

IN RE: PETITION FOR VARIANCE
N/S Rayville Road, 1,050' S of the c/l
Middletown Road
(1624 Rayville Road)
6th Election District
3rd Councilmanic District

Harold E. Jones, Jr.
Petitioner

* BEFORE THE
* ZONING COMMISSIONER
* OF BALTIMORE COUNTY
* Case No. 00-210-A
*

* * * * *

FINDINGS OF FACT AND CONCLUSIONS OF LAW

This matter comes before the Zoning Commissioner for consideration of a Petition for Variance filed by the owner of the subject property, Harold E. Jones, Jr. The Petitioner seeks relief from Section 1A04.3.B.2 of the Baltimore County Zoning Regulations (B.C.Z.R.) to permit side yard setbacks of 35 feet and 31 feet in lieu of the required 50 feet each; to approve the subject property as an undersized lot, pursuant to Section 304 of the B.C.Z.R.; and, to approve any other variances deemed necessary by the Zoning Commissioner. The subject property and relief sought are more particularly described on the site plan submitted which was accepted into evidence and marked as Petitioner's Exhibit 1.

Appearing at the requisite public hearing held in support of the Petition were Harold E. Jones, Jr., property owner, and his father, Harold E. Jones, Sr., who owns the adjacent property at 1620 Rayville Road. Also present were Douglas and Karen Troxel, adjacent property owners of 1626 Rayville Road. There were no Protestants or other interested persons present.

Testimony and evidence offered revealed that the subject property is a roughly rectangular shaped parcel, containing approximately 27,000 sq.ft. (.50 acres) in area, zoned R.C.5. The property is presently unimproved; however, the Petitioner proposes to develop the site with a single family dwelling. Testimony indicated that the property was purchased in approximately 1959 by the Petitioner's parents, Mr. & Mrs. Harold E. Jones, Sr., who reside on the adjacent lot. The subject parcel is a separate lot of record which was independently purchased in 1959.

ORDER RECEIVED FOR FILING

Date 11/11/00

By [Signature]

As noted above, the Petitioner proposes to develop the property with a single family dwelling. The dwelling will be a one-story, rancher style home, 44' wide by 26' deep, as shown on the site plan. Due to the unusual taper and configuration of the lot, and the location of the septic reserve area to the rear of the property, the requested variances are necessary in order to proceed with development. As shown on the plan, the house will be located 35 feet from the side property line adjoining the Troxel property, and approximately 31 feet from the side property line adjoining the Petitioner's parents' property. Moreover, the front and rear yard setbacks meet the minimum standards required by Baltimore County. Further testimony and evidence was presented demonstrating that the Petitioner has already drilled a water well and the septic area has been percolated and approved by Baltimore County.

Based upon the testimony and evidence presented, I am persuaded to grant the Petition for Variance. In my judgment, the Petitioner has presented testimony sufficient to meet the standard for variance relief to be granted as set out in Section 307 of the B.C.Z.R. The uniqueness of the property is in its configuration and taper. As shown on the plan, the property is 100 feet wide along Rayville Road, and extends to a width of 140 feet across the rear. Moreover, I am persuaded that relief can be granted without adverse impact to adjacent properties and that a denial of the variance requests would result in a practical difficulty upon the Petitioner. Based on these findings, the Petition shall be granted.

Pursuant to the advertisement, posting of the property and public hearing on this Petition held, and for the reasons set forth above, the relief requested shall be granted.

THEREFORE, IT IS ORDERED by the Zoning Commissioner for Baltimore County this 6th day of January, 2000 that the Petition for Variance seeking relief from Section 1A04.3.B.2 of the Baltimore County Zoning Regulations (B.C.Z.R.) to permit side yard setbacks of 35 feet and 31 feet in lieu of the required 50 feet each; to approve the subject property as an undersized lot, pursuant to Section 304 of the B.C.Z.R.; and, to approve any other variances deemed necessary by the Zoning Commissioner, in accordance with Petitioner's Exhibit 1, be and is hereby GRANTED; subject to the following restriction:

- 1) The Petitioners may apply for their building permit and be granted same upon receipt of this Order; however, Petitioners are hereby made aware that proceeding at this time is at their own risk until the 30-day appeal period from the date of this Order has expired. If an appeal is filed and this Order is reversed, the relief granted herein shall be rescinded.



LAWRENCE E. SCHMIDT

Zoning Commissioner
for Baltimore County

LES:bjs

ORDER RECEIVED FOR FILING
Date 1/9/10
By [Signature]



Baltimore County
Zoning Commissioner

Suite 405, County Courts Bldg.
401 Bosley Avenue
Towson, Maryland 21204
410-887-4386
Fax: 410-887-3468

January 6, 2000

Mr. Harold E. Jones, Jr.
1620 Rayville Road
Parkton, Maryland 21120

RE: PETITION FOR VARIANCE
N/S Rayville Road, 1,050' S of the c/l Middletown Road
(1624 Rayville Road)
6th Election District - 3rd Councilmanic District
Harold E. Jones, Jr. - Petitioner
Case No. 00-210-A

Dear Mr. Jones:

Enclosed please find a copy of the decision rendered in the above-captioned matter. The Petition for Variance has been granted, in accordance with the attached Order.

In the event any party finds the decision rendered is unfavorable, any party may file an appeal to the County Board of Appeals within thirty (30) days of the date of this Order. For further information on filing an appeal, please contact the Zoning Administration and Development Management office at 887-3391.

Very truly yours,

A handwritten signature in black ink, appearing to read "Lawrence E. Schmidt", is written over a horizontal line.

LAWRENCE E. SCHMIDT
Zoning Commissioner
for Baltimore County

LES:bjs

cc: Mr. & Mrs. R. Douglas Troxel
1626 Rayville Road, Parkton, Md. 21120
People's Counsel; Case File

Come visit the County's Website at www.co.ba.md.us



Printed with Soybean Ink
on Recycled Paper



Petition for Variance

to the Zoning Commissioner of Baltimore County

for the property located at 1624 RAYVILLE ROAD

which is presently zoned RC-5

This Petition shall be filed with the Department of Permits and Development Management. The undersigned, legal owner(s) of the property situate in Baltimore County and which is described in the description and plat attached hereto and made a part hereof, hereby petition for a Variance from Section(s) 1A04.3, B.2 to permit side yard

setbacks of 35 ft. and 31 ft. in lieu of the required 50 ft., to approve an undersized lot per Section 304, and to approve any other variances deemed necessary by the Zoning Commissioner.

of the Zoning Regulations of Baltimore County, to the zoning law of Baltimore County, for the following reasons: (indicate hardship or practical difficulty)

To be presented at the hearing.

Property is to be posted and advertised as prescribed by the zoning regulations.

I, or we, agree to pay expenses of above Variance, advertising, posting, etc. and further agree to and are to be bounded by the zoning regulations and restrictions of Baltimore County adopted pursuant to the zoning law for Baltimore County.

I/We do solemnly declare and affirm, under the penalties of perjury, that I/we are the legal owner(s) of the property which is the subject of this Petition.

Contract Purchaser/Lessee:

Name - Type or Print

Signature

Address

Telephone No.

City

State

Zip Code

Attorney For Petitioner:

Name - Type or Print

Signature

Company

Address

Telephone No.

City

State

Zip Code

Legal Owner(s):

Name - Type or Print

Signature

Name - Type or Print

Signature

Address

City

State

Zip Code

Representative to be Contacted:

Name

Address

City

W-410-235-1066

H-410-357-4171

State

Zip Code

OFFICE USE ONLY

ESTIMATED LENGTH OF HEARING

UNAVAILABLE FOR HEARING

Reviewed By BR

Date 11/16/99

Case No. 00-210-A

REU 9/15/98

ZONING DESCRIPTION

ZONING DESCRIPTION FOR 1624 RAYVILLE ROAD, PARKTON,
MARYLAND 21120

Beginning at a point on the North side of Rayville Road which is 30' wide at the distance of 1,050' south of the centerline of the nearest improved intersecting street *Middletown Rd.* which is 40' wide. Being Lot # 2 in the subdivision of W. H. Eicholtz as recorded in Deed, liber # 3483, Folio # 500, containing 27,000 square feet. Also known as 1624 Rayville Road and located in the 06 Election District, 3 Councilmanic District.

Typical metes and bounds: North 65 degrees East 100', North 21 degrees West 225', South 65 degrees West 140', South 31 degrees East 225' to the place of beginning.

BALTIMORE COUNTY, MARYLAND
OFFICE OF BUDGET & FINANCE
MISCELLANEOUS RECEIPT

No. 075716

DATE 12/1/99 ACCOUNT 104-612

AMOUNT \$ 54.00

RECEIVED FROM: James

FOR: 104-612 Zoning

DISTRIBUTION

WHITE - CASHIER

PINK - AGENCY

YELLOW - CUSTOMER

John or 512

PAID RECEIPT

PROCESS ACTION TIME

12/16/1999 12/16/1999 14:15:55

REG 0003 CASHIER OWES FEE DRIVER

NOTE 5 523 ZONING REIFICATION

Process 11 11/2/13

CP NO. 075716 CEN

Receipt Tot 54.00

54.00 OK .00 TA

Baltimore County, Maryland

CASHIER'S VALIDATION

CERTIFICATE OF PUBLICATION

NOTICE OF ZONING HEARING

The Zoning Commissioner of Baltimore County, by authority of the Zoning Act and Regulations of Baltimore County will hold a public hearing in Towson, Maryland on the property identified herein as follows:

Case: #00-210-A

1624 Rayville Road

N/S Rayville Road, 1050' S

of centerline Middletown Rd.

6th Election District

3rd Councilmanic District

Legal Owner(s): Harold

Eugene Jones, Jr.

Variance: to permit side yard setbacks of 35 feet and 31 feet in lieu of the required 50 feet; to approve an undersized lot; and to approve any other variances deemed necessary by the zoning commissioner.

Hearing: Monday, January 3, 2000 at 11:00 a.m. in Room 407, County Courts Building, 401 Bosley Avenue.

LAWRENCE E. SCHMIDT
Zoning Commissioner for
Baltimore County

NOTES: (1) Hearings are Handicapped Accessible; for special accommodations Please Contact the Zoning Commissioner's Office at (410) 887-4386.

(2) For information concerning the File and/or Hearing, Contact the Zoning Review Office at (410) 887-3391.

12/152 Dec 16

C359255

TOWSON, MD,

12-16

1999

THIS IS TO CERTIFY, that the annexed advertisement was published in THE JEFFERSONIAN, a weekly newspaper published in Towson, Baltimore County, Md., once in each of 1 successive weeks, the first publication appearing on 12-16, 1999

THE JEFFERSONIAN,

S. Wilkinson

LEGAL ADVERTISING

CERTIFICATE OF POSTING

RE: Case No. 00-210-A

Petitioner/Developer: JONES, ETAL

Date of Hearing/Closing: 1/3/00

Baltimore County Department of
Permits and Development Management
County Office Building, Room 111
111 West Chesapeake Avenue
Towson, MD 21204

Attention: Ms. Gwendolyn Stephens

Ladies and Gentlemen,

This letter is to certify under the penalties of perjury that the necessary sign(s) required by law
were posted conspicuously on the property located at #1624 RAYVILLE RD.

The sign(s) were posted on 12/18/99
(Month, Day, Year)

Sincerely,

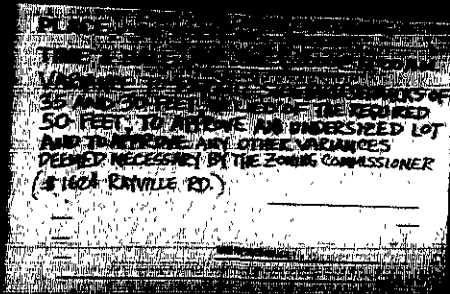
Patrick M. O'Keefe 12/20/99
(Signature of Sign Poster and Date)

PATRICK M. O'KEEFE
(Printed Name)

523 PENNY LANE
(Address)

HUNT VALLEY, MD. 21030
(City, State, Zip Code)

410-666-5366 ; CELL-410-905-8571
(Telephone Number)



RE: PETITION FOR VARIANCE
1624 Rayville Road, N/S Rayville Rd,
1050' S of c/l Middletown Rd
6th Election District, 3rd Councilmanic

Legal Owner: Harold E. Jones, Jr.
Petitioner(s)

* BEFORE THE
* ZONING COMMISSIONER
* FOR
* BALTIMORE COUNTY
* Case No. 00-210-A

* * * * *

ENTRY OF APPEARANCE

Please enter the appearance of the People's Counsel in the above-captioned matter. Notice should be sent of any hearing dates or other proceedings in this matter and of the passage of any preliminary or final Order.

Peter Max Zimmerman
PETER MAX ZIMMERMAN
People's Counsel for Baltimore County

Carole S. Demilio
CAROLE S. DEMILIO
Deputy People's Counsel
Old Courthouse, Room 47
400 Washington Avenue
Towson, MD 21204
(410) 887-2188

CERTIFICATE OF SERVICE

I HEREBY CERTIFY that on this ^{29th} day of December, 1999 a copy of the foregoing Entry of Appearance was mailed to Harold E. Jones, Jr., 1624 Rayville Road, Parkton, MD 21120, Petitioner.

Peter Max Zimmerman
PETER MAX ZIMMERMAN

DEPARTMENT OF PERMITS AND DEVELOPMENT MANAGEMENT ZONING REVIEW

ADVERTISING REQUIREMENTS AND PROCEDURES FOR ZONING HEARINGS

The Baltimore County Zoning Regulations (BCZR) require that notice be given to the general public/neighboring property owners relative to property which is the subject of an upcoming zoning hearing. For those petitions which require a public hearing, this notice is accomplished by posting a sign on the property (responsibility of the petitioner) and placement of a notice in a newspaper of general circulation in the County, both at least fifteen (15) days before the hearing.

Zoning Review will ensure that the legal requirements for advertising are satisfied. However, the petitioner is responsible for the costs associated with these requirements. The newspaper will bill the person listed below for the advertising. This advertising is due upon receipt and should be remitted directly to the newspaper.

OPINIONS MAY NOT BE ISSUED UNTIL ALL ADVERTISING COSTS ARE PAID.

For Newspaper Advertising:

Item Number or Case Number: 00-210-A

Petitioner: Harold Jones Jr.

Address or Location: 1620 Rayville Rd.

PLEASE FORWARD ADVERTISING BILL TO:

Name: HAROLD E JONES JR

Address: 1620 RAYVILLE ROAD PARKTON, MD 21120

Telephone Number: 410-357-4171

Revised 2/20/98 - SCJ



Baltimore County
Department of Permits and
Development Management

Director's Office
County Office Building
111 West Chesapeake Avenue
Towson, Maryland 21204
410-887-3353
Fax: 410-887-5708

December 8, 1999

NOTICE OF ZONING HEARING

The Zoning Commissioner of Baltimore County, by authority of the Zoning Act and Regulations of Baltimore County, will hold a public hearing in Towson, Maryland on the property identified herein as follows:

CASE NUMBER: 00-210-A

1624 Rayville Road

N/S Rayville Road, 1050' S of centerline Middletown Road

6th Election District – 3rd Councilmanic District

Legal Owner: Harold Eugene Jones, Jr.

Variance to permit side yard setbacks of 35 feet and 31 feet in lieu of the required 50 feet; to approve an undersized lot; and to approve any other variances deemed necessary by the zoning commissioner.

HEARING: Monday, January 3, 2000 at 11:00 a.m. in Room 407, County Courts Building, 401 Bosley Avenue

A handwritten signature in cursive script, reading "Arnold Jablon". To the right of the signature is the handwritten initials "SCJ".

Arnold Jablon
Director

c: Harold E. Jones, Jr., 1620 Rayville Road, Parkton 21120

- NOTES: (1) **THE PETITIONER MUST HAVE THE ZONING NOTICE SIGN POSTED BY AN APPROVED POSTER ON THE PROPERTY BY DECEMBER 19, 1999**
- (2) HEARINGS ARE HANDICAPPED ACCESSIBLE; FOR SPECIAL ACCOMMODATIONS PLEASE CALL THE ZONING COMMISSIONER'S OFFICE AT 410-887-4386.
- (3) FOR INFORMATION CONCERNING THE FILE AND/OR HEARING, CONTACT THE ZONING REVIEW OFFICE AT 410-887-3391.



TO: PATUXENT PUBLISHING COMPANY
Thursday, December 16, 1999 Issue – Jeffersonian

Please forward billing to:

Harold E. Jones, Jr. 410-357-4171
1620 Rayville Road
Parkton, MD 21120

NOTICE OF ZONING HEARING

The Zoning Commissioner of Baltimore County, by authority of the Zoning Act and Regulations of Baltimore County, will hold a public hearing in Towson, Maryland on the property identified herein as follows:

CASE NUMBER: 00-210-A

1624 Rayville Road

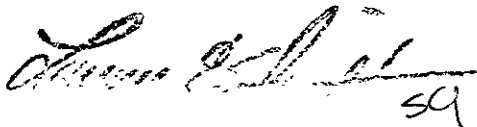
N/S Rayville Road, 1050' S of centerline Middletown Road

6th Election District – 3rd Councilmanic District

Legal Owner: Harold Eugene Jones, Jr.

Variance to permit side yard setbacks of 35 feet and 31 feet in lieu of the required 50 feet; to approve an undersized lot; and to approve any other variances deemed necessary by the zoning commissioner.

HEARING: Monday, January 3, 2000 at 11:00 a.m. in Room 407, County Courts Building, 401 Bosley Avenue

A handwritten signature in dark ink, appearing to read "Lawrence E. Schmidt", with a stylized "sq" or similar mark below it.

LAWRENCE E. SCHMIDT
ZONING COMMISSIONER FOR BALTIMORE COUNTY

- NOTES: (1) HEARINGS ARE HANDICAPPED ACCESSIBLE; FOR SPECIAL ACCOMODATIONS, PLEASE CONTACT THE ZONING COMMISSIONER'S OFFICE AT 410-887-4386.
- (2) FOR INFORMATION CONCERNING THE FILE AND/OR HEARING, CONTACT THE ZONING REVIEW OFFICE AT 410-887-3391.



Baltimore County
Department of Permits and
Development Management

Development Processing
County Office Building
111 West Chesapeake Avenue
Towson, Maryland 21204
pdmlandacq@co.ba.md.us

December 30, 1999

Mr. Harold Jones
1620 Rayville Road
Parkton, Maryland 21120

Dear Mr. Jones:

RE: Case Number 00-210-A , 1624 Rayville Road

The above referenced petition was accepted for processing by the Bureau of Zoning Review, Department of Permits and Development Management (PDM) on 11/16/99.

The Zoning Advisory Committee (ZAC), which consists of representatives from several Baltimore County approval agencies, has reviewed the plans that were submitted with your petition. All comments submitted thus far from the members of the ZAC are attached. These comments are not intended to indicate the appropriateness of the zoning action requested, but to ensure that all parties (zoning commissioner, attorney, petitioner, etc.) are made aware of plans or problems with regard to the proposed improvements that may have a bearing on this case. All comments will be placed in the permanent case file.

If you need further information or have any questions, please do not hesitate to contact the commenting agency.

Sincerely,

A handwritten signature in black ink, reading "W. Carl Richards, Jr.".

W. Carl Richards, Jr.
Zoning Supervisor
Zoning Review

WCR:rsj

Enclosures



BALTIMORE COUNTY, MARYLAND

INTEROFFICE CORRESPONDENCE

TO: Arnold Jablon, Director
Department of Permits & Development
Management

Date: December 10, 1999

FROM: *RWB* Robert W. Bowling, Supervisor
Bureau of Development Plans Review

SUBJECT: Zoning Advisory Committee Meeting
for December 6, 1999
Item Nos. 206, 207, 209, 210, 211,
212, 213, 217, and 218

The Bureau of Development Plans Review has reviewed the subject zoning items, and we have no comments.

RWB:HJO:jrb

cc: File



Baltimore County
Fire Department

Office of the Fire Marshal
700 East Joppa Road
Towson, Maryland 21286-5500
410-387-4880

December 17, 1998

~~Department of Permits and~~
Development Management (PDM)
County Office Building, Room 111
Mail Stop #1105
111 West Chesapeake Avenue
Towson, Maryland 21204

ATTENTION: Gwen Stephens

RE: Property Owner: See Below

Item No.: 206, 208, 209, 210, 212, 214, 215, 218

Dear Ms. Stephens:

Pursuant to your request, the referenced property has been surveyed by this Bureau and the comments below are applicable and required to be corrected or incorporated into the final plans for the property.

The Fire Marshal's Office has no comments at this time.

Cc: file



hs
1/3

BALTIMORE COUNTY, MARYLAND

INTER-OFFICE CORRESPONDENCE

TO: Arnold Jablon, Director
Department of Permits
and Development Management

Date: December 21, 1999

FROM: Arnold F. 'Pat' Keller, III, Director
Office of Planning

SUBJECT: Zoning Advisory Petitions

The Office of Planning has no comment on the following petition(s):

Item No(s): 210, 219, 224 and 225

If there should be any questions or this office can provide additional information, please contact Jeffrey Long in the Office of Planning at 410-887-3480.

Section Chief:



AFK/JL

**INTER-OFFICE CORRESPONDENCE
RECOMMENDATION FORM**

TO: Director, Office of Planning & Community Conservation
Attention: Jeffrey Long
County Courts Building, Room 406
401 Bosley Avenue
Towson, MD 21204

Permit or Case No. 00-210-A

FROM: Arnold Jablon, Director
Department of Permits & Development Management

RE: Undersized Lots

Residential Processing Fee Paid
(\$50.00)

Accepted by BK

Date 11/16/99

Pursuant to Section 304.2 (Baltimore County Zoning Regulations) effective June 25, 1992, this office is requesting recommendations and comments from the Office of Planning and Community Conservation prior to this office's approval of a dwelling permit.

MINIMUM APPLICANT SUPPLIED INFORMATION:

HAROLD E JONES JR. 1620 RAYVILLE ROAD PARKTON, MD 21120 410-357-4121
Print Name of Applicant Address Telephone Number

1624 RAYVILLE ROAD PARKTON MD Election District 06 Councilmanic District 3 Square Feet 27000
Lot Address

Lot Location: NE S W side corner of RAYVILLE ROAD 1,050 feet from N E S W corner of MIDDLETOWN ROAD
(street) (street)

Land Owner: HAROLD E JONES JR. Tax Account Number 0610045120

Address: 1620 RAYVILLE ROAD PARKTON MD 21120 Telephone Number (410) 357-4121

CHECKLIST OF MATERIALS- (to be submitted for design review by the Office of Planning and Community Conservation)

TO BE FILLED IN BY ZONING REVIEW, DEPARTMENT OF PERMITS AND DEVELOPMENT MANAGEMENT ONLY!
PROVIDED?

	YES	NO
1. This Recommendation Form (3 copies)	☒	☐
2. Permit Application	☒	☐
3. Site Plan	☒	☐
Property (3 copies)	☒	☐
Topo Map (2 copies): available in Room 206, County Office Building - (please label site clearly)	☒	☐
4. Building Elevation Drawings	☒	☐
5. Photographs (please label all photos clearly)	☒	☐
Adjoining Buildings	☒	☐
Surrounding Neighborhood	☒	☐
6. Current Zoning Classification: <u>R.C.-5</u>		

TO BE FILLED IN BY THE OFFICE OF PLANNING ONLY!

RECOMMENDATIONS / COMMENTS:

☐ Approval ☐ Disapproval ☐ Approval conditioned on required modifications of the application to conform with the following recommendations:

Signed by: _____
for the Director, Office of Planning and Community Conservation

Date: _____

SCHEDULED DATES, CERTIFICATE OF FILING AND POSTING FOR A BUILDING PERMIT APPLICATION PURSUANT TO SECTION 304.2

Department of Permits and Development Management (PDM)
County Office Building
111 West Chesapeake Avenue
Towson, Maryland 21204

The application for your proposed Building Permit application has been reviewed and is accepted for filing by _____ on _____ Date _____ (A)
(name of planner)

A sign indicating the proposed building must be posted on the property for fifteen (15) days before a decision can be rendered. The cost of filing is \$50.00. This fee is subject to change. Confirm all current fees prior to filing the application.

In the absence of a request for public hearing during the 15-day posting period, a decision can be expected within approximately four weeks. However, if a valid demand is received by the closing date, then the decision shall only be rendered after the required public special hearing.

*SUGGESTED POSTING DATE _____ D (15 Days Before C)

DATE POSTED _____

HEARING REQUESTED? YES _____ NO _____ - DATE _____

CLOSING DAY (LAST DAY FOR HEARING DEMAND) _____ C (B-3 Work Days)

TENTATIVE DECISION DATE _____ B (A + 30 Days)

*Usually within 15 days of filing

CERTIFICATE OF POSTING

District: _____

Location of Property: _____

Posted by: _____ Date of Posting: _____
Signature

Number of Signs: _____

NOTED ~~PLAT~~ PLOT PLAN
TOSCALE SHOWING
SETBACKS ON
ALL SIDE

APPLICATION FOR PERMIT
BALTIMORE COUNTY MARYLAND
DEPARTMENT OF PERMITS & DEVELOPMENT MANA
TOWSON, MARYLAND 21204

applying for a variance 1/16 2:00

DATE: 8/27/99

OE: CAD

HISTORIC DISTRICT/BLDG.

PERMIT #: B
RECEIPT #: 10
CONTROL #: 102NR
XREF #:

PROPERTY ADDRESS 1624 RAYVILLE ROAD
SUITE/SPACE/FLOOR
SUBDIV:
TAX ACCOUNT #: 06 10 045120 DISTRICT/PRECINCT

FEE: 14945
PAID:
PAID BY: 10 PRO
INSPECTOR:

OWNER'S INFORMATION (LAST, FIRST)
NAME: HAROLD E JONES JR HAROLD E JR
ADDR: 1620 RAYVILLE ROAD PARKIN MD 21120

DOES THIS BLDG.
HAVE SPRINKLERS
YES ☐ NO ☒

I HAVE CAREFULLY READ THIS APPLICATION
AND KNOW THE SAME IS CORRECT AND TRUE,
AND THAT IN DOING THIS WORK ALL PROVI-
SIONS OF THE BALTIMORE COUNTY CODE AND
APPROPRIATE STATE REGULATIONS WILL BE
COMPLIED WITH WHETHER HEREIN SPECIFIED
OR NOT AND WILL REQUEST ALL REQUIRED
INSPECTIONS.

BUILDING 1 or 2 FAM.
CODE CODE ☒
BOCA CODE

TYPE OF IMPROVEMENT

- ☒ NEW BLDG CONST
- ☐ ADDITION
- ☐ ALTERATION
- ☐ REPAIR
- ☐ WRECKING
- ☐ MOVING
- ☐ OTHER

TYPE OF USE

RESIDENTIAL

- ☒ ONE FAMILY
- ☐ TWO FAMILY
- ☐ THREE AND FOUR FAMILY
- ☐ FIVE OR MORE FAMILY
(ENTER NO UNITS)
- ☐ SWIMMING POOL
- ☐ GARAGE
- ☐ OTHER

TYPE FOUNDATION

- | | |
|--|---|
| 1. ☒ SLAB | 1. ☒ FULL |
| 2. ☒ BLOCK | 2. ☐ PARTIAL |
| 3. ☐ CONCRETE | 3. ☐ NONE |

NON-RESIDENTIAL

- ☐ AMUSEMENT, RECREATION, PLACE OF ASSEMBLY
- ☐ CHURCH, OTHER RELIGIOUS BUILDING
- ☐ FENCE (LENGTH HEIGHT)
- ☐ INDUSTRIAL, STORAGE BUILDING
- ☐ PARKING GARAGE
- ☐ SERVICE STATION, REPAIR GARAGE
- ☐ HOSPITAL, INSTITUTIONAL, NURSING HOME
- ☐ OFFICE, BANK, PROFESSIONAL
- ☐ PUBLIC UTILITY
- ☐ SCHOOL, COLLEGE, OTHER EDUCATIONAL
- ☐ SIGN
- ☐ STORE MERCANTILE RESTAURANT
SPECIFY TYPE
- ☐ SWIMMING POOL
SPECIFY TYPE
- ☐ TANK, TOWER
- ☐ TRANSIENT HOTEL, MOTEL (NO. UNITS)
- ☐ OTHER

TYPE OF CONSTRUCTION

- ☐ MASONRY
- ☐ WOOD FRAME
- ☐ STRUCTURE STEEL
- ☐ REINF. CONCRETE

TYPE OF HEATING FUEL

- ☐ GAS
- ☐ OIL
- ☐ ELECTRICITY
- ☐ COAL

TYPE OF SEWAGE DISPOSAL

- | | |
|---|---|
| 1. ☐ PUBLIC SEWER | EXISTS ☐ PROPOSED ☐ |
| 2. ☒ PRIVATE SYSTEM | EXISTS ☐ PROPOSED ☐ |
| | SEPTIC ☐ EXISTS ☐ PROPOSED ☐ |
| | PRIVY ☐ EXISTS ☐ PROPOSED ☐ |

CENTRAL AIR: 1. ☒ 2. ☐
ESTIMATED COST: \$16,500
OF MATERIALS AND LABOR

- | | |
|---|---|
| 1. ☐ PUBLIC SYSTEM | EXISTS ☐ PROPOSED ☐ |
| 2. ☒ PRIVATE SYSTEM | EXISTS ☐ PROPOSED ☐ |

PROPOSED USE:
EXISTING USE:

CEO
VACANT LOT

OWNERSHIP

- | | | | |
|---|---|----------------------------------|------------------------------------|
| 1. ☐ PRIVATELY OWNED | 2. ☒ PUBLICLY OWNED | 3. ☐ SALE | 4. ☐ RENTAL |
|---|---|----------------------------------|------------------------------------|

RESIDENTIAL CATEGORY:

- | | | | | |
|---|---------------------------------------|-----------------------------------|-------------------------------------|-------------------------------------|
| 1. ☒ DETACHED | 2. ☐ SEMI-DET. | 3. ☐ GROUP | 4. ☐ TOWNHSE | 5. ☐ MIDRISE |
| #EFF: #1BED: <u>1</u> | #2BED: <u>2</u> | #3BED: <u>1</u> | TOT BED: <u>4</u> | TOT APTS/CONDOS: <u>1</u> |
| 1 FAMILY BEDROOMS | GARBAGE DISPOSAL: <u>1</u> | BATHROOMS: <u>2</u> | CLASS: <u>4</u> | LIBER: <u>1</u> |
| POWDER ROOMS: <u>2</u> | KITCHENS: <u>1</u> | FOLIO: <u>1</u> | | |

BUILDING SIZE

FLOOR 2,288
WIDTH 44'
DEPTH 26'
HEIGHT 22'-5"
STORIES 1+BASE
LOT #'S 2
CORNER LOT

LOT SIZE AND SETBACKS

SIZE 0.620 AC
FRONT STREET 25'
SIDE STREET
FRONT SETBK 25'
SIDE SETBK 35'/13'
SIDE STR SETBK
REAR SETBK 175'

1. ☐ Y 2. ☐ N

ZONING

R-1-5

APPROVAL SIGNATURES

DATE

BLD INSP :	:
BLD PLAN :	:
FIRE :	:
SEDI CTL :	:
ZONING :	:
PUB SERV :	:
ENVRMNT :	:
PERMITS :	:

MAKE CHECKS PAYABLE TO BALTIMORE COUNTY MARYLAND -- NO PERMIT FEES REFUNDED

CROSS SECTION NOT TO SCALE

17-16-17-18-19-20-21-22-23-24-25-26-27-28-29-30-31-32-33-34-35-36-37-38-39-40-41-42-43-44-45-46-47-48-49-50-51-52-53-54-55-56-57-58-59-60-61-62-63-64-65-66-67-68-69-70-71-72-73-74-75-76-77-78-79-80-81-82-83-84-85-86-87-88-89-90-91-92-93-94-95-96-97-98-99-100

PLEASE PRINT CLEARLY

PETITIONER(S) SIGN-IN SHEET

NAME

HAROLD E JOES JR.

ADDRESS

1620 RAYVILLE ROAD
PARKTON, MD 21120



PLEASE PRINT CLEARLY

CITIZEN SIGN-IN SHEET

NAME

Karen M. Troxel

R. Douglas Troxel

ADDRESS

1626 Rayville Rd.
Parkton, MD 21120
(same)



Plat to accompany Petition for Zoning ☒ Variance ☐ Special Hearing

PROPERTY ADDRESS: 1684 Rayville Rd

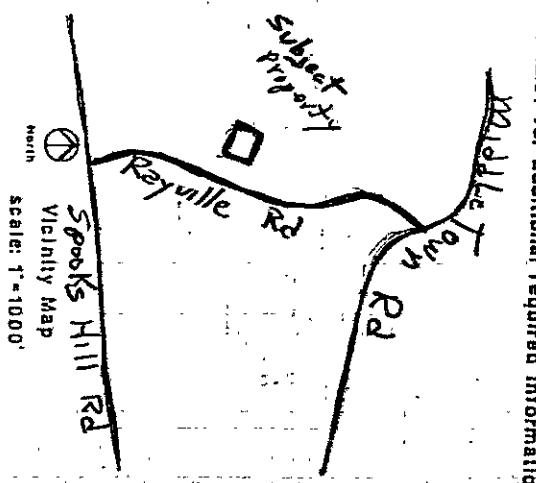
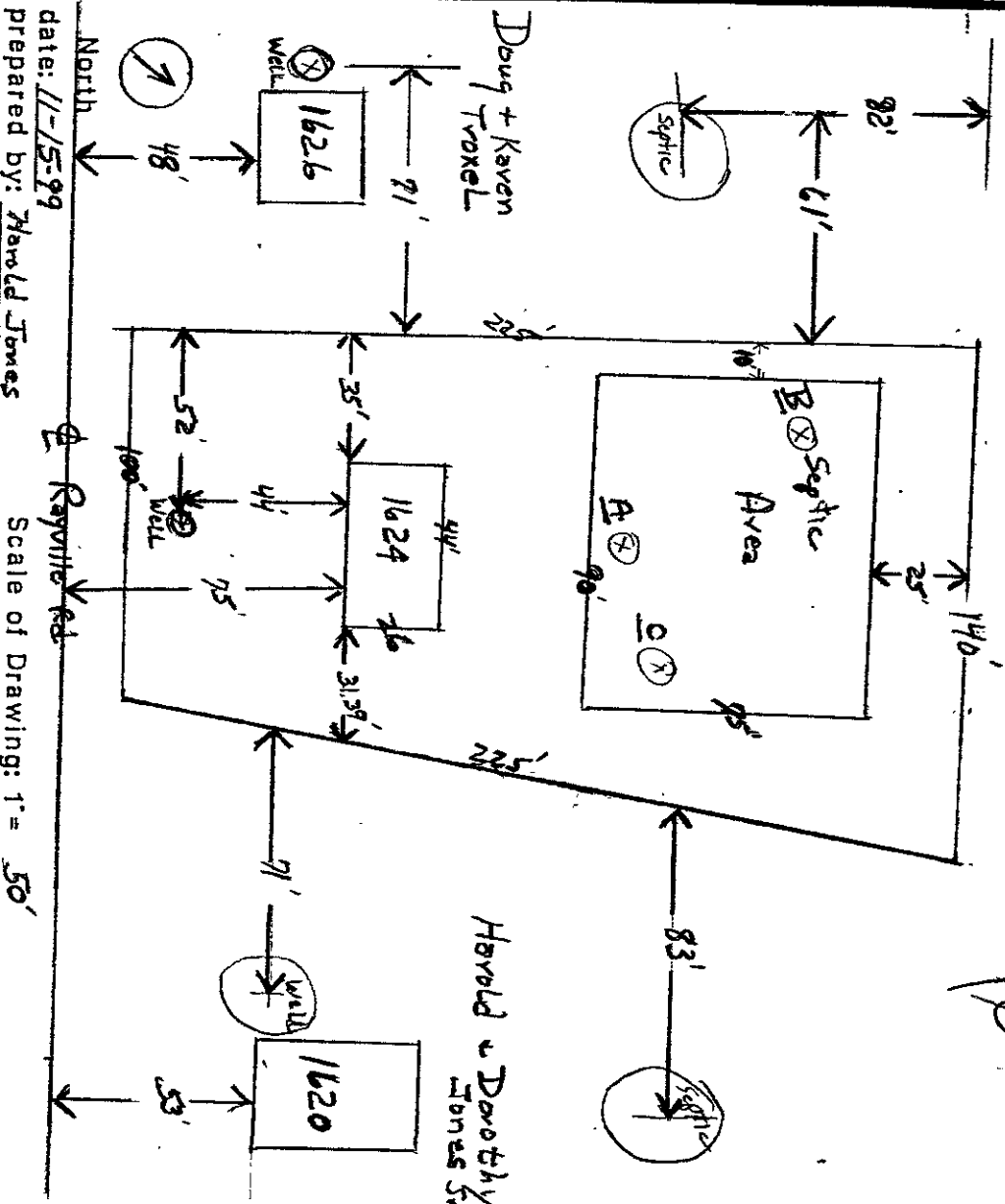
see pages 5 & 6 of the CHECKLIST for additional required information

Subdivision name: _____

plat book # 500, lot # 2, section # _____

OWNER: HAROLD E JONES SR

Ref No 1



LOCATION INFORMATION

Election District: 06

Councilmanic District: 03

1" = 200' scale map: N.W. 22 - E

Zoning: RC-5

Lot size: .55 + 27000 acreage square feet

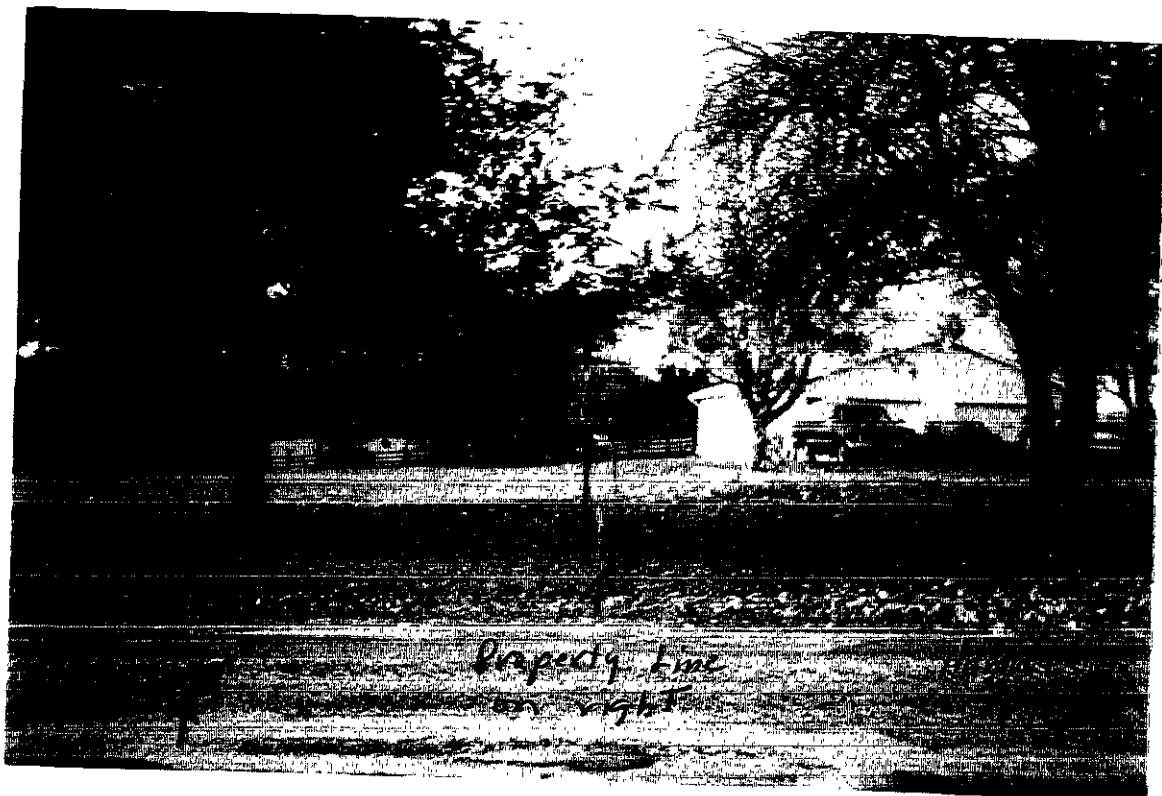
Public Drains:
SEWER: ☐ ☒
WATER: ☐ ☒
Chesapeake Bay Critical Area: ☐ ☒
Prior Zoning Hearings: ☐ ☒

Zoning Office USE ONLY!

reviewed by: _____ ITEM #: _____ CASE#: _____

Re 20 00-210-4

00-210-A



**BALTIMORE COUNTY, MARYLAND
INTER-OFFICE CORRESPONDENCE**

TO: Linda Leake
Metropolitan District Finance
Mail Stop 1316

DATE: November 19, 1999

FROM: David Flowers, Manager 
Department of Permits and Development Management
Development Services Section

SUBJECT: **VILLAGES OF LYONSFIELD RUN – SECTION 1-B, PHASE 2**
Subdivision close-out
PWA No. 28903
J. O. No. 1,3,4,5-1-6887
Contract No. 97071 WD1, SD2, DD3 & 97248 RS0
Plat No. 66/136
District 2 C ~~2~~
Map Location: 24;C-7,8
Road Names: Ingham Road, Kentford Road, Stretham Court

It is requested that you review your files to verify that the developer has met all Metropolitan District Finance requirements regarding payoff of assessment benefits and construction loan charges as part of the close out process.

The Baltimore County Development Close Out Process Manual requires that you notify this office of your findings and recommendations within 30 days of this request. Failure to reply within this time frame will be considered as your agency's approval for acceptance and this office will proceed with the release of the developer's excess cash and security.

Please indicate your findings below and return this form to mail stop 1105.

APPROVED:

Signature

Date

DISAPPROVED:

Signature

Date

AMOUNT OWED
SEE ATTACHED
COMMENTS


DF:DDP:dp
c: file

00-210-A



**BALTIMORE COUNTY, MARYLAND
INTER-OFFICE CORRESPONDENCE**

TO: Will Hiewsky
Bureau of Highways and
Equipment Maintenance
Mail Stop 1003

DATE: November 19, 1999

FROM: DAVID FLOWERS, Manager 
Department of Permits and Development Management
Development Services Section

SUBJECT: **VILLAGES OF LYONSFIELD RUN – SECTION 1-B, PHASE 2**
Subdivision close-out
PWA No. 28903
J. O. No. 1,3,4,5-1-6887
Contract No. 97071 WD1, SD2, DD3 & 97248 RS0
Plat No. 66/136
District 2 C **3**
Map Location: 24;C-7,8
Road Names: Ingham Road, Kentford Road, Stretham Court

It is requested that you review your files and, if necessary make a field inspection on the roadway system as part of the close out process.

Please note the following contract drawing numbers:
Road: 94-0456

All work should be charged to developer J.O. No. 205-0001-6887

The Baltimore County Development Close Out Process Manual requires that you provide this office with a written report and/or checklist of your findings and recommendations within 30 days of this request. **Failure to reply within this time frame will be considered as your agency's approval for acceptance and this office will proceed with the release of the developer's excess cash and security.**

Please indicate your findings below and return this form to mail stop 1105.

APPROVED:

Signature

Date

DISAPPROVED:
SEE ATTACHED
COMMENTS

Signature

Date


DF:DDP:dp
c: Dave Phillips

