

IN RE: PETITION FOR VARIANCE
N/S Baltimore National Pike, 1370' W
centerline of Rolling Road
1st Election District
1st Councilmanic District
(6422 Baltimore National Pike)

Shri Shiva Corporation
Petitioners

* BEFORE THE
* DEPUTY ZONING COMMISSIONER
* OF BALTIMORE COUNTY
* CASE NO. 01-199-A

*

* * * * *

FINDINGS OF FACT AND CONCLUSIONS OF LAW

This matter comes before this Deputy Zoning Commissioner as a Petition for Variance filed by the legal owners of the subject property, the Shri Shiva Corporation, by and through C. William Clark, its attorney. The variance request is for property they own at 6422 Baltimore National Pike. Specifically, the Petitioners are requesting a variance from Section 238.1 of the Baltimore County Zoning Regulations (B.C.Z.R.) to allow a distance between a commercial building and the center of a county street right-of-way of 35 ft. in lieu of the required 50 ft. and to allow a distance between a commercial building and a side yard property line of 5 ft. in lieu of the required 30 ft. and a rear property line setback of 5 ft. in lieu of the required 30 ft.

Appearing at the hearing on behalf of the variance request were Bipin R. Shir and Hemant Bhavsar, appearing on behalf of the owner, Juri Maiste, professional engineer who prepared the site plan of the property and C. William Clark, attorney at law, representing the Petitioners. There were no protestants in attendance.

Testimony and evidence indicated that the property, which is the subject of this variance request, consists of 2.191 acres, more or less, split-zoned BR and BR -AS. The subject property is improved with a Knight's Inn motel. The development of the property is more particularly shown on Petitioners' Exhibit No. 1, the site plan submitted. The Petitioners are interested in

ORDER RE: PETITION FOR VARIANCE
1/18/01
R. [Signature]

building a 14 ft. x 50 ft. storage shed in the corner of the property, as shown on the site plan. In order to proceed with the construction of the shed, the variances previously mentioned are necessary. The storage shed is needed for the purpose of storing maintenance equipment for the property, as well as items which are used within the hotel rooms themselves. This is the only logical place for the storage shed to be constructed.

An area variance may be granted where strict application of the zoning regulations would cause practical difficulty to the Petitioners and their property. McLean v. Soley, 270 Md. 208 (1973). To prove practical difficulty for an area variance, the Petitioners must meet the following:

- 1) whether strict compliance with requirement would unreasonably prevent the use of the property for a permitted purpose or render conformance unnecessarily burdensome;
- 2) whether a grant of the variance would do a substantial justice to the applicant as well as other property owners in the district or whether a lesser relaxation than that applied for would give sufficient relief; and,
- 3) whether relief can be granted in such fashion that the spirit of the ordinance will be observed and public safety and welfare secured.

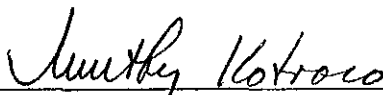
Anderson v. Bd. Of Appeals, Town of Chesapeake Beach, 22 Md. App. 28 (1974).

After due consideration of the testimony and evidence presented, it is clear that practical difficulty or unreasonable hardship will result if the variance is not granted. It has been established that special circumstances or conditions exist that are peculiar to the property which is the subject of this request and that the requirements from which the Petitioners seek relief will unduly restrict the use of the land due to the special conditions unique to this particular parcel. In addition, the relief requested will not cause any injury to the public health, safety or general welfare, and meets the spirit and intent of the B.C.Z.R.

Pursuant to the advertisement, posting of the property, and public hearing on this Petition held, and after considering the testimony and evidence offered by the Petitioners, I find that the Petitioners' variance request should be granted.

THEREFORE, IT IS ORDERED this 9th day of January, 2001, by this Deputy Zoning Commissioner, that the Petitioners' request for variance from Section 238.1 of the Baltimore County Zoning Regulations (B.C.Z.R.) to allow a distance between a commercial building and the center of a county street right-of-way of 35 ft. in lieu of the required 50 ft. and to allow a distance between a commercial building and a side yard property line of 5 ft. in lieu of the required 30 ft. and a rear property line setback of 5 ft. in lieu of the required 30 ft., be and is hereby GRANTED, subject, however, to the following restrictions which are conditions precedent to the relief granted herein:

- 1) The Petitioners may apply for their building permit and be granted same upon receipt of this Order; however, Petitioners are hereby made aware that proceeding at this time is at their own risk until such time as the 30 day appellate process from this Order has expired. If, for whatever reason, this Order is reversed, the Petitioners would be required to return, and be responsible for returning, said property to its original condition.
- 2) The Petitioners shall be required to provide architectural elevation drawings for the storage building to the Office of Planning for their review and approval prior to the approval of any building permit.
- 3) When applying for any permits the site plan filed must reference this case and set forth and address the restrictions of this Order.


TIMOTHY M. KOTROCO
DEPUTY ZONING COMMISSIONER
FOR BALTIMORE COUNTY

TMK:raj



Baltimore County
Zoning Commissioner

Suite 405, County Courts Bldg.
401 Bosley Avenue
Towson, Maryland 21204
410-887-4386
Fax: 410-887-3468

January 8, 2001

C. William Clark, Esquire
Nolan, Plunhoffs & Williams, Chartered
502 Washington Avenue, Suite 700
Towson, Maryland 21204

Re: Petition for Variance
Case No. 01-199-A
Property: 6422 Baltimore National Pike

Dear Mr. Clark:

Enclosed please find the decision rendered in the above-captioned case. The Petition for Variance has been granted in accordance with the enclosed Order.

In the event the decision rendered is unfavorable to any party, please be advised that any party may file an appeal within thirty (30) days from the date of the Order to the Department of Permits and Development Management. If you require additional information concerning filing an appeal, please feel free to contact our appeals clerk at 410-887-3391.

Very truly yours,

A handwritten signature in dark ink, appearing to read "Timothy M. Kotroco".

Timothy M. Kotroco
Deputy Zoning Commissioner

TMK:raj
Enclosure



Census 2000



For You, For Baltimore County



Census 2000



Printed with Soybean Ink
on Recycled Paper

Come visit the County's Website at www.co.ba.md.us

Copies to:

Bipin R. Shir
Hemant I. Bhavsar
6422 Baltimore National Pike
Baltimore, MD 21228

Juri Maiste
2923 Chenoak Avenue
Baltimore, MD 21234



Petition for Variance

to the Zoning Commissioner of Baltimore County

for the property located at 6422 Baltimore National Pike

which is presently zoned BR & BR-AS

1st Election Dist. 1st Councilmanic Dist.

This Petition shall be filed with the Department of Permits and Development Management. The undersigned, legal owner(s) of the property situate in Baltimore County and which is described in the description and plat attached hereto and made a part hereof, hereby petition for a Variance from Section(s) 238.1 to allow a distance between a commercial building (storage building) and the center of a county street of thirty-five (35) feet in lieu of the required fifty (50) feet, and Section 238.2 to allow a distance between a commercial building (storage building) and side yard property line of five (5) feet in lieu of the required thirty (30) feet, and rear yard property line of five (5) feet in lieu of the required thirty (30) feet. of the Zoning Regulations of Baltimore County, to the zoning law of Baltimore County, for the following reasons: (indicate hardship or practical difficulty) Special circumstances and conditions exists that are peculiar to the land and buildings, since the parcel is L-shaped, has 3 existing hotel buildings and an in-ground pool, with established parking places and traffic patterns which would be adversely affected if the setback requirements were to be observed.

Property is to be posted and advertised as prescribed by the zoning regulations.

I, or we, agree to pay expenses of above Variance, advertising, posting, etc. and further agree to and are to be bounded by the zoning regulations and restrictions of Baltimore County adopted pursuant to the zoning law for Baltimore County.

I/We do solemnly declare and affirm, under the penalties of perjury, that I/we are the legal owner(s) of the property which is the subject of this Petition.

Contract Purchaser/Lessee:

Name - Type or Print

Signature

Address

Telephone No.

City

State

Zip Code

Attorney For Petitioner:

C. William Clark

Name - Type or Print

Signature

Nolan, Plunhoffs & Williams, Chartered

Company

502 Washington Avenue # 700 (410) 823-7800

Address

Telephone No.

Towson

MD

21204

City

State

Zip Code

Legal Owner(s):

SHRI SHIVA CORPORATION

Name - Type or Print

By:

Signature

H. Bhavsar, President

Name - Type or Print

Signature

6422 Baltimore Natl. Pike (410) 788-3900

Address

Telephone No.

Baltimore

MD

21228

City

State

Zip Code

Representative to be Contacted:

APR Associates

Juri Maiste

Name

7427 Harford Road

(410) 444-4312

Address

Telephone No.

Baltimore

MD

21234-7160

City

State

Zip Code

OFFICE USE ONLY

ESTIMATED LENGTH OF HEARING 1 1/2 hrs.

UNAVAILABLE FOR HEARING

Reviewed By [Signature]

Date 11-14-00

Case No. 01-199-A

REU 9/15/98

Dated Nov.8, 2000

DESCRIPTION OF PROPERTY TO ACCOMPANY PETITION FOR
ZONING VARIANCE
6422 BALTIMORE NATIONAL PIKE
FIRST ELECTION DISTRICT, BALTIMORE COUNTY, MARYLAND.

BEGINNING FOR THE SAME on the North side of Baltimore National Pike, US Route 40, 150 feet wide, at the distance of 1,370 feet west from the centerline of Rolling Road, 60 feet wide, thence leaving said point of beginning and running and binding on the North side of Baltimore National Pike

1) North 71 degree 42 minutes 40 seconds West 120.75 feet, thence leaving Baltimore National Pike and running the following three courses:

2) North 18 degree 17 minutes 20 seconds East 315.00 feet,

3) North 71 degrees 42 minutes 40 seconds West 158.89 feet, and

4) North 19 degree 34 minutes 40 seconds East 208.47 feet to the South side of Powers Lane, 60 feet wide, thence running on the South side thereof

5) South 70 degree 46 minutes 50 seconds East 275.87 feet, thence leaving Powers Lane and running

6) South 18 degree 23 minutes 10 seconds West 518.94 feet to the point of beginning.

CONTAINING 95,445 square feet or 2.191 acres of land, more or less.



199

BALTIMORE COUNTY, MARYLAND
OFFICE OF BUDGET & FINANCE
MISCELLANEOUS RECEIPT

DATE 11-14-00 ACCOUNT R-001-1-150

AMOUNT \$ 250.00

RECEIVED FROM: Knights Inn

FOR: Commercial Variance Filing Fee
at 6422 Balto. Natl. Pike (5-224)

DISTRIBUTION
WHITE - CASHIER

PINK - AGENCY

YELLOW - CUSTOMER

01-199-A
Check No. 26759

PAID RECEIPT

PAYMENT	ACTUAL	TIME
11/14/2000	11/14/2000	09:22:23
REG 4503	CASHIER LWIL LOW BRANER	
Dept 5	520 ZONING VERIFICATION	
Receipt #	151374	
CR NO.	086759	

Receipt Tot 250.00
250.00 OK .00 RA
Baltimore County, Maryland

CASHIER'S VALIDATION

NOTICE OF ZONING HEARING

The Zoning Commissioner of Baltimore County, by authority of the Zoning Act and Regulations of Baltimore County will hold a public hearing in Towson, Maryland on the property identified herein as follows:

Case: #01-199-A

6422 Baltimore National Pike

N/S Baltimore National Pike, 1370' W of centerline
Rolling Road

1st Election District - 1st Councilmanic District

Legal Owner(s): Shri Shiva Corporation

Variance: to allow a distance between a commercial building (storage building) and the center of a county street of 35 feet in lieu of the required 50 feet; and to allow a distance between a commercial building (storage building) and side yard property line of 5 feet in lieu of the required 30 feet and rear yard property line of 5 feet in lieu of the required 30 feet.

Hearing: Friday, January 5, 2001 at 9:00 a.m. in Room 106, Baltimore County Office Building, 111 W. Chesapeake Avenue.

LAWRENCE E. SCHMIDT

Zoning Commissioner for Baltimore County

NOTES: (1) Hearings are Handicapped Accessible; for special accommodations Please Contact the Zoning Commissioner's Office at (410) 887-4386.

(2) For information concerning the File and/or Hearing, Contact the Zoning Review Office at (410) 887-3391.

JT/12/553 Dec. 19

C440499

CERTIFICATE OF PUBLICATION

TOWSON, MD, 12/21, 2000

THIS IS TO CERTIFY, that the annexed advertisement was published in THE JEFFERSONIAN, a weekly newspaper published in Towson, Baltimore County, Md., once in each of 1 successive weeks, the first publication appearing on 12/19, 2000.

J. Wilkinson
THE JEFFERSONIAN,

LEGAL ADVERTISING

RE: Case No.: 01-199-A

Petitioner/Developer: Shri Shiva Corp.

Date of Hearing/Closing: 1-5-01 @ 9:00am

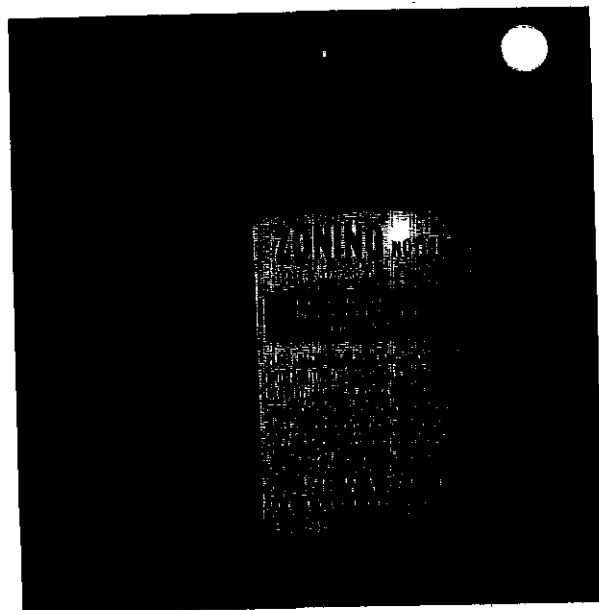
Baltimore County Department of
Permits and Development Management
County Office Building, Room 111
111 West Chesapeake Avenue
Towson, MD 21204

Attention: Ms. Gwendolyn Stephens

Ladies and Gentlemen:

This letter is to certify under the penalties of perjury that the necessary sign(s) required by law
were posted conspicuously on the property located at 6422 Baltimore National Pike
Catonsville, MD 21228

The sign(s) were posted on December 12, 2000
(Month, Day, Year)



Sincerely,

Stacy Gardner 12/12/00
(Signature of Sign Poster and Date)

Stacy Gardner
(Printed Name)
SHANNON-BAUM SIGNS INC.
105 COMPETITIVE GOALS DR.
ELDERSBURG, MD. 21784
(Address)

(City, State, Zip Code)
410-781-4000
(Telephone Number)

RE: PETITION FOR VARIANCE
6422 Baltimore National Pike, N/S Balto. Nat'l. Pike,
1370' W of c/l Rolling Rd
1st Election District, 1st Councilmanic

Legal Owner: Shri Shiva Corporation
Petitioner(s)

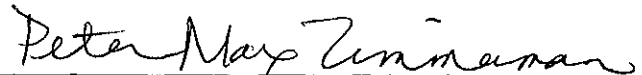
* BEFORE THE
* ZONING COMMISSIONER
* FOR
* BALTIMORE COUNTY
* Case No. 01-199-A

* * * * *

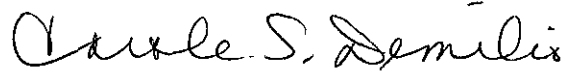
ENTRY OF APPEARANCE

Please enter the appearance of the People's Counsel in the above-captioned matter. Notice should be sent of any hearing dates or other proceedings in this matter and of the passage of any preliminary or final Order.

All parties should copy People's Counsel on all correspondence sent/ documentation filed in the case.



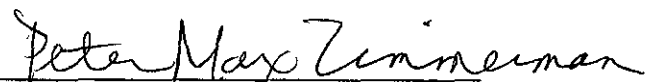
PETER MAX ZIMMERMAN
People's Counsel for Baltimore County



CAROLE S. DEMILIO
Deputy People's Counsel
Old Courthouse, Room 47
400 Washington Avenue
Towson, MD 21204
(410) 887-2188

CERTIFICATE OF SERVICE

I HEREBY CERTIFY that on this 28th day of November, 2000 a copy of the foregoing Entry of Appearance was mailed to C. William Clark, Esq., Nolan, Plunhoffs & Williams, 502 Washington Avenue, Suite 700, Towson, MD 21204, attorney for Petitioner(s).



PETER MAX ZIMMERMAN

TO: PATUXENT PUBLISHING COMPANY
Tuesday, December 19, 2000 Issue – Jeffersonian

Please forward billing to:

Juri Maiste

410 444-4312

7427 Harford Road

Baltimore 21234

NOTICE OF ZONING HEARING

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CASE NUMBER: 01-199-A

6422 Baltimore National Pike

N/S Baltimore National Pike, 1370' W of centerline Rolling Road

1st Election District – 1st Councilmanic District

Legal Owner: Shri Shiva Corporation

Variance to allow a distance between a commercial building (storage building) and the center of a county street of 35 feet in lieu of the required 50 feet; and to allow a distance between a commercial building (storage building) and side yard property line of 5 feet in lieu of the required 30 feet and rear yard property line of 5 feet in lieu of the required 30 feet.

HEARING: Friday, January 5, 2001 at 9:00 a.m. in Room 106, Baltimore County Office Building, 111 W Chesapeake Avenue


Lawrence E. Schmidt
GDZ

LAWRENCE E. SCHMIDT
ZONING COMMISSIONER FOR BALTIMORE COUNTY

- NOTES: (1) HEARINGS ARE HANDICAPPED ACCESSIBLE; FOR SPECIAL ACCOMODATIONS, PLEASE CONTACT THE ZONING COMMISSIONER'S OFFICE AT 410-887-4386.
- (2) FOR INFORMATION CONCERNING THE FILE AND/OR HEARING, CONTACT THE ZONING REVIEW OFFICE AT 410-887-3391.

DEPARTMENT OF PERMITS AND DEVELOPMENT MANAGEMENT
ZONING REVIEW

ADVERTISING REQUIREMENTS AND PROCEDURES FOR ZONING HEARINGS

The Baltimore County Zoning Regulations (BCZR) require that notice be given to the general public/neighboring property owners relative to property which is the subject of an upcoming zoning hearing. For those petitions which require a public hearing, this notice is accomplished by posting a sign on the property (responsibility of the petitioner) and placement of a notice in a newspaper of general circulation in the County, both at least fifteen (15) days before the hearing.

Zoning Review will ensure that the legal requirements for advertising are satisfied. However, the petitioner is responsible for the costs associated with these requirements. The newspaper will bill the person listed below for the advertising. This advertising is due upon receipt and should be remitted directly to the newspaper.

OPINIONS MAY NOT BE ISSUED UNTIL ALL ADVERTISING COSTS ARE PAID.

For Newspaper Advertising:

Item Number or Case Number: 01-199-A
Petitioner: Shri Shiva CORP.
Address or Location: 6422 Baltimore National Pike (21228)

PLEASE FORWARD ADVERTISING BILL TO:

Name: Jeri Maiste
Address: 7427 Hartford Rd.
Balto, Md. 21234-7160
Telephone Number: (410) 444-4312

Revised 2/20/98 - SCJ

BALTIMORE COUNTY, MARYLAND
INTEROFFICE CORRESPONDENCE

TO: Arnold Jablon, Director
Department of Permits & Development Mgmt.

DATE: November 29, 2000

FROM: *Rwb* Robert W. Bowling, Supervisor
Bureau of Development Plans Review

SUBJECT: Zoning Advisory Committee Meeting
For November 27, 2000
Item Nos. 178 (5113 Old Court Road), 180,
181, 182, 183, 184, 185, 186, 187, 188, 189,
191, 192, 193, 194, 195, 196, 198, 199, 201,
and 202

The Bureau of Development Plans Review has reviewed the subject zoning items, and we have no comments.

RWB:HJO:jrb

cc: File



Baltimore County
Fire Department

Office of the Fire Marshal
700 East Joppa Road
Towson, Maryland 21286-5500
410-887-4880

November 28, 2000

Department of Permits and
Development Management (PDM)
County Office Building, Room 111
Mail Stop #1105
111 West Chesapeake Avenue
Towson, Maryland 21204

ATTENTION: Gwen Stephens

RE: Property Owner: Verizon Maryland, Inc. - 181
Summit Country Club - 191
Shri Shiva Corporation - 199

Location: DISTRIBUTION MEETING OF November 20, 2000

Item No.: 181, 191, and 199

Dear Ms. Stephens:

Pursuant to your request, the referenced property has been surveyed by this Bureau and the comments below are applicable and required to be corrected or incorporated into the final plans for the property.

4. The site shall be made to comply with all applicable parts of the Fire Prevention Code prior to occupancy or beginning of operation.
5. The buildings and structures existing or proposed on the site shall comply with all applicable requirements of the National Fire Protection Association Standard No. 101 "Life Safety Code", 1994 edition prior to occupancy.

REVIEWER: LIEUTENANT HERB TAYLOR, Fire Marshal's Office
PHONE 887-4881, MS-1102F

cc: File

Come visit the County's Website at www.co.ba.md.us



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on Recycled Paper

BALTIMORE COUNTY, MARYLAND DEPARTMENT OF ENVIRONMENTAL PROTECTION & RESOURCE MANAGEMENT
--

TO: Arnold Jablon

FROM: R. Bruce Seeley

DATE: December 1, 2000

SUBJECT: Zoning Petitions
Zoning Advisory Committee Meeting of November 20, 2000

DEPRM has no comments for the following zoning petitions (page 2 of 2):

197	1812 Cottage Lane
198	2923 Illinois Avenue
199	6422 Baltimore National Pike
200	Fields of Stevenson
202	10037, 10039, 10101, 10105 Harford Road
203	1005 Handy Avenue

semi
1/5

BALTIMORE COUNTY, MARYLAND

INTER-OFFICE CORRESPONDENCE

TO: Arnold Jablon, Director
Department of Permits and
Development Management

DATE: December 15, 2000

FROM: Arnold F. 'Pat' Keller, III
Director, Office of Planning

19

SUBJECT: 6422 Baltimore National Pike

INFORMATION:

Item Number: 01-199

Petitioner: Sheri Shiva Corporation

Zoning: BR and BR-AS

Requested Action: Variance

SUMMARY OF RECOMMENDATIONS:

The Office of Planning does not oppose the requested variances provided architectural elevation drawings of the 14'x50' storage building are submitted to this office for review and approval prior to the approval of any building permit.

Additionally, the two-story building currently located on the property owned by Westpark LLC should be shown on all future plans.

Prepared by: Mark A. Cunningham

Section Chief: Jeffrey W. Long
AFK:MAC:



Maryland Department of Transportation
State Highway Administration

Parris N. Glendening
Governor
John D. Porcari
Secretary
Parker F. Williams
Administrator

Date: 11.27.00

Ms. Ronnay Jackson
Baltimore County Office of
Permits and Development Management
County Office Building, Room 109
Towson, Maryland 21204

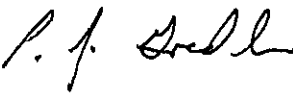
RE: Baltimore County
Item No. 199 (JJS)

Dear Ms. Jackson:

We have reviewed the referenced item and have no objection to approval, as a field inspection reveals that the existing entrance(s) on to MD/US 40 are acceptable to the State Highway Administration (SHA) and this development is not affected by any SHA projects.

Should you have any questions regarding this matter, please contact Larry Gredlein at 410-545-5606 or by E-mail at (lgredlein@sha.state.md.us).

Very truly yours,


for Kenneth A. McDonald Jr., Chief
Engineering Access Permits Division

My telephone number is _____

Maryland Relay Service for Impaired Hearing or Speech
1-800-735-2258 Statewide Toll Free

Mailing Address: P.O. Box 717 • Baltimore, MD 21203-0717
Street Address: 707 North Calvert Street • Baltimore, Maryland 21202

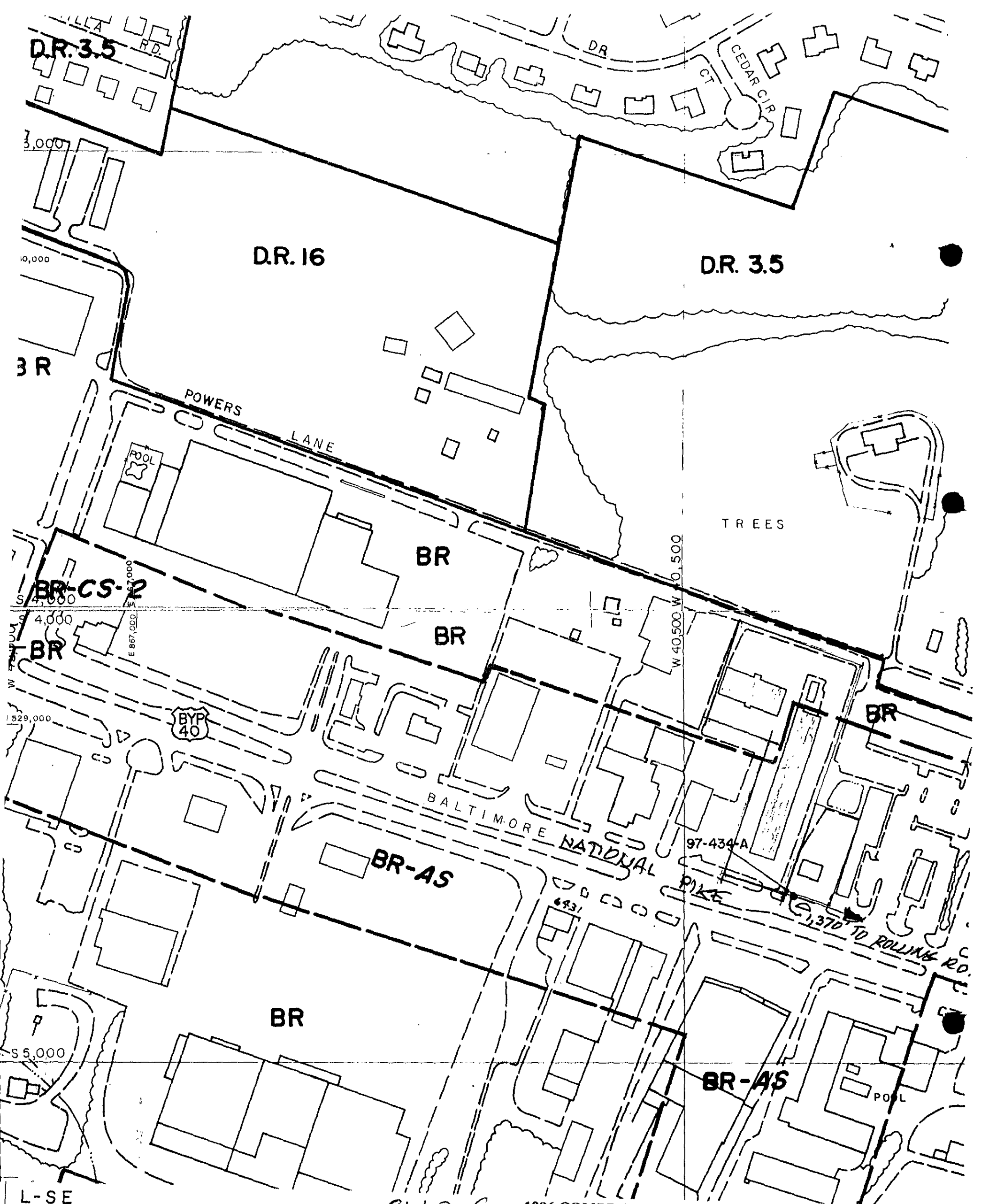
Case Number

01-199-A

PLEASE PRINT LEGIBLY

PETITIONER'S SIGN-IN SHEET

[illegible]



L-SE
H-NE

SW 2 G

MAP # ~~SW 16~~
SCALE: 1" = 200'

1996 COMPREHENSIVE ZONING MAP
ADOPTED by
THE BALTIMORE COUNTY COUNCIL
OCTOBER 8, 1996

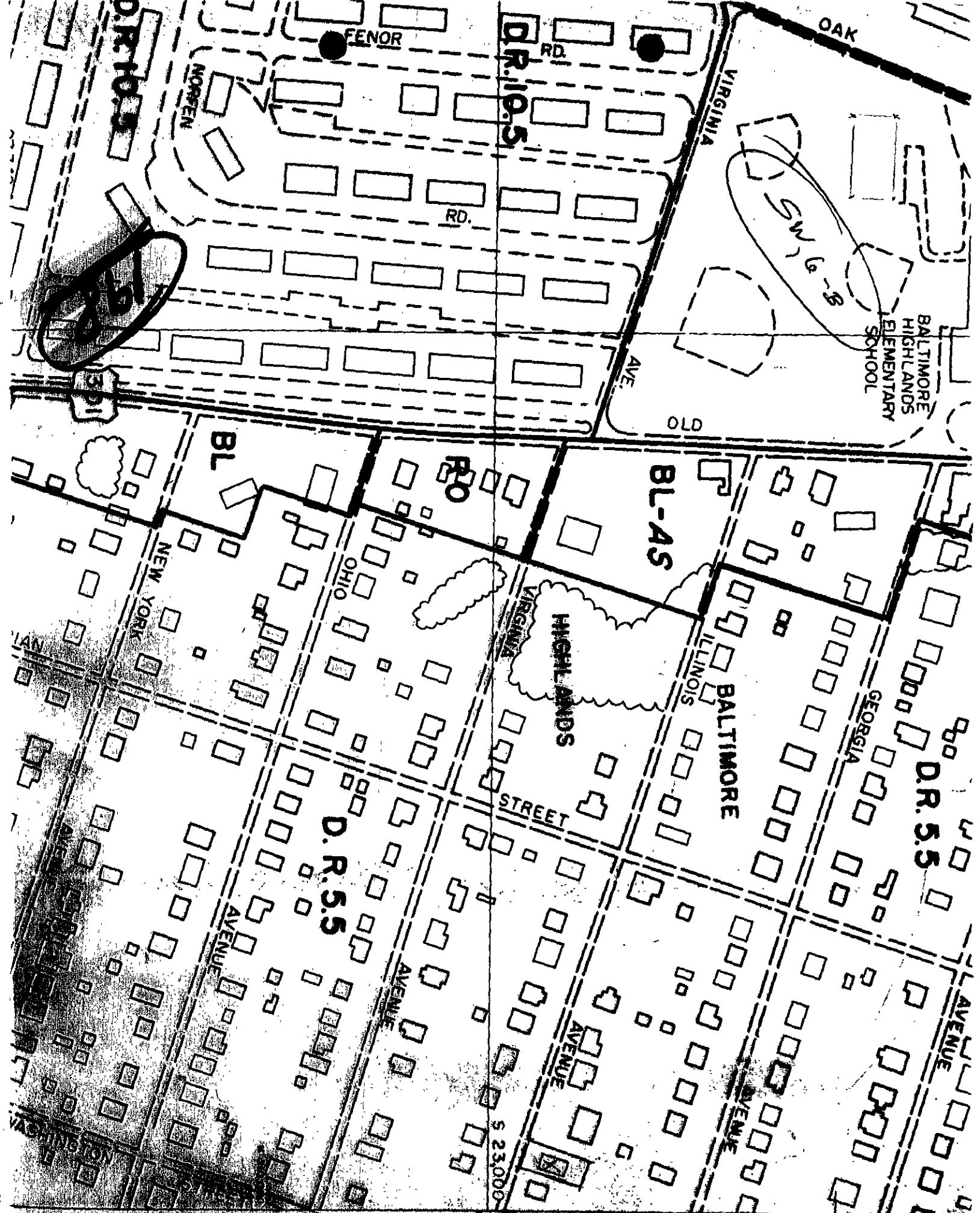
Bills Nos. 129-96, 130-96, 131-96, 132-96, 133-96, 134-96, 135-96

Kevin Kamenech

SW 16

THIS MAP HAS BEEN REVISED IN SELECTED AREAS.
TOPOGRAPHY COMPILED BY PHOTOGRAMMETRIC METHODS

199

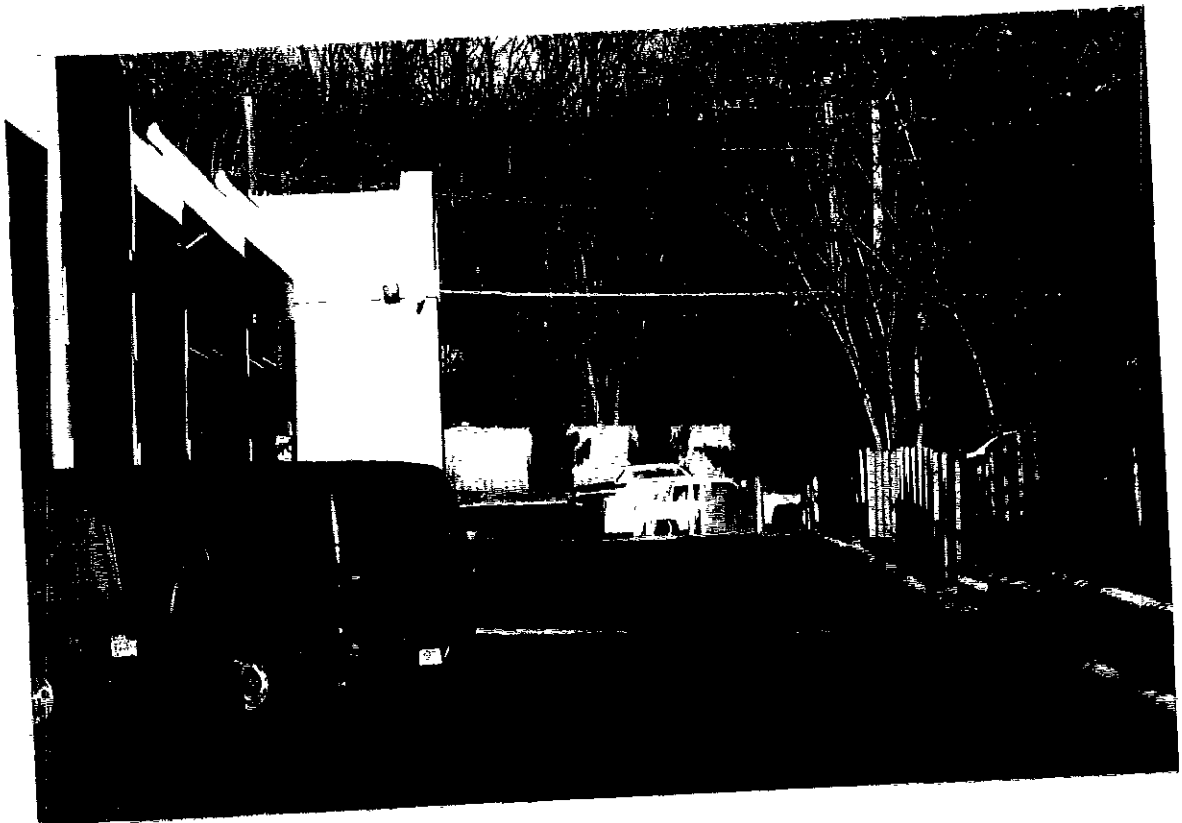


01-198-A

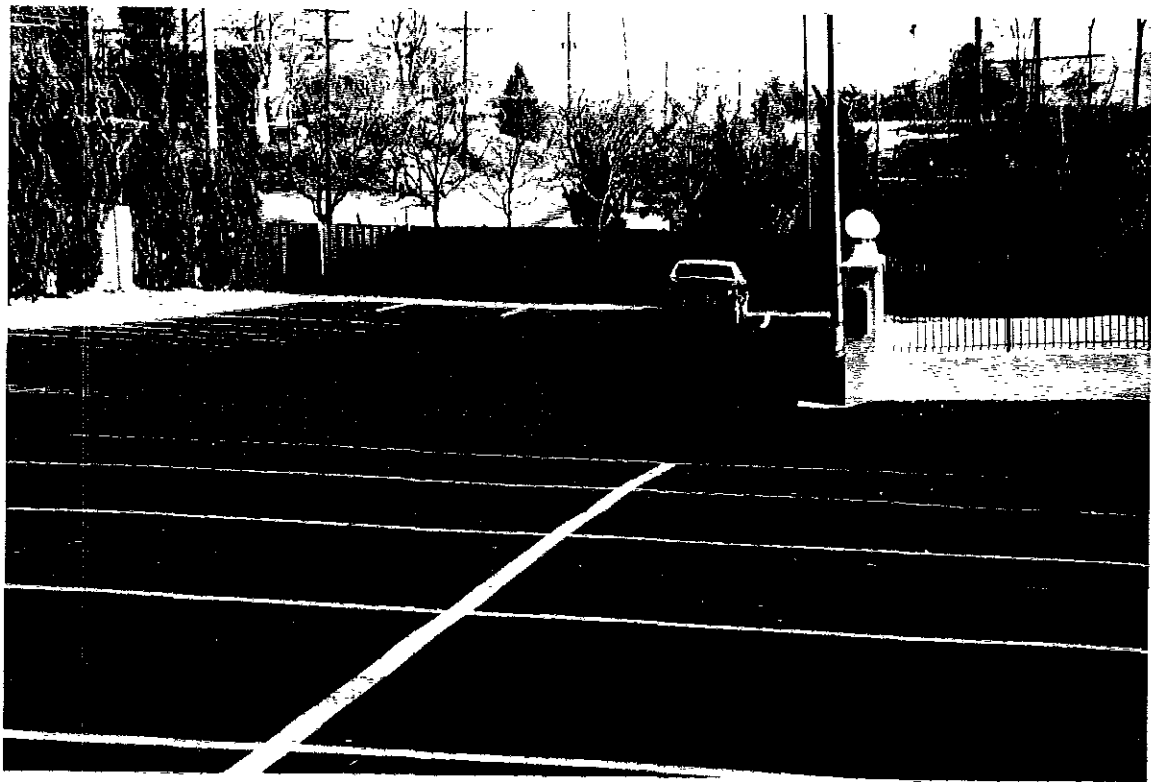
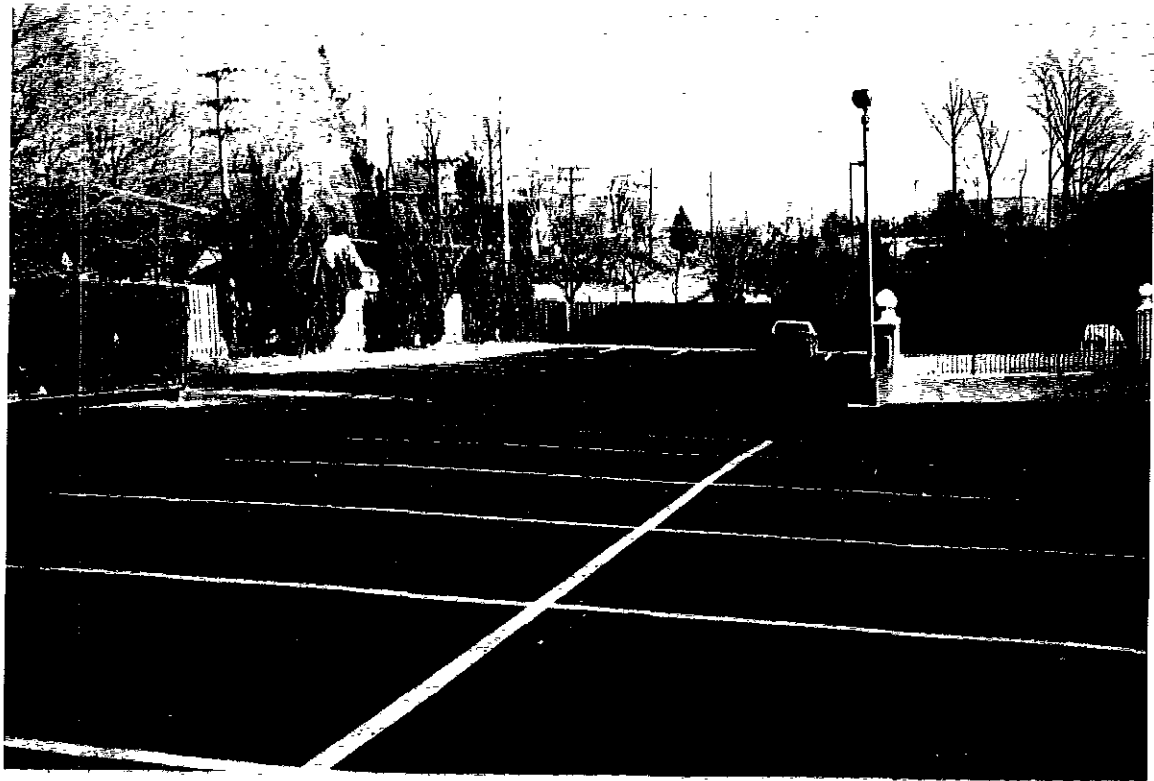


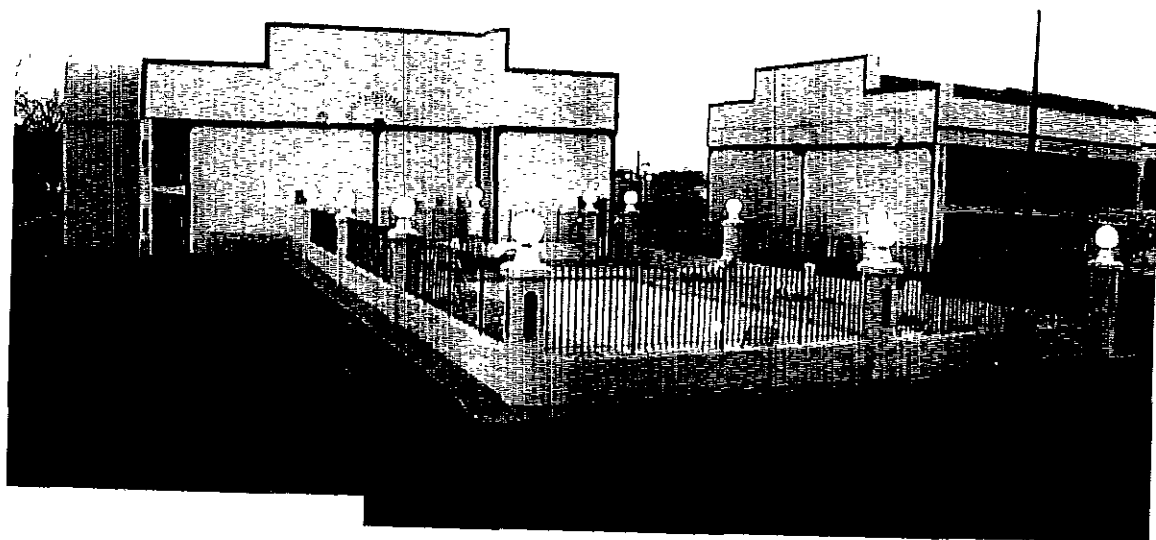
Baltimore County Zoning Commissioner
Office of Planning
Suite 405, County Courts Bldg.
401 Bosley Avenue
Towson, Maryland 21204

Photographs
#01-199-A

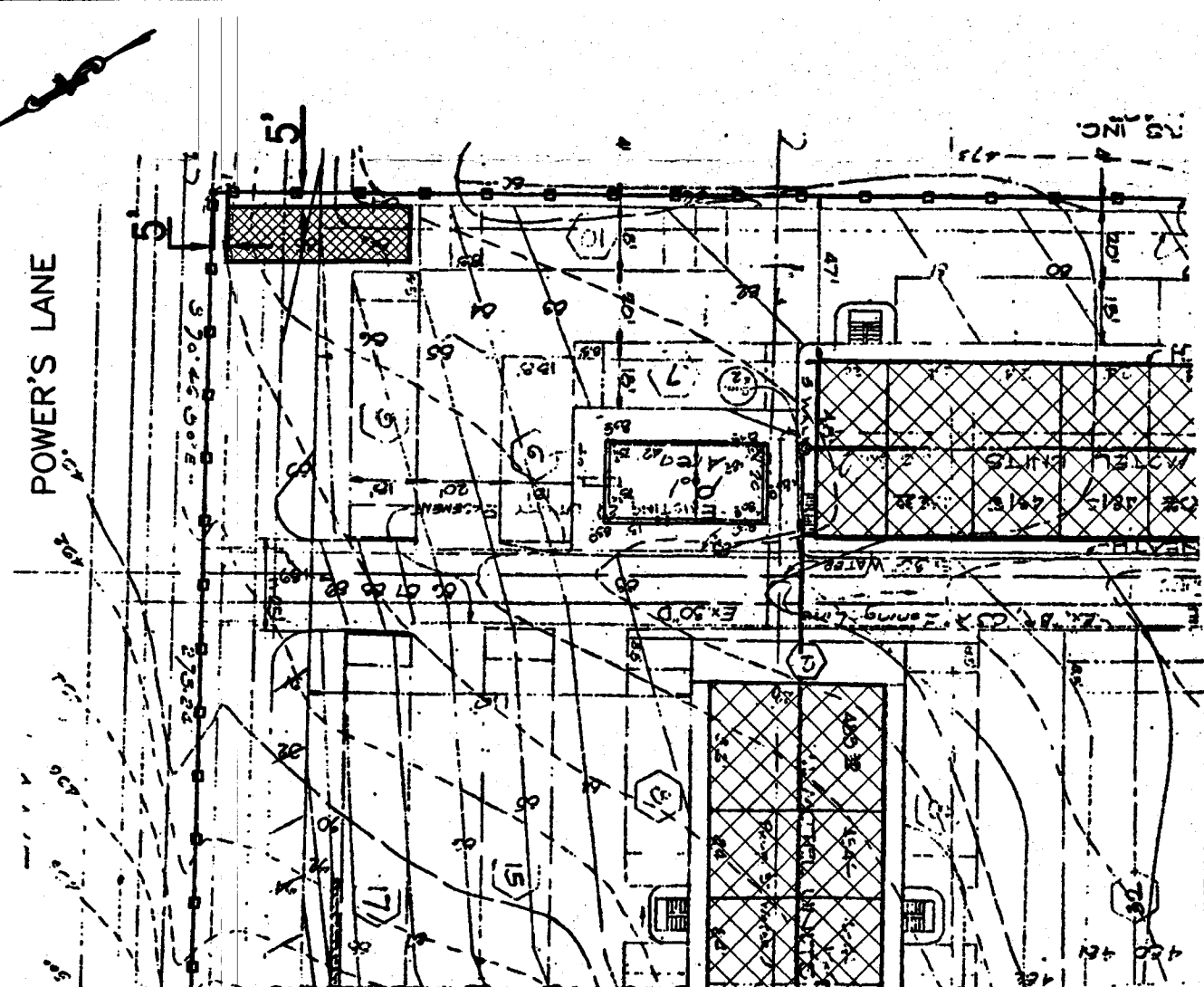








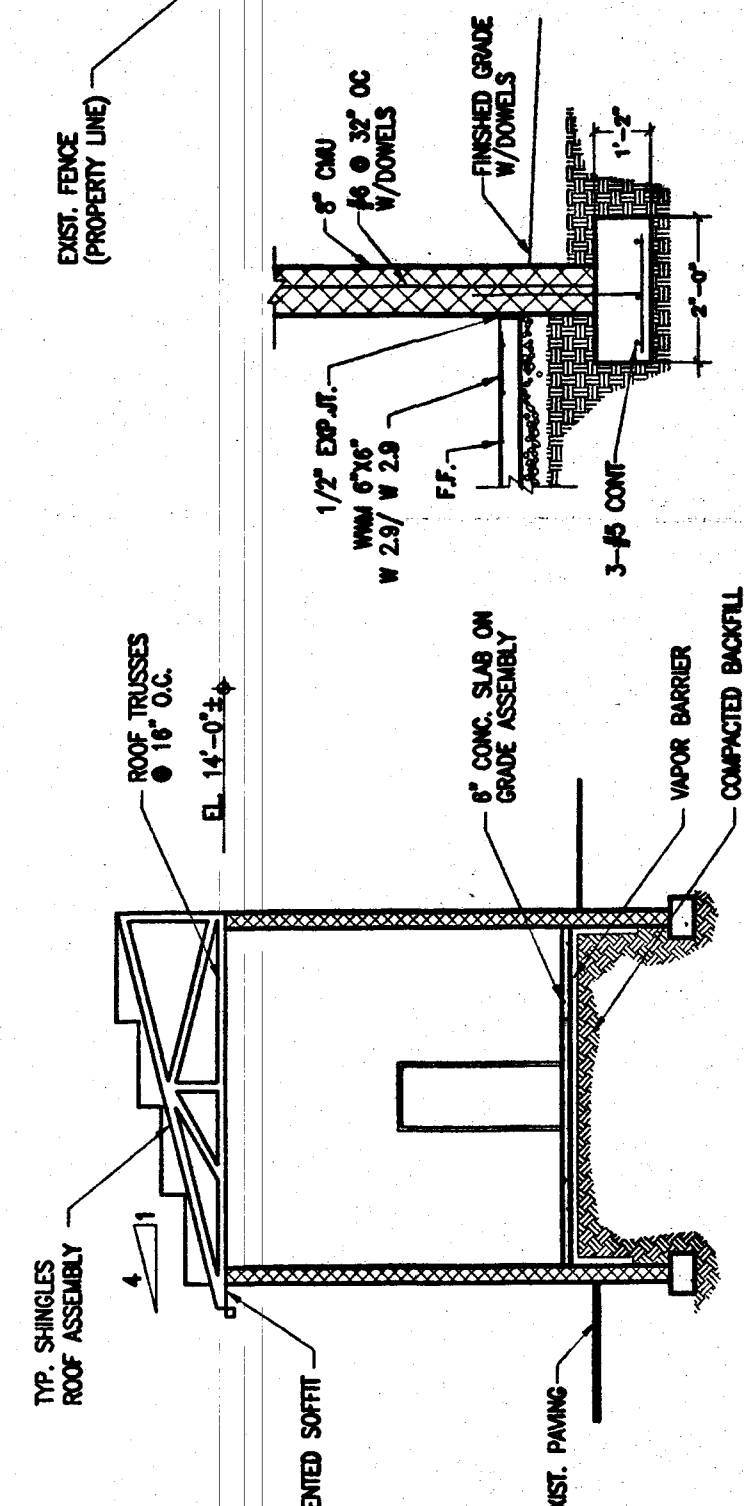




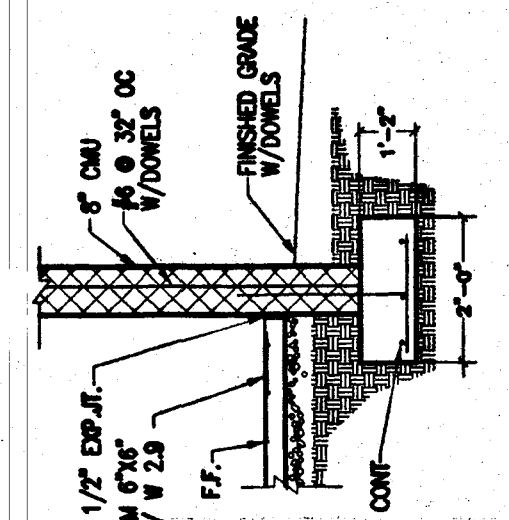
PARTIAL SITE PLAN
N.T.S.

DESIGN CRITERIA:

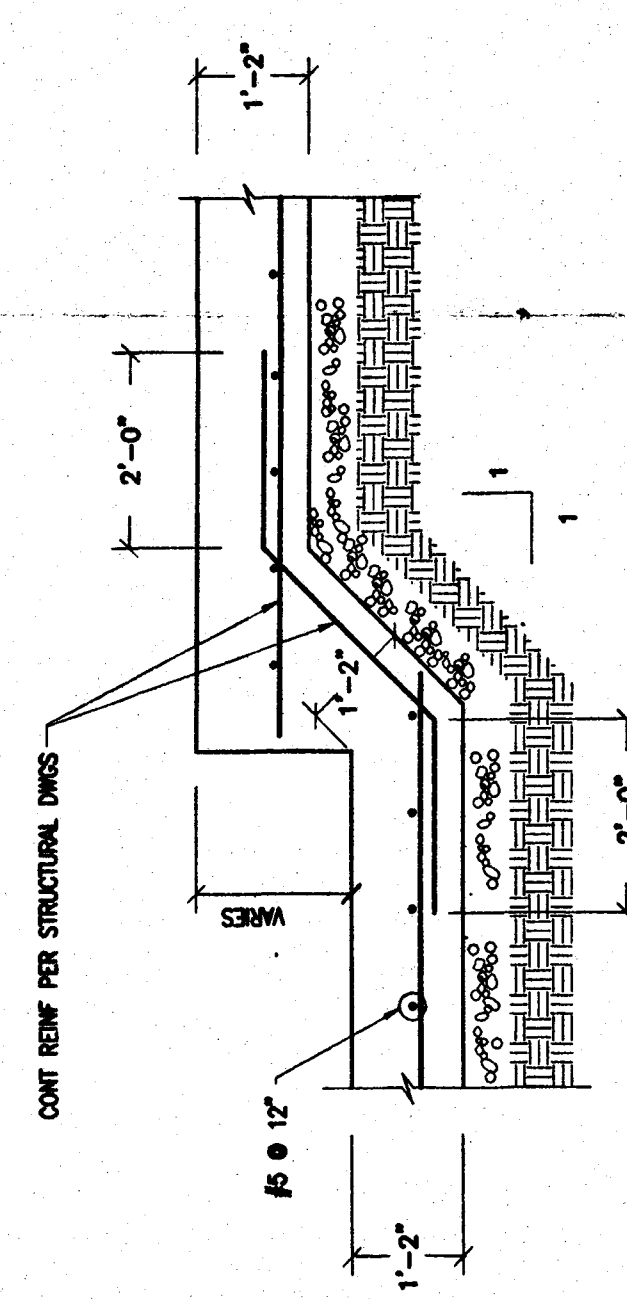
ALL WORK SHALL BE DONE IN ACCORDANCE WITH 1996 BOCA NATIONAL STANDARD BUILDING CODE AND OTHER APPLICABLE STANDARDS.
ALLOWABLE STRESS/SPECIFICATION: CONCRETE- 4000 PSI/28 DAYS.
STEEL- ASTM A36; REBAR- ASTM A615, GRADE 60 CMU- ASTM C90, GRADE N; MORTAR- TYPE S; WOOD FRAMING NEN FR No.2, F 1150 PSI, E 1,400,000 PSI.
LIVE LOADS: ROOF (SHOW) - 30 PSF, WIND -20 PSF.
TRUSSES SHALL BE DESIGNED AND FABRICATED BY TRUSS MANUFACTURER ACCORDING TO THE DESIGN AND MANUFACTURING PRACTICES OF THE TRUSS MANUFACTURER. THE TRUSS MANUFACTURER SHALL PROVIDE STAMPS OF CERTIFICATE AS REQUIRED BY COUNTY. THE TRUSS ENDS DOWN WITH TIED TYPE ANCHOR. SHOP DRAWINGS SHALL BE SUBMITTED FOR APPROVAL.
FOUNDATION -SPREAD FOOTING: BOTTOM OF ALL FOOTING SHALL BE A MINIMUM OF 1'-0" BELOW ORIGINAL GRADE. BOTTOM OF ALL EXTERIOR FOOTINGS SHALL BE A MINIMUM OF 3'-0" OR BELOW THE FROST LINE. DESIGN -A SOIL BEARING CAPACITY OF 2,000 PSF WAS USED IN THE FOUNDATION DESIGN.
REINFORCING STEEL: REINFORCEMENT STEEL SHALL BE DEFORMED BARS IN ACCORDANCE WITH ASTM A-615, GRADE 60. BARS TO BE WELDED IN ACCORDANCE WITH A3 CODES. PLACE MAIN STEEL TO MAINTAIN A MINIMUM OF 3" COVER FOR FOUNDATION POURED ON EARTH AND 3/4" MIN. COVER FOR SLABS.
STRUCTURAL STEEL: STRUCTURAL STEEL SHALL CONFORM TO ASTM A-36. TUBULAR SHAPES SHALL CONFORM TO ASTM A-501 WITH SEAMS MADE WITH CONTINUOUS FULL PENETRATION BUTT WELDS. ANCHOR BOLTS AND BOLTS USED IN TEMPORARY BRACING SHALL BE HIGH STRENGTH TYPE CONFORMING TO ASTM A-324. WELDING ELECTRODES SHALL CONFORM TO APPROPRIATE CODES FOR THE INTENDED USE. USE ONE OF THE FOLLOWING PAINT: RUST-OLEUM No. 766 RED PRIMER. ALL STEEL SHALL BE SHOP AND FIELD INSPECTED BY AN APPROVED TESTING LABORATORY.



SECTION A-A
SCALE 1/4" = 1'-0"



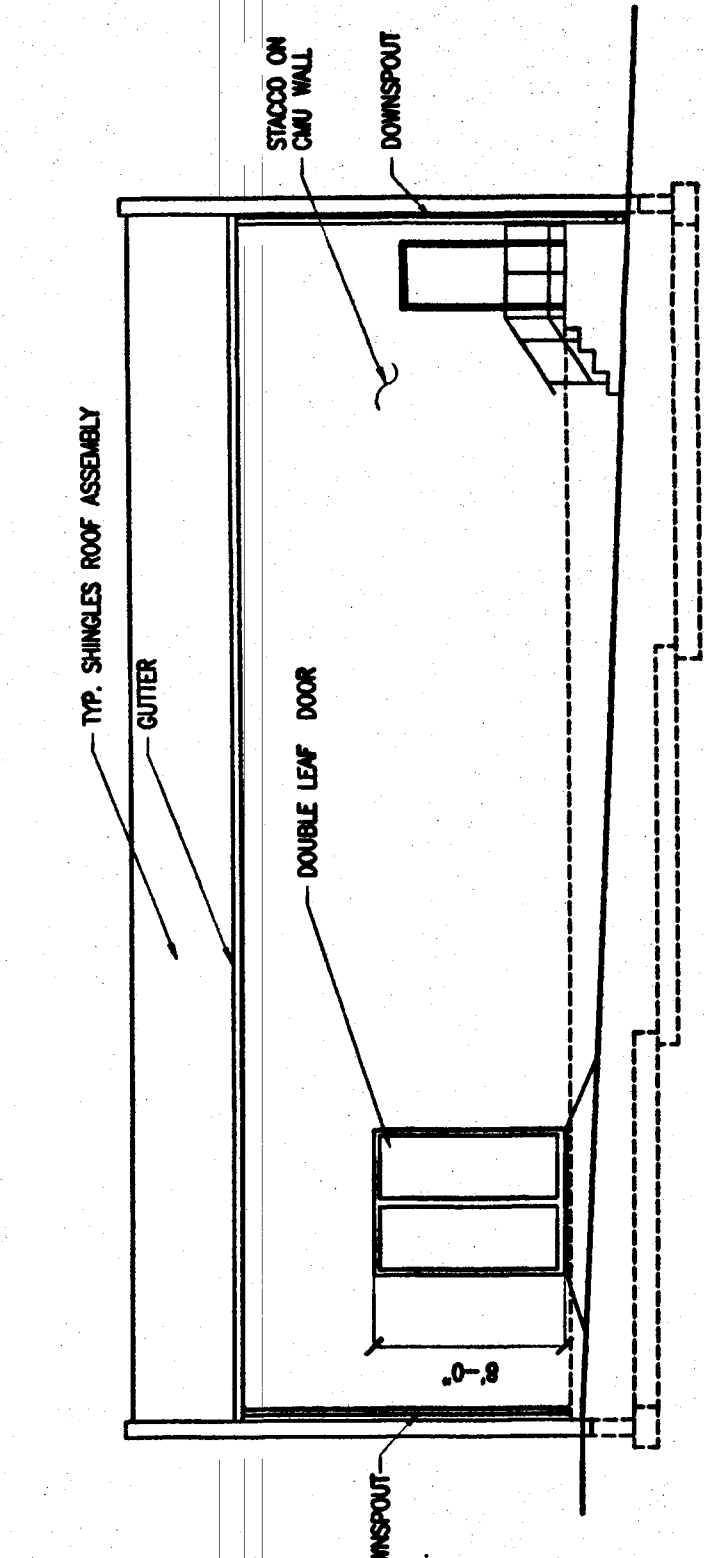
SECTION B-B
SCALE 1/4" = 1'-0"



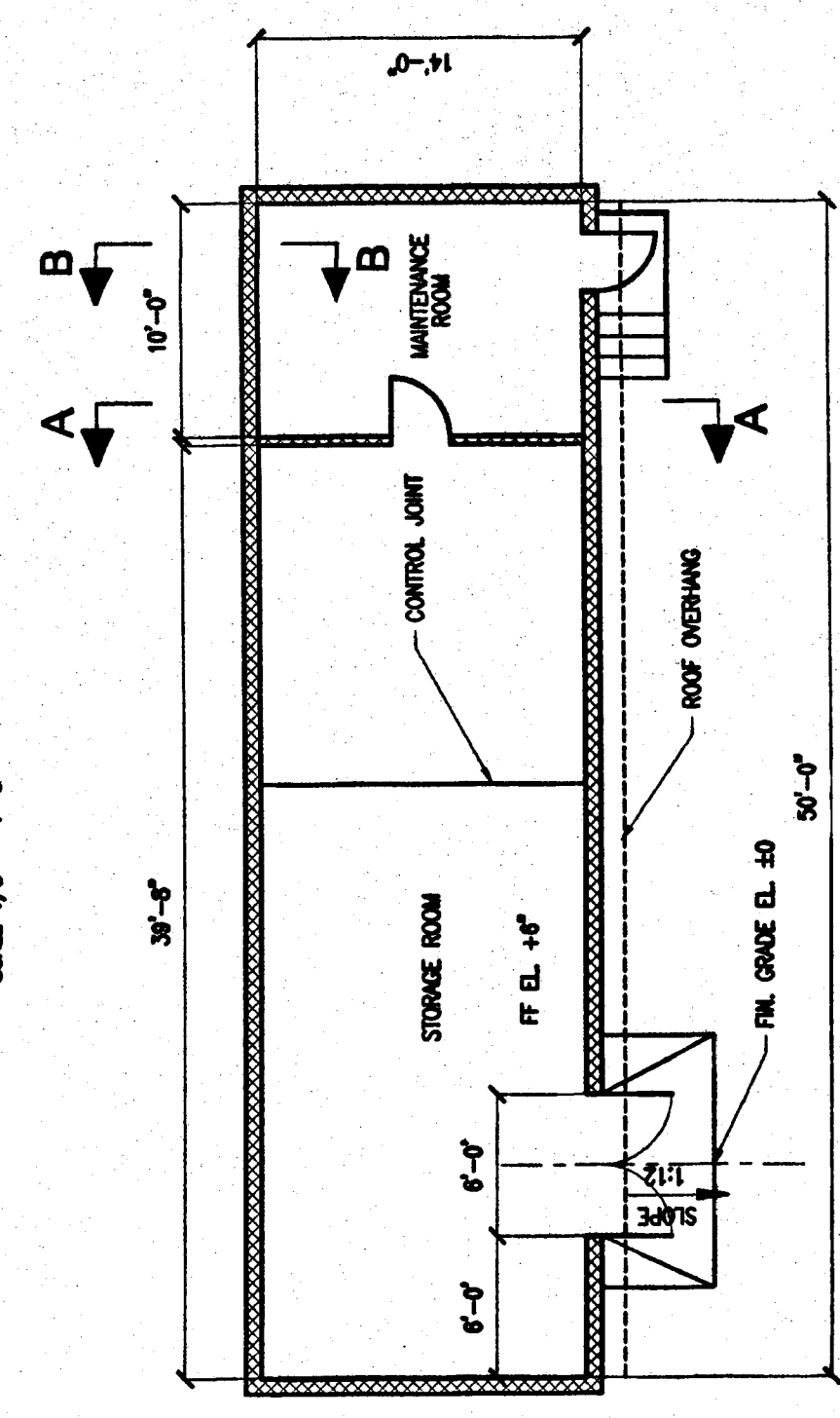
TYP. DETAIL AT STEPPED FOOTING
SCALE 1/2" = 1'-0"

GENERAL NOTES:

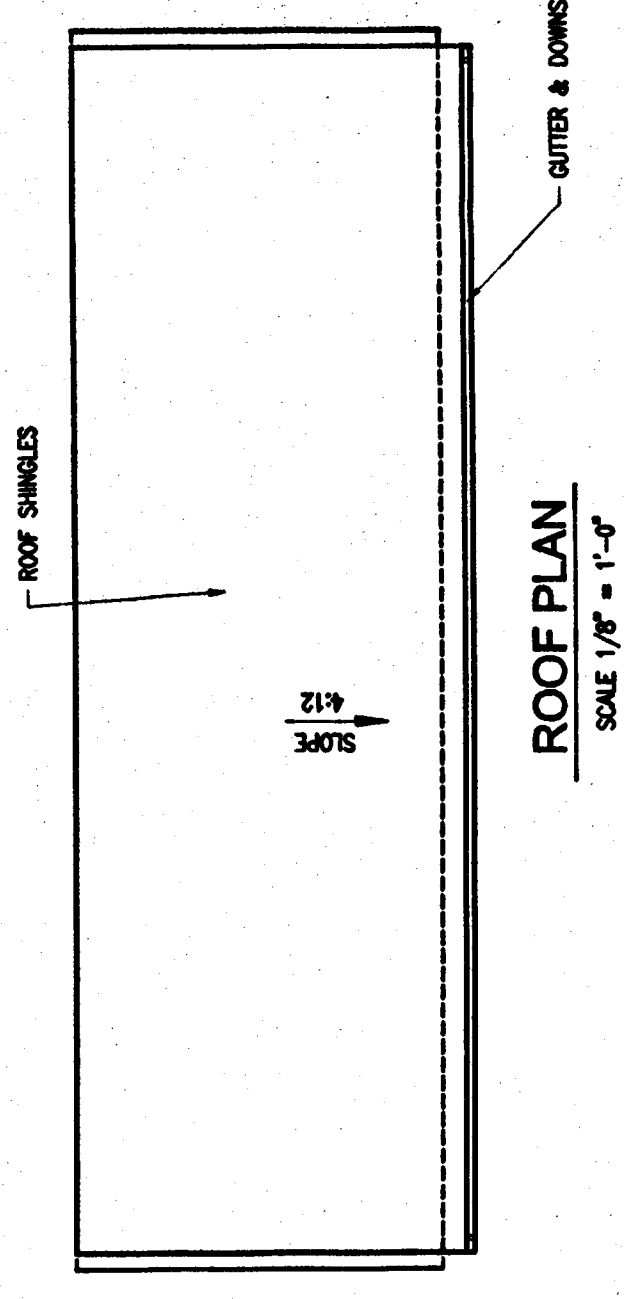
1. INFORMATION CONTAINED IN THESE DRAWINGS IS BASED ON BASE BUILDING CONSTRUCTION DOCUMENTS. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND NOTIFY THE OWNER.
2. CONTRACTOR SHALL FURNISH MECHANICAL, ELECTRICAL, PLUMBING AND OTHER WORK-UPS TO ALL ITEMS FURNISHED AND INSTALLED TO COMPLETE WORK AND OBTAIN NECESSARY PERMITS AS REQUIRED BY ALL APPLICABLE FEDERAL, STATE AND/OR COUNTY STATUTES, ORDINANCE, REGULATIONS, LAWS AND CODES.
3. ALL WORK SHALL BE PERFORMED IN A GOOD AND WORKMANLIKE MANNER AND SHALL BE PERSUED TO COMPLETION WITH ALL DUE DILIGENCE.
4. ALL TRASH, CONSTRUCTION DEBRIS, TOOLS ETC. SHALL BE REMOVED BY CONTRACTOR DAILY.
5. PRIOR TO ANY CONSTRUCTION, THE CONTRACTOR SHALL CONTACT "MISS UTILITIES" AT LEAST 48 HOURS IN ADVANCE @ 1-800-227-7777.
6. THE CONTRACTOR SHALL VISIT THE WORK SITE TO BECOME FAMILIAR WITH ALL LOCAL CONDITIONS AFFECTING THE WORK.
7. ALL WORK SHALL COMPLY WITH 1996 BOCA NATIONAL BUILDING CODE, 1999 NATIONAL FIRE PROTECTION ASSOCIATION NFPA 101 LIFE SAFETY CODE, BALTIMORE COUNTY BUILDING CODE AND MARYLAND ACCESSIBILITY CODE.
8. ASBESTOS AND ASBESTOS-CONTAINING PRODUCTS SHALL NOT BE USED ON THIS PROJECT.
9. ALL BLOCK UNITS SHALL BE MANUFACTURED AND INSTALLED IN ACCORDANCE WITH REGULATIONS AND RECOMMENDATIONS OF NATIONAL CONCRETE MASONRY ASSOCIATION.
10. FILL CELLS OF BLOCK SOLID WITH MORTAR IN COURSE DIRECTLY BELOW ALL CHANGES IN THICKNESS AND BOND.
11. ALL CMU AND BRICK WALL SHALL HAVE TRUSS TYPE DWR-O-WALL @ 16" O.C. UNLESS OTHERWISE NOTED.



FRONT ELEVATION
SCALE 1/8" = 1'-0"



PLAN
SCALE 1/8" = 1'-0"



ROOF PLAN
SCALE 1/8" = 1'-0"

BUILDING DESIGN DATA			
(1)	OCCUPANCY USE GROUP (TABLE 312-1)	UL	R-1 (HOTEL/MOTEL)
(2)	TYPE OF CONSTRUCTION	2C	
(3)	HEIGHT / AREA (TABLE 503)	ALLOWED	
	FLOOR AREA	4200	
	HEIGHT	19'-6" (MAX)	
(4)	EXTERIOR WALL RATINGS (TABLE 705-2)	5-10	
	*FIRE SEPARATION DISTANCE (FEET)	5-10	

EXISTING SITE & BUILDING DATA			
PARKING	REQUIRED FOR GUESTS	128	
	REQUIRED FOR STAFF	5	
	TOTAL	133	
	EXISTING PARKING AVAILABLE	147	
	PARKING AVAILABLE AFTER SHED CONSTRUCTION	142	

BUILDING PERMIT DRAWING

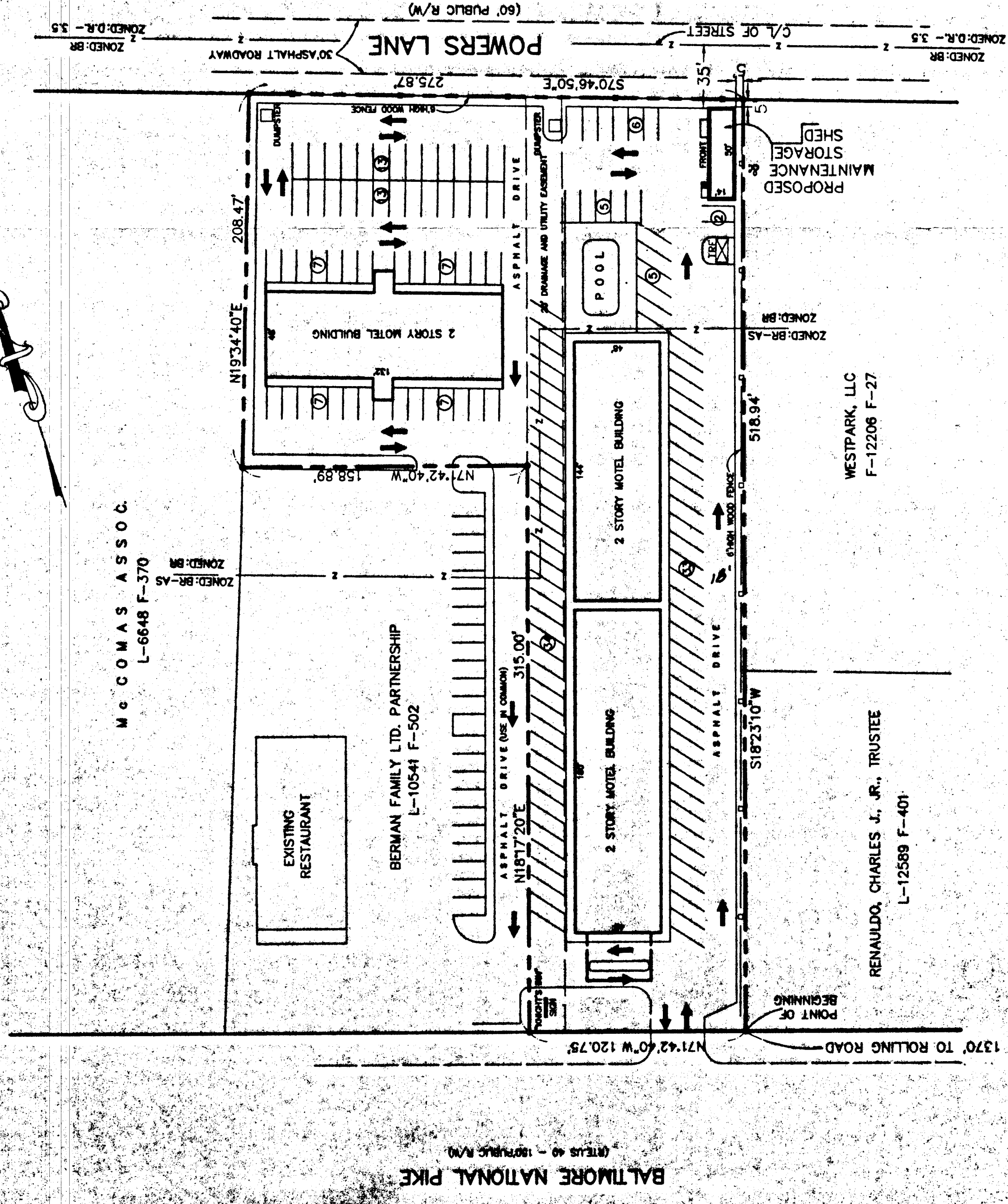
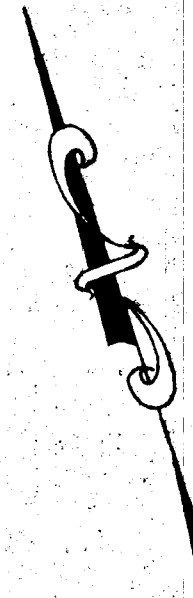
ACCESSORY STORAGE SHED (788 SF)
6422 BALTIMORE NATIONAL PIKE, BALTIMORE
STORAGE ADDITION

OWNER: SHIVA CORPORATION

PREPARED BY: V. LADIGIN (420)321-7397; e-mail: ladigin@telcelcity.com

SIGNATURE OF P.E. Gautam Kumar Roy
NAME GAUTAM KUMAR ROY
REGISTRATION No. 25459

Per Exh 2



McCOMAS ASSOC.
L-6648 F-370

ZONED: BR-AS

EXISTING
RESTAURANT

BERMAN FAMILY LTD. PARTNERSHIP
L-10541 F-502

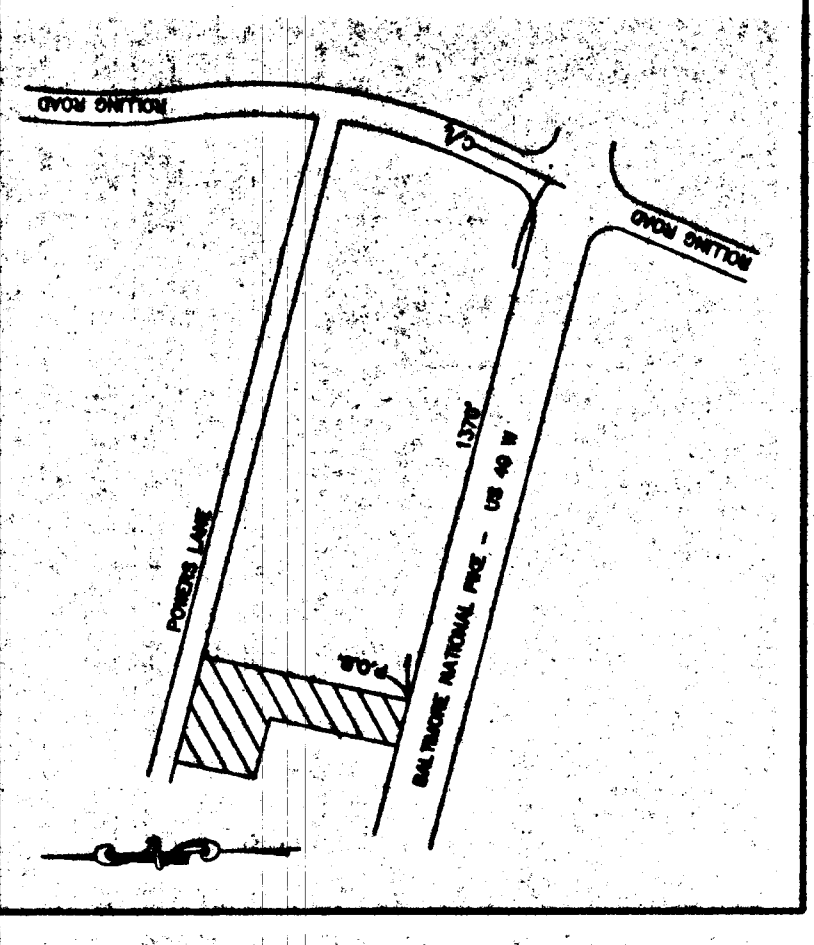
BALTIMORE NATIONAL PIKE
(RTE. 40 - 180' PUBLIC R/W)

POWERS LANE
(60' PUBLIC R/W)
ZONED: D.R.-3.5
ZONED: D.R.-3.5

WESTPARK, LLC
F-12206 F-27

RENAULDO, CHARLES J., JR., TRUSTEE
L-12589 F-401

POINT OF
BEGINNING



LOCATION MAP
SCALE: 1"=500'

ZONED: D.R.-3.5

BALTIMORE COUNTY

L-3553 F-94

NOTES:

AREA OF PROPERTY: 95,445 SQ.FT. OR 2.191 ACRES
EXISTING ZONING: BR & BR-AS
PROPOSED ZONING: BR & BR-AS WITH VARIANCE REQUESTED TO

SECTION 238.1 TO ALLOW A SETBACK OF 35 FEET
IN LIEU OF THE REQUIRED 50 FEET FROM THE CENTER
OF A COUNTY STREET AND VARIANCE REQUESTED TO
SECTION 238.2 TO ALLOW A REAR YARD SETBACK
OF 5 FEET IN LIEU OF THE REQUIRED 30 FEET AND
A SIDE YARD SETBACK OF 5 FEET IN LIEU OF THE
REQUIRED 30 FEET.

PARKING DATA: NO. OF MOTEL UNITS - 125

PARKING REQUIRED: 1 PER UNIT OR 125 SPACES
PARKING PROVIDED: 139 SPACES (8.5'X18' MIN.)

FLOOR AREA RATIO: AREA OF MOTEL BUILDINGS: 21,888 SQ.FT.X2 STORIES=
=43,776 SQ.FT.

AREA OF PROPOSED BUILDING: 700 SQ.FT.

TOTAL AREA OF BUILDINGS: 44,476 SQ.FT.

FLOOR AREA RATIO = 44,476 / 95,445 = 0.47(2.0 MAX.)

COUNCILMANIC DISTRICT: 1

PLAT TO ACCOMPANY PETITION FOR
ZONING VARIANCE

....6422 BALTIMORE NATIONAL PIKE....
1-ST ELECTION DISTRICT, BALTIMORE COUNTY, MARYLAND



APR ASSOCIATES, INC.
SURVEYORS & ENGINEERS
7427 Harford Road Baltimore, Maryland 21234-7160
(410) 444-4312 FAX: (410) 444-1647

SCALE: 1"=50' DATE: 11-10-00

199



Baltimore County
Department of Permits and
Development Management

Director's Office
County Office Building
111 West Chesapeake Avenue
Towson, Maryland 21204
410-887-3353
Fax: 410-887-5708

November 28, 2000

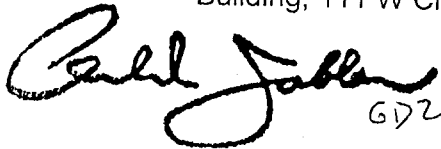
NOTICE OF ZONING HEARING

The Zoning Commissioner of Baltimore County, by authority of the Zoning Act and Regulations of Baltimore County, will hold a public hearing in Towson, Maryland on the property identified herein as follows:

CASE NUMBER: 01-199-A
6422 Baltimore National Pike
N/S Baltimore National Pike, 1370' W of centerline Rolling Road
1st Election District – 1st Councilmanic District
Legal Owner: Shri Shiva Corporation

Variance to allow a distance between a commercial building (storage building) and the center of a county street of 35 feet in lieu of the required 50 feet; and to allow a distance between a commercial building (storage building) and side yard property line of 5 feet in lieu of the required 30 feet and rear yard property line of 5 feet in lieu of the required 30 feet.

HEARING: Friday, January 5, 2001 at 9:00 a.m. in Room 106, Baltimore County Office Building, 111 W Chesapeake Avenue



GDZ

Arnold Jablon
Director

C: C. William Clark, Nolan, Plumhoff & Williams, Chartered, 502 Washington Ave.,
700, Towson 21204
H. Bhavsar, President, Shri Shiva Corporation, 6422 Baltimore National Pike,
Baltimore 21228
Juri Maiste, APR Associates, 7427 Harford Road, Baltimore 21234

- NOTES: (1) **THE PETITIONER MUST HAVE THE ZONING NOTICE SIGN POSTED BY AN APPROVED POSTER ON THE PROPERTY BY WEDNESDAY, DECEMBER 20, 2000**
(2) HEARINGS ARE HANDICAPPED ACCESSIBLE; FOR SPECIAL ACCOMMODATIONS PLEASE CALL THE ZONING COMMISSIONER'S OFFICE AT 410-887-4386.
(3) FOR INFORMATION CONCERNING THE FILE AND/OR HEARING, CONTACT THE ZONING REVIEW OFFICE AT 410-887-3391.