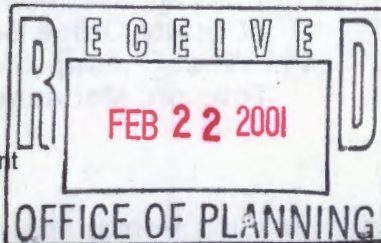


INTER-OFFICE CORRESPONDENCE
RECOMMENDATION FORM

3/9/01

TO: Director, Office of Planning & Community Conservation
Attention: Jeffrey Long
County Courts Building, Room 406
401 Bosley Avenue
Towson, MD 21204

Permit or Case No. _____



FROM: Arnold Jablon, Director
Department of Permits & Development Management

RE: Undersized Lots

Residential Processing Fee Paid (\$50.00)

Accepted by JRF
Date 2/21/01

Pursuant to Section 304.2 (Baltimore County Zoning Regulations) effective June 25, 1992, this office is requesting recommendations and comments from the Office of Planning and Community Conservation prior to this office's approval of a dwelling permit.

MINIMUM APPLICANT SUPPLIED INFORMATION:

Print Name of Applicant: James P. Lipman Address: 4385 Federal Hill Rd street, MD 21154 Telephone Number: 410 692 6602

Lot Address: 3838 Dance Mill Rd Election District 10 Councilmanic District 6 Square Feet 1.07 ac.

Lot Location: N E SW side corner of DANCE MILL RD, 200' feet from N E S W corner of Longmoor circle
(street) (street)

Land Owner: James Philipson Tax Account Number 10-02-020630

Address: 4385 Federal Hill Rd street md 21154 Telephone Number (410) 692-6602

CHECKLIST OF MATERIALS- (to be submitted for design review by the Office of Planning and Community Conservation)

TO BE FILLED IN BY ZONING REVIEW, DEPARTMENT OF PERMITS AND DEVELOPMENT MANAGEMENT ONLY!
PROVIDED?

	YES	NO
1. This Recommendation Form (3 copies)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Permit Application	<input type="checkbox"/>	<input checked="" type="checkbox"/>
3. Site Plan Property (3 copies)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Topo Map (2 copies): available in Room 206, County Office Building - (please label site clearly)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Building Elevation Drawings	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5. Photographs (please label all photos clearly) Adjoining Buildings	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Surrounding Neighborhood	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Current Zoning Classification: <u>RC-4</u>		

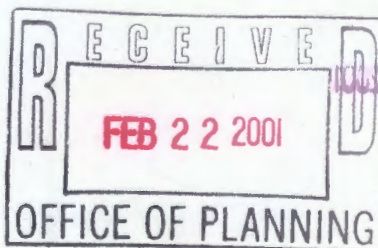
TO BE FILLED IN BY THE OFFICE OF PLANNING ONLY!

RECOMMENDATIONS / COMMENTS:

Approval Disapproval Approval conditioned on required modifications of the application to conform with the following recommendations:

Subject to compliance with elevation drawings
submitted on 3/8/01

Signed by: Jeffrey W. Long
for the Director, Office of Planning and Community Conservation



Date: 3/9/01

SCHEDULED DATES, CERTIFICATE OF FILING AND POSTING FOR A BUILDING PERMIT APPLICATION PURSUANT TO SECTION 304.2

Department of Permits and Development Management (PDM)
County Office Building
111 West Chesapeake Avenue
Towson, Maryland 21204

The application for your proposed Building Permit application has been reviewed and is accepted for filing by Jun R. Fernando on FEB. 21, 2001
(name of planner) Date (A)

A sign indicating the proposed building must be posted on the property for fifteen (15) days before a decision can be rendered. The cost of filing is \$50.00. This fee is subject to change. Confirm all current fees prior to filing the application.

In the absence of a request for public hearing during the 15-day posting period, a decision can be expected within approximately four weeks. However, if a valid demand is received by the closing date, then the decision shall only be rendered after the required public special hearing.

*SUGGESTED POSTING DATE MARCH 5, 2001 D (15 Days Before C)

DATE POSTED _____

HEARING REQUESTED? YES _____ NO _____ - DATE _____

CLOSING DAY (LAST DAY FOR HEARING DEMAND) MARCH 20, 2001 C (B-3 Work Days)

TENTATIVE DECISION DATE MARCH 23, 2001 B (A + 30 Days)

*Usually within 15 days of filing

CERTIFICATE OF POSTING

District: _____

Location of Property: _____

Posted by: _____ Date of Posting: _____
Signature

Number of Signs: _____

MAR 13 2001

*Feb 21 2001
Tio*

Date to be posted: Anytime before but no later than MARCH 5, 2001

Request for Use Permit: Class A Child Care, Parking, Undersized Lot, Farmer's Roadside Stand

Format for Use Permit Sign, Black Letters on White Background:

ZONING NOTICE

BUILDING PERMIT APPLICATION

To approved on undersized Lot per section 304.2
BCZR.

PUBLIC HEARING ?

**PURSUANT TO SECTION 304.4, BALTIMORE COUNTY REGULATIONS,
AN ELIGIBLE INDIVIDUAL OR GROUP MAY REQUEST A PUBLIC HEARING
CONCERNING THE PROPOSED BUILDING PERMIT, PROVIDED THE REQUEST
IS RECEIVED IN THE ZONING REVIEW BUREAU BEFORE 5:00 P.M. ON**

MARCH 20, 2001

**REQUEST FOR HEARING MUST REFERENCE THE ADDRESS ON THIS SIGN.
ADDITIONAL INFORMATION IS AVAILABLE AT THE DEPARTMENT OF PERMITS
AND DEVELOPMENT MANAGEMENT, COUNTY OFFICE BUILDING, 111 WEST
CHESAPEAKE AVE., TOWSON, MD 21204, (410) 887-3391.**

DO NOT REMOVE THIS SIGN AND POST UNTIL DAY OF HEARING UNDER PENALTY OF LAW

HANDICAPPED ACCESSIBLE

CERTIFICATE OF POSTING

RE: Case No.: BUILDING PERMIT

Petitioner/Developer: _____

JAMES LIPIRA

Date of Hearing/Closing: 3/20/2001

Baltimore County Department of
Permits and Development Management
County Office Building, Room 111
111 West Chesapeake Avenue
Towson, MD 21204

Attention: Ms. Gwendolyn Stephens

Ladies and Gentlemen:

This letter is to certify under the penalties of perjury that the necessary sign(s) required by law were posted conspicuously on the property located at _____

3838 DANCE MILL ROAD

The sign(s) were posted on 3/4/2001

(Month, Day, Year)

BUILDING PERMIT



3838 DANCE MILL ROAD
POSTED 3/4/2001
Richard E Hoffman 3/4/2001

Sincerely,

Richard E Hoffman 3/4/01
(Signature of Sign Poster and Date)

RICHARD E. HOFFMAN
(Printed Name)

904 DELLWOOD DR.
(Address)

FALLSTON, MD 21047
(City, State, Zip Code)

(410) 879-3122
(Telephone Number)

**BALTIMORE COUNTY, MARYLAND
OFFICE OF BUDGET & FINANCE
MISCELLANEOUS RECEIPT**

No. **90095**

DATE Feb. 21, 2001 ACCOUNT R-001-006-6150

AMOUNT \$ 50.00

RECEIVED FROM: Mr. Lipira

3838 Dance Mill Rd.

FOR: Undersized Lot

Taken by: JRF

PAID RECEIPT

PAYMENT	ACTUAL	TIME
2/21/2001	2/21/2001	09:34:22
REG 0001	CASHIER JRIC JHR	BRAMER 1
>>RECEIPT # 033751 OFLH		
Dept	5 528 ZONING VERIFICATION	
CR NO.	090095	

Recpt Tot	50.00
50.00 CK	.00 CA
Baltimore County, Maryland	

DISTRIBUTION
WHITE - CASHIER

PINK - AGENCY

YELLOW - CUSTOMER

CASHIER'S VALIDATION

APPLICATION FOR PERMIT
BALTIMORE COUNTY MARYLAND
DEPARTMENT OF PERMITS & DEVELOPMENT MANAGEMENT
TOWSON, MARYLAND 21204

DATE: 2/15/01

OEA: JWP

HISTORIC DISTRICT/BLDG.

PERMIT #: B
RECEIPT #: A
CONTROL #: NK
XREF #:

PROPERTY ADDRESS: 3938 Dance Mill Rd
SUITE/SPACE/FLOOR: Phoenix Md 21131
SUBDIV: _____

YES NO
 DO NOT KNOW

FEE: \$14945
PAID: _____
PAID BY: _____

TAX ACCOUNT #: 10-02-020630
OWNER'S INFORMATION (LAST, FIRST): _____
NAME: Lipien James And Kim
ADDR: 4385 Federal Hill Rd street, md 21154

DISTRICT/PRECINCT: 10

DOES THIS BLDG. HAVE SPRINKLERS
YES ___ NO ___

APPLICANT INFORMATION

NAME: James P. Lipien
COMPANY: _____

STREET: 4385 Federal Hill Rd
CITY, ST, ZIP: Street Md 21154
PHONE #: 410-692-6602 MHIC LICENSE #: MHBR#205

APPLICANT SIGNATURE: James P. Lipien DRC# _____

PLANS: CONST 2 PLOT 11 PLAT _____ DATA _____ EL 1 PL 1
TENANT _____
CONTR: Genesis Bldgs
ENGR: _____
SELLR: _____

I HAVE CAREFULLY READ THIS APPLICATION AND KNOW THE SAME IS CORRECT AND TRUE, AND THAT IN DOING THIS WORK ALL PROVISIONS OF THE BALTIMORE COUNTY CODE AND APPROPRIATE STATE REGULATIONS WILL BE COMPLIED WITH WHETHER HEREIN SPECIFIED OR NOT AND WILL REQUEST ALL REQUIRED INSPECTIONS.

- BUILDING 1 or 2 FAM. CODE CODE
BOCA CODE _____
TYPE OF IMPROVEMENT
1. NEW BLDG CONST
2. _____ ADDITION
3. _____ ALTERATION
4. _____ REPAIR
5. _____ WRECKING
6. _____ MOVING
7. _____ OTHER _____

DESCRIBE PROPOSED WORK: Construct of w/ 2 car garage, f/p (no priv), front & rear porches, 3 bedroom

52x89x40'8" = 44725F

TYPE OF USE

RESIDENTIAL

01. ONE FAMILY
02. _____ TWO FAMILY
03. _____ THREE AND FOUR FAMILY
04. _____ FIVE OR MORE FAMILY (ENTER NO UNITS) _____
05. _____ SWIMMING POOL
06. _____ GARAGE
07. _____ OTHER _____

NON-RESIDENTIAL

08. _____ AMUSEMENT, RECREATION, PLACE OF ASSEMBLY
09. _____ CHURCH, OTHER RELIGIOUS BUILDING
10. _____ FENCE (LENGTH _____ HEIGHT _____)
11. _____ INDUSTRIAL, STORAGE BUILDING
12. _____ PARKING GARAGE
13. _____ SERVICE STATION, REPAIR GARAGE
14. _____ HOSPITAL, INSTITUTIONAL, NURSING HOME
15. _____ OFFICE, BANK, PROFESSIONAL
16. _____ PUBLIC UTILITY
17. _____ SCHOOL, COLLEGE, OTHER EDUCATIONAL
18. _____ SIGN
19. _____ STORE _____ MERCANTILE _____ RESTAURANT
20. _____ SWIMMING POOL _____ SPECIFY TYPE _____
21. _____ TANK, TOWER
22. _____ TRANSIENT HOTEL, MOTEL (NO. UNITS _____)
23. _____ OTHER _____

MHBR 205

*Site = Not adjacent to R-2 land use
APPT - NOT within 100' of Reservoir

TYPE FOUNDATION

1. SLAB
2. _____ BLOCK
3. CONCRETE

- BASEMENT
1. FULL
2. _____ PARTIAL
3. _____ NONE

TYPE OF CONSTRUCTION

1. MASONRY
2. WOOD FRAME
3. _____ STRUCTURE STEEL
4. _____ REINF. CONCRETE

TYPE OF HEATING FUEL

1. GAS
2. OIL
3. _____ ELECTRICITY
4. _____ COAL

TYPE OF SEWAGE DISPOSAL

1. _____ PUBLIC SEWER _____ EXISTS _____ PROPOSED
2. PRIVATE SYSTEM
SEPTIC _____ EXISTS _____ PROPOSED
PRIVY _____ EXISTS _____ PROPOSED

CENTRAL AIR: 1. _____ 2. _____
ESTIMATED COST: \$210,000
OF MATERIALS AND LABOR

TYPE OF WATER SUPPLY

1. _____ PUBLIC SYSTEM _____ EXISTS _____ PROPOSED
2. PRIVATE SYSTEM _____ EXISTS _____ PROPOSED

PROPOSED USE: Adjacent
EXISTING USE: _____

OWNERSHIP

1. PRIVATELY OWNED
2. _____ PUBLICLY OWNED
3. _____ SALE
4. _____ RENTAL

RESIDENTIAL CATEGORY:

1. DETACHED
2. _____ SEMI-DET.
3. _____ GROUP
4. _____ TOWNHSE
5. _____ MIDRISE
6. _____ HIRISE

FAMILY BEDROOMS: 3
#1BED: _____ #2BED: _____ #3BED: _____
TOT BED: _____ TOT APTS/CONDOS: _____

GARBAGE DISPOSAL: 1. Y 2. N
POWDER ROOMS: _____

BATHROOMS: 2
KITCHENS: 1
CLASS: C
LIBER: 0
FOLIO: 0

BUILDING SIZE

FLOOR: 4472
WIDTH: 52
DEPTH: 89
HEIGHT: 40'8"
STORIES: 2/6
LOT #'S: _____
CORNER LOT: _____

LOT SIZE AND SETBACKS

SIZE: 1107AA
FRONT STREET: _____
SIDE STREET: _____
FRONT SETBK: 50'
SIDE SETBK: 21/100'
SIDE STR SETBK: _____
REAR SETBK: 60'

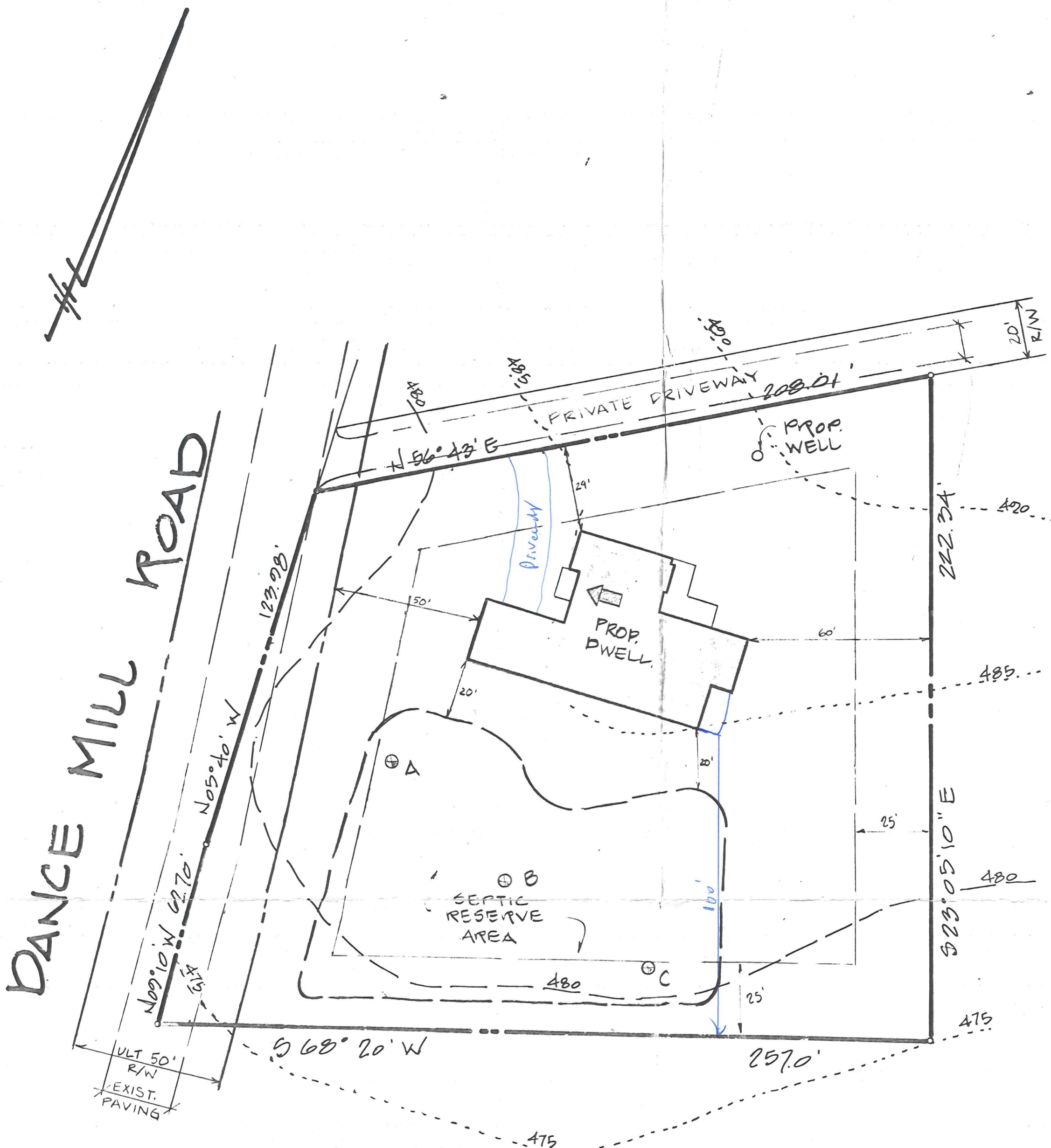
APPROVAL SIGNATURES

BLD INSP : _____ : _____
BLD PLAN : _____ : _____
FIRE : _____ : _____
SEDI CTL : _____ : _____
ZONING : 112 (Jovanovic) FINAL : 3/21/01
PUB SERV : _____ : _____
ENVRMNT : 4100C : _____
LIBER : 0 : _____
PERMITS : _____ : _____

MAKE CHECKS PAYABLE TO BALTIMORE COUNTY MARYLAND -- NO PERMIT FEES REFUNDED

NOTE:

(THERE ARE NO ADJACENT WELLS OR SEPTIC SYSTEMS WITHIN 100' OF THE PROPERTY LINES OF THE SUBJECT SITE.)



Architectural Drawings
 * Color of Vertical siding
 * Pldg. Materials

SITE DATA

SITE AREA 1.060 Ac. +/-
 DEED REFERENCE 14439/652
 EXIST. ZONING RC 4
 TAX ACCOUNT No. 1002020630

OWNER
 JAMES P. LIPIRA
 KIM M. LIPIRA
 435 FEDERAL HILL RD.
 STREET, MD. 21154

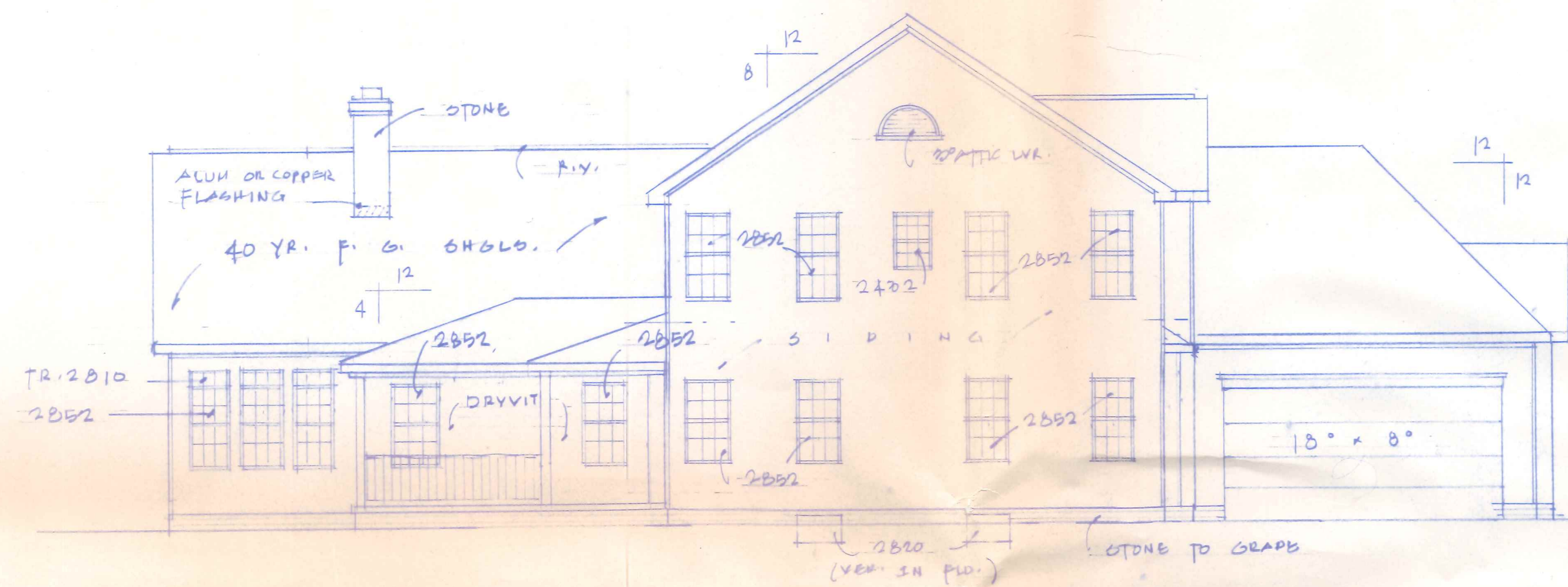
REVISIONS		
NO.	DATE	DESCRIPTION
1	07/27/07	REVISED BUILDING LAYOUT

SPELLMAN, LARSON & ASSOCIATES, INC.
 CIVIL ENGINEERS AND LAND SURVEYORS
 SUITE 406, JEFFERSON BLDG., TOWSON, MD 21204
 PHONE: 823-3535

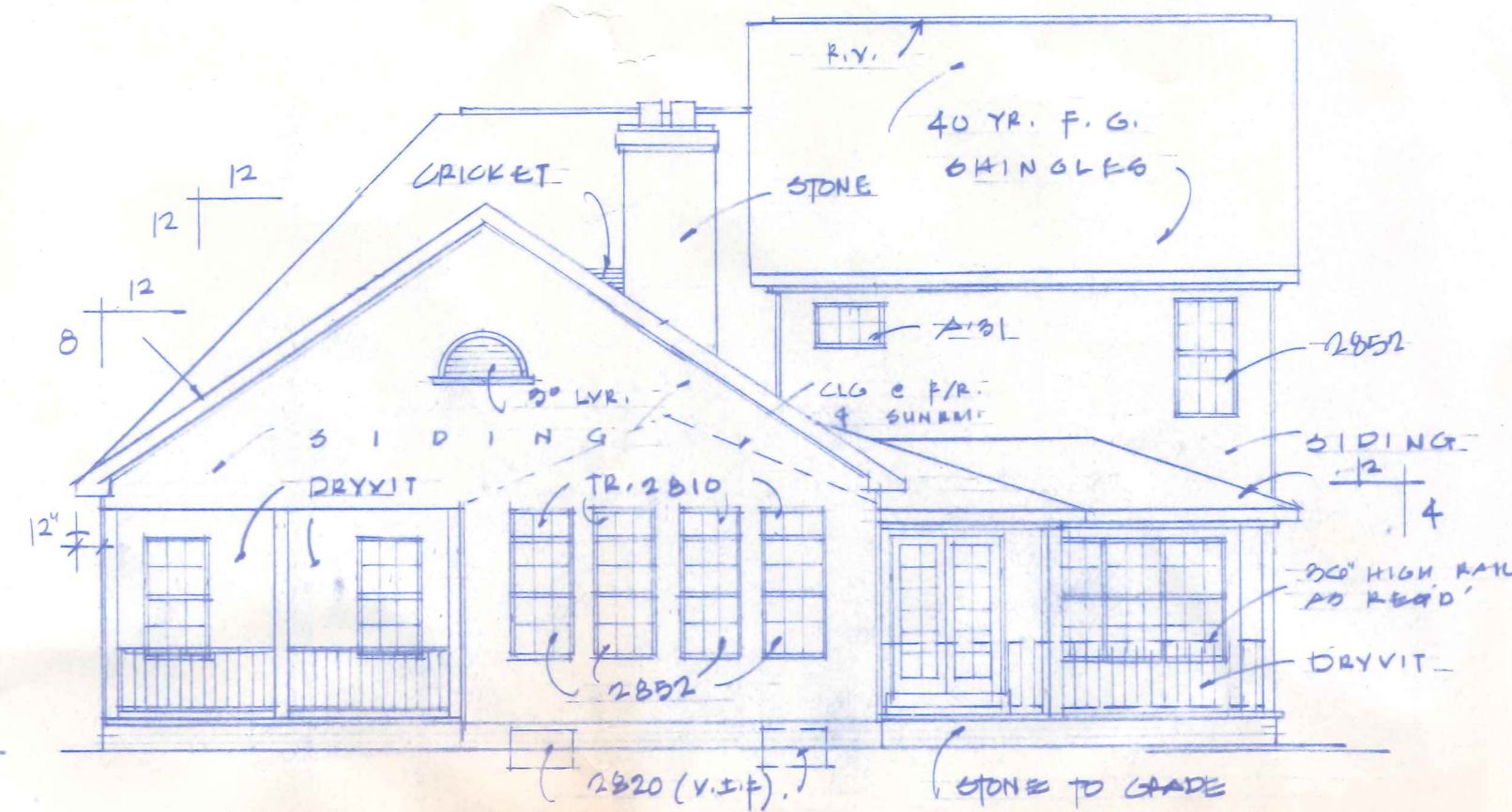
PLAT TO ACCOMPANY
 BUILDING PERMIT APPLICATION
3838 DANCE MILL ROAD
 ELECTION DIST. No. 10 BALTIMORE COUNTY, MD

SCALE: 1" = 30'	DES. BY:	SHT. 1 OF 1
DATE: 07/20/07	DRN. BY: P.M.N.	

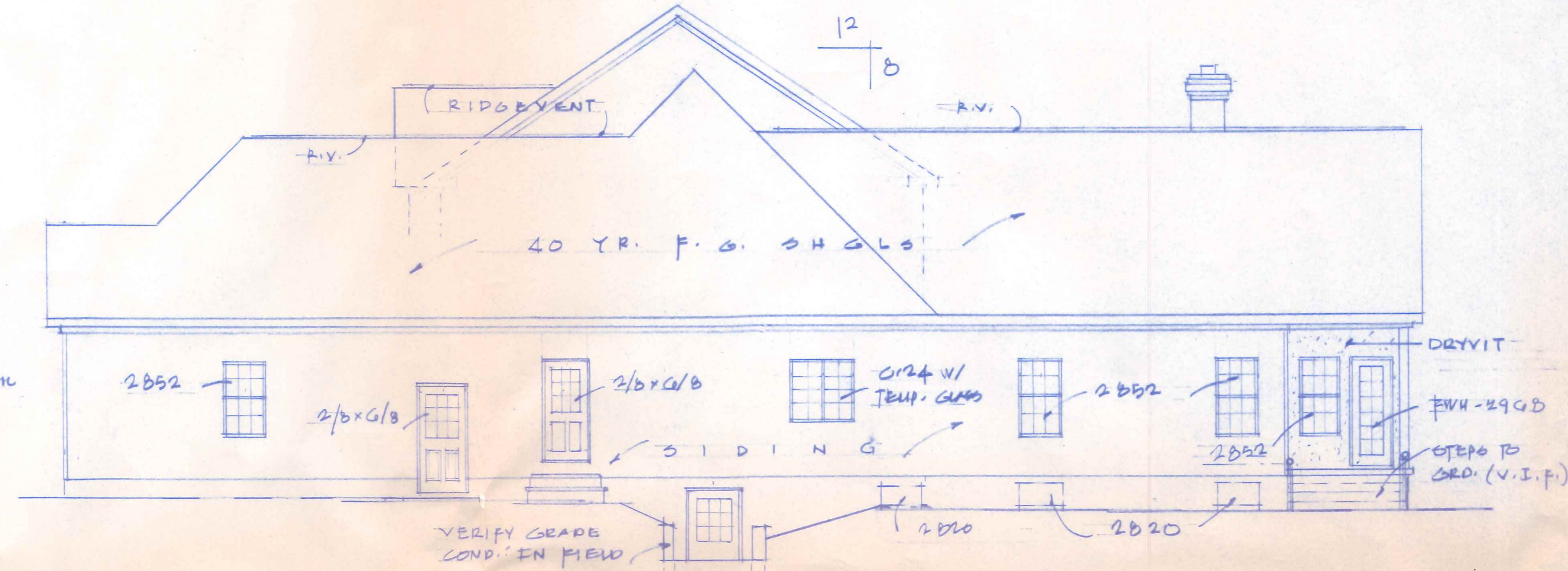
99089



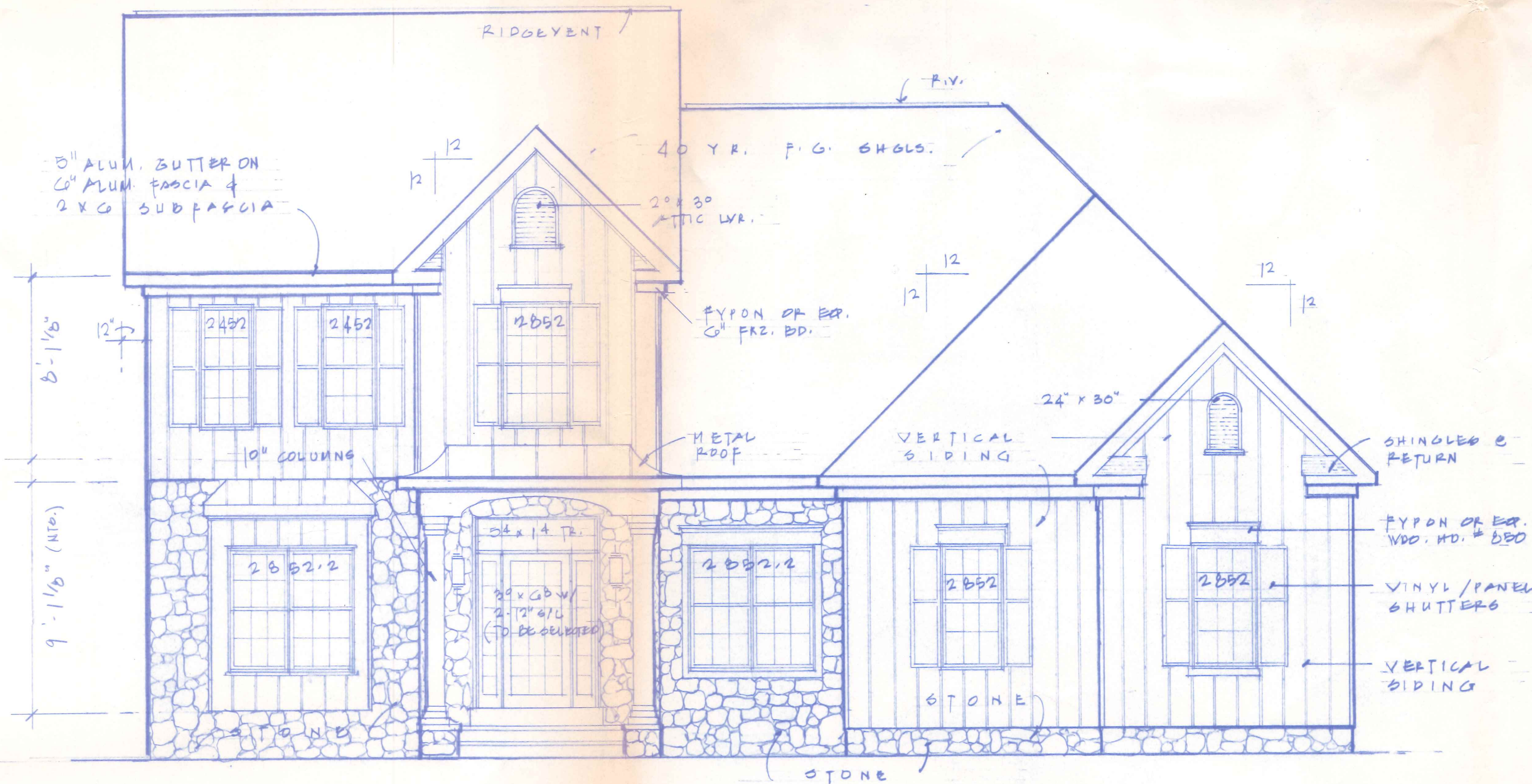
LEFT ELEVATION - 1/8" = 1'0"



REAR ELEVATION - 1/8" = 1'0"



RIGHT ELEVATION - 1/8" = 1'0"



FRONT ELEVATION

1/4" = 1'0"

INSULATION:

EXTERIOR WALLS	- R-13
SILL BAND	- R-21
CEILINGS	- R-30

AREA TABULATIONS:

FIRST FLOOR	2,184 SQ.FT.
SECOND FLOOR	784 SQ.FT.
TOTAL FLOOR AREA	2,904 SQ.FT.

GARAGE AREA = 583 SQ.FT.
 PORCHES = 400 SQ.FT.

NOTE:
 THIS PLAN HAS BEEN PREPARED FOR THE ADDRESS OR LOCATION NOTED ONLY AND IS NOT TO BE USED FOR ANY OTHER PROJECT. THIS PLAN CONTAINS A TOTAL OF SIX (6) SHEETS.

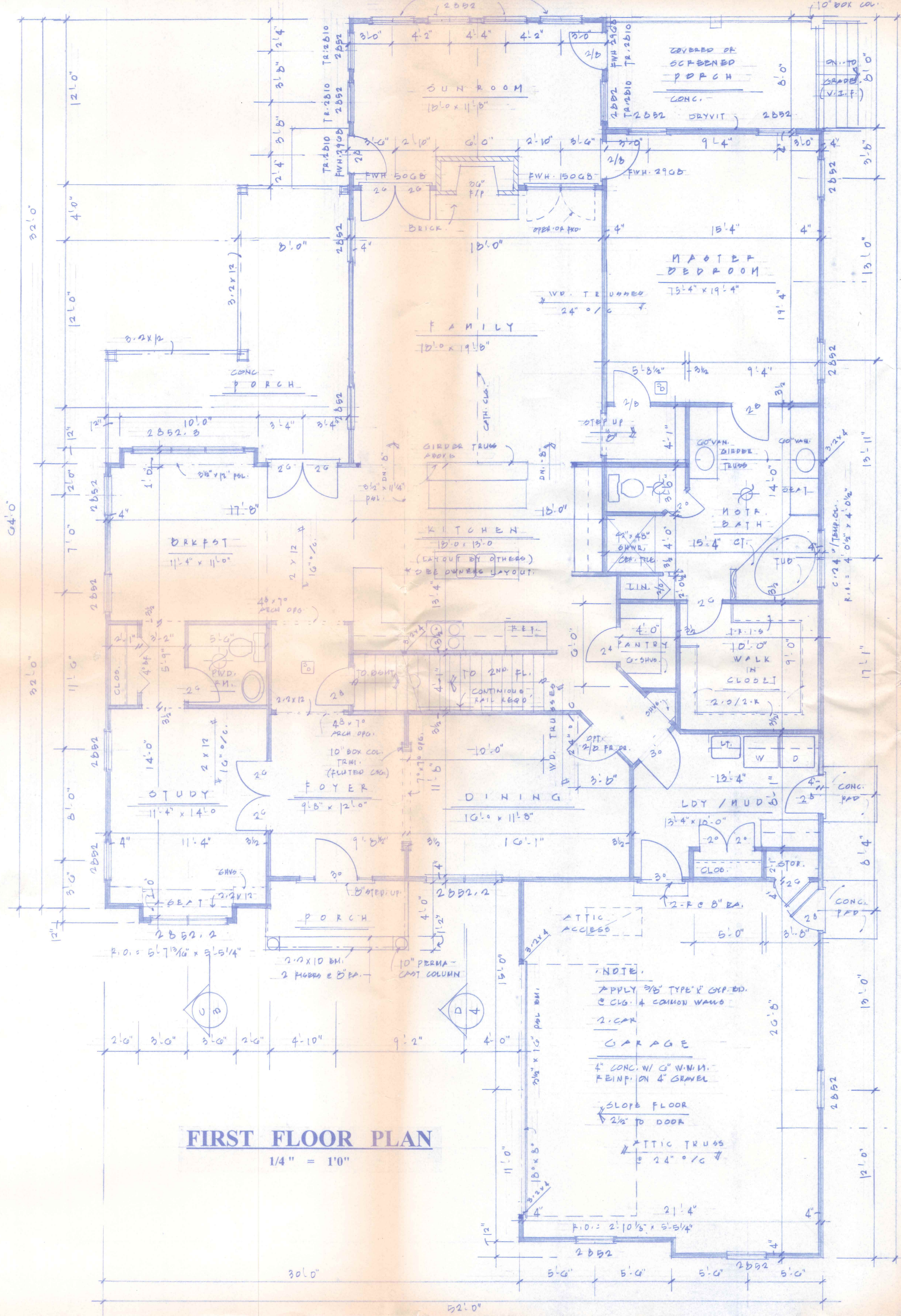
SHEET -1	ELEVATIONS, & NOTES
SHEET -2	FIRST FLOOR PLAN, NOTES SECTIONS "A" & "B", DETAILS
SHEET -3	SECOND FLOOR PLAN, DETAILS SECTION "C", DETAILS
SHEET -4	FOUNDATION PLAN, NOTES SECTION "D", DETAILS
SHEET -5	FIRST FLOOR FRAMING PLAN
SHEET -6	SECOND FLOOR FRAMING PLAN
	ROOF FRAMING PLAN, NOTES

GENERAL NOTES

- All exterior dimensions are from face of sheathing to face of stud unless noted.
- All interior dimensions are from face of stud to face of stud unless noted.
- All masonry dimensions are from face of masonry to face of masonry unless noted otherwise. All masonry rough openings shall be provided by the contractor/owner.
- All angles are at 45 degrees unless noted otherwise.
- The Contractor/owner shall be responsible for the verification of all dimensions. Use written dimensions only and report any discrepancy to the designer prior to the start of demolition and/or construction.
- The Contractor/Owner shall be responsible for the verification of all existing jobsite conditions and shall notify the designer of any discrepancy prior to the start of demolition and/or construction.
- Bottom of footings shall be 36" below finished grade (unless noted otherwise).
- All Electrical, Plumbing, and Mechanical layouts, diagrams, and permits shall be provided by the respective contractor.
- The Designer shall not be responsible for any deviations from the construction documents.
- The Designer shall be notified of any materials substitutions for approval prior to the shipment of the material.
- DO NOT SCALE DRAWINGS!!! USE WRITTEN DIMENSIONS ONLY!!!

LIPIRA RESIDENCE		SHEET 1 OF 16 00-40
3838 DANCE MILL ROAD PHOENIX, MARYLAND 21131		
11-16-00		

DAVID M. CROSS, A.I.B.D.
 PROFESSIONAL BUILDING DESIGNER
 19775 CHAN COMP. ROAD / DANBURTON, MARYLAND 21034
 TEL: (410) 836-3021



FIRST FLOOR PLAN
1/4" = 1'0"

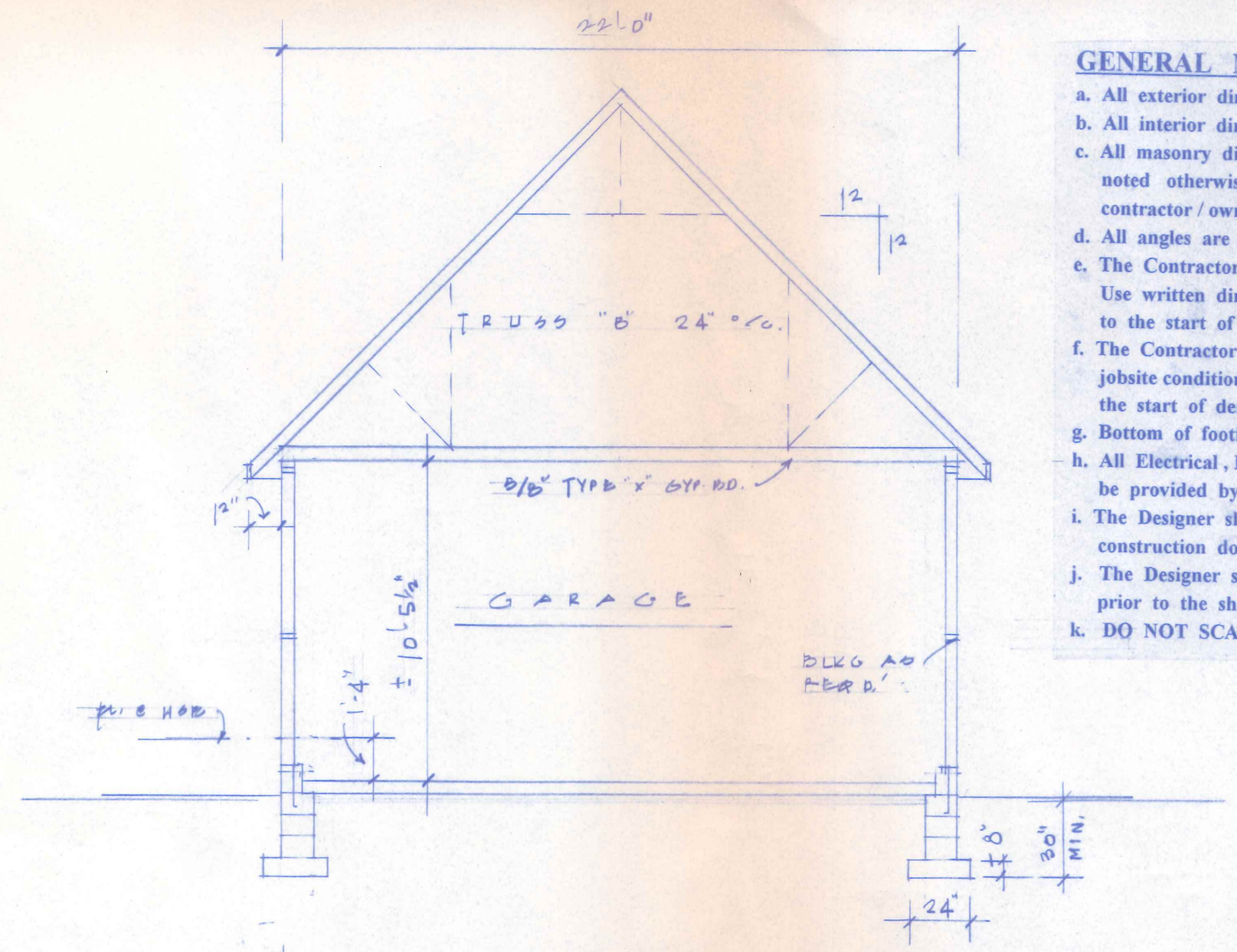
ROOF NOTES:
40 YR. F.G. SHINGLES
15# ASPHALT FELT
1/2" FIR PLYWOOD SHTG.
WOOD TRUSSES @ 24" O/C
2X FRAMING (SEE PLAN)

EXTERIOR WALL NOTES:
CULTURED STONE
VINYL SIDING
TYPAR / TYVEK WRAP
1/2" FIR CDX SHTG.
2X4 K.D. STUDS @ 24" O/C
R-13 INSULATION
1/2" GYPSUM WALLBD.

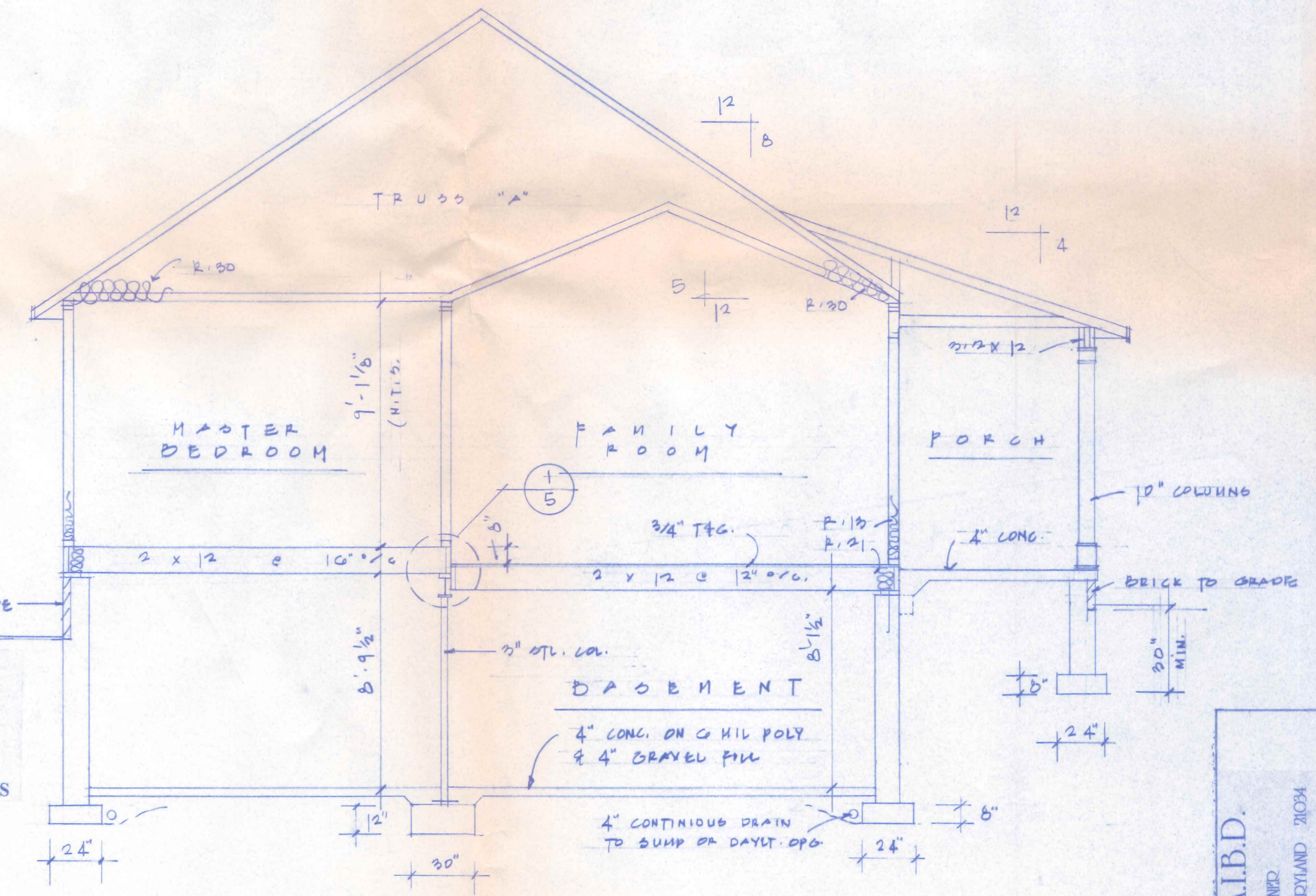
FOUNDATION NOTES:
14 COURSES / 12" CONC. BLOCK
ON 24" W X 8" D CONC. FTG.
CEMENT PARGE AND
WATERPROOF BELOW GRADE
VERIFY W/ LOCAL BLDG. OFFICIALS

FL. AREA = 1,905
SUNROOM = 210
GARAGE = 553

NOTE:
APPLY 3/8" TYPE 'X' GYP. BD.
& CLG. & COMMON WALLS
2-CAR
GARAGE
4" CONC. W/ 0" W.W.M.
REIN. ON 4" GRAVEL
SLOPE FLOOR
2 1/2" TO DOOR
ATTIC TRUSSES
@ 24" O/C



SECTION "B" - 1/4" = 1'-0"



SECTION "A" - 1/4" = 1'-0"

- GENERAL NOTES**
- All exterior dimensions are from face of sheathing to face of stud unless noted.
 - All interior dimensions are from face of stud to face of stud unless noted.
 - All masonry dimensions are from face of masonry to face of masonry unless noted otherwise. All masonry rough openings shall be provided by the contractor/owner.
 - All angles are at 45 degrees unless noted otherwise.
 - The Contractor/owner shall be responsible for the verification of all dimensions. Use written dimensions only and report any discrepancy to the designer prior to the start of demolition and/or construction.
 - The Contractor/Owner shall be responsible for the verification of all existing jobsite conditions and shall notify the designer of any discrepancy prior to the start of demolition and/or construction.
 - Bottom of footings shall be 36" below finished grade (unless noted otherwise).
 - All Electrical, Plumbing, and Mechanical layouts, diagrams, and permits shall be provided by the respective contractor.
 - The Designer shall not be responsible for any deviations from the construction documents.
 - The Designer shall be notified of any materials substitutions for approval prior to the shipment of the material.
 - DO NOT SCALE DRAWINGS!!! USE WRITTEN DIMENSIONS ONLY!!!**

LIPIRA RESIDENCE
3838 DANCE MILL ROAD
PHOENIX, MARYLAND 21131

2-8-2001	SHEET 2 OF 40
----------	-------------------------------

DAVID M. CROSS, A.I.B.D.
PROFESSIONAL BUILDING DESIGNER
1997-B CHEN CON. BOARD / BACHINGTON, MARYLAND 21034
DH (410) 846-5528

GENERAL NOTES

- a. All exterior dimensions are from face of sheathing to face of stud unless noted.
- b. All interior dimensions are from face of stud to face of stud unless noted.
- c. All masonry dimensions are from face of masonry to face of masonry unless noted otherwise. All masonry rough openings shall be provided by the contractor / owner.
- d. All angles are at 45 degrees unless noted otherwise.
- e. The Contractor / owner shall be responsible for the verification of all dimensions. Use written dimensions only and report any discrepancy to the designer prior to the start of demolition and or construction.
- f. The Contractor / Owner shall be responsible for the verification of all existing jobsite conditions and shall notify the designer of any discrepancy prior to the start of demolition and or construction.
- g. Bottom of footings shall be 36" below finished grade (unless noted otherwise).
- h. All Electrical, Plumbing, and Mechanical layouts, diagrams, and permits shall be provided by the respective contractor.
- i. The Designer shall not be responsible for any deviations from the construction documents.
- j. The Designer shall be notified of any materials substitutions for approval prior to the shipment of the material.
- k. **DO NOT SCALE DRAWINGS!!! USE WRITTEN DIMENSIONS ONLY!!!**

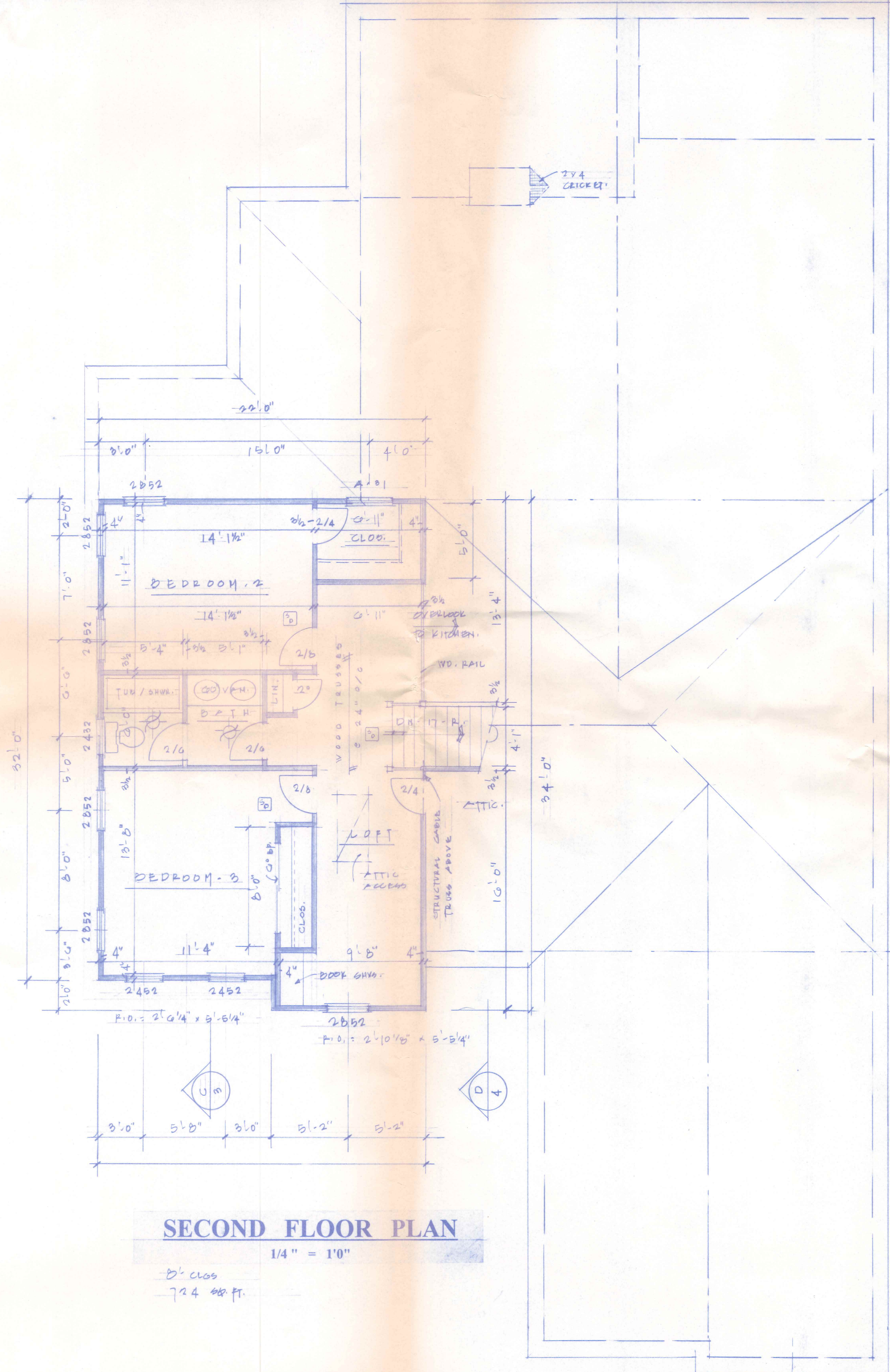
STRUCTURAL NOTES:

GENERAL

- A. THESE NOTES SHALL APPLY WHERE INDICATED ON THESE DRAWINGS AND / OR SPECIFICATIONS. A DETAIL SHOWN FOR ONE CONDITION SHALL APPLY FOR ALL SIMILAR CONDITIONS EVEN THOUGH IT MAY NOT BE SPECIFICALLY INDICATED ON THE DRAWINGS.
- B. THE CONTRACTOR SHALL PROVIDE SHORING AS REQUIRED FOR ALL WORK DURING DEMOLITION, AND OR CONSTRUCTION.
- C. A MAXIMUM OF 70" OF BACKFILL SHALL BE DEPOSITED EVENLY AGAINST THE FOUNDATION WALLS UNLESS NOTED OTHERWISE ON THE PLANS.

REINFORCED CONCRETE

- A. ALL CONCRETE SHALL BE STANDARD WEIGHT 3000 PSI COMPRESSIVE STRENGTH AT 28 DAYS UNLESS NOTED OTHERWISE ON THE PLANS.
- B. CONSTRUCTION AND/OR CONTROL JOINTS SHALL BE PROVIDED IN ALL SLABS ON GRADE SO THAT THE MAXIMUM AREA BETWEEN THE JOINTS IS 800 SQUARE FEET AND THE LENGTH NOT MORE THAN TWICE THE WIDTH.
- C. REINFORCING BARS SHALL CONFORM TO ASTM A-615 ALL BAR SIZES # 3 AND SMALLER SHALL BE GRADE 40. BAR SIZES # 4 AND LARGER SHALL BE GRADE 60.
- D. ALL REINFORCING BARS SPECIFIED AS CONTINUOUS SHALL HAVE BASIC CLASS "C" TENSION LAPS (i.e. 26" FOR # 5 BARS)
- E. WELDED WIRE MESH (WWM) SHALL CONFORM TO ASTM A-82 AND A-185. LAP SHALL BE NO LESS THAN 6" AT SPLICES.

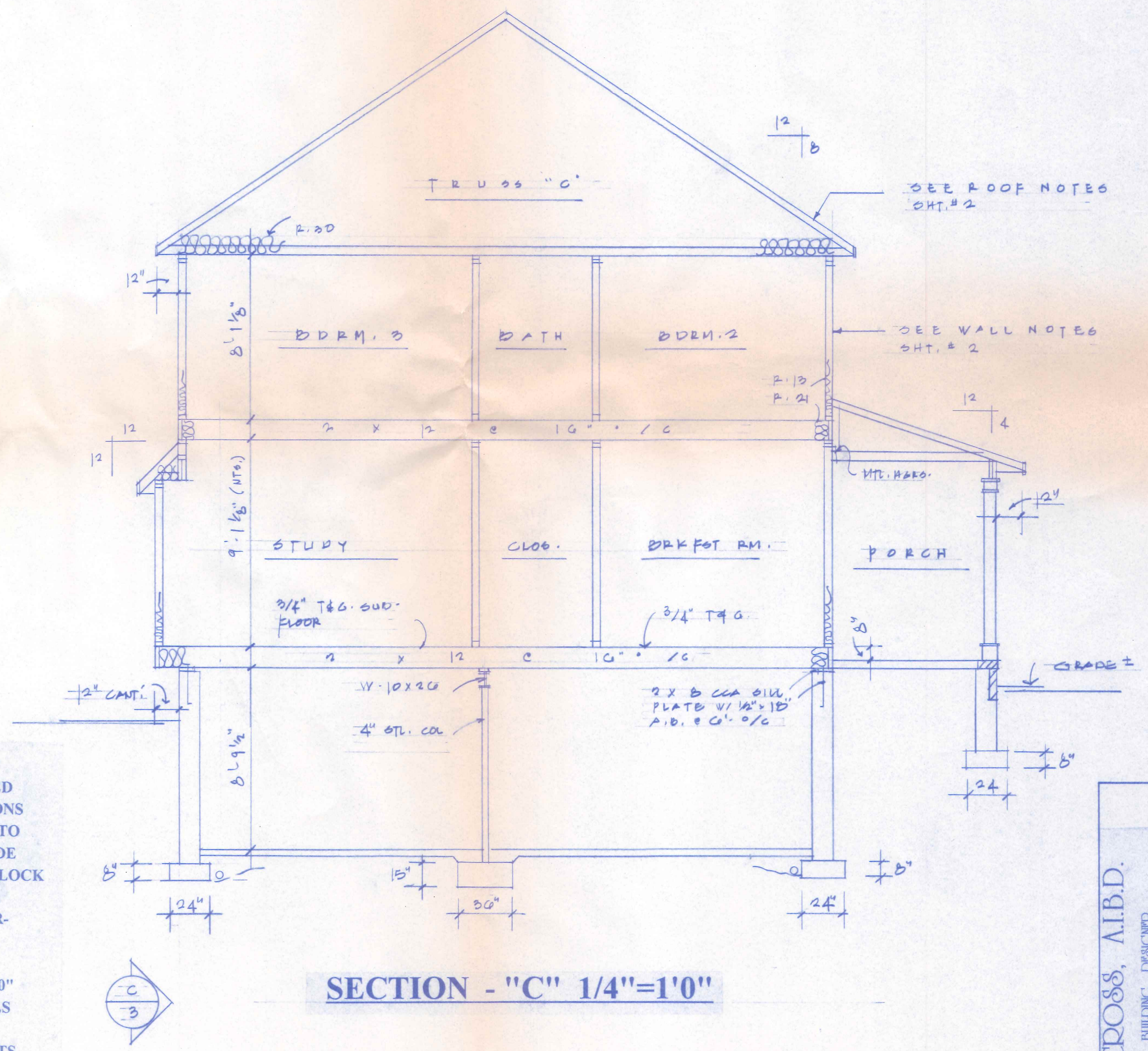


SECOND FLOOR PLAN

1/4" = 1'0"

-b' clos
-24 str. pt.

FOUNDATION NOTES:
STEP FOOTING AS REQUIRED BY FINAL GRADE CONDITIONS BENCH BLOCK FOR STONE TO GRADE AS PER FINAL GRADE 14 COURSES 12" / 8" CONC. BLOCK W/ FHA CAP CEMENT PARGE AND WATER-PROOF BELOW GRADE.
NOTE: MAXIMUM BACKFILL IS 7'-0" UNLESS FOUNDATION WALLS ARE REINFORCED AS PER LOCAL CODE REQUIREMENTS.



SECTION - "C" 1/4"=1'0"

LIPIRA RESIDENCE
3838 DANCE MILL ROAD
PHOENIX, MARYLAND 21131

2-8-2001

DAVID M. CROSS, A.I.B.D.
PROFESSIONAL BUILDING DESIGNER
1997-B CLUN COVE ROAD / DUBLINGTON, MARYLAND 21034
PH (410) 885-3021

SHEET
3
OF
6
00-48

STRUCTURAL LUMBER

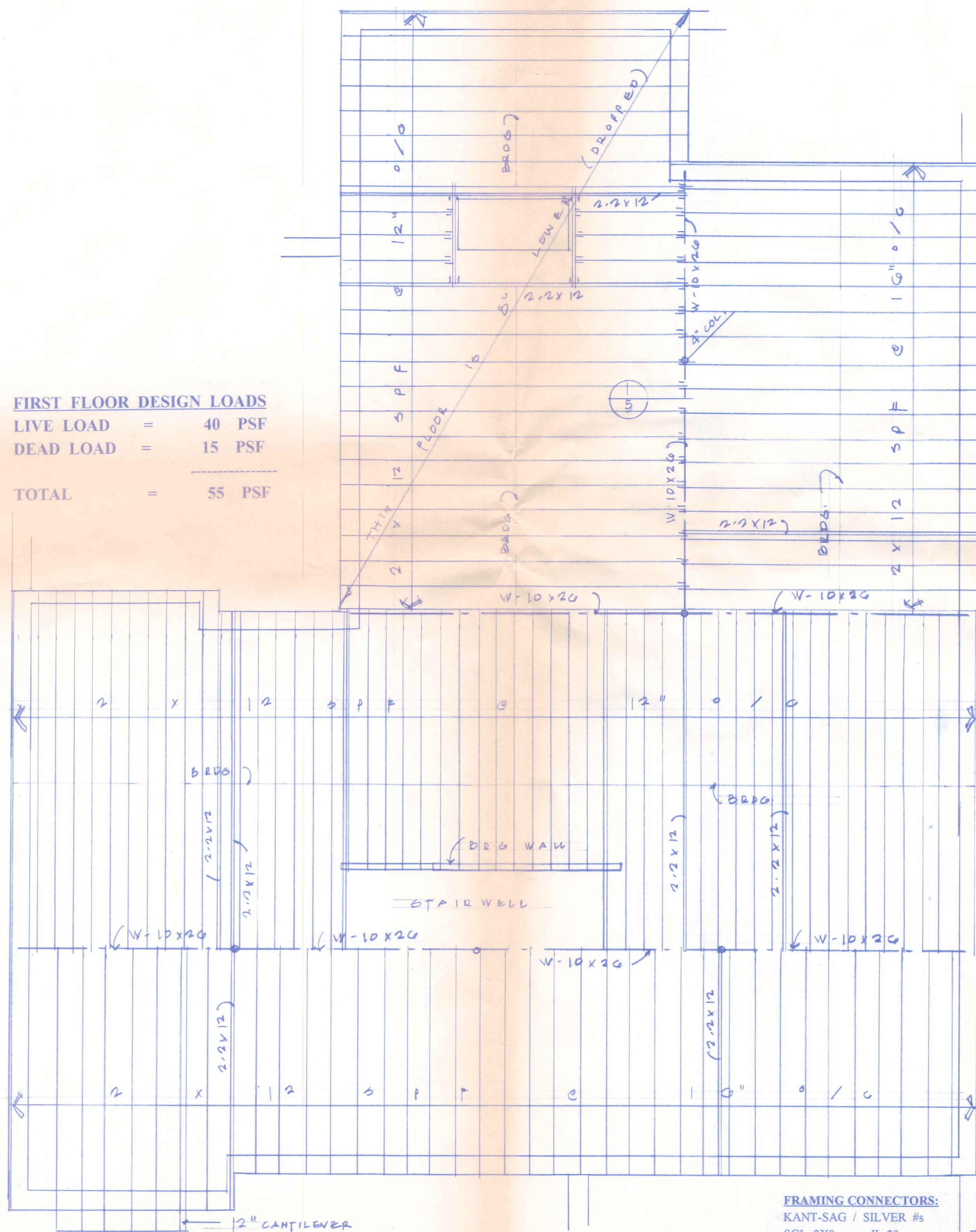
- A. FRAMING LUMBER AS SPECIFIED ON THE STRUCTURAL DRAWINGS SHALL BE K.D. - 19% OR LESS - UNLESS NOTED OTHERWISE ON THE DRAWINGS.
- B. ALL JOISTS TO BE DOUBLED UNDER ALL PARALLEL PARTITIONS ABOVE.
- C. A MINIMUM LAP OF 3' SHALL BE USED AT ALL BEARING WALL AND BEAM CONDITIONS.
- D. PROVIDE BRIDGING AT 8'0" O/C MAXIMUM SPACING AND PROVIDE SOLID BRIDGING AND/OR BLOCKING AT ALL BEARING POINTS.
- E. ALL STUDS AND / OR JOISTS WHICH ARE CUT TO INSTALL PLUMBING, ELECTRICAL, AND MECHANICAL SHALL REQUIRE METAL MENDING PLATES BY THE RESPECTIVE CONTRACTOR.
- F. MULTIPLE MEMBER BEAMS AND HEADERS SHALL BE NAILED AS PER THE NAILING SCHEDULE PROVIDED.
- G. FLITCH PLATE BEAMS SHALL BE INSTALLED AS PER THE DETAILS SHOWN IN THE DRAWINGS.

STRUCTURAL STEEL

- A. STRUCTURAL STEEL DETAILING, FABRICATION, AND ERECTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE "MANUAL OF STEEL CONSTRUCTION" AS PUBLISHED BY THE AMERICAN INSTITUTE OF STEEL CONSTRUCTION
- B. STRUCTURAL STEEL SHALL CONFORM TO ASTM A-36. COLD FORMED, WELDED, AND SEAMLESS CARBON STEEL STRUCTURAL TUBING IN ROUNDS AND SHAPES SHALL CONFORM TO ASTM A-500.
- C. ALL CONNECTIONS, EXCEPT THOSE INDICATED ON THE DRAWINGS AS WELDED SHALL BE MADE USING 3/4" DIAMETER ASTM A-325 BOLTS WITH NUTS AND WASHERS.
- D. STRUCTURAL STEEL SHOP DRAWINGS SHALL BE SUBMITTED TO THE DESIGNER SHOWING ALL WELDED AND/OR BOLT CONNECTIONS.
- E. ALL BEARING PLATE ANCHORS SHALL CONFORM TO THE DRAWINGS AND MANUFACTURER SPECIFICATIONS.

FIRST FLOOR DESIGN LOADS

LIVE LOAD	=	40 PSF
DEAD LOAD	=	15 PSF
TOTAL	=	55 PSF

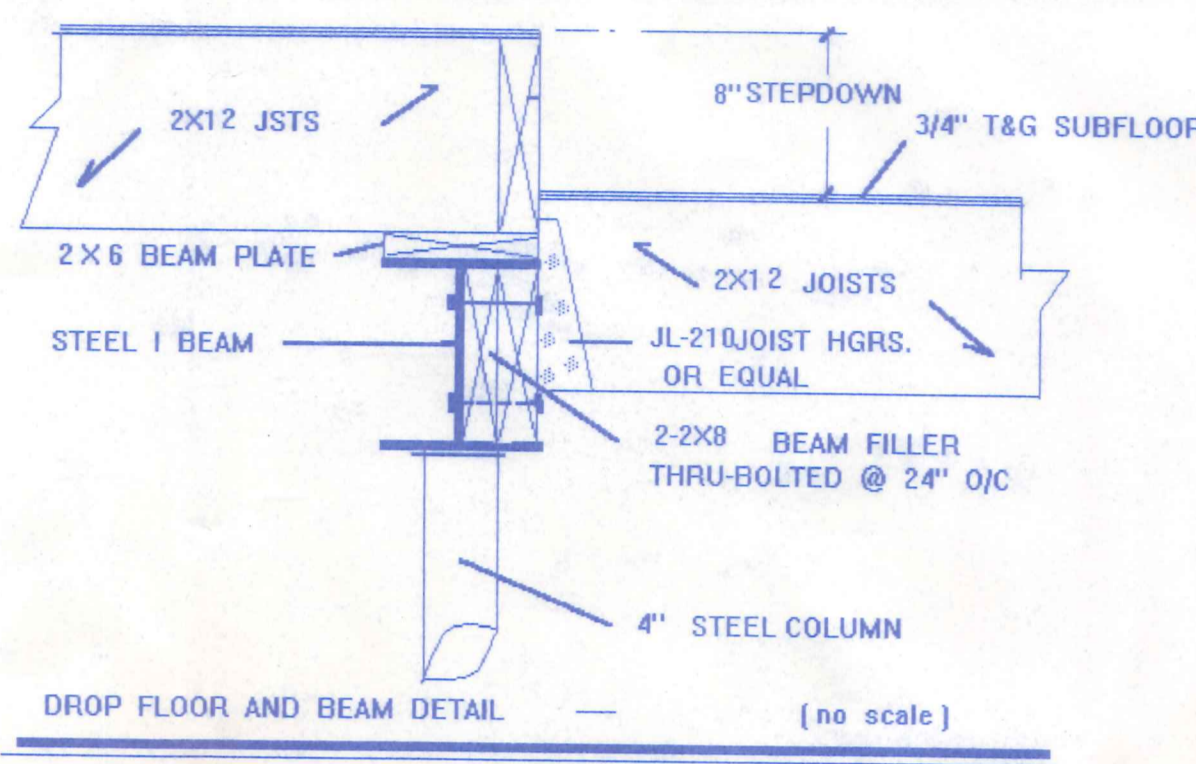


FIRST FLOOR FRAMING PLAN

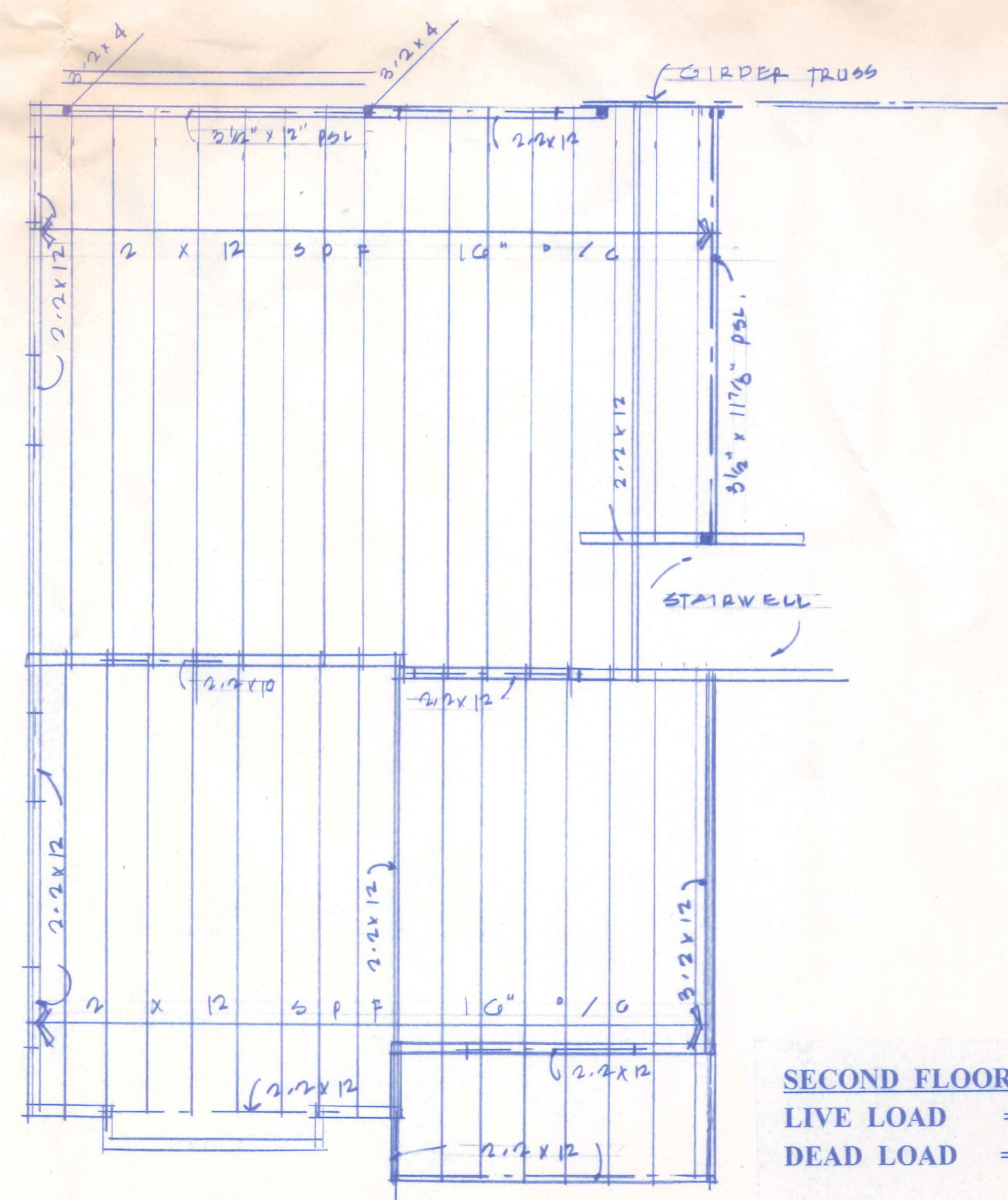
1/4" = 1'0"

FRAMING CONNECTORS:

KANT-SAG / SILVER #s			
SGL 2X8	JL-28	DBL 2X8	JL-28-2
SGL 2X10	JL-210	DBL 2X10	JL-210-2
SGL 2X12	JL-210	DBL 2X12	JL-210-2



1/5



SECOND FLOOR DESIGN LOADS

LIVE LOAD	=	30 PSF
DEAD LOAD	=	15 PSF
TOTAL	=	45 PSF

SECOND FLOOR FRAMING PLAN

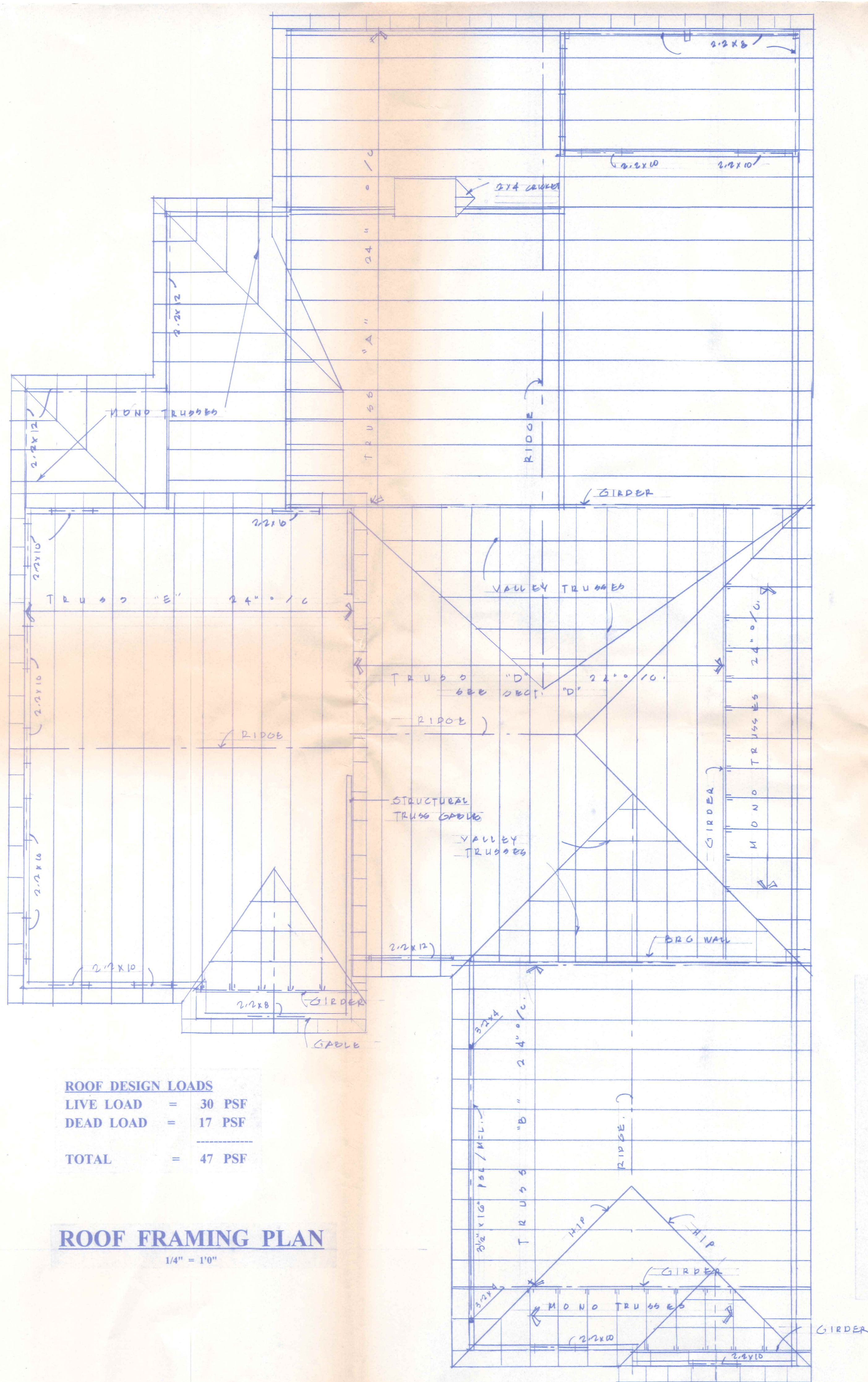
1/4" = 1'0"

LIPIRA RESIDENCE
3838 DANCE MILL ROAD
PHOENIX, MARYLAND 21131

2-8-2001

DAVID M. CROSS, A.I.B.D.
PROFESSIONAL BUILDING DESIGNER
19975 CHAN COVE ROAD / DUNNINGTON, MARYLAND 21034
PH (410) 896-5281

SHEET
5
OF
6
00-48



ROOF DESIGN LOADS

LIVE LOAD = 30 PSF
 DEAD LOAD = 17 PSF
 TOTAL = 47 PSF

ROOF FRAMING PLAN

1/4" = 1'0"

ENGINEERED PRODUCTS:

- A. ALL LVL, GLU-LAM, AND PSL PRODUCTS AS SPECIFIED IN THESE DRAWINGS SHALL BE INSTALLED AS PER THE MANUFACTURERS SPECIFICATIONS.
- B. CONTRACTOR SHALL OBTAIN A COPY OF THE MANUFACTURERS FIELD INSTALLATION MANUAL OR SPECIFICATIONS.
- C. ALL "I" BEAM JOISTS (i.e., TJI, GNI, GPI, ASI, etc.) SHALL BE INSTALLED AS PER THE MANUFACTURERS SPECIFICATIONS. SUPPLIER OF THESE PRODUCTS SHALL PROVIDE A JOIST LAYOUT AND DETAIL DRAWING TO THE CONTRACTOR.
- D. ALL WOOD TRUSSES CONNECTED WITH LIGHT GAGE METAL PLATES SHALL BE DESIGNED AND FABRICATED IN ACCORDANCE W/ THE TRUSS PLATE INSTITUTE (T.P.I.).
- E. THE MAXIMUM STRESS INCREASE FOR SHORT TERM LOADING IS 15%.
- F. SHOP DRAWINGS FOR EACH TYPE OF TRUSS SHALL BE SUBMITTED TO THE DESIGNER FOR APPROVAL PRIOR TO MANUFACTURING.
- G. SHOP DRAWINGS SUBMITTED SHALL INDICATE ALL LOADING AND SPACING AND SHALL BEAR THE SEAL OF A REGISTERED PROFESSIONAL ENGINEER FOR THE STATE IN WHICH THE STRUCTURE IS TO BE BUILT.
- H. FLOOR AND ROOF TRUSSES SHALL BE BRACED AS PER MANUFACTURER AND T.P.I. SPECIFICATIONS. THE TRUSS MANUFACTURER SHALL PROVIDE ALL HANDLING AND BRACING INFORMATION REQUIRED FOR THE STRUCTURE.

LIPIRA RESIDENCE

3838 DANCE MILL ROAD
 PHOENIX, MARYLAND 21131

2-8-2001

SHEET

6 OF 6
 00-48

DAVID M. CROSS, A.I.B.D.

PROFESSIONAL BUILDING DESIGNER

1957-B GLEN COVE ROAD / DUNDUNTON, MARYLAND 21034

PH(410) 885-9521