

USE PERMIT



IT IS ORDERED by the Director of the Baltimore County Department

of Permits and Development Management, this 9TH of OCTOBER, 2001, that

3700 EASTMAN RD. should be and the same is hereby granted
(street address)

permission to operate a CLASS A (ELDERLY) ASSISTED LIVING
FACILITY FOR A MAXIMUM OF SIX (AL-) RESIDENTS

(OP APPROVAL 10/05/01)

NA

Permit No.

APPROV. Carl Fabler
Director

Planner's Initials

AF

REV 06/00

MAILED OUT

10/10/01

GZ

TO: Director, Office of Planning & Community Conservation
Attention: Jeffrey Long
County Courts Building, Room 406
401 Bgsley Avenue
Towson, MD 21204

PDM ALF # NA

Permit No. (if required) B NA

APPLICATION
PACK TO
O.P. ATTN
JEFF LONG
9/14/01
TO GEORGE

PLEASE MAKE FILE 10/02/01
TO O.P. ATTN JEFF LONG
ORIGINALS ADDITIONALLY
LOST IN INTER OFFICE
MAIL.

FROM: Arnold Jablon, Director
Department of Permits & Development Management

RE: Assisted Living Facility (Class "A")

Pursuant to Section 432.5.B (Baltimore County Zoning Regulations) effective February 25, 1994, this office is requesting recommendations and comment from the Office of Planning and Community Conservation prior to this office's approval of a building/use permit.

MINIMUM APPLICANT SUPPLIED INFORMATION:

JULIA B. GILLIARD 3700 EASTMAN RD, RANDALLSTOWN, MD 21133 (410) 655-1211
Print Name of Applicant Address Telephone Number

Lot Address JAMEAS ABLONE Election District 02 Councilmanic District 02 Square Feet 10,575

Lot Location: NE S Wide corner of NW CORNER OF EASTHAM feet from NE-SW corner of AND BENAVAL ROADS
(street) (street)

Land Owner: JULIA B. GILLIARD Tax Account Number 020 50 00 100

Address: 3700 EASTMAN RD, RANDALLSTOWN, MD, 21133 Telephone Number (410) 655-1211

CHECKLIST OF MATERIALS- (to be submitted to applicant for required compatibility and/or appearance review by the Office of Planning and Community Conservation)

TO BE FILLED IN BY ZONING REVIEW, DEPARTMENT OF PERMITS AND DEVELOPMENT MANAGEMENT ONLY!

	PROVIDED?		Accepted for filing by Date: <u>9/14/01</u>
	YES	NO	
1. This Recommendation Form (3 copies)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
2. Permit Application (If available)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
3. Site Plan			
Property (3 copies): including lot size and square feet of buildings, parking and open space - minimum 500 square	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Topo Map (2 copies): available in Room 206, County Office Building - (please label site clearly)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Statement as to whether or not building has been enlarged by 25% or more in the last five (5) years	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
4. Building Elevation Drawings (these may be waived if note 5.A. from the Zoning Use Permit Checklist can be stated on the plans) <u>WAIVED PER ABNE NOTE</u>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
5. Photographs (please label all photos clearly) Adjoining Buildings, the Proposed Building, and Surrounding Neighborhood	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
6. Current Zoning Classification: <u>DR5.5</u>			

TO BE FILLED IN BY THE OFFICE OF PLANNING ONLY!

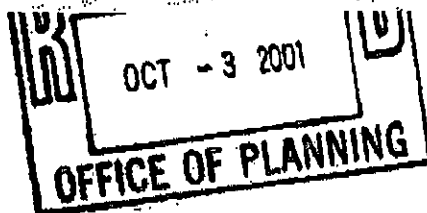
RECOMMENDATIONS / COMMENTS:

Approval Disapproval

Post-It® Fax Note	7671	Date	<u>10/5/01</u>	# of pages	<u>1</u>
To	<u>Mr Lewis</u>	From	<u>JRF Long</u>		
Co./Dept.	<u>PDM</u>	Co.	<u>Planning</u>		
Phone #	<u>3391</u>	Phone #	<u>3480</u>		
Fax #	<u>2824</u>	Fax #			

following recommendations:

Signed by: Jeffrey W. Long
for the Director, Office of Planning and Community Conservation



Date: 10/5/01

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[Signature]
Director

Planner's Initials [Signature]

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(street) (street)

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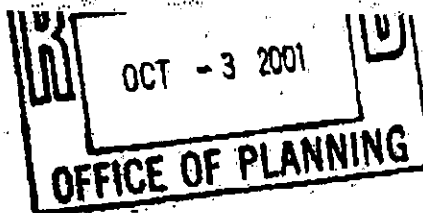
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Co./Dept.	<u>PDM</u>	Co.	<u>Planning</u>		
Phone #	<u>3391</u>	Phone #	<u>3482</u>		
Fax #	<u>2824</u>	Fax #			

following recommendations:

Signed by: Jeffrey W. Long
Director, Office of Planning and Community Conservation



Date: 10/5/01

BALTIMORE COUNTY, MARYLAND
OFFICE OF BUDGET & FINANCE
MISCELLANEOUS RECEIPT

No. 5646

DATE 9/14/01 ACCOUNT 001 006 6150
AMOUNT \$ 40.00

RECEIVED FROM: EASTMAN RETIREMENT HOME

FOR: CLASS "A" ELDERLY ALF FILING.

DISTRIBUTION

WHITE - CASHIER

PINK - AGENCY

YELLOW - CUSTOMER

PAID RECEIPT

PAYMENT ACTUAL TIME
9/17/2001 9/14/2001 15:26:01
REC MS06 CASHIER ABRO ABC DRAWER 6
>> RECEIPT # 049562 OFLN
Dept 5 528 ZONING VERIFICATION
CR NO. 005646

Recpt Tot 40.00
40.00 OK .00 CA
Baltimore County, Maryland

CASHIER'S VALIDATION

TO: Director, Office of Planning & Community Conservation
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RECOMMENDATIONS / COMMENTS:

Approval Disapproval Approval conditioned on required modifications of the application to conform with the following recommendations:

Signed by: _____
 for the Director, Office of Planning and Community Conservation

Date: _____

*no approval forwarded to zoning review
 2/2 JEFF LONG 10/05/01
 ATTN JLL*

ZONING USE PERMIT

PLAN for CLASS "A"

ASSISTED LIVING FACILITY
located at

3700 Eastman Road

BALTIMORE COUNTY, MD. 21133
2nd ELEC. DIST.

Property Owner: JULIA B. GILLIARD

ADDRESS: 9 WINDBLOWN CT.
203 BALTIMORE, MD. 21209

DATE: (PLAN DATE) 8/28/01
PHONE: 410-653-7966

LOT SIZE: 10,575 sq. ft., see *
ZONING MAP N.W.5F
ZONE DR 5.5
AREA REQUIRED FOR
6 BEDS = 10,000 sq.ft., see **

PARKING: 1 space for each
3 beds = 2 PARKING-SPACES
REQUIRED. ALL PARKING USES
SHOWN EXISTED PRIOR TO 2/25/94 EXCEPT FOR SMALL 5'x17'
PARKING SPACE. ALL PARKING EXPANSION IN SIDE YARD, (PROPOSED)
WILL BE PERMANENTLY STRIPED, MACADAM.
2 PARKING-SPACE DIMENSIONS 8 1/2 x 18' EA.

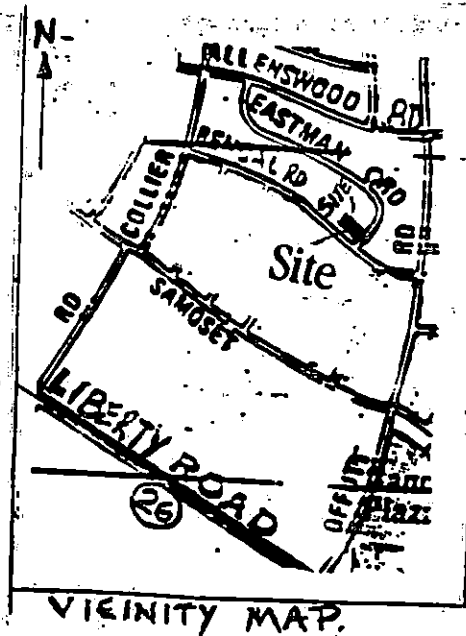
EXISTING FLOOR AREAS

SQ. FT. ()

1st FLOOR & wood
sun deck: 1100 ()
2nd FLOOR: 730 ()
TOTAL = 1830 ()

BASEMENT & Existing
WOOD SHED: 860 ()

(equipment, tools, storage,....)



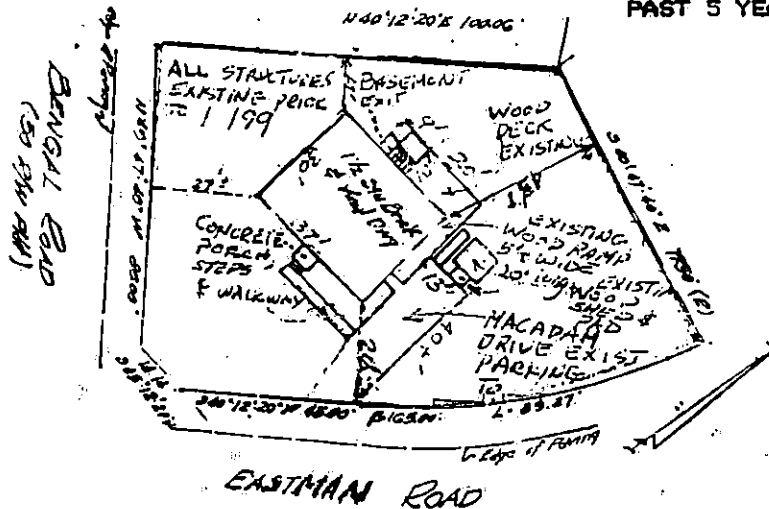
VICINITY MAP.

SHEET 1 OF 2

* LOT SIZE
12,598 -50 -1326-1001+
+354 = 10,575 sq.ft.;
see attached sheet or
back of this plan.

** DENSITY CALCULATIONS
For 6 BEDS: DR 5.5 =
10,000 sq.ft. for 7 beds;
Therefore, no more than
10,000 sq. ft. required
for 6 beds.

NOTE AND CHECK ONE:
~~THERE HAVE BEEN~~
THERE HAVE NOT BEEN
EXTERIOR ENLARGEMENT
TO THIS BUILDING IN THE
PAST 5 YEARS.



"This building has not been originally constructed to accommodate elderly housing or an assisted living facility. No reconstruction, relocation, (exterior) changes or additions (of 25% or more in ground floor area) to the exterior of the building (beyond the enclosure of a porch or the addition of an exterior stairway) have occurred within five years of the date of this permit application."

NO SIGNS ARE PROPOSED. ANY FUTURE SIGNS WILL COMPLY WITH
SECT 19C28 AND ZONING SIGN POLICIES OR BE VARIANCED.

THE UNDERSIGNED IS
RESPONSIBLE FOR THE
ACCURACY OF THE IN-
FORMATION ON THIS PLAN.
INCLUDING INFORMATION PROVIDED
BY BALTO. CO.

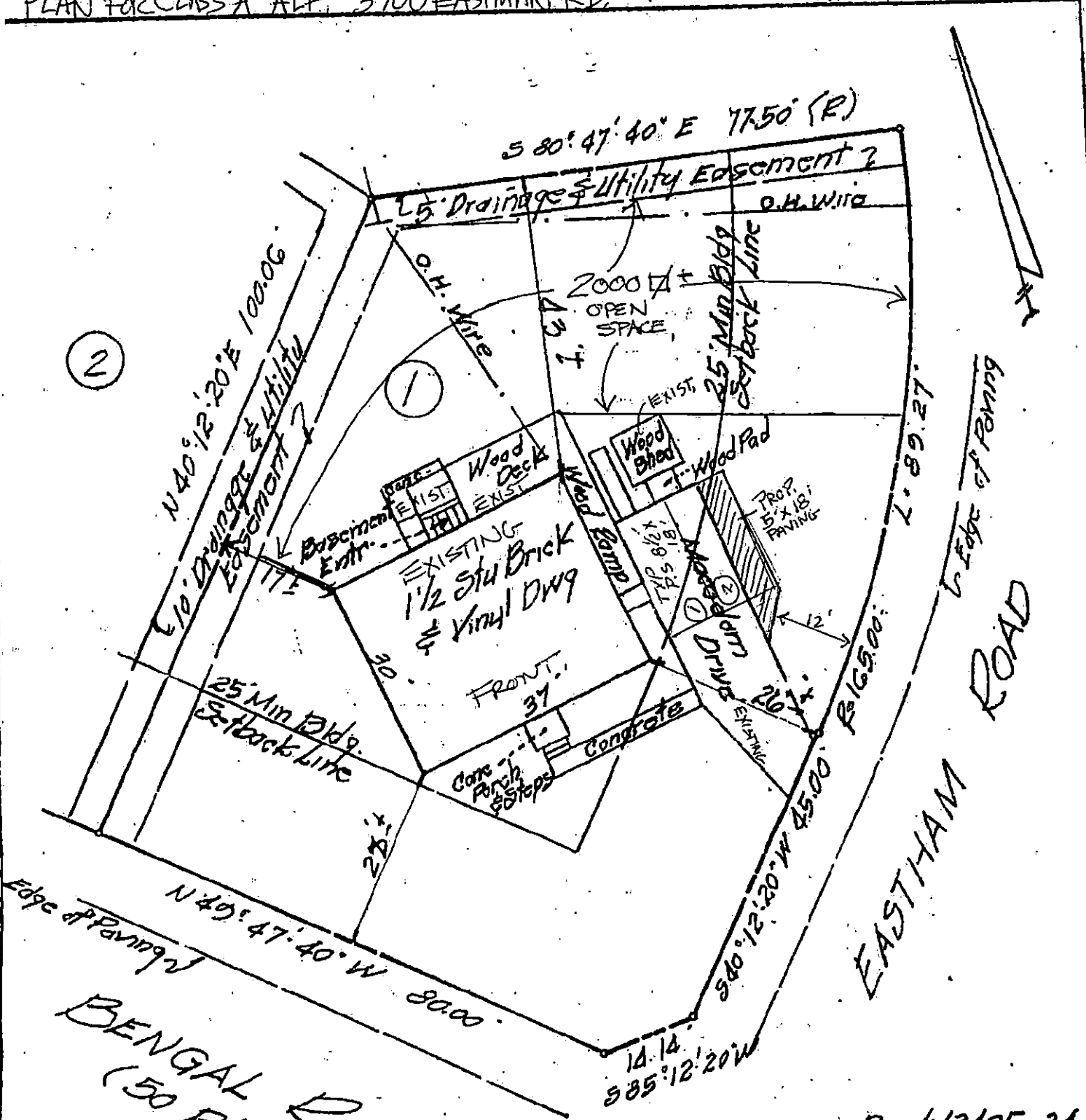
JULIA B. GILLIARD 199

Julia B. Gilliard
SIGNATURE

9/14/01

(450)

SCALE
1" = 50'



BENGAL ROAD
(50 R/W Plat)

Deed: 12465-34

LOT 1 BLOCK J

PLAT ONE SECTION ONE

RANDALL RIDGE
2nd Elec. Dist Balto Co, Md

- Plat 26/139 -

1" = 20'

Co Owner
Adrienne Richardson 9/14/01
I ATTEST TO THE ACCURACY OF THE INFORMATION ON THIS PLAN

- 1.) The plat is of benefit to a consumer only insofar as it is required by a lender or a title insurance company or its agent in connection with contemplated transfer financing or re-financing.
- 2.) The plat is not to be relied upon for the establishment or location of fences, garages, buildings, or other existing or future improvements.
- 3.) The plat does not provide for the accurate identification of property boundary lines, but such identification may not be required for the transfer of title or securing financing or refinancing.

I have examined Flood Insurance Rate Map Panel Number 240010-0220 C