOR TECHNICAL NOTE 00000

TYPICAL FLOOR JOISTS OR TRUSSES

DUCT, STRAPPED TO
SUPPORT & 4" O.C.
BUTT CONNECTED W/STRAP & TAPE



PHOTOGRAMMETRIC MAP OF
BALTIMORE COUNTY METROPOLITAN
AREA

REVISIONS		SCALE 1" = 200'	LOCATION HOLLY NECK	SHEET S. 6000 2-J
BY	DATE			
		DATE OF PHOTOGRAPHY DEC. 1954		

Topography Compiled By Photogrammetric Methods				
AERAMMS AERIAL SURVEY CORP LANSING MICH.				

#208

BALTIMORE COUNTY, MARYLAND
OFFICE OF BUDGET & FINANCE
MISCELLANEOUS RECEIPT

No. **075714**

DATE 10/18/90 ACCOUNT 1000-6130

AMOUNT \$ 500.00

RECEIVED FROM: 1000-6130

FOR: 1000-6130

DISTRIBUTION

WHITE - CASHIER

PINK - AGENCY

YELLOW - CUSTOMER

CASHIER'S VALIDATION

PAID RECEIPT
FOR DEPOSIT TO THE
TREASURY OF BALTIMORE COUNTY
ON 10/18/90
AMOUNT \$ 500.00
BY 1000-6130
RECEIVED BY 1000-6130
DATE 10/18/90
BY 1000-6130
BALTIMORE COUNTY, MARYLAND

aside of them.

Thank You

Johnny Reed
Mary Ann Reed
2018 Silver Lane
Ballo. Md. 21021

Silver LA
River Rd



2010 Silver LA
Cross Street

