

IN RE: **PETITION FOR ADMIN. VARIANCE** * BEFORE THE
E/S Dipping Pond Court, 730' S of the c/l
Broadway Road * ZONING COMMISSIONER
(9 Dipping Pond Court)
8th Election District * OF BALTIMORE COUNTY
3rd Council District *
Case No. 06-146-A
Martin W. Dennis & Barbara A. Lesco
Petitioners *

* * * * *

FINDINGS OF FACT AND CONCLUSIONS OF LAW

This matter comes before the Zoning Commissioner for consideration of a Petition for Administrative Variance filed by the owners of the subject property, Martin W. Dennis and Barbara A. Lesco. The Petitioners seek relief from Section 1A04.3.B.2.b of the Baltimore County Zoning Regulations (B.C.Z.R.) to permit a property line setback of 23 feet in lieu of the required 50 feet for a proposed garage addition. The subject property and requested relief are more particularly described on the site plan submitted which was accepted into evidence and marked as Petitioner's Exhibit 1.

The Petition was filed through the administrative variance process, pursuant to Section 32-3-303 of the Baltimore County Code. That Section allows an individual to seek variance relief for an owner-occupied residential property without the need for a public hearing. Under the Code, any property owner residing within 1,000 feet of the property in question who objects to the relief requested has 15 days from the date of the sign posting to demand a public hearing for a determination as to the merits of the request. Additionally, the Zoning Commissioner/Deputy Zoning Commissioner can schedule the matter for a public hearing if deemed appropriate.

In this case, the Petitioners have filed the supporting affidavits as required by Section 32-3-303 (a)(2)(i) of the Baltimore County Code. The subject property having been posted and there being no requests for a public hearing, a decision shall be rendered based upon the documentation contained within the case file.

ORDER RECEIVED FOR FILING

Date

By

Based upon all of the evidence contained therein, I am persuaded to grant the requested relief. Variance relief is necessitated given the unique configuration of the property and the layout and location of the existing dwelling thereon. There were no adverse comments submitted by any County reviewing agency and none of the neighbors voiced any opposition. Thus, I find that relief can be granted and that there will be no detrimental impact to adjacent properties.

Pursuant to the posting of the property and the provisions of both the Baltimore County Code and the B.C.Z.R. having been met, and for the reasons set forth above, the relief requested should be granted.

THEREFORE, IT IS ORDERED by the Zoning Commissioner for Baltimore County this 5 day of October 2005 that the Petition for Administrative Variance seeking relief from Section 1A04.3.B.2.b of the Baltimore County Zoning Regulations (B.C.Z.R.) to permit a property line setback of 25 feet in lieu of the required 50 feet for a proposed garage addition, in accordance with Petitioner's Exhibit 1, be and is hereby GRANTED, subject to the following restriction:

- 1) The Petitioners may apply for their building permit and be granted same upon receipt of this Order; however, the Petitioners are hereby made aware that proceeding at this time is at their own risk until the 30-day appeal period from the date of this Order has expired. If an appeal is filed and this Order is reversed, the relief granted herein shall be rescinded.


WILLIAM J. WISEMAN, III
Zoning Commissioner
for Baltimore County

WJW:bjs

ORDER RECEIVED FOR FILING
Date 10/5/05
By Bjs

Zoning Commissioner

Suite 405, County Courts Building
401 Bosley Avenue
Towson, Maryland 21204
Tel: 410-887-3868 • Fax: 410-887-3468



Baltimore County

James T. Smith, Jr., County Executive
William J. Wiseman III, Zoning Commissioner

October 5, 2005

Mr. Martin W. Dennis
Ms. Barbara A. Lesco
9 Dipping Pond Court
Timonium, Maryland 21093

RE: PETITION FOR ADMINISTRATIVE VARIANCE
E/S Dipping Pond Court, 730' S of the c/l Broadway Road
(9 Dipping Pond Court)
8th Election District – 3rd Council District
Martin W. Dennis & Barbara A. Lesco - Petitioners
Case No. 06-146-A

Dear Mr. Dennis & Ms. Lesco:

Enclosed please find a copy of the decision rendered in the above-captioned matter. The Petition for Administrative Variance has been granted, in accordance with the attached Order.

In the event any party finds the decision rendered is unfavorable, any party may file an appeal to the County Board of Appeals within thirty (30) days of the date of this Order. For further information on filing an appeal, please contact the Department of Permits and Development Management office at 887-3391.

Very truly yours,

A handwritten signature in black ink, appearing to read "W. J. Wiseman III", is written over a circular stamp or seal.

WILLIAM J. WISEMAN, III
Zoning Commissioner
for Baltimore County

WJW:bjs

cc: People's Counsel; Case/File

Visit the County's Website at www.baltimorecountyonline.info



Affidavit in Support of Administrative Variance

The undersigned hereby affirms under the penalties of perjury to the Zoning Commissioner of Baltimore County, as follows: That the information herein, given is within the personal knowledge of the Affiant(s) and that Affiant(s) is/are competent to testify thereto in the event that a public hearing is scheduled in the future with regard thereto.

That the Affiant(s) does/do presently reside at

Address 9 DIPPING POND COURT
City LUTHERVILLE, State MD Zip Code 21093

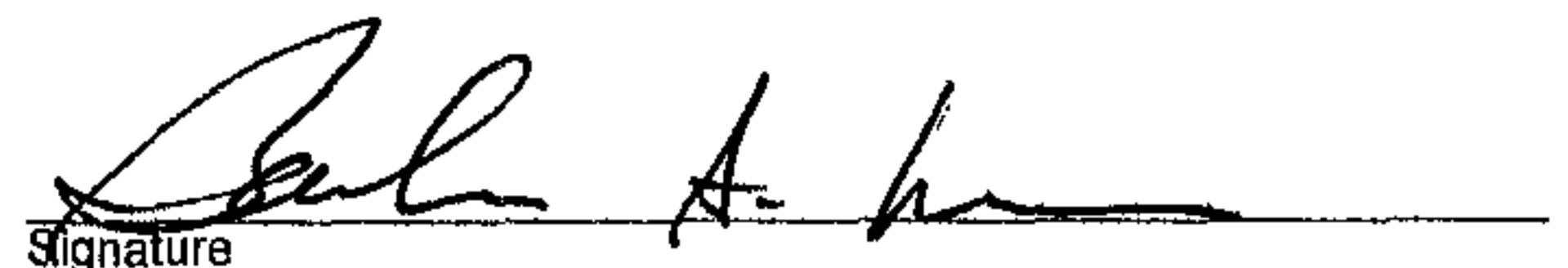
That based upon personal knowledge, the following are the facts upon which I/we base the request for an Administrative Variance at the above address (indicate hardship or practical difficulty):

The variance is being requested because the proposed addition to the residence is within the County set back. The current structure provides entrance and exit only from the front door of the residence and through the overhead doors of the side garage.

The overhead of the garage are operated electrically. If electrical service is interrupted, the overhead doors have to be elevated manually. This would present a problem for my daughter (16 yr-old) and my wife.

That the Affiant(s) acknowledge(s) that if a formal demand is filed, Affiant(s) will be required to pay a reposting and advertising fee and may be required to provide additional information.


Signature
Martin W. Dennis
Name - Type or Print


Signature
Barbara A. Lesco
Name - Type or Print

STATE OF MARYLAND, COUNTY OF BALTIMORE, to wit:

I HEREBY CERTIFY, this _____ day of _____, before me, a Notary Public of the State of Maryland, in and for the County aforesaid, personally appeared

the Affiant(s) herein, personally known or satisfactorily identified to me as such Affiant(s).

AS WITNESS my hand and Notarial Seal

ROXIE L. FAUST
NOTARY PUBLIC STATE OF MARYLAND
My Commission Expires May 1, 2008


Notary Public
My Commission Expires May 1, 2008



Petition for Administrative Variance to the Zoning Commissioner of Baltimore County

for the property located at 9 DIPPING POND COURT
which is presently zoned RES

This Petition shall be filed with the Department of Permits and Development Management. The undersigned, legal owner(s) of the property situate in Baltimore County and which is described in the description and plat attached hereto and made a part hereof, hereby petition for a Variance from Section(s) 1A04.3.B.2.b BCZR

*TO PERMIT AN EXISTING SINGLE FAMILY DWELLING WITH
ADDITION TO HAVE A PROPERTY LINE SETBACK OF 25'
IN LIEU OF THE REQUIRED 50'.*

of the zoning regulations of Baltimore County, to the zoning law of Baltimore County, for the reasons indicated on the back of this petition form.

Property is to be posted and advertised as prescribed by the zoning regulations.

I, or we, agree to pay expenses of above Variance, advertising, posting, etc. and further agree to and are to be bounded by the zoning regulations and restrictions of Baltimore County adopted pursuant to the zoning law for Baltimore County.

I/We do solemnly declare and affirm, under the penalties of perjury, that I/we are the legal owner(s) of the property which is the subject of this Petition.

Contract Purchaser/Lessee:

Name - Type or Print

Signature

Address Telephone No.

City State Zip Code

Attorney For Petitioner:

Name - Type or Print

Signature

Company

Address Telephone No.

City State Zip Code

Legal Owner(s):

Name - Type or Print

Signature

Name - Type or Print

Signature

Address 9 Dipping Pond Ct. Telephone No. 410-560-2151

City Lutherville State MD Zip Code 21093

Representative to be Contacted:

Name

Address

City

MARTIN W. DENNIS 410-290-2909
EXT 101

9 Dipping Pond Ct. 410-560-2151-H
Telephone No.

Lutherville MD 21093
State Zip Code

A Public Hearing having been formally demanded and/or found to be required, it is ordered by the Zoning Commissioner of Baltimore County, this 9 day of September, 2005, that the subject matter of this petition be set for a public hearing, advertised, as required by the zoning regulations of Baltimore County and that the property be reposted.

Zoning Commissioner of Baltimore County

CASE NO. 06-146-A

Reviewed By ltm Date 9/9/05

REV 10/25/01

Estimated Posting Date 9/18/05

ZONING DESCRIPTION FOR: 9 Dipping Pond Court

Being at a point on the east side of Dipping Pond Court which is 40' wide at the distance of 730'+- south of the centerline of the nearest improved intersecting street Broadway which is 50' wide (@intersection). Being lot #5 in the subdivision of Menzies Property as recorded in Baltimore County Plat Book #72, Folio #18, containing 1.231 Acres. Also known as 9 Dipping Pond Court and located in the 8th Election District, 3rd Councilmanic District.

#146

CERTIFICATE OF POSTING

Date: September 15, 2005

RE: Case Number: 06-146-A

Petitioner/Developer: M.W. Dennis ET UX

Date of Hearing/Closing: 10-03-2005

This is to certify under the penalties of perjury that the necessary sign(s) required by law were posted conspicuously on the property located at _____

9 Dipping Pond Court

The sign(s) were posted on September 15, 2005
(Month, Day, Year)

(Signature of Sign Poster)

William D. Gulick, Jr.
(Printed Name of Sign Poster)

McKee and Associates, Inc.
5 Shawan Road, Suite 1
(Street Address of Sign Poster)

Cockeysville, MD 21030
(City, State, Zip Code of Sign Poster)

(410) 527-1555
(Telephone Number of Sign Poster)

**ATTACH PHOTOGRAPH OF
SIGN POSTED ON PROPERTY
HERE**

Revised 3/1/01 - SCJ



ZONING NOTICE

ADMINISTRATIVE VARIANCE

CASE # 06-146-A
TO PERMIT AN EXISTING SINGLE
FAMILY DWELLING WITH ADDITION TO
HAVE A PROPERTY LINE SETBACK
OF 25 FEET IN LIEU OF THE
REQUIRED 50 FEET

PUBLIC HEARING ?

PURSUANT TO SECTION 25-127(b)(1), BALTIMORE COUNTY CODE,
AN ELIGIBLE INDIVIDUAL OR GROUP MAY
REQUEST A PUBLIC HEARING CONCERNING
THE PROPOSED VARIANCE, PROVIDED THE REQUEST IS
RECEIVED IN THE ZONING REVIEW BUREAU BEFORE
5:00 P.M. ON OCTOBER 31, 2005.

ADDITIONAL INFORMATION IS AVAILABLE AT THE DEPARTMENT OF
PERMITS AND DEVELOPMENT MANAGEMENT, COUNTY OFFICE BUILDING,
301 WEST CHESAPEAKE AVE., TOWSON, MD 21204, (410) 887-3394.
NO FEE FOR THIS NOTICE. THE NOTICE IS THE PROPERTY OF THE
BALTIMORE COUNTY DEPARTMENT OF PERMITS AND DEVELOPMENT MANAGEMENT.

HAND DELIVERED - ACCEPTED

09-14-2005

**DEPARTMENT OF PERMITS AND DEVELOPMENT MANAGEMENT
ZONING REVIEW**

ADVERTISING REQUIREMENTS AND PROCEDURES FOR ZONING HEARINGS

The Baltimore County Zoning Regulations (BCZR) require that notice be given to the general public/neighboring property owners relative to property which is the subject of an upcoming zoning hearing. For those petitions which require a public hearing, this notice is accomplished by posting a sign on the property (responsibility of the petitioner) and placement of a notice in a newspaper of general circulation in the County, both at least fifteen (15) days before the hearing.

Zoning Review will ensure that the legal requirements for advertising are satisfied. However, the petitioner is responsible for the costs associated with these requirements. The newspaper will bill the person listed below for the advertising. This advertising is due upon receipt and should be remitted directly to the newspaper.

OPINIONS MAY NOT BE ISSUED UNTIL ALL ADVERTISING COSTS ARE PAID.

For Newspaper Advertising:

Item Number or Case Number: 06-146-A

Petitioner: MARTIN DENNIS

Address or Location: 9 Dipping Pond Ct. Lutherville, MD 21093

PLEASE FORWARD ADVERTISING BILL TO:

Name: MARTIN DENNIS

Address: 9 Dipping Pond Ct.
Lutherville, MD 21093

Telephone Number: 410-560-2151

ADMINISTRATIVE VARIANCE INFORMATION SHEET AND DATES

Case Number 06- 146 -A Address 9 DIPPING POND CT

Contact Person: LYND T. MOXLEY Phone Number: 410-887-3391
Planner, Please Print Your Name

Filing Date: 9/9/05 Posting Date: 9/18/05 Closing Date: 10/3/05

Any contact made with this office regarding the status of the administrative variance should be through the contact person (planner) using the case number.

1. **POSTING/COST:** The petitioner must use one of the sign posters on the approved list (on the reverse side of this form) and the petitioner is responsible for all printing/posting costs. Any reposting must be done only by one of the sign posters on the approved list and the petitioner is again responsible for all associated costs. The zoning notice sign must be visible on the property on or before the posting date noted above. It should remain there through the closing date.
2. **DEADLINE:** The closing date is the deadline for an occupant or owner within 1,000 feet to file a formal request for a public hearing. Please understand that even if there is no formal request for a public hearing, the process is not complete on the closing date.
3. **ORDER:** After the closing date, the file will be reviewed by the zoning or deputy zoning commissioner. He may: (a) grant the requested relief; (b) deny the requested relief; or (c) order that the matter be set in for a public hearing. You will receive written notification (typically within 7 to 10 days of the closing date) as to whether the petition has been granted, denied, or will go to public hearing. The order will be mailed to you by First Class mail.
4. **POSSIBLE PUBLIC HEARING AND REPOSTING:** In cases that must go to a public hearing (whether due to a neighbor's formal request or by order of the zoning or deputy zoning commissioner), notification will be forwarded to you. The sign on the property must be changed giving notice of the hearing date, time and location. As when the sign was originally posted, certification of this change and a photograph of the altered sign must be forwarded to this office.

(Detach Along Dotted Line)

Petitioner: This Part of the Form is for the Sign Poster Only

USE THE ADMINISTRATIVE VARIANCE SIGN FORMAT

Case Number 06- 146 -A Address 9 DIPPING POND CT

Petitioner's Name M. W. DENNIS ET UX Telephone _____

Posting Date: 9/18/05 Closing Date: 10/3/05

Wording for Sign: To Permit AN EXISTING SINGLE FAMILY
DWELLING WITH ADDITION TO HAVE A PROPERTY
LINE SETBACK OF 23' IN LIEU OF THE
REQUIRED 50'.

WCR - Revised 6/25/04

**Department of Permits and
Development Management**

Development Processing
County Office Building
111 W. Chesapeake Avenue
Towson, Maryland 21204



Baltimore County

*James T. Smith, Jr., County Executive
Timothy M. Kotroco, Director*

October 3, 2005

Martin W. Dennis
Barbara A. Lesco
9 Dipping Pond Court
Lutherville, Maryland 21093

Dear Mr. Dennis and Ms. Lesco:

RE: Case Number: 06-146-A, 9 Dipping Pond Court

The above referenced petition was accepted for processing by the Bureau of Zoning Review, Department of Permits and Development Management (PDM) on September 9, 2005.

The Zoning Advisory Committee (ZAC), which consists of representatives from several approval agencies, has reviewed the plans that were submitted with your petition. All comments submitted thus far from the members of the ZAC are attached. These comments are not intended to indicate the appropriateness of the zoning action requested, but to ensure that all parties (zoning commissioner, attorney, petitioner, etc.) are made aware of plans or problems with regard to the proposed improvements that may have a bearing on this case. All comments will be placed in the permanent case file.

If you need further information or have any questions, please do not hesitate to contact the commenting agency.

Very truly yours,

A handwritten signature in black ink, reading "W. Carl Richards, Jr.", is written over the typed name.

W. Carl Richards, Jr.
Supervisor, Zoning Review

WCR: clb

Enclosures

c: People's Counsel

Visit the County's Website at www.baltimorecountyonline.info



Fire Department

700 East Joppa Road
Towson, Maryland 21286-5500
Tel: 410-887-4500



Baltimore County

James T. Smith, Jr., County Executive
John J. Hohman, Chief

County Office Building, Room 111
Mail Stop #1105
111 West Chesapeake Avenue
Towson, Maryland 21204

September 22, 2005

ATTENTION: Zoning review planners

Distribution Meetings of: **September 26, 2005**

Item No.: 127, 138-141, 143-144, **146**, 154

Pursuant to your request, the referenced plan(s) have been reviewed by this Bureau and the comments below are applicable and required to be corrected or incorporated into the final plans for the property.

The Fire Marshal's Office has no comments at this time.

Lieutenant J.D. Mezick
Fire Marshal's Office
410-887-4880
MS-1102F

cc: File

Visit the County's Website at www.baltimorecountyonline.info



Robert L. Ehrlich, Jr., *Governor*
Michael S. Steele, *Lt. Governor*



Robert L. Flanagan, *Secretary*
Neil J. Pedersen, *Administrator*

Maryland Department of Transportation

Ms. Kristen Matthews
Baltimore County Office of
Permits and Development Management
County Office Building, Room 109
Towson, Maryland 21204

Date:

9.21.05

RE:

Baltimore County

Item No. 146 LTM

Dear Ms. Matthews:

This office has reviewed the referenced item and we have no objection to approval as it does not access a State roadway and is not affected by any State Highway Administration projects.

Should you have any questions regarding this matter, please contact Larry Gredlein at 410-545-5606 or by E-mail at (lgredlein@sha.state.md.us).

Very truly yours,

Steven D. Foster, Chief
Engineering Access Permits Division

My telephone number/toll-free number is _____
Maryland Relay Service for Impaired Hearing or Speech. 1.800.735.2258 Statewide Toll Free

Street Address: 707 North Calvert Street • Baltimore, Maryland 21202 • Phone 410.545.0300 • www.marylandroads.com

BALTIMORE COUNTY, MARYLAND

INTER-OFFICE CORRESPONDENCE

TO: Timothy M. Kotroco, Director
Department of Permits and
Development Management

DATE: September 27, 2005

FROM: Arnold F. 'Pat' Keller, III
Director, Office of Planning

SUBJECT: 9 Dipping Pond Court

INFORMATION:

Item Number: 6-146

Petitioner: Martin Dennis

Zoning: RC 5

Requested Action: Administrative Variance

SUMMARY OF RECOMMENDATIONS:

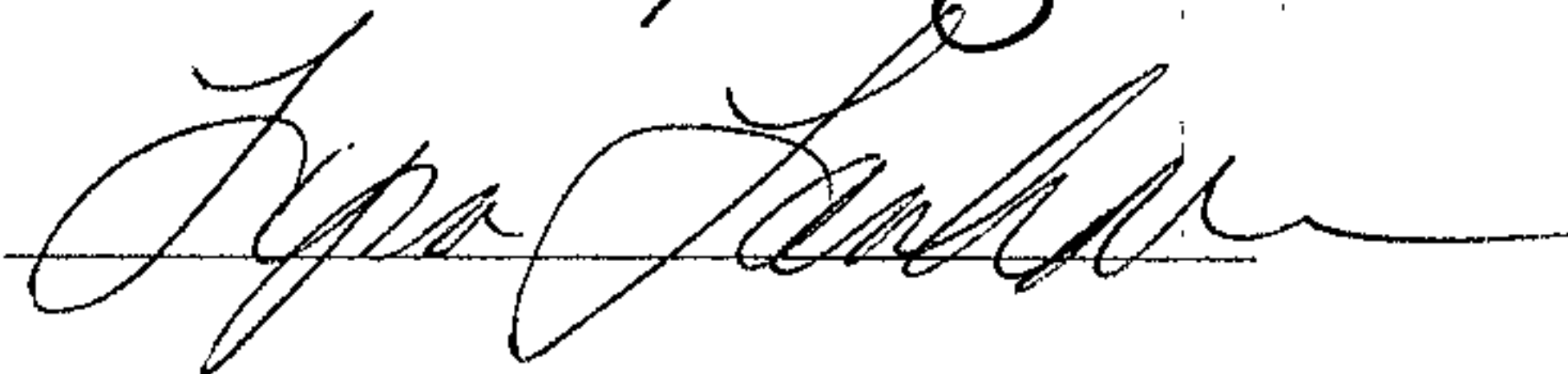
The Office of Planning does not oppose the petitioner's request to permit an existing single family dwelling with an addition, to have a property line setback of 23 feet in lieu of the required 50 feet.

For further information concerning the matters stated here in, please contact Diana Itter at 410-887-3480.

Prepared by:



Division Chief:



AFK/LL: CM

BALTIMORE COUNTY, MARYLAND
INTEROFFICE CORRESPONDENCE

TO: Timothy M. Kotroco, Director
Department of Permits & Development
Management

DATE: September 23, 2005

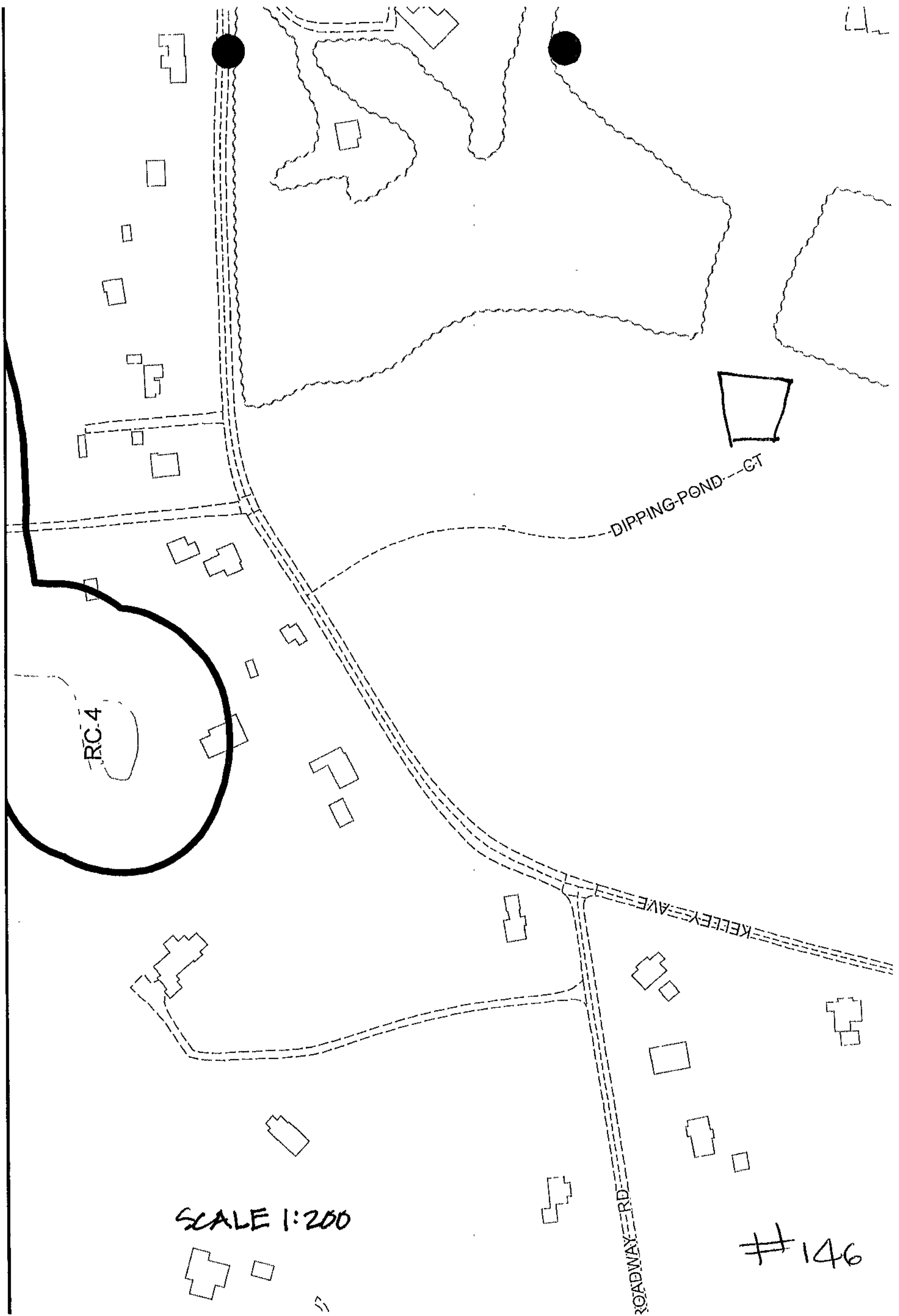
FROM: Dennis A. Kennedy, ^{DM}Supervisor
Bureau of Development Plans Review

SUBJECT: Zoning Advisory Committee Meeting
For October 3, 2005
Item Nos. 139, 142, 144, 145, 146, 147,
148, 149, 150, 152, 153, and 154

The Bureau of Development Plans Review has reviewed the subject zoning items, and we have no comments.

DAK:CEN:clw
cc: File
ZAC-NO COMMENTS-09232005.doc

059-31





#

146

W
S + N
E



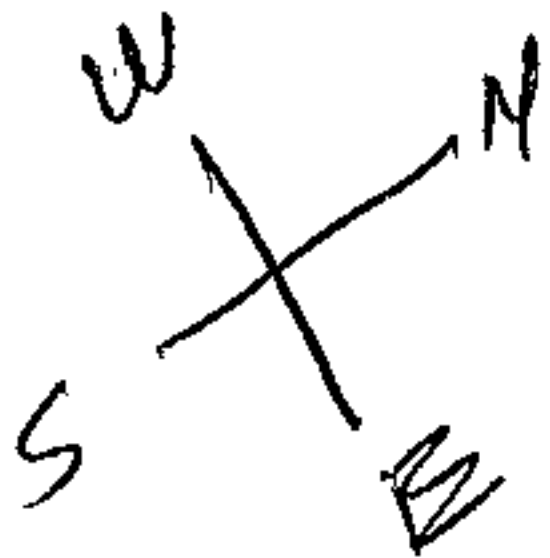
#146



#146



146

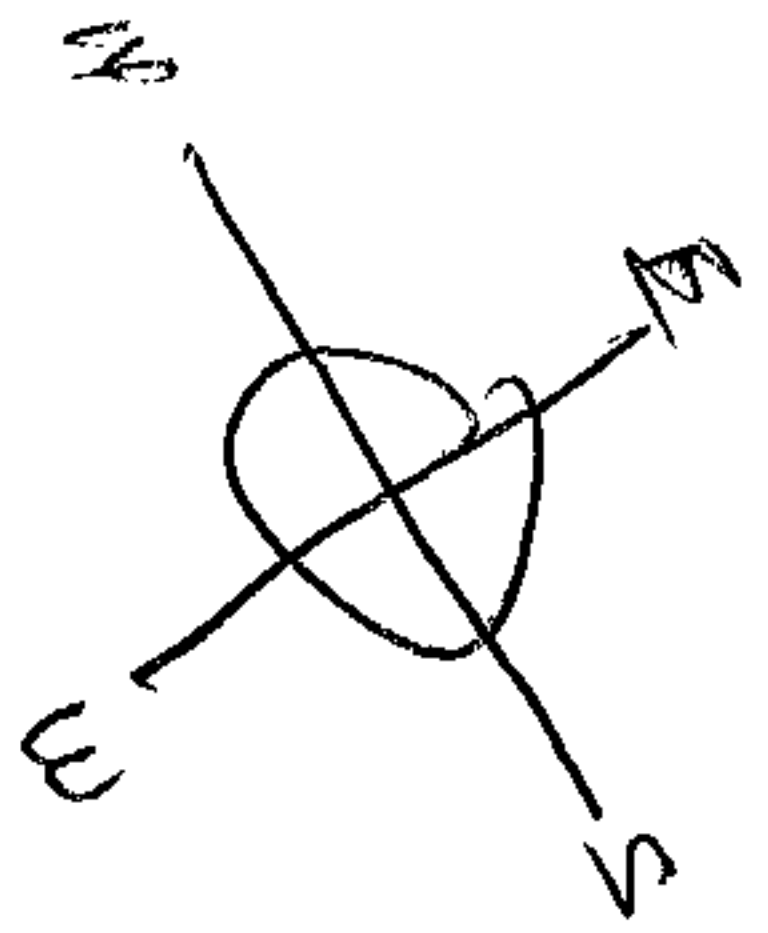


#146



a Digging Band Ct.

Re presentation of proposed
addition -
#11 Digging Band Ct. is approximately
80+ feet from proposed addition



PLAT TO ACCOMPANY PETITION FOR ZONING ☒ VARIANCE ☐ SPECIAL HEARING

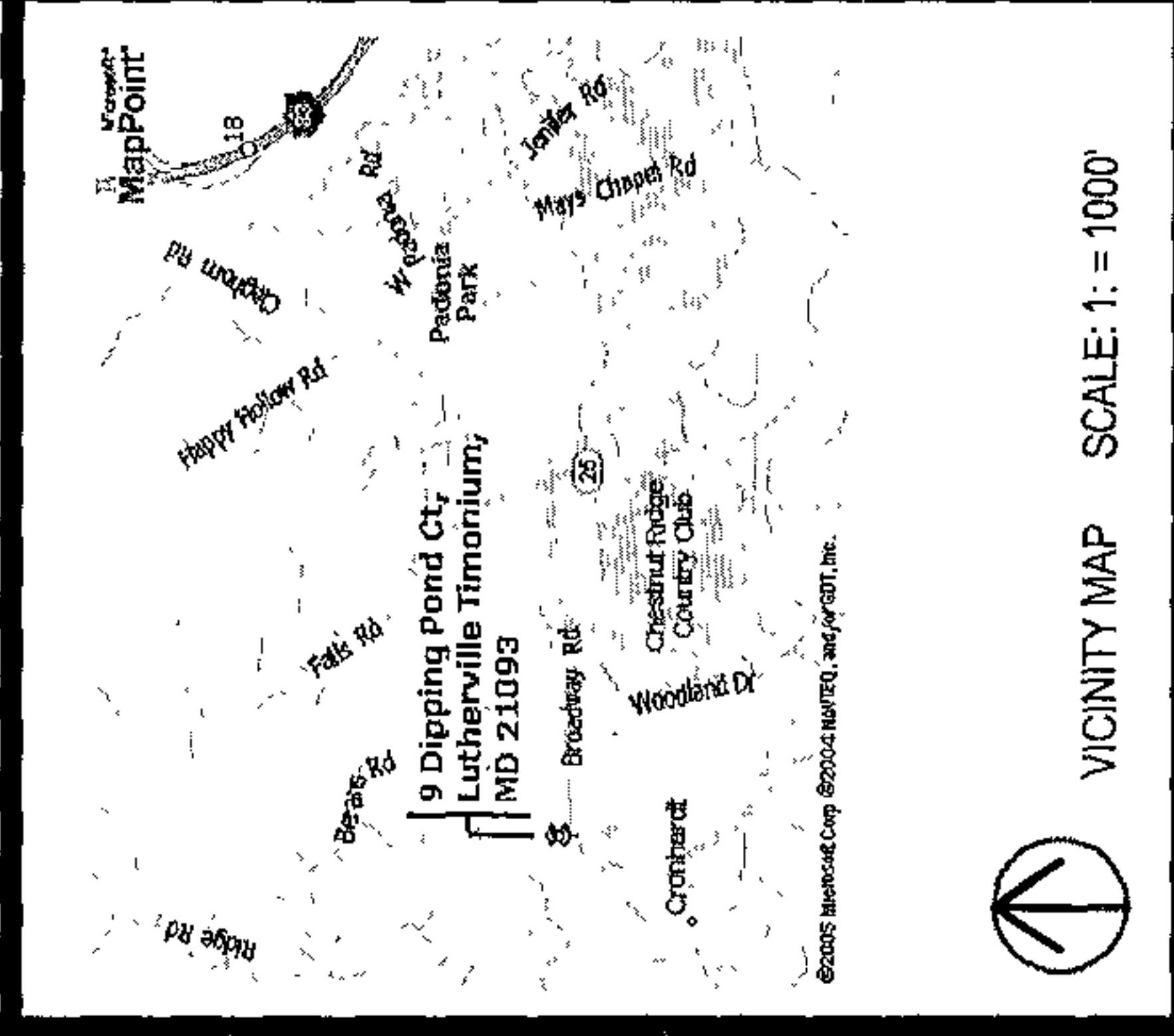
PROPERTY ADDRESS: 9 DIPPING POND COURT

SUBDIVISION NAME: MENZIES PROPERTY

PLAT BOOK #: 72 FOLIO#: 18 LOT #: 5 SECTION #: 1

OWNER: Martin W. Dennis & Barbara A. Lesco

SEE PAGES 5 & 6 OF THE CHECKLIST FOR ADDITIONAL REQUIRED INFORMATION

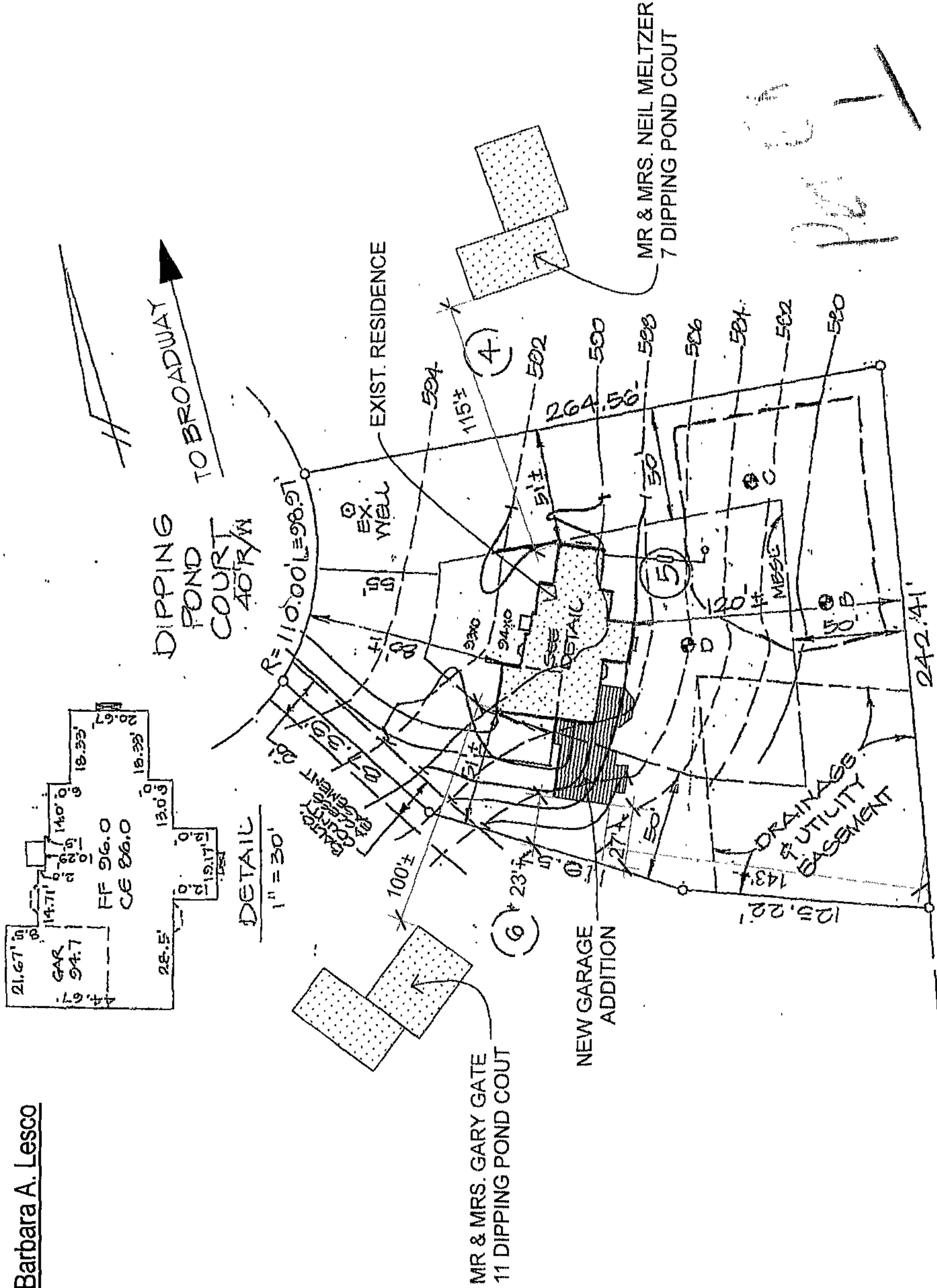


VICINITY MAP SCALE: 1" = 1000'

LOCATION INFORMATION

ELECTION DISTRICT: 8th
COUNCILMANIC DISTRICT: 3rd
1"=200' SCALE MAP#: NW-14E
ZONING: R-5
LOT SIZE: 1.231 ACREAGE SQUARE FEET
SEWER ☐ PUBLIC ☒ PRIVATE
WATER ☐ PUBLIC ☒ PRIVATE
CHESAPEAKE BAY CRITICAL AREA ☐ YES ☒ NO
100 YEAR FLOOD PLAIN ☐ YES ☒ NO
HISTORIC PROPERTY/ BUILDING ☐ YES ☒ NO
PRIOR ZONING HEARING: NONE

ZONING OFFICE USE ONLY
REVIEWED BY LTm ITEM# 146 CASE#

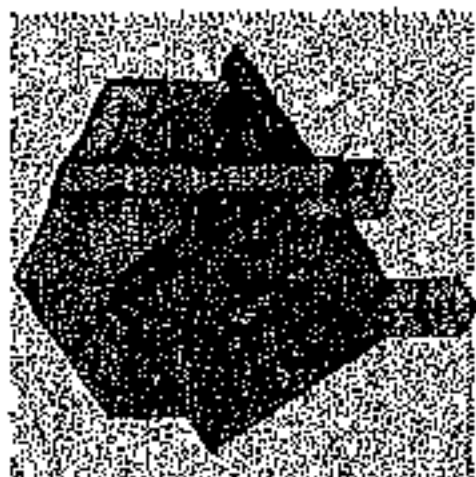
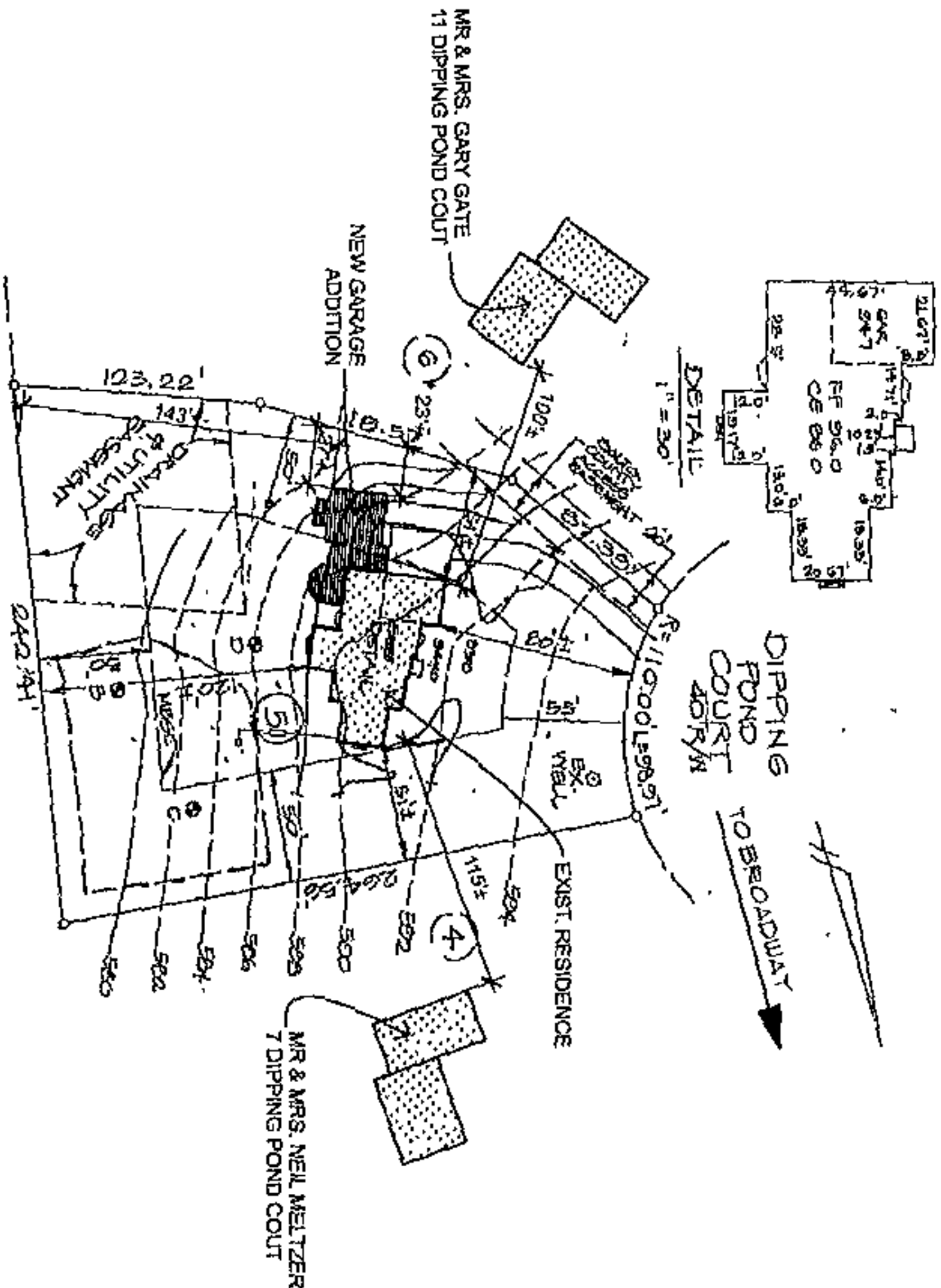
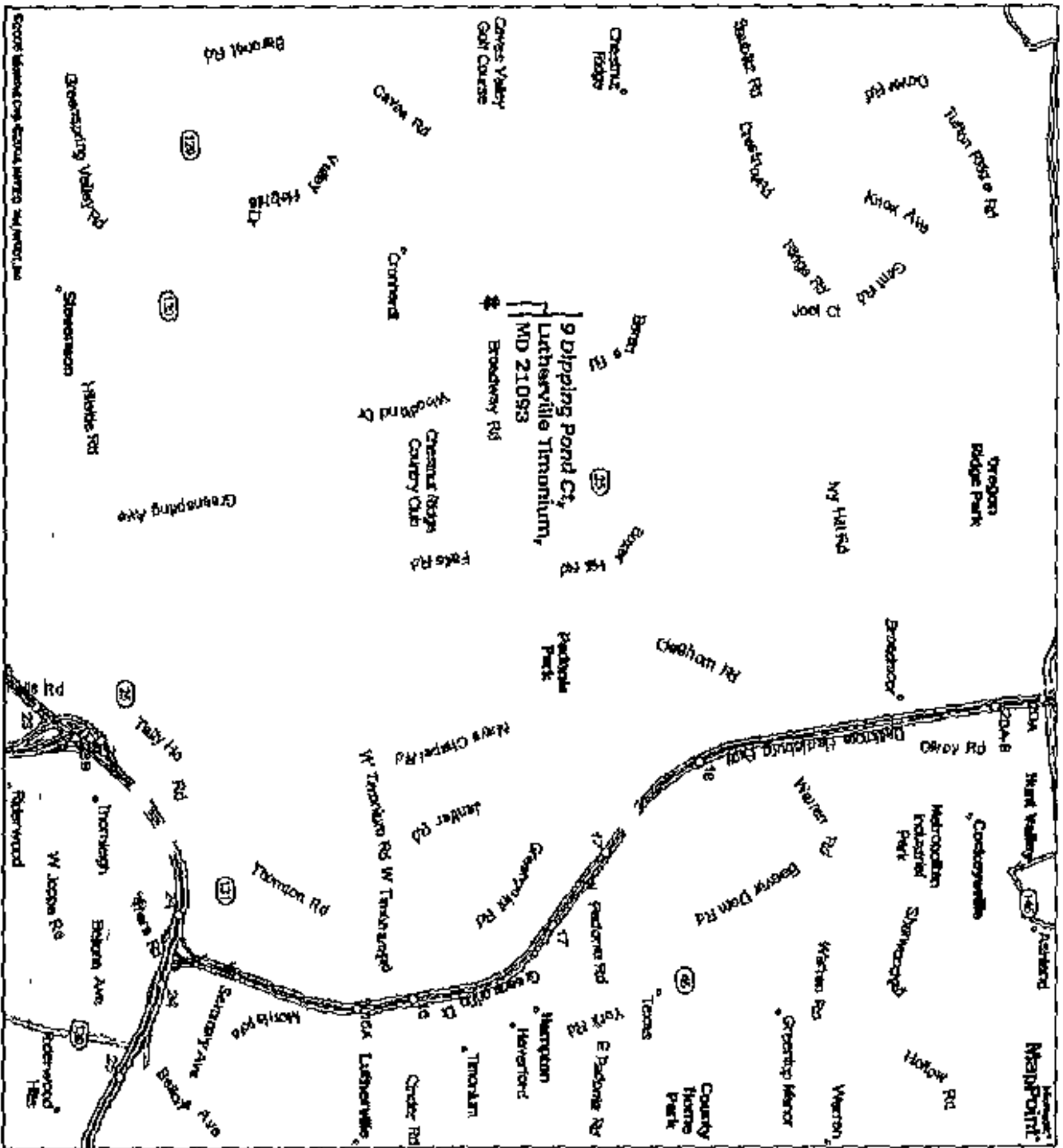


NORTH

PREPARED BY: Joseph P. Brandli SCALE OF DRAWING: 1" = 60'-0"

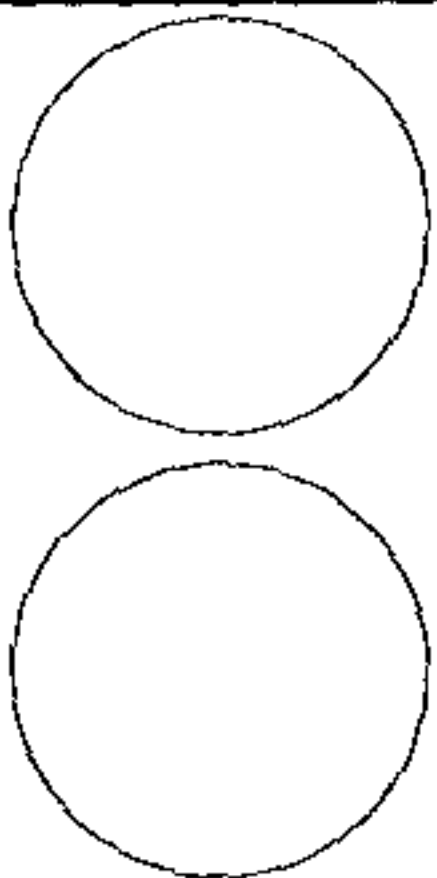
Project Rendering Cover Sheet

Martin W. Dennis
& Barbara A. Lesco
RESIDENTIAL ADDITION



**JOE ARCHITECT
INCORPORATED**
JOSEPH P. BRANTLEY, AIA - PRESIDENT
7311 YORK ROAD - BALTIMORE, MD 21204
PHONE - 410.513.5239 FAX - 410.511.5211

CONSULTANTS



**RESIDENTIAL ADDITION
9 DIPPING POND COURT
TIMONIUM, MARYLAND, 21093**

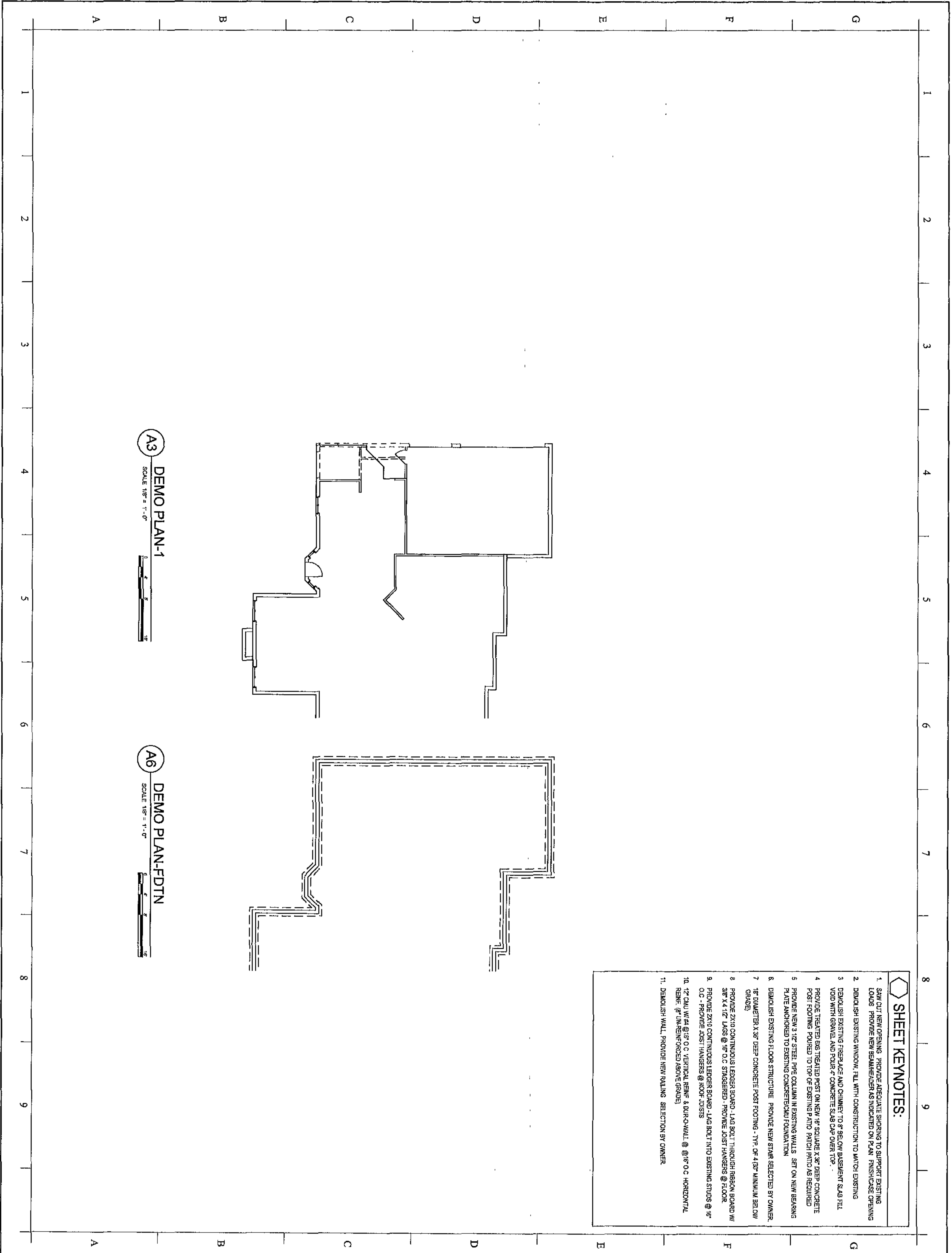
Martin W. Dennis
& Barbara A. Lesco

PROJECT NO.	153
MODEL FILE	Lesco Layout Book_DD3.lbk
DRAWN BY	Joseph P. Brantley
CHECKED BY	Joseph P. Brantley
COPYRIGHT	Joe Architect Incorporated
SHEET TITLE	COVER SHEET

COVER SHEET

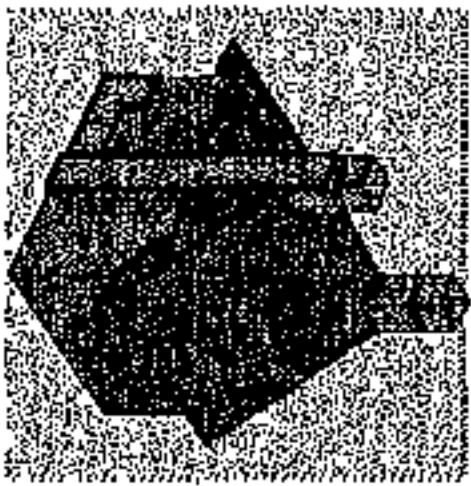
G-002

SHEET 2 OF 10



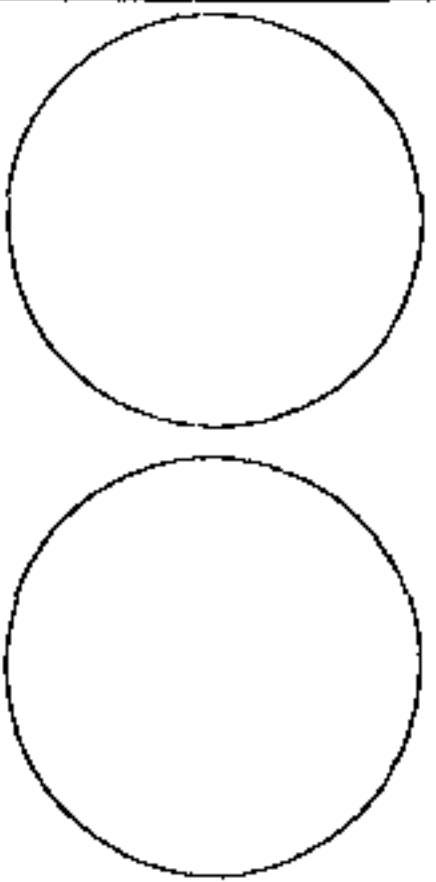
SHEET KEYNOTES:

1. SAW CUT NEW OPENING. PROVIDE ADEQUATE SHORING TO SUPPORT EXISTING LOADS. PROVIDE NEW BEAMHEADER AS INDICATED ON PLAN. FINISH-SCISSOR OPENING.
2. DEMOLISH EXISTING WINDOW. FILL WITH CONSTRUCTION TO MATCH EXISTING.
3. DEMOLISH EXISTING FIREPLACE AND CHIMNEY TO 8" BELOW BASEMENT SLAB FILL VOID WITH GRAVEL AND POLY 4" CONCRETE SLAB CAP OVER TOP.
4. PROVIDE TREATED 8x8 TREATED POST ON NEW 16" SQUARE X 36" DEEP CONCRETE POST FOOTING POURED TO TOP OF EXISTING PATIO PATCH PATCH AS REQUIRED.
5. PROVIDE NEW 3 1/2" STEEL PIPE COLUMN IN EXISTING WALLS. SET ON NEW BEARING PLATE ANCHORED TO EXISTING CONCRETE FOUNDATION.
6. DEMOLISH EXISTING FLOOR STRUCTURE. PROVIDE NEW STAIR SELECTED BY OWNER.
7. 16" DIAMETER X 36" DEEP CONCRETE POST FOOTING - 1" OF 4" MINIMUM BELOW GRADE.
8. PROVIDE 2X10 CONTINUOUS LEDGER BOARD - 1/4" BOLT THROUGH RIBBON BOARD W/ 3/8" X 4 1/2" LAGS @ 16" O.C. STAGGERED. - PROVIDE JOIST HANGERS @ FLOOR.
9. PROVIDE 2X10 CONTINUOUS LEDGER BOARD - 1/4" BOLT INTO EXISTING STUDS @ 16" O.C. - PROVIDE JOIST HANGERS @ ROOF JOISTS.
10. 12" CMU W/ #4 @ 16" O.C. VERTICAL REIN. & DURO-WALL @ 16" O.C. HORIZONTAL REIN. 16" UNREINFORCED ABOVE GRADE.
11. DEMOLISH WALL. PROVIDE NEW RAILING. SELECTION BY OWNER.



**JOE ARCHITECT
INCORPORATED**
JOSEPH P. BRANTILL, AIA - PRESIDENT
7311 YORK ROAD - BALTIMORE, MD 21294
PHONE - 410.813.2330 FAX - 410.813.2331

CONSULTANTS



RESIDENTIAL ADDITION
9 DIPPING POND COURT
TIMONIUUM, MARYLAND 21093

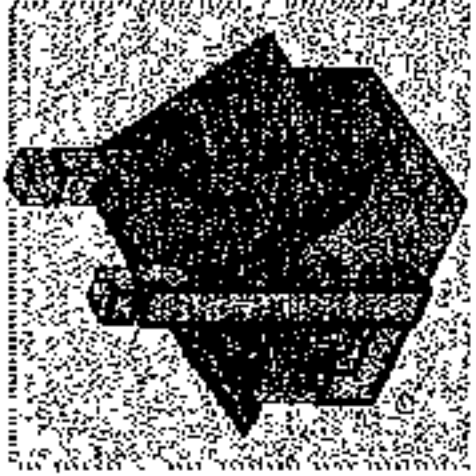
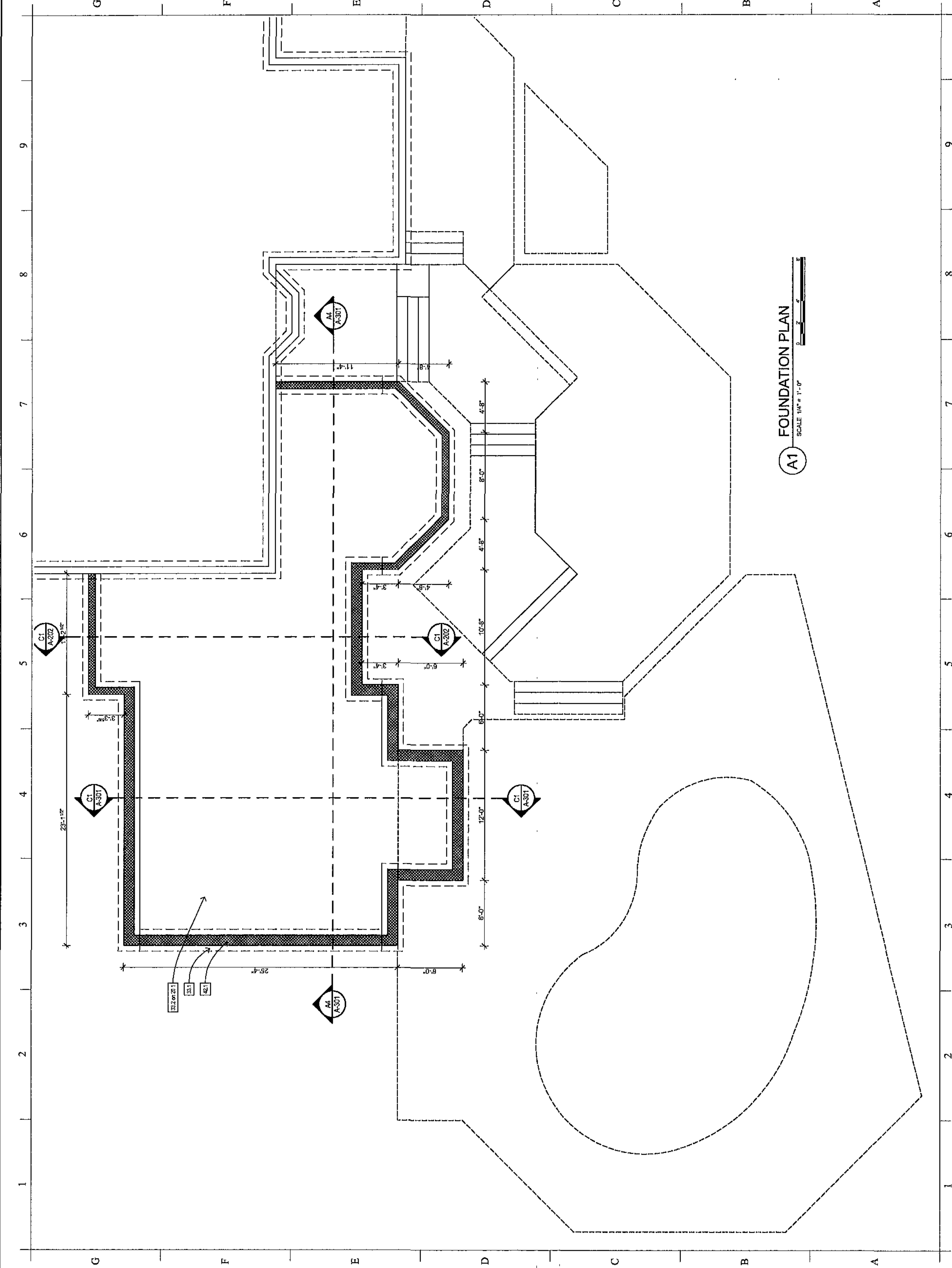
Martin W. Dennis
& Barbara A. Lesco

CD	08-30-05	Construction Document Drawings
DD	12-18-04	Design Development Drawings
SD	11-24-04	Schematic Design Drawings
AB	09-29-04	As-Built Drawings
MARK	DATE	DESCRIPTION

PROJECT NO.	
MODEL FILE:	Lesco Layout Book_DD3.lbk
DRAWN BY:	H83
CHECKED BY:	Joseph P. Brantill
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JOE Architect Incorporated	

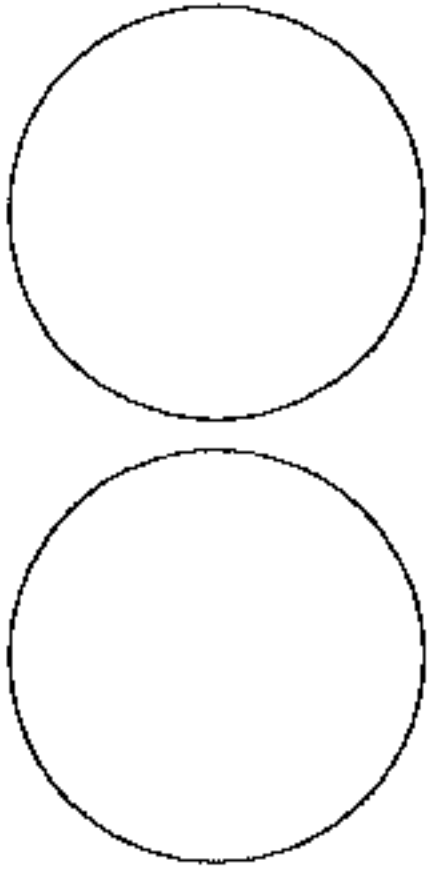
DEMOLITION PLANS

A-101



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RESIDENTIAL ADDITION
9 DIPPING POND COURT
TIMONIUM, MARYLAND, 21093

Martin W. Dennis
& Barbara A. Lesco

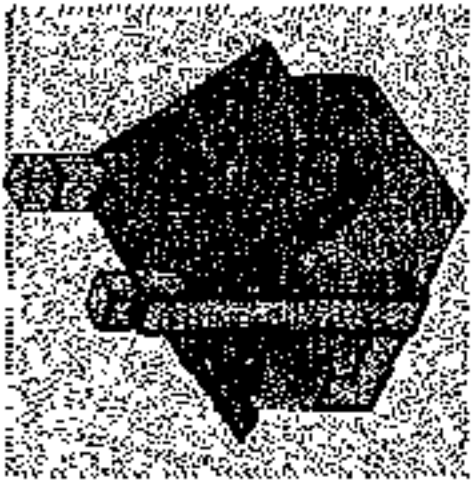
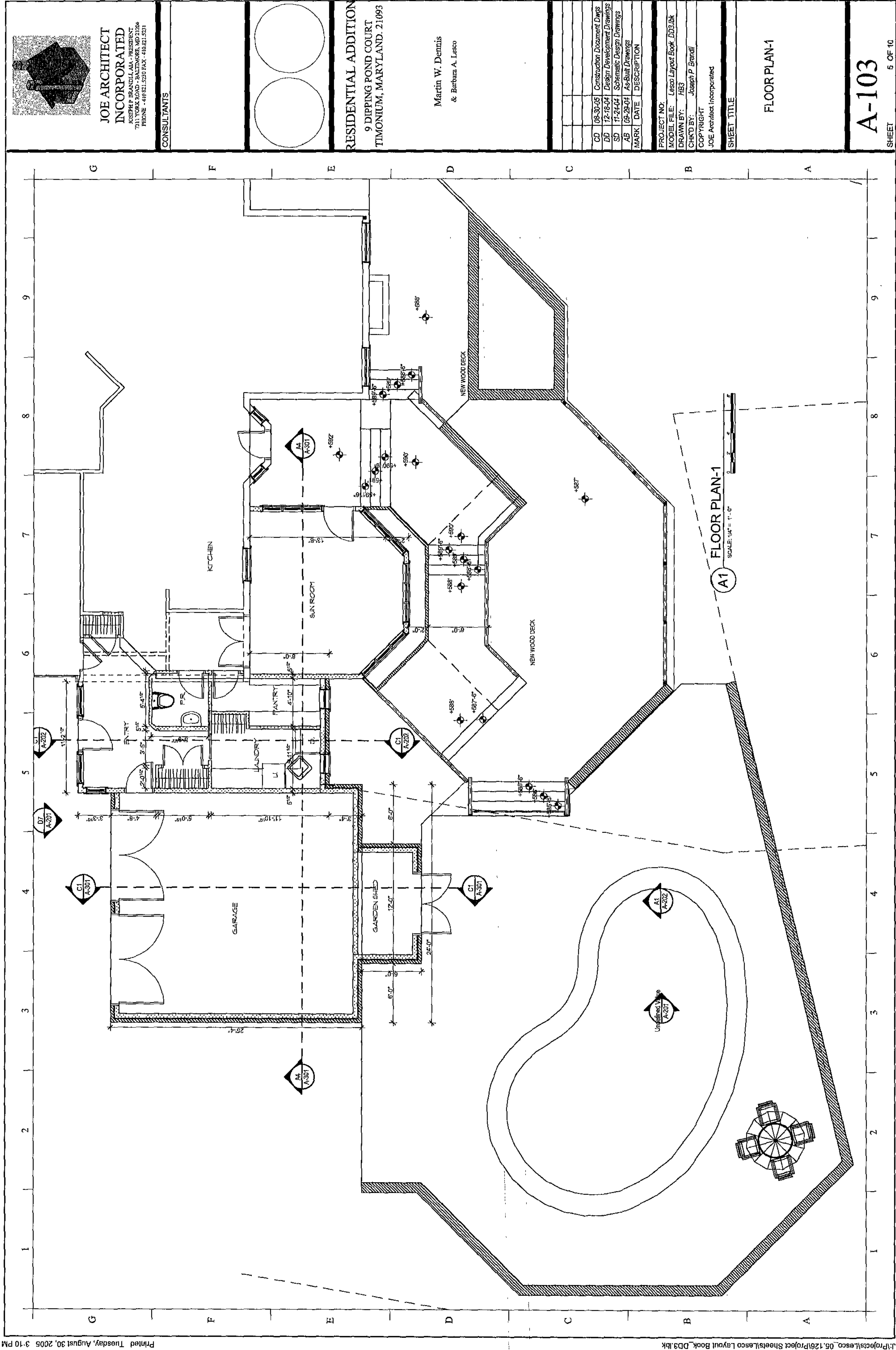
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DD	112-18-04	Design Development Drawings
SD	114-24-04	Schematic Design Drawings
AB	109-28-04	As-Built Drawings
MARK	DATE	DESCRIPTION

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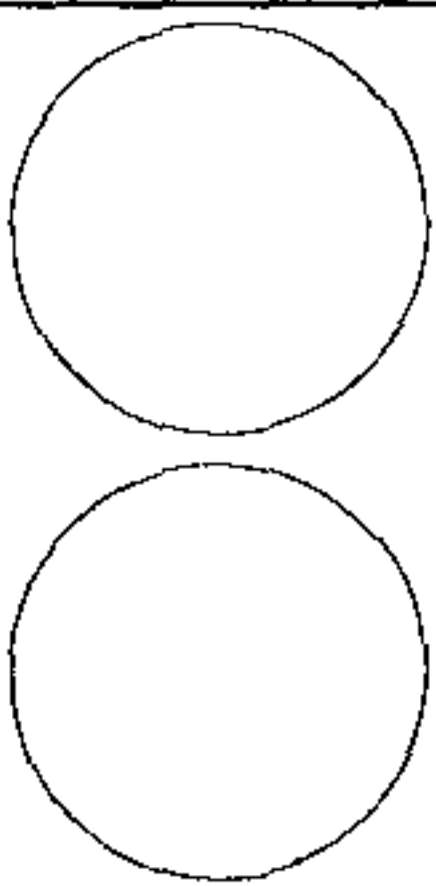
FOUNDATION PLAN

A-102



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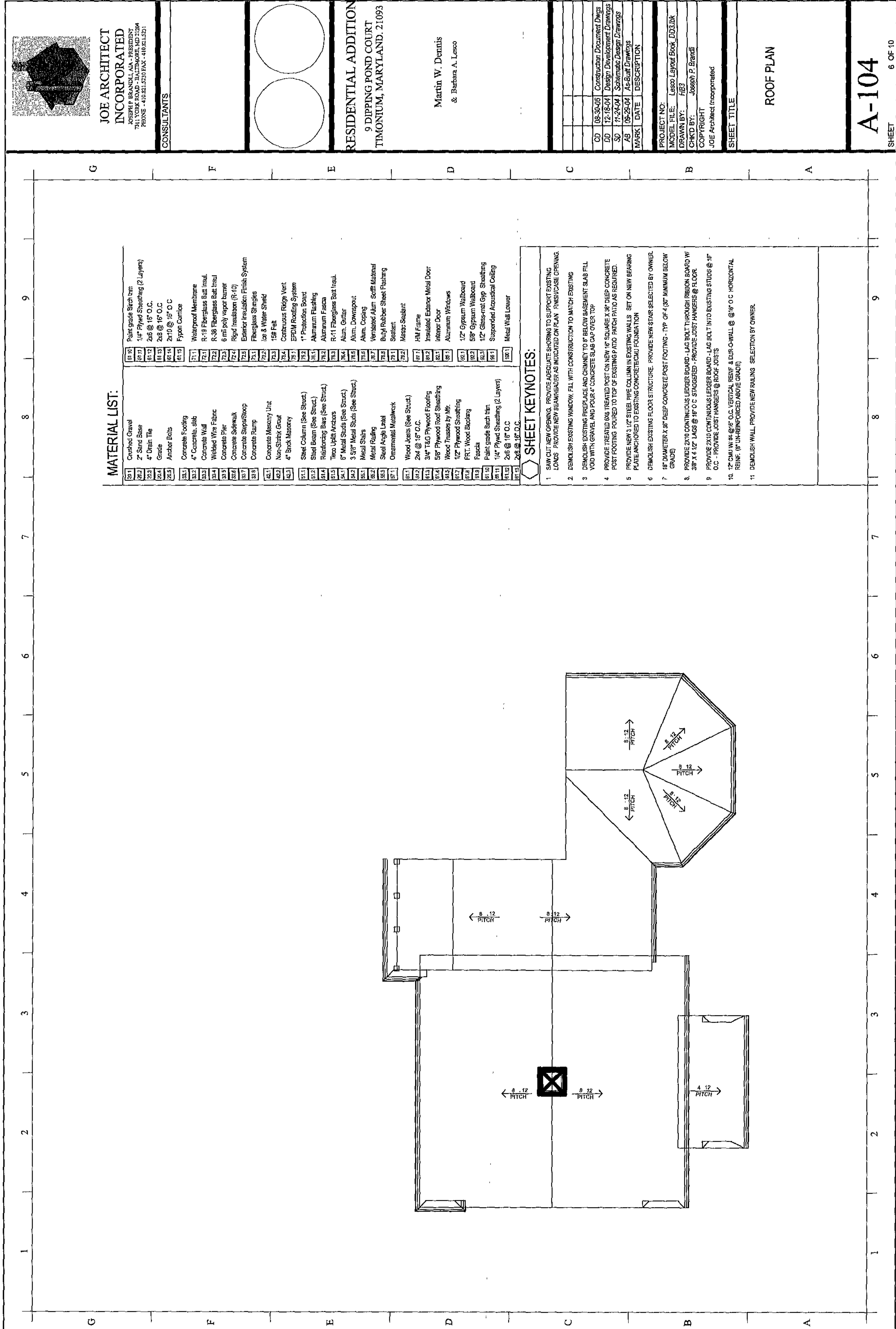
Martin W. Dennis
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CD	08-30-05	Construction Document Drawings
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SD	11-24-04	Schematic Design Drawings
AB	09-29-04	As-Built Drawings
MARK	DATE	DESCRIPTION

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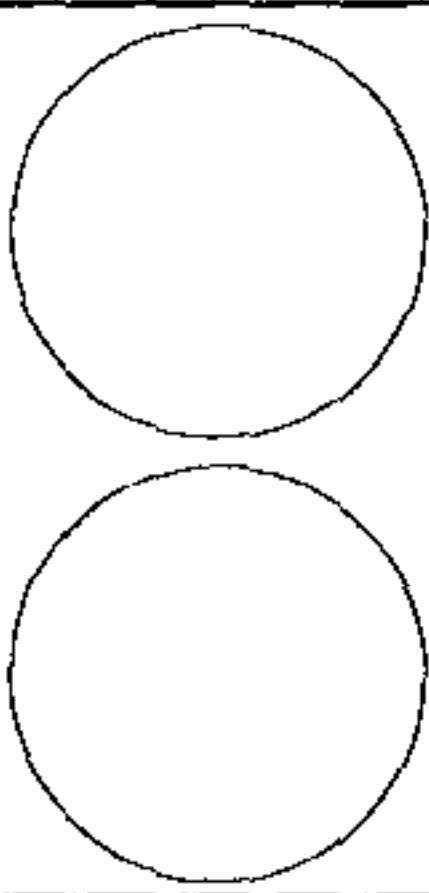
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SHEET 5 OF 10



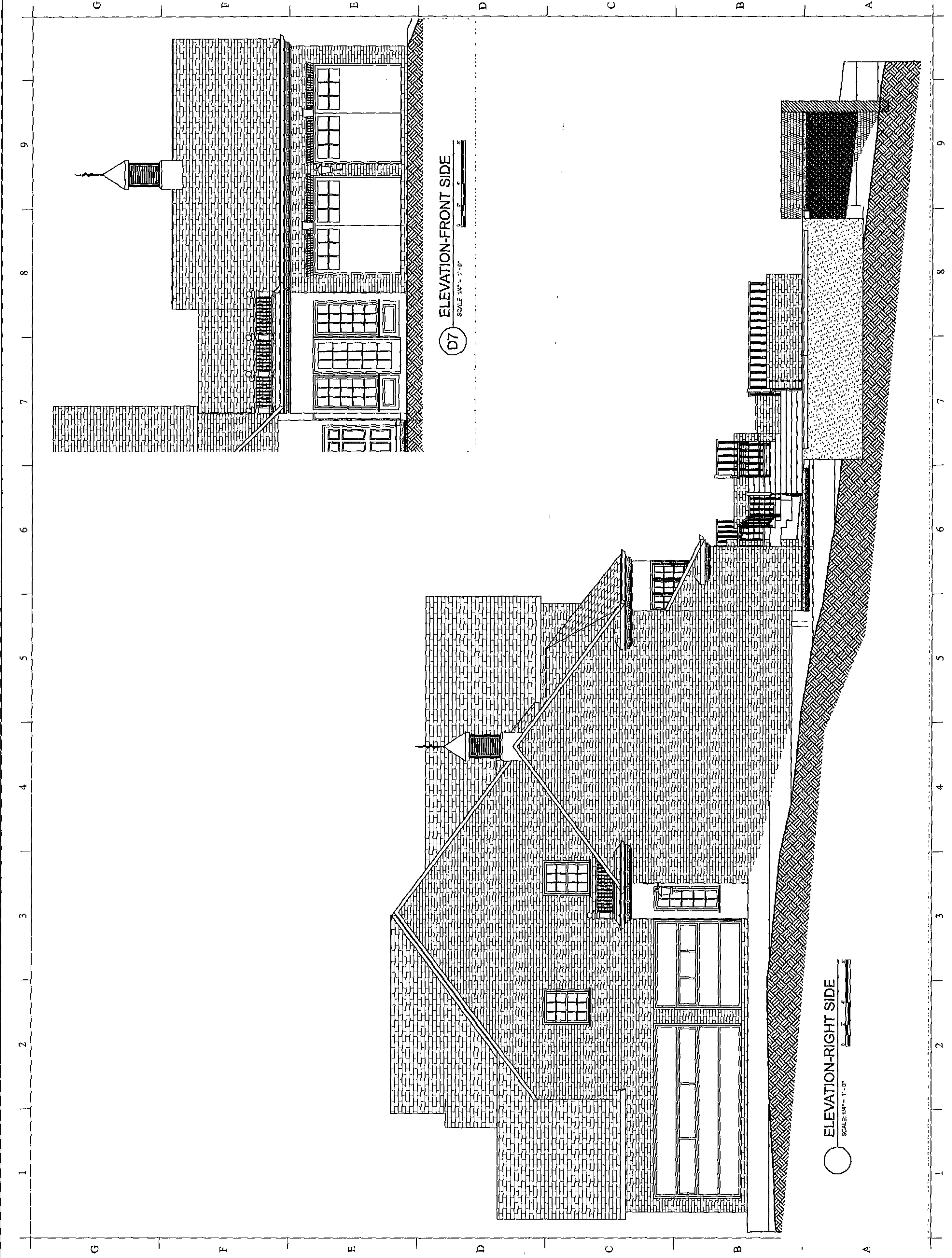
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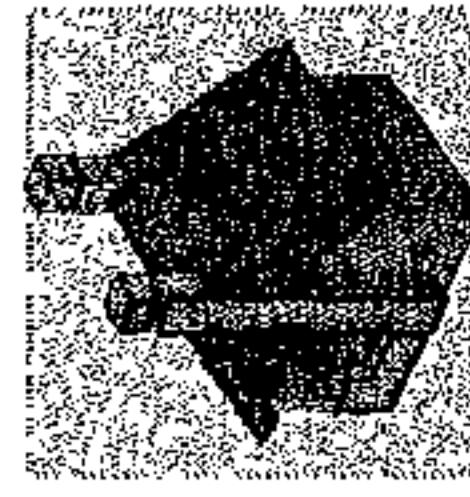
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1 SAW CUT
LOADS P

2 DEMOLISH

3 DEMOLISH
VOID WITH

4 PROVIDE
POST FOOT

5 REGRADE
FLATE AW

6 DEMOLISH

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9 DIPPING POND COURT
TIMONUM, MARYLAND. 21093

Martin W. Dennis
& Barbara A. Lesco

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MARK	DATE	DESCRIPTION

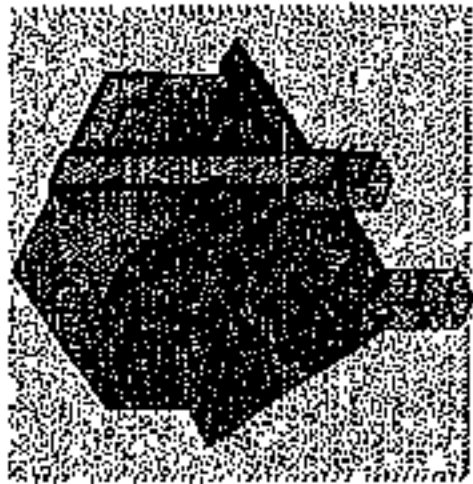
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ELEVATIONS-1

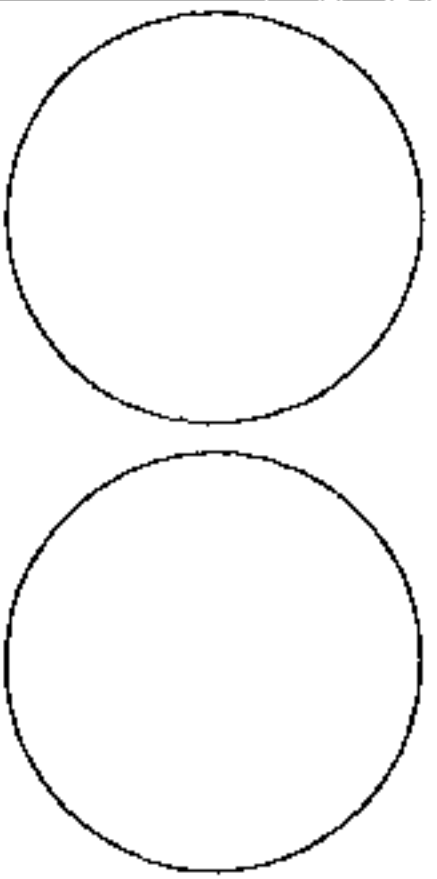
A-201

SHEET 7 OF 10



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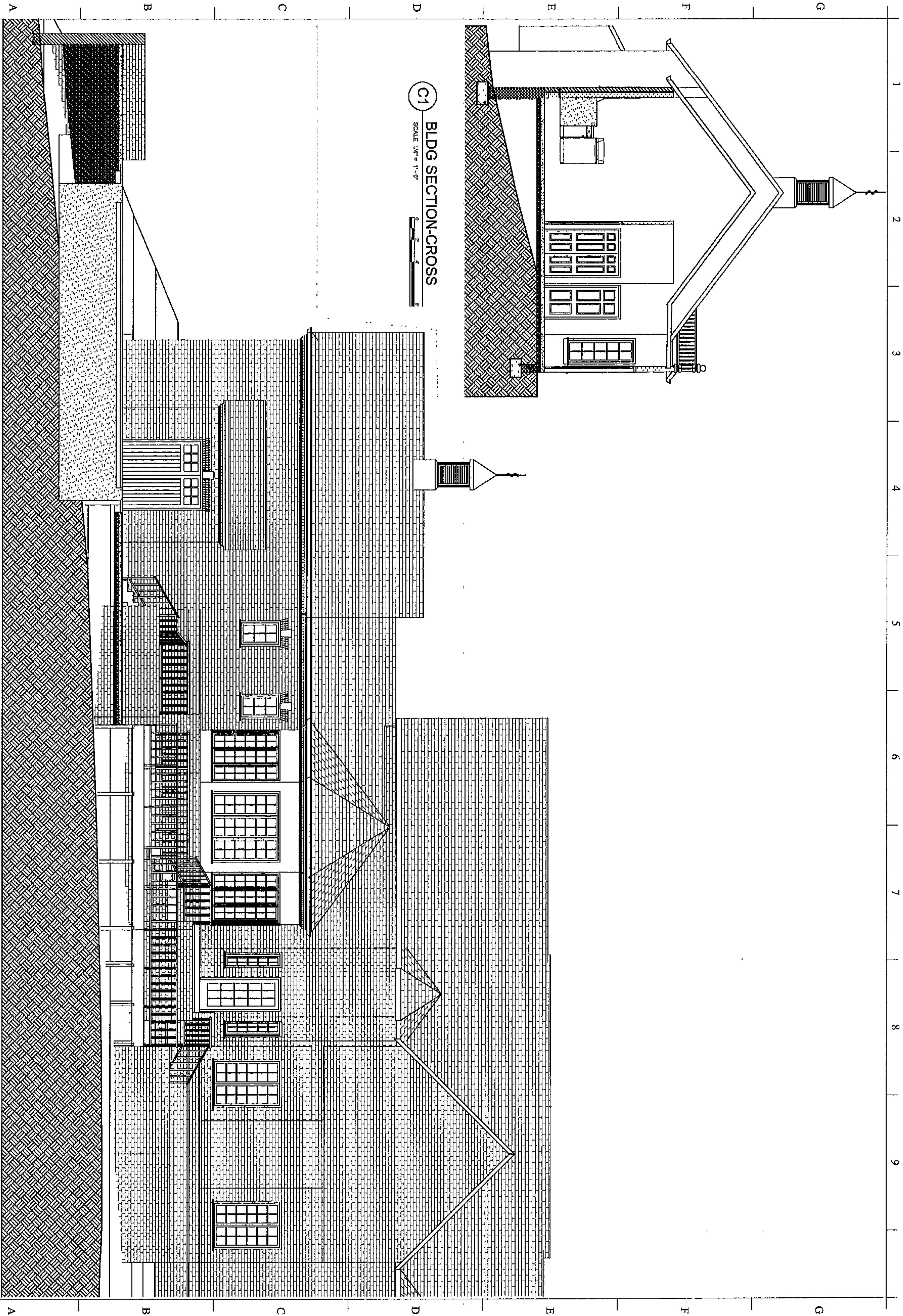
MARK	DATE	DESCRIPTION
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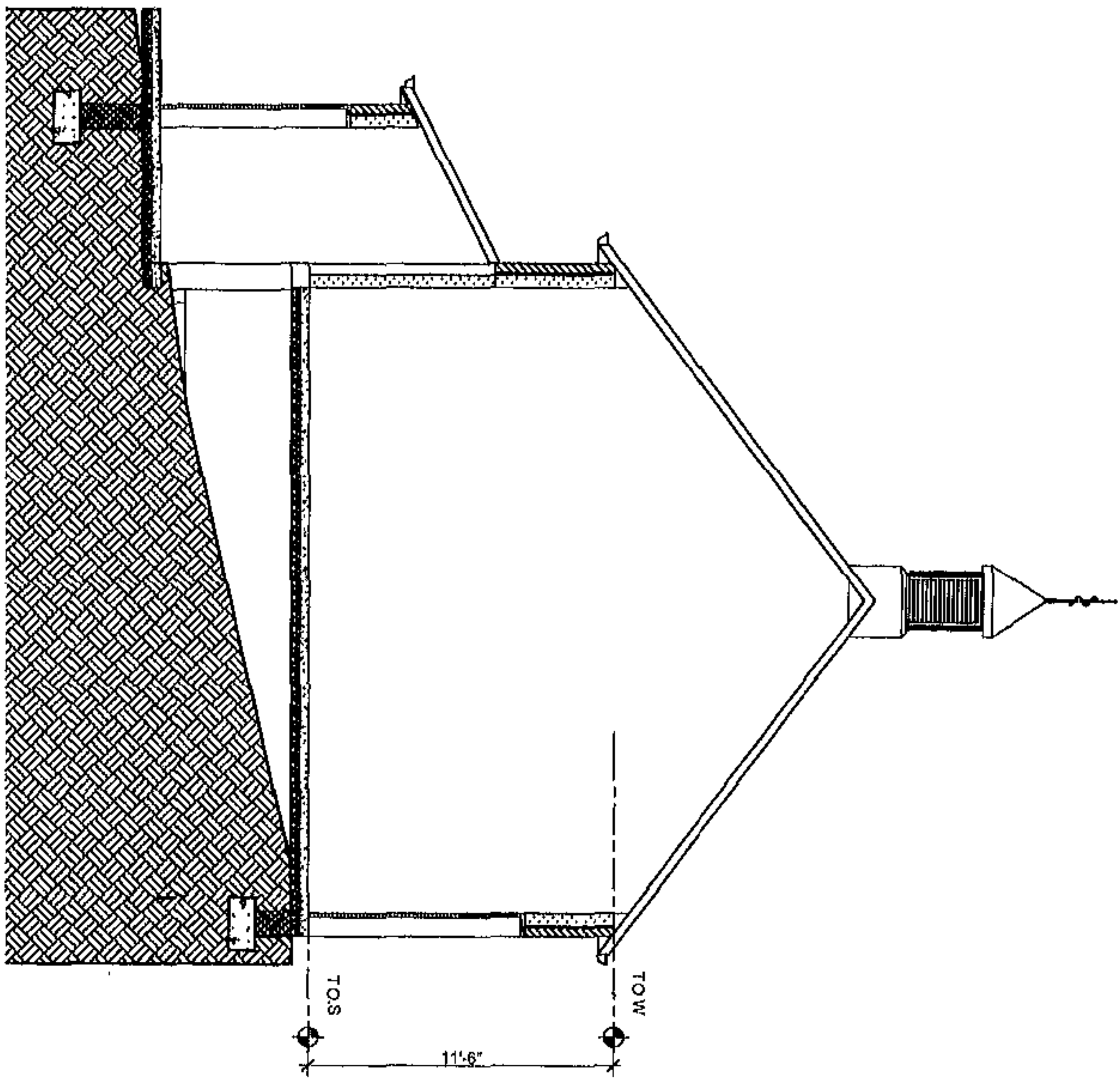
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A-202

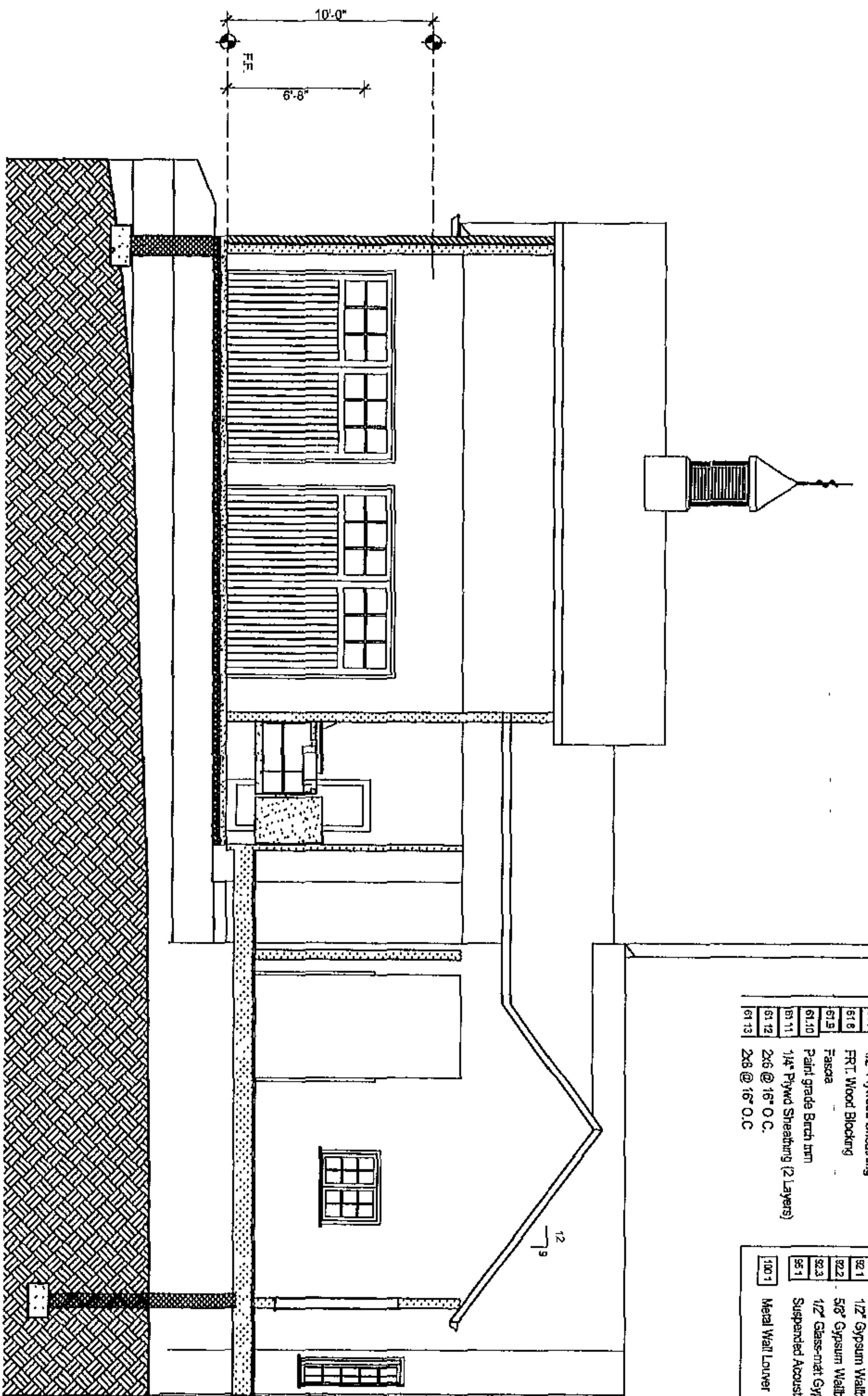


C1
BLDG SECTION-CROSS
SCALE 1/4" = 1'-0"

A1
ELEVATION-BACK SIDE
SCALE 1/4" = 1'-0"



C1 BLDG SECTION-CROSS
SCALE 1/4" = 1'-0"



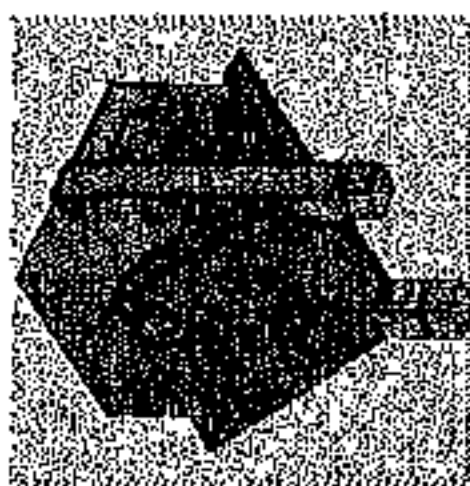
A4 BLDG SECTION-LONGITUDINAL
SCALE 1/4" = 1'-0"

SHEET KEYNOTES:

1. SAW CUT NEW OPENING. PROVIDE ADEQUATE SHORING TO SUPPORT EXISTING LOADS. PROVIDE NEW BEAM/HEADER AS INDICATED ON PLAN. FINISH/COVER OPENING.
2. DEMOLISH EXISTING WINDOW. FILL WITH CONSTRUCTION TO MATCH EXISTING.
3. DEMOLISH EXISTING FIREPLACE AND CHIMNEY TO 8' BELOW BASEMENT SLAB FILL VOID WITH BRICKEL AND POOR 4" CONCRETE SLAB OVER TOP.
4. PROVIDE TREATED B&G TREATED POST ON NEW 4" SQUARE X 8" DEEP CONCRETE POST FOOTING POURED TO TOP OF EXISTING F AND PATCH PATCHES REQUIRED.
5. PROVIDE NEW 3 1/2" STEEL PIPE COLUMN IN EXISTING WALLS. SET ON NEW BEARING PLATE ANCHORED TO EXISTING CONCRETE/CMU FOUNDATION.
6. DEMOLISH EXISTING FLOOR STRUCTURE. PROVIDE NEW STAIR SELECTED BY OWNER.
7. 18" DIAMETER X 36" DEEP CONCRETE POST FOOTING - 17' OF 4:10P MINIMUM BELOW GRADE.
8. PROVIDE 2X10 CONTINUOUS LEDGER BOARD. LAG BOLT THROUGH ROSSER BOARD W/ 3/8" X 4 1/2" LAGS @ 16" O.C. STAGGERED. PROVIDE JOIST HANGERS @ FLOOR.
9. PROVIDE 2X10 CONTINUOUS LEDGER BOARD. LAG BOLT INTO EXISTING STUDS @ 16" O.C. PROVIDE JOIST HANGERS @ ROOF JOISTS.
10. 12" CMU W/ #4 @ 16" O.C. VERTICAL REIN. A D.I.R.C. WALL @ 8' O.C. HORIZONTAL REIN. (P UN-REINFORCED ABOVE GRADE).
11. DEMOLISH WALL, PROVIDE NEW RAILING. SELECTION BY OWNER.

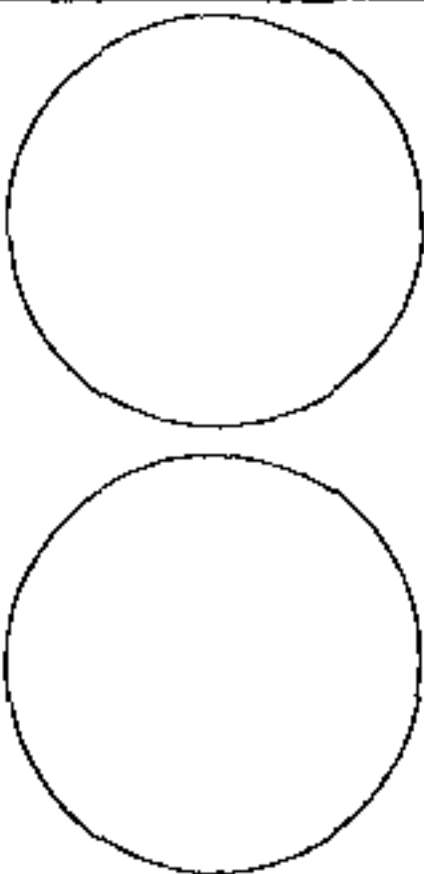
MATERIAL LIST:

201	Crushed Gravel	6110	Paint grade Brck tm
202	2" Sand Base	6111	1/4" Plywd Sheathing (2 Layers)
203	4" Drain Tile	6112	2x6 @ 16" O.C
204	Grade	6113	2x6 @ 16" O.C
205	Anchor Bolts	6114	2x10 @ 16" O.C
206	Concrete Footing	6115	Fyrcd Concrte
207	4" Concrete slab	7211	Waterproof Membrane
208	Concrete Wall	7212	R-19 Fiberglass Batt Insul
209	Welded Wire Fabric	7213	R-38 Fiberglass Batt Insul
210	Concrete Pier	7214	5 mil poly vapor barrier
211	Concrete Sillwalk	7215	Rigid Insulation (R-10)
212	Concrete Steps/Stoop	7216	Exterior Insulation Finish System
213	Concrete Ramp	7217	Fiberglass Shingles
214	Concrete Masonry Unit	7218	Ice & Water Shield
215	Non-Sink Grout	7219	15# Felt
216	4" brick Masonry	7220	Continuous Ridge Vent
217	Steel Column (See Struct.)	7221	EPDM Roofing System
218	Steel Beam (See Struct.)	7222	1" Protection Board
219	Reinforcing Bars (See Struct.)	7223	Aluminum Flashing
220	Two Light Anchors	7224	Aluminum Fascia
221	6" Metal Studs (See Struct.)	7225	R-21 Fiberglass Batt Insul
222	3 5/8" Metal Studs (See Struct.)	7226	Alum Gutter
223	Metal Stairs	7227	Alum. Downspout
224	Metal Railing	7228	Alum. Coping
225	Steel Angle Lintel	7229	Ventilated Alum. Scott Material
226	Ornamental Metalwork	7230	Butyl Rubber Sheet Flashing
227	Wood Joists (See Struct.)	7231	Sealant
228	2x4 @ 16" O.C	7232	Mastic Sealant
229	3x4 T&G Plywood Flooring	8111	1x6 Frame
230	5/8" Plywood roof Sheathing	8112	Insulated Exterior Metal Door
231	Wood Trusses by Mfr.	8113	Insulated Door
232	1/2" Plywood Sheathing	8114	Aluminum Windows
233	FRT. Wood Blocking	8115	1/2" Gypsum Wallboard
234	Fascia	8116	5/8" Gypsum Wallboard
235	Paint grade Brck tm	8117	1/2" Gypsum Wallboard
236	2x6 @ 16" O.C	8118	1/2" Gypsum Wallboard
237	2x6 @ 16" O.C	8119	1/2" Gypsum Wallboard
238	2x6 @ 16" O.C	8120	1/2" Gypsum Wallboard
239	2x6 @ 16" O.C	8121	1/2" Gypsum Wallboard
240	2x6 @ 16" O.C	8122	1/2" Gypsum Wallboard
241	2x6 @ 16" O.C	8123	1/2" Gypsum Wallboard
242	2x6 @ 16" O.C	8124	1/2" Gypsum Wallboard
243	2x6 @ 16" O.C	8125	1/2" Gypsum Wallboard
244	2x6 @ 16" O.C	8126	1/2" Gypsum Wallboard
245	2x6 @ 16" O.C	8127	1/2" Gypsum Wallboard
246	2x6 @ 16" O.C	8128	1/2" Gypsum Wallboard
247	2x6 @ 16" O.C	8129	1/2" Gypsum Wallboard
248	2x6 @ 16" O.C	8130	1/2" Gypsum Wallboard
249	2x6 @ 16" O.C	8131	1/2" Gypsum Wallboard
250	2x6 @ 16" O.C	8132	1/2" Gypsum Wallboard
251	2x6 @ 16" O.C	8133	1/2" Gypsum Wallboard
252	2x6 @ 16" O.C	8134	1/2" Gypsum Wallboard
253	2x6 @ 16" O.C	8135	1/2" Gypsum Wallboard
254	2x6 @ 16" O.C	8136	1/2" Gypsum Wallboard
255	2x6 @ 16" O.C	8137	1/2" Gypsum Wallboard
256	2x6 @ 16" O.C	8138	1/2" Gypsum Wallboard
257	2x6 @ 16" O.C	8139	1/2" Gypsum Wallboard
258	2x6 @ 16" O.C	8140	1/2" Gypsum Wallboard
259	2x6 @ 16" O.C	8141	1/2" Gypsum Wallboard
260	2x6 @ 16" O.C	8142	1/2" Gypsum Wallboard
261	2x6 @ 16" O.C	8143	1/2" Gypsum Wallboard
262	2x6 @ 16" O.C	8144	1/2" Gypsum Wallboard
263	2x6 @ 16" O.C	8145	1/2" Gypsum Wallboard
264	2x6 @ 16" O.C	8146	1/2" Gypsum Wallboard
265	2x6 @ 16" O.C	8147	1/2" Gypsum Wallboard
266	2x6 @ 16" O.C	8148	1/2" Gypsum Wallboard
267	2x6 @ 16" O.C	8149	1/2" Gypsum Wallboard
268	2x6 @ 16" O.C	8150	1/2" Gypsum Wallboard
269	2x6 @ 16" O.C	8151	1/2" Gypsum Wallboard
270	2x6 @ 16" O.C	8152	1/2" Gypsum Wallboard
271	2x6 @ 16" O.C	8153	1/2" Gypsum Wallboard
272	2x6 @ 16" O.C	8154	1/2" Gypsum Wallboard
273	2x6 @ 16" O.C	8155	1/2" Gypsum Wallboard
274	2x6 @ 16" O.C	8156	1/2" Gypsum Wallboard
275	2x6 @ 16" O.C	8157	1/2" Gypsum Wallboard
276	2x6 @ 16" O.C	8158	1/2" Gypsum Wallboard
277	2x6 @ 16" O.C	8159	1/2" Gypsum Wallboard
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279	2x6 @ 16" O.C	8161	1/2" Gypsum Wallboard
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281	2x6 @ 16" O.C	8163	1/2" Gypsum Wallboard
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283	2x6 @ 16" O.C	8165	1/2" Gypsum Wallboard
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286	2x6 @ 16" O.C	8168	1/2" Gypsum Wallboard
287	2x6 @ 16" O.C	8169	1/2" Gypsum Wallboard
288	2x6 @ 16" O.C	8170	1/2" Gypsum Wallboard
289	2x6 @ 16" O.C	8171	1/2" Gypsum Wallboard
290	2x6 @ 16" O.C	8172	1/2" Gypsum Wallboard
291	2x6 @ 16" O.C	8173	1/2" Gypsum Wallboard
292	2x6 @ 16" O.C	8174	1/2" Gypsum Wallboard
293	2x6 @ 16" O.C	8175	1/2" Gypsum Wallboard
294	2x6 @ 16" O.C	8176	1/2" Gypsum Wallboard
295	2x6 @ 16" O.C	8177	1/2" Gypsum Wallboard
296	2x6 @ 16" O.C	8178	1/2" Gypsum Wallboard
297	2x6 @ 16" O.C	8179	1/2" Gypsum Wallboard
298	2x6 @ 16" O.C	8180	1/2" Gypsum Wallboard
299	2x6 @ 16" O.C	8181	1/2" Gypsum Wallboard
300	2x6 @ 16" O.C	8182	1/2" Gypsum Wallboard



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9 DEPPING POND COURT
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A-301