

IN RE: PETITION FOR ADMIN. VARIANCE
S side of Bentley Road, 330 feet W of c/l
Of Cameron Mill Road
7th Election District
3rd Councilmanic District
(315 Bentley Road)

* BEFORE THE
* DEPUTY ZONING COMMISSIONER
* BALTIMORE COUNTY

Marc Christopher and Patricia Dawn
Sowinski-Soots
Petitioners

* CASE NO. 07-265-A

* * * * *

FINDINGS OF FACT AND CONCLUSIONS OF LAW

This matter comes before this Deputy Zoning Commissioner as a Petition for Administrative Variance filed by the legal owners of the subject property, Marc Christopher and Patricia Dawn Sowinski-Soots. The variance request is for property located at 315 Bentley Road. The variance request is from Section 1A04.3.B.2.b of the Baltimore County Zoning Regulations (B.C.Z.R.) to permit a property line setback of 37 feet in lieu of the required 50 feet and a setback from the centerline of the road of 57 feet in lieu of the required 75 feet for an addition. The subject property and requested relief are more particularly described on Petitioners' Exhibit No. 1. The Petitioners state that they are a family of five with three children, one of which has Cerebral Palsy and uses a wheelchair. They are in the process of adopting a child from Hong Kong who also has physical disabilities. Their intention is to add a handicap accessible addition to the existing 117 year old farm house. The addition will provide two new handicap accessible bedrooms, a handicap accessible bathroom with roll-in shower, and a handicap accessible dining room and kitchen. This will provide them with a complete ground floor of handicap accessible living space. The addition will extend from the front of the existing home which is approximately 31 feet from the road.

RECEIVED FOR FILE

1-9-07

PS

Zoning Advisory Committee Comments

The Zoning Advisory Committee (ZAC) comments are made part of the record of this case and contain the following highlights: None.

Applicable Law

Section 307 of the B.C.Z.R. - *Variances*.

"The Zoning Commissioner of Baltimore County and the County Board of Appeals, upon appeal, shall have and they are hereby given the power to grant variances from height and area regulations, from off-street parking regulations, and from sign regulations only in cases where special circumstances or conditions exist that are peculiar to the land or structure which is the subject of the variance request and where strict compliance with the Zoning Regulations for Baltimore County would result in practical difficulty or unreasonable hardship. No increase in residential density beyond that otherwise allowable by the Zoning Regulations shall be permitted as a result of any such grant of a variance from height or area regulations. Furthermore, any such variance shall be granted only if in strict harmony with the spirit and intent of said height, area, off-street parking or sign regulations, and only in such manner as to grant relief without injury to the public health, safety and general welfare. They shall have no power to grant any other variances. Before granting any variance, the Zoning Commissioner shall require public notice to be given and shall hold a public hearing upon any application for a variance in the same manner as in the case of a petition for reclassification. Any order by the Zoning Commissioner or the County Board of Appeals granting a variance shall contain a finding of fact setting forth and specifying the reason or reasons for making such variance."

The Petitioners having filed a Petition for Administrative Variance and the subject property having been posted on December 16, 2006 and there being no request for a public hearing, a decision shall be rendered based upon the documentation presented.

The Petitioners have filed the supporting affidavits and photographs as required by Section 32-3-303 of the Baltimore County Code. Based upon the information available, there is no evidence in the file to indicate that the requested variance would adversely affect the health, safety or general welfare of the public and should therefore be granted. In the opinion of the Deputy Zoning Commissioner, the information, photographs, and affidavits submitted provide sufficient facts that comply with the requirements of Section 307.1 of the B.C.Z.R. Furthermore,

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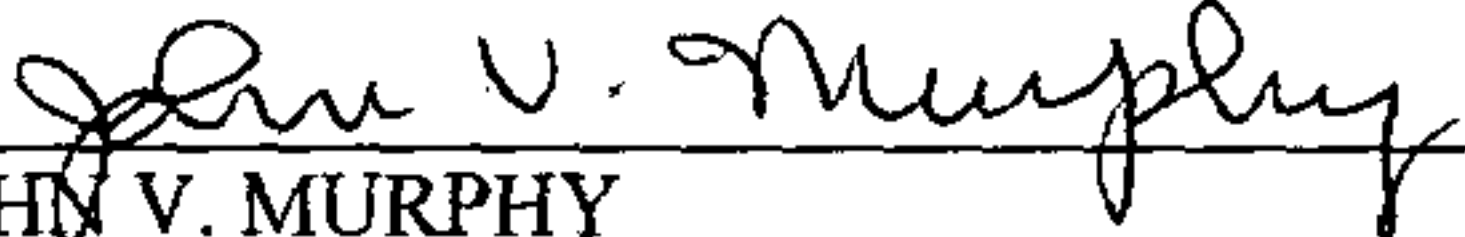
strict compliance with the B.C.Z.R. would result in practical difficulty and/or unreasonable hardship upon the Petitioner.

Pursuant to the posting of the property and the provisions of both the Baltimore County Code and the Baltimore County Zoning Regulations, and for the reasons given above, the requested variance should be granted.

THEREFORE, IT IS ORDERED, by the Deputy Zoning Commissioner for Baltimore County, this 9th day of January, 2007 that a variance from Section 1A04.3.B.2.b of the Baltimore County Zoning Regulations (B.C.Z.R.) to permit a property line setback of 37 feet in lieu of the required 50 feet and a setback from the centerline of the road of 57 feet in lieu of the required 75 feet for an addition be and is hereby GRANTED, subject to the following:

1. The Petitioners may apply for their building permit and be granted same upon receipt of this Order; however, Petitioners are hereby made aware that proceeding at this time is at their own risk until such time as the 30 day appellate process from this Order has expired. If, for whatever reason, this Order is reversed, the Petitioners would be required to return, and be responsible for returning, said property to its original condition.

Any appeal of this decision must be made within thirty (30) days of the date of this Order.


JOHN V. MURPHY
DEPUTY ZONING COMMISSIONER
FOR BALTIMORE COUNTY

JVM:pz

RECEIVED FOR FILING
1-9-07
PB



Petition for Administrative Variance

to the Zoning Commissioner of Baltimore County

for the property located at 315 Bentley Road
which is presently zoned RC5

This Petition shall be filed with the Department of Permits and Development Management. The undersigned, legal owner(s) of the property situate in Baltimore County and which is described in the description and plat attached hereto and made a part hereof, hereby petition for a Variance from Section(s) 1A04.3.B.2.b ; BCZR , To

PERMIT A PROPERTY LINE SETBACK OF 37 FT. IN LIEU OF
THE REQUIRED 50 FT. AND A SETBACK FROM THE CENTERLINE
OF THE ROAD OF 57 FT. IN LIEU OF THE REQUIRED
75 FT. FOR AN ADDITION.

of the zoning regulations of Baltimore County, to the zoning law of Baltimore County, for the reasons indicated on the back of this petition form.

Property is to be posted and advertised as prescribed by the zoning regulations.

I, or we, agree to pay expenses of above Variance, advertising, posting, etc. and further agree to and are to be bounded by the zoning regulations and restrictions of Baltimore County adopted pursuant to the zoning law for Baltimore County.

I/We do solemnly declare and affirm, under the penalties of perjury, that I/we are the legal owner(s) of the property which is the subject of this Petition.

Contract Purchaser/Lessee:

Name - Type or Print

Signature

Address Telephone No.

City State Zip Code

Attorney For Petitioner:

Name - Type or Print

Signature

Company

Address Telephone No.

City State Zip Code

Legal Owner(s):

Marc Christopher Soots

Name - Type or Print

Marc Christopher Soots

Signature

Patricia Dawn Sawinski-Soots

Name - Type or Print

Patricia Dawn Sawinski-Soots

Signature

315 Bentley Road 410-357-0427

Address

Telephone No.

Parkton Maryland 21120

City

State

Zip Code

Representative to be Contacted:

Marc Soots (W) 443-324-9945

Name

315 Bentley Road (H) 410-357-0427

Address

Telephone No.

Parkton Maryland 21120

City

State

Zip Code

A Public Hearing having been formally demanded and/or found to be required, it is ordered by the Zoning Commissioner of Baltimore County, this 07-265-A day of 1-9-01 that the subject matter of this petition be set for a public hearing, advertised, as required by the zoning regulations of Baltimore County and that the property be reposted.

CASE NO. 07-265-A

REV 10/25/01

Reviewed By JCW

Estimated Posting Date 1-9-01

Date 1-27-06

1-27-06

Zoning Commissioner of Baltimore County

Affidavit in Support of Administrative Variance

The undersigned hereby affirms under the penalties of perjury to the Zoning Commissioner of Baltimore County, as follows: That the information herein given is within the personal knowledge of the Affiant(s) and that Affiant(s) is/are competent to testify thereto in the event that a public hearing is scheduled in the future with regard thereto.

That the Affiant(s) does/do presently reside at

315 Bentley Road
Address
Parkton Maryland 21120
City State Zip Code

That based upon personal knowledge, the following are the facts upon which I/we base the request for an Administrative Variance at the above address (indicate hardship or practical difficulty):

As owners of our home at 315 Bentley Road, we are formally requesting a zoning variance based on practical difficulty. Strict compliance with BCZR would render conformance unnecessarily burdensome. We are presently a family of five, with three children ages fifteen, nine and eight. Our nine year old daughter, Kelly Rae, has Cerebral Palsy and uses a wheelchair. We are in the process of adopting a three year old special needs little girl from Hong Kong who also has physical disabilities. Our intention is to add a handicap accessible addition to our existing one hundred and seventeen year old farm house. This addition will provide two new handicap accessible bedrooms, a handicap accessible bathroom with roll-in shower, and a handicap accessible dining room and kitchen. This will provide us with a complete ground floor of handicap accessible living space. The addition will extend from the front of our existing home which is approximately 31 feet from the road. We request that relief be granted for the required addition setback so that we can provide the necessary living space for our special needs children and family. We ensure Baltimore County that this relief will continue to secure public health, safety, and general welfare.

That the Affiant(s) acknowledge(s) that if a formal demand is filed, Affiant(s) will be required to pay a reposting and advertising fee and may be required to provide additional information.

Marc Christopher Soots
Signature

Marc Christopher Soots
Name - Type or Print

Patricia Dawn Sowinski Soots
Signature

Patricia Dawn Sowinski-Soots
Name - Type or Print

STATE OF MARYLAND, COUNTY OF BALTIMORE, to wit:

I HEREBY CERTIFY, this 13th day of November, 2006, before me, a Notary Public of the State of Maryland, in and for the County aforesaid, personally appeared

Marc Christopher Soots and Patricia Dawn Sowinski-Soots
the Affiant(s) herein, personally known or satisfactorily identified to me as such Affiant(s).

AS WITNESS my hand and Notarial Seal



Susan E. Ellis
Notary Public

My Commission Expires March 1, 2009

Affidavit in Support of Administrative Variance

The undersigned hereby affirms under the penalties of perjury to the Zoning Commissioner of Baltimore County, as follows: That the information herein given is within the personal knowledge of the Affiant(s) and that Affiant(s) is/are competent to testify thereto in the event that a public hearing is scheduled in the future with regard thereto.

That the Affiant(s) does/do presently reside at

315 Bentley Road
Address
Parkton Maryland 21120
City State Zip Code

That based upon personal knowledge, the following are the facts upon which I/we base the request for an Administrative Variance at the above address (indicate hardship or practical difficulty):

As owners of our home at 315 Bentley Road, we are formally requesting a zoning variance based on practical difficulty. Strict compliance with BCZR would render conformance unnecessarily burdensome. We are presently a family of five, with three children ages fifteen, nine and eight. Our nine year old daughter, Kelly Rae, has Cerebral Palsy and uses a wheelchair. We are in the process of adopting a three year old special needs little girl from Hong Kong who also has physical disabilities. Our intention is to add a handicap accessible addition to our existing one hundred and seventeen year old farm house. This addition will provide two new handicap accessible bedrooms, a handicap accessible bathroom with roll-in shower, and a handicap accessible dining room and kitchen. This will provide us with a complete ground floor of handicap accessible living space. The addition will extend from the front of our existing home which is approximately 31 feet from the road. We request that relief be granted for the required addition setback so that we can provide the necessary living space for our special needs children and family. We ensure Baltimore County that this relief will continue to secure public health, safety, and general welfare.

That the Affiant(s) acknowledge(s) that if a formal demand is filed, Affiant(s) will be required to pay a reposting and advertising fee and may be required to provide additional information.

Marc Christopher Soots
Signature

Marc Christopher Soots
Name - Type or Print

Patricia Dawn Sowinski-Soots
Signature

Patricia Dawn Sowinski-Soots
Name - Type or Print

STATE OF MARYLAND, COUNTY OF BALTIMORE, to wit:

I HEREBY CERTIFY, this 13th day of November, 2006, before me, a Notary Public of the State of Maryland, in and for the County aforesaid, personally appeared

Marc Christopher Soots and Patricia Dawn Sowinski-Soots
the Affiant(s) herein, personally known or satisfactorily identified to me as such Affiant(s).

AS WITNESS my hand and Notarial Seal



Susan E. Ellinger
Notary Public

My Commission Expires March 1, 2009



Petition for Administrative Variance

to the Zoning Commissioner of Baltimore County

for the property located at 315 Bentley Road
which is presently zoned RC5

This Petition shall be filed with the Department of Permits and Development Management. The undersigned, legal owner(s) of the property situate in Baltimore County and which is described in the description and plat attached hereto and made a part hereof, hereby petition for a Variance from Section(s) 1A04.3, B.2.6 ; BC2R, To

PERMIT A PROPERTY LINE SETBACK OF 37 FT. IN LIEU OF
THE REQUIRED 50 FT. AND A SETBACK FROM THE CENTERLINE
OF THE ROAD OF 57 FT. IN LIEU OF THE REQUIRED
75 FT. FOR AN ADDITION.

of the zoning regulations of Baltimore County, to the zoning law of Baltimore County, for the reasons indicated on the back of this petition form.

Property is to be posted and advertised as prescribed by the zoning regulations.

I, or we, agree to pay expenses of above Variance, advertising, posting, etc. and further agree to and are to be bounded by the zoning regulations and restrictions of Baltimore County adopted pursuant to the zoning law for Baltimore County.

I/We do solemnly declare and affirm, under the penalties of perjury, that I/we are the legal owner(s) of the property which is the subject of this Petition.

Contract Purchaser/Lessee:

Name - Type or Print

Signature

Address

Telephone No.

City

State

Zip Code

Attorney For Petitioner:

Name - Type or Print

Signature

Company

Address

Telephone No.

City

State

Zip Code

Legal Owner(s):

Marc Christopher Soots

Name - Type or Print

Signature

Patricia Dawn Sowinski-Soots

Name - Type or Print

Patricia Dawn Sowinski-Soots

Signature

315 Bentley Road

410-357-0427

Address

Telephone No.

Parkton

Maryland

21120

City

State

Zip Code

Representative to be Contacted:

Marc Soots

(W) 443-324-9945

Name

315 Bentley Road

(W) 410-357-0427

Address

Telephone No.

Parkton

Maryland

21120

City

State

Zip Code

A Public Hearing having been formally demanded and/or found to be required, it is ordered by the Zoning Commissioner of Baltimore County, this 12 day of February, that the subject matter of this petition be set for a public hearing, advertised, as required by the zoning regulations of Baltimore County and that the property be reposted.

Zoning Commissioner of Baltimore County

CASE NO. 07-265-A

Reviewed By [Signature]

Date 2/27/06

REV 10/25/01

Estimated Posting Date 2/27/06

Zoning Description of Property
Of Marc and Patricia Soots
315 Bentley Road Parkton, MD. 21120

Beginning at point on the South side of Bentley Road which is 15 feet wide at distance of 330 feet West of centerline of the nearest improved intersecting street Cameron Mill Road which is 18 feet wide. As recorded in Deed Liber 8269 Page 351 metes and bounds;

S. 36 34' 28" W. 169.92 ft., N. 71 59' 02" W. 42.36 ft., S. 41 38' 58" W. 31.41 ft.,
S. 03 25' 02" E. 130.23 ft., N. 71 59' 02" W. 286.21 ft., N 13 00' 50" W. 179.0 ft.,
N. 81 11' 24" E. 46.33 ft., N 81 11' 24" E. 307.98 ft., S. 70 48' 42" E. 123.99 ft. to
beginning containing 1.84 acres. Also known as 315 Bentley Road and located in
7th Election District, 3rd Councilmanic District.

BALTIMORE COUNTY, MARYLAND
OFFICE OF BUDGET & FINANCE
MISCELLANEOUS RECEIPT

No. 22981

255

DATE 12-7-81 ACCOUNT 601-616-150

AMOUNT \$ 65.00

RECEIVED FROM: MA SGT

FOR: AD. VAR. 315

RECEIVED FROM: MA SGT

FOR: AD. VAR. 315

DISTRIBUTION

WHITE - CASHIER

PINK - AGENCY

YELLOW - CUSTOMER

PAID RECEIPT

BUSINESS ACTUAL THE 12/07/81

REG CODE MAIL 12/07/81

>> RECEIPT # 725131 12/07/81

Dept 5 1225 BUDGET VERIFICATION

CR NO. 022981

Receipt for 605.00

605.00 OK 9.00 CR

Baltimore County, Maryland

CASHIER'S VALIDATION

CERTIFICATE OF POSTING

Date: 12-16-06

RE: Case Number: 07-265-A

Petitioner/Developer: Marc Soots

Date of Hearing/Closing: 1-1-07

This is to certify under the penalties of perjury that the necessary sign(s) required by law were posted conspicuously on the property located at 315 Bentley Road

The sign(s) were posted on 12-16-06

ZONING NOTICE

ADMINISTRATIVE VARIANCE

CASE # 07-265-A

A VARIANCE TO PERMIT A FRONT PROPERTY LINE SETBACK OF 37 FT. IN LIEU OF THE REQUIRED 50 FT. AND A SETBACK OF 57 FT. FROM THE CENTERLINE OF THE ROAD IN LIEU OF THE REQUIRED 75 FT FOR AN ADDITION

PUBLIC HEARING ?

PURSUANT TO SECTION 26-127(b)(1), BALTIMORE COUNTY CODE
ANY ELIGIBLE INDIVIDUAL OR GROUP MAY
APPEAR AT THE HEARING CONCERNING IT

DEC 19 2006

ADMINISTRATIVE VARIANCE INFORMATION SHEET AND DATES

Case Number 07- 265 -A

Address 315 BENTLEY Rd.

Contact Person: J. MERREY
Planner Please Print Your Name

Phone Number: 410-887-3391

Filing Date: 12-7-06

Posting Date: 12-17-06

Closing Date: 1-1-07

Any contact made with this office regarding the status of the administrative variance should be through the contact person (planner) using the case number.

- POSTING/COST:** The petitioner must use one of the sign posters on the approved list (on the reverse side of this form) and the petitioner is responsible for all printing/posting costs. Any reposting must be done only by one of the sign posters on the approved list and the petitioner is again responsible for all associated costs. The zoning notice sign must be visible on the property on or before the posting date noted above. It should remain there through the closing date.
- DEADLINE:** The closing date is the deadline for an occupant or owner within 1,000 feet to file a formal request for a public hearing. Please understand that even if there is no formal request for a public hearing, the process is not complete on the closing date.
- ORDER:** After the closing date, the file will be reviewed by the zoning or deputy zoning commissioner. He may: (a) grant the requested relief; (b) deny the requested relief; or (c) order that the matter be set in for a public hearing. You will receive written notification (typically within 7 to 10 days of the closing date) as to whether the petition has been granted, denied, or will go to public hearing. The order will be mailed to you by First Class mail.
- POSSIBLE PUBLIC HEARING AND REPOSTING:** In cases that must go to a public hearing (whether due to a neighbor's formal request or by order of the zoning or deputy zoning commissioner), notification will be forwarded to you. The sign on the property must be changed giving notice of the hearing date, time and location. As when the sign was originally posted, certification of this change and a photograph of the altered sign must be forwarded to this office.

(Detach Along Dotted Line)

Petitioner: This Part of the Form is for the Sign Poster Only

USE THE ADMINISTRATIVE VARIANCE SIGN FORMAT

Case Number 07- 265 -A

Address 315 BENTLEY Rd.

Petitioner's Name MARC SCOTS

Telephone 443-324-9945

Posting Date: 12-17-06

Closing Date: 1-1-07

Wording for Sign: A VARIANCE
To Permit A (9) FRONT PROPERTY LINE SETBACK of 37ft
IN LIEU of THE REQUIRED 50ft. AND A SETBACK of 57ft
FROM THE CENTERLINE of THE ROAD IN LIEU of THE
REQUIRED 75ft. for AN ADDITION.

WCR - Revised 6/25/04

**DEPARTMENT OF PERMITS AND DEVELOPMENT MANAGEMENT
ZONING REVIEW**

ADVERTISING REQUIREMENTS AND PROCEDURES FOR ZONING HEARINGS

The Baltimore County Zoning Regulations (BCZR) require that notice be given to the general public/neighbors/property owners relative to property which is the subject of an upcoming zoning hearing. For those petitions which require a public hearing, this notice is accomplished by posting a sign on the property (responsibility of the petitioner) and placement of a notice in a newspaper of general circulation in the County, both at least fifteen (15) days before the hearing.

Zoning Review will ensure that the legal requirements for advertising are satisfied. However, the petitioner is responsible for the costs associated with these requirements. The newspaper will bill the person listed below for the advertising. This advertising is due upon receipt and should be remitted directly to the newspaper.

OPINIONS MAY NOT BE ISSUED UNTIL ALL ADVERTISING COSTS ARE PAID.

For Newspaper Advertising:

Item Number or Case Number: 265
Petitioner: MARC & PATRICIA SCOTS
Address or Location: 315 BENTLEY ROAD

PLEASE FORWARD ADVERTISING BILL TO:

Name: MARC SCOTS
Address: 315 BENTLEY ROAD
PARKTON MD. 21120
Telephone Number: 410 - 357-0427



BALTIMORE COUNTY
M A R Y L A N D

JAMES T. SMITH, JR.
County Executive

TIMOTHY M. KOTROCO, *Director*
Department of Permits and
Development Management

January 2, 2007

Marc Christopher Soots
Patricia Dawn Sowinski-Soots
315 Bentley Road
Parkton, MD 21120

Dear Mr. and Mrs. Soots:

RE: Case Number: 07-265-A, 315 Bentley Road

The above referenced petition was accepted for processing by the Bureau of Zoning Review, Department of Permits and Development Management (PDM) on December 7, 2006.

The Zoning Advisory Committee (ZAC), which consists of representatives from several approval agencies, has reviewed the plans that were submitted with your petition. All comments submitted thus far from the members of the ZAC are attached. These comments are not intended to indicate the appropriateness of the zoning action requested, but to ensure that all parties (zoning commissioner, attorney, petitioner, etc.) are made aware of plans or problems with regard to the proposed improvements that may have a bearing on this case. All comments will be placed in the permanent case file.

If you need further information or have any questions, please do not hesitate to contact the commenting agency.

Very truly yours,

A handwritten signature in cursive script that reads "W. Carl Richards, Jr.".

W. Carl Richards, Jr.
Supervisor, Zoning Review

WCR:amf

Enclosures

c: People's Counsel



BALTIMORE COUNTY
MARYLAND

JAMES T. SMITH, JR.
County Executive

WILLIAM J. WISEMAN III
Zoning Commissioner

January 8, 2007

MARC CHRISTOPHER AND PATRICIA DAWN
SOWINSKI-SOOTS
315 BENTLEY ROAD
PARKTON MD 21120

Re: Petition for Administrative Variance
Case No. 07-265-A
Property: 315 Bentley Road

Dear Mr. and Mrs. Soots:

Enclosed please find the decision rendered in the above-captioned case. The petition for administrative variance has been granted in accordance with the enclosed Order.

In the event the decision rendered is unfavorable to any party, please be advised that any party may file an appeal within thirty (30) days from the date of the Order to the Department of Permits and Development Management. If you require additional information concerning filing an appeal, please feel free to contact our appeals clerk at 410-887-3391.

Very truly yours,

A handwritten signature in cursive script that reads "John V. Murphy".

John V. Murphy
Deputy Zoning Commissioner

JVM:pz

Enclosure

RECEIVED FOR FILED
1-9-07
P3

BALTIMORE COUNTY, MARYLAND

INTER-OFFICE CORRESPONDENCE

TO: Timothy M. Kotroco, Director
Department of Permits and
Development Management

DATE: December 26, 2006

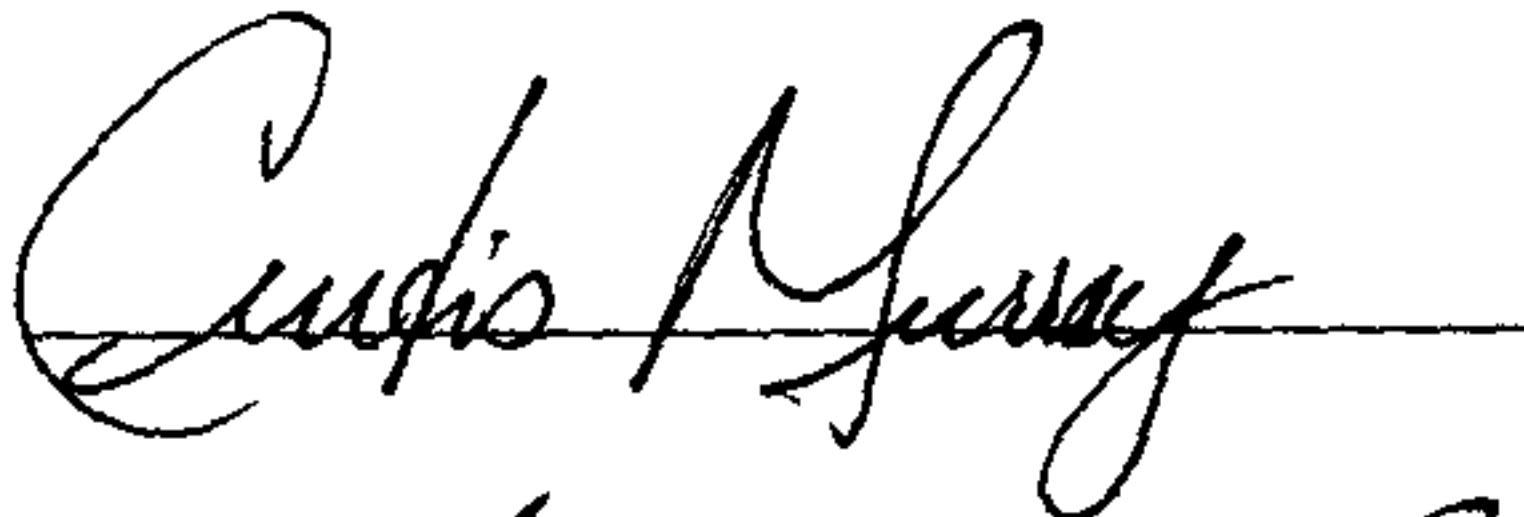
FROM: Arnold F. 'Pat' Keller, III
Director, Office of Planning

SUBJECT: Zoning Advisory Petition(s): **Case(s) 7-265- Administrative Variance**

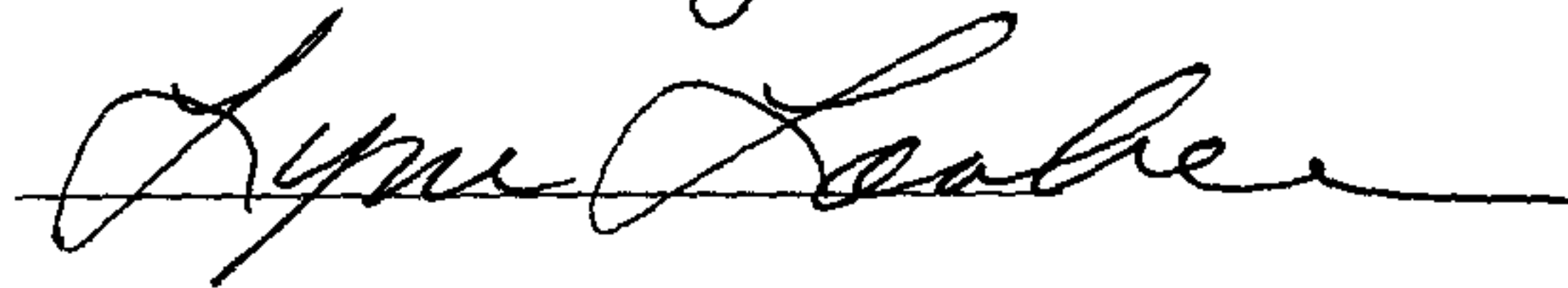
The Office of Planning has reviewed the above referenced case(s) and has no comments to offer.

For further questions or additional information concerning the matters stated herein, please contact Bill Hughey in the Office of Planning at 410-887-3480.

Prepared By:



Division Chief:



CM/LL

BALTIMORE COUNTY, MARYLAND

INTEROFFICE CORRESPONDENCE

TO: Timothy M. Kotroco, Director
Department of Permits & Development
Management

DATE: December 15, 2006

FROM: Dennis A. Kennedy, Supervisor
Bureau of Development Plans Review

SUBJECT: Zoning Advisory Committee Meeting
For December 18, 2006
Item Nos. 07-252, 253, 257, 258, 260,
261, 262, 263, 264, and 265

The Bureau of Development Plans Review has reviewed the subject zoning items and we have no comments.

DAK: ~~CEN~~:clw

cc: File

ZAC-NO COMMENTS-12132006.doc



Robert L. Ehrlich, Jr., Governor
Michael S. Steele, Lt. Governor

Driven to Excel
State Highway
Administration

Robert L. Flanagan, Secretary
Neil J. Pedersen, Administrator

Maryland Department of Transportation

Date: 12-13-2006

Ms. Kristen Matthews
Baltimore County Office Of
Permits and Development Management
County Office Building, Room 109
Towson, Maryland 21204

RE: Baltimore County
Item No. 7-265-A
315 BENTLEY ROAD
SOWINSKI-SOOTS PROPERTY
VARIANCE PERMIT PROPERTY
LINE SETBACK

Dear Ms. Matthews:

Thank you for the opportunity to review your referral request on the subject of the above captioned. We have determined that the subject property does not access a State roadway and is not affected by any State Highway Administration projects. Therefore, based upon available information this office has no objection to Baltimore County Zoning Advisory Committee approval of Item No.

Should you have any questions regarding this matter, please contact Michael Bailey at 410-545-2803 or 1-800-876-4742 extension 5593. Also, you may E-mail him at (mbailey@sha.state.md.us).

Very truly yours,

FOR ² Steven D. Foster, Chief
Engineering Access Permits
Division

SDF/MB

My telephone number/toll-free number is _____

Maryland Relay Service for Impaired Hearing or Speech: 1.800.735.2258 Statewide Toll Free

Street Address: 707 North Calvert Street • Baltimore, Maryland 21202 • Phone: 410.545.0300 • www.marylandroads.com

Fire Department

700 East Joppa Road
Towson, Maryland 21286-5500
Tel: 410-887-4500



Baltimore County

James T. Smith, Jr., County Executive
John J. Hohman, Chief

County Office Building, Room 111
Mail Stop #1105
111 West Chesapeake Avenue
Towson, Maryland 21204

December 12, 2006

ATTENTION: Zoning Review Planners

Distribution Meeting of: December 11, 2006

Item No.: 252, 253, 254, 255, 256, 257, 258, 259, 261, 262, 263, 264 and
265.

Pursuant to your request, the referenced plan(s) have been reviewed by this Bureau and the comments below are applicable and required to be corrected or incorporated into the final plans for the property.

The Fire Marshal's Office has no comments at this time.

Acting Lieutenant Don W. Muddiman
Fire Marshal's Office
410-887-4880
MS-1102F

cc: File

Visit the County's Website at www.baltimorecountyonline.info

MODE = MEMORY TRANSMISSION

START=JAN-09 10:04

END=JAN-09 10:08

FILE NO.=696

STN NO.	COMM.	ONE-TOUCH/ ABBR NO.	STATION NAME/TEL NO.	PAGES	DURATION
001	OK	2	94103570427	005/005	00:03:03

-ZONING COMMISSIONER OFF M-

- ***** -

410 887 3468- *****

Zoning Commissioner

Suite 405, County Courts Building
401 Bosley Avenue
Towson, Maryland 21204
Tel: 410-887-3868 • Fax: 410-887-3468



Baltimore County

James T. Smith, Jr., County Executive
William J. Wiseman III, Zoning Commissioner

FAX COVER SHEET

DATE: 1-9-07

NO. OF PAGES INCLUDING COVER SHEET: 5

TO:

Marc and
Patricia Doots

FROM:

Patti Zook

PHONE:

PHONE:

FAX NO.:

410-357-0427

FAX NO.:

C:

REMARKS: ☐ URGENT ☒ FOR YOUR REVIEW ☐ REPLY ASAP ☐ PLEASE COMMENT

Zoning Commissioner

Suite 405, County Courts Building
401 Bosley Avenue
Towson, Maryland 21204
Tel: 410-887-3868 • Fax: 410-887-3468



Baltimore County

James T. Smith, Jr., County Executive
William J. Wiseman III, Zoning Commissioner

FAX COVER SHEET

DATE: 1-9-07

NO. OF PAGES INCLUDING COVER SHEET: 5

TO:

Marc and
Patricia Doots

FROM:

Patti Zook

PHONE:

PHONE:

FAX NO.:

410-357-0427

FAX NO.:

C:

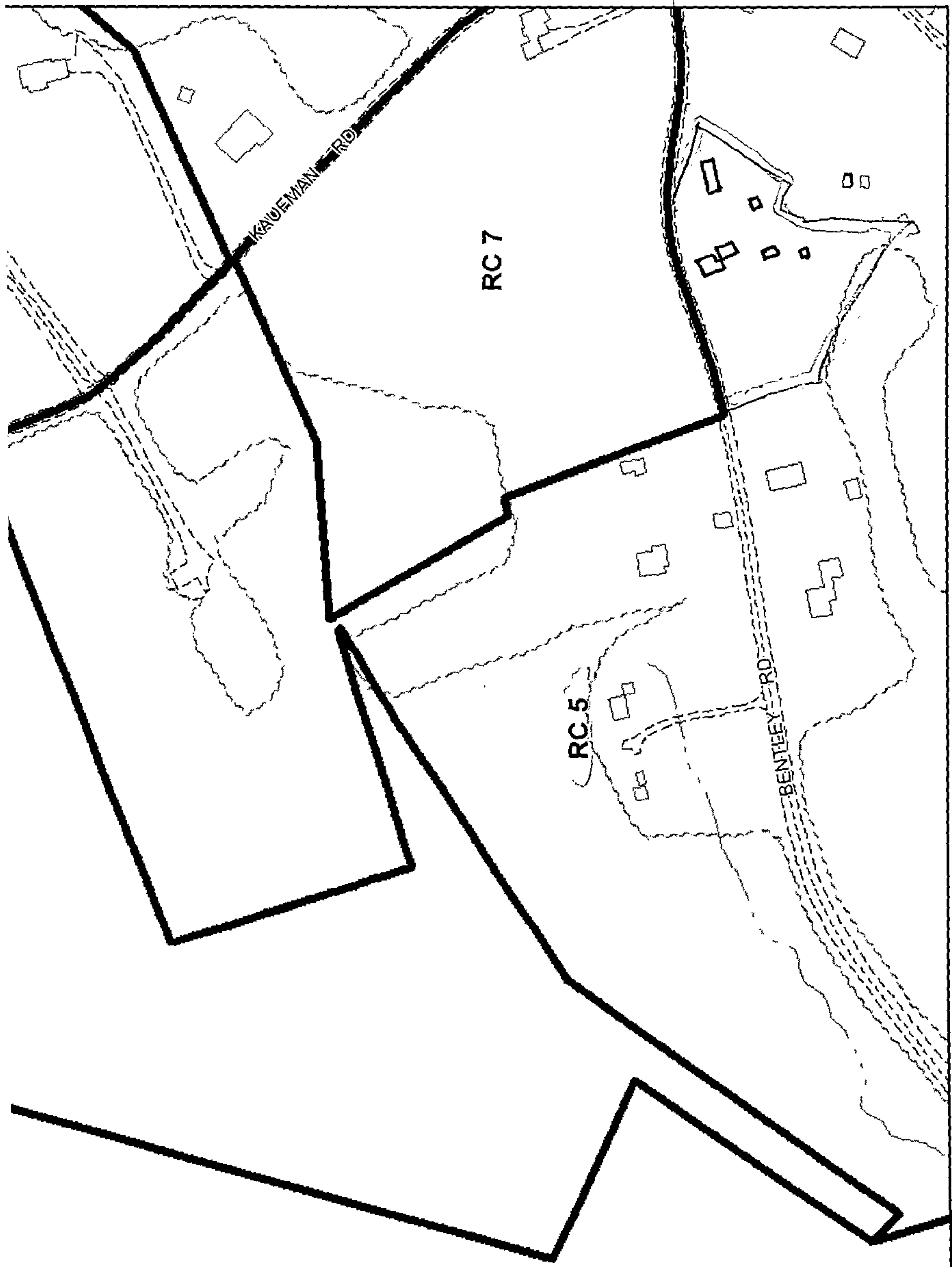
REMARKS: ☐ URGENT ☒ FOR YOUR REVIEW ☐ REPLY ASAP ☐ PLEASE COMMENT



315 Bentley Road Aerial View

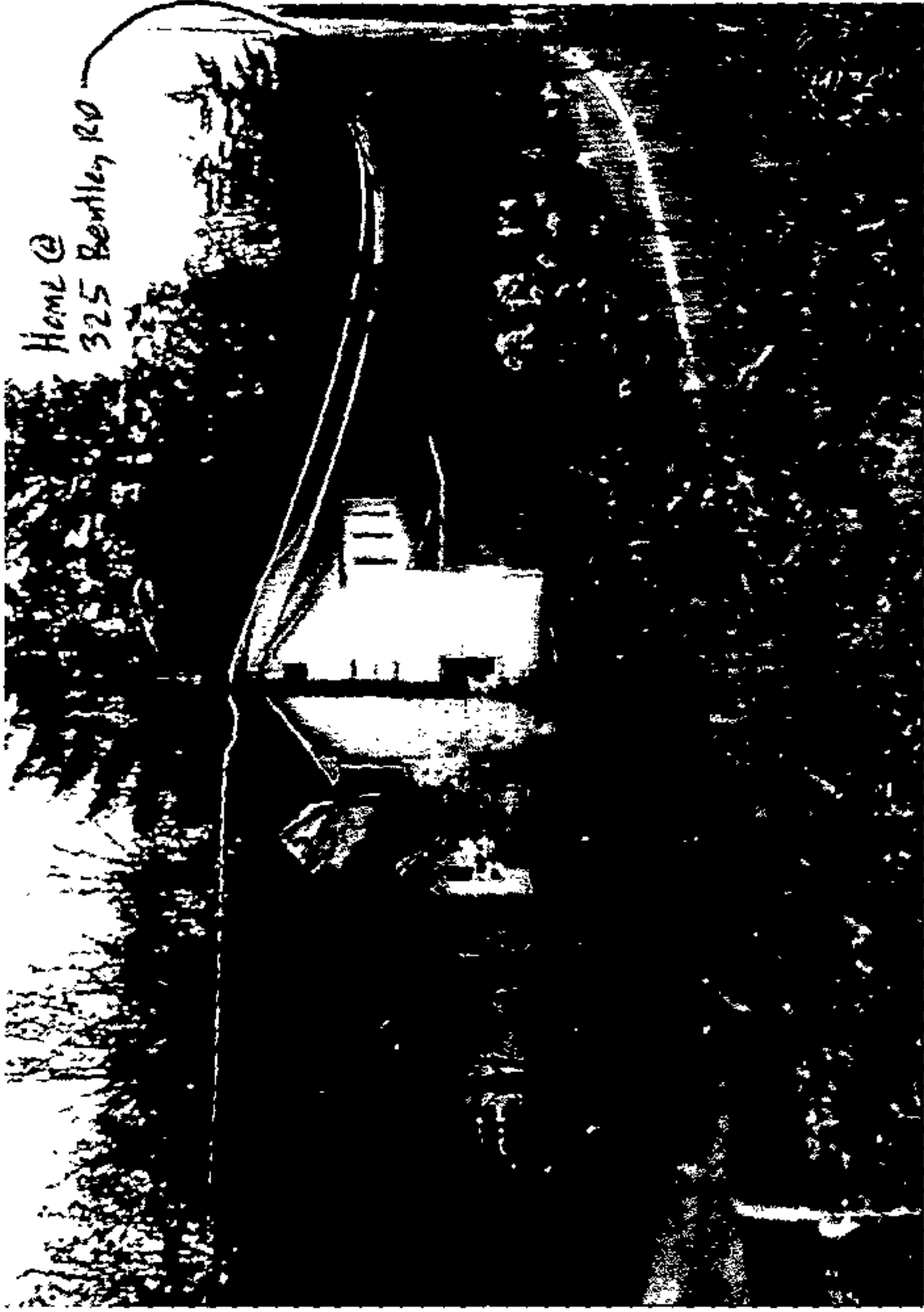
Zooming Variance - Scott's Home

07-43
1" = 200 FT.



SCALE 1" = 200' MAP # 07-43 ZONING RC-5

315 Bentley Road - Soots Home



Home @
325 Bentley Rd

315 Bentley Road Facing West
(Pink line is proposed Addition)



Home @
308 Bentley

315 Bentley Road Facing North East View



Home @
305 Bentley Rd

Pink line is
Proposed Addition

315 Bentley Road Facing South View



315 Bentley Road Facing North View

PLAT TO ACCOMPANY PETITION FOR ZONING ☒ VARIANCE ☐ SPECIAL HEARING

PROPERTY ADDRESS: 315 Bentley Road

SEE PAGES 5 & 6 OF THE CHECKLIST FOR ADDITIONAL REQUIRED INFORMATION

SUBDIVISION NAME: N/A

PLAT BOOK #: N/A FOLIO#: N/A LOT #: N/A SECTION #: N/A

OWNER: Mr. & Mrs. Marc Soots.

NOTE #1 - Distance to neighbor's house from proposed addition.

Paula and Steven Kumaniec
305 Bentley Road
Parkton, MD. 21120-9037
Tax Acct. # 2100002471

NOTE #2 - Distance to neighbor's house from proposed addition.

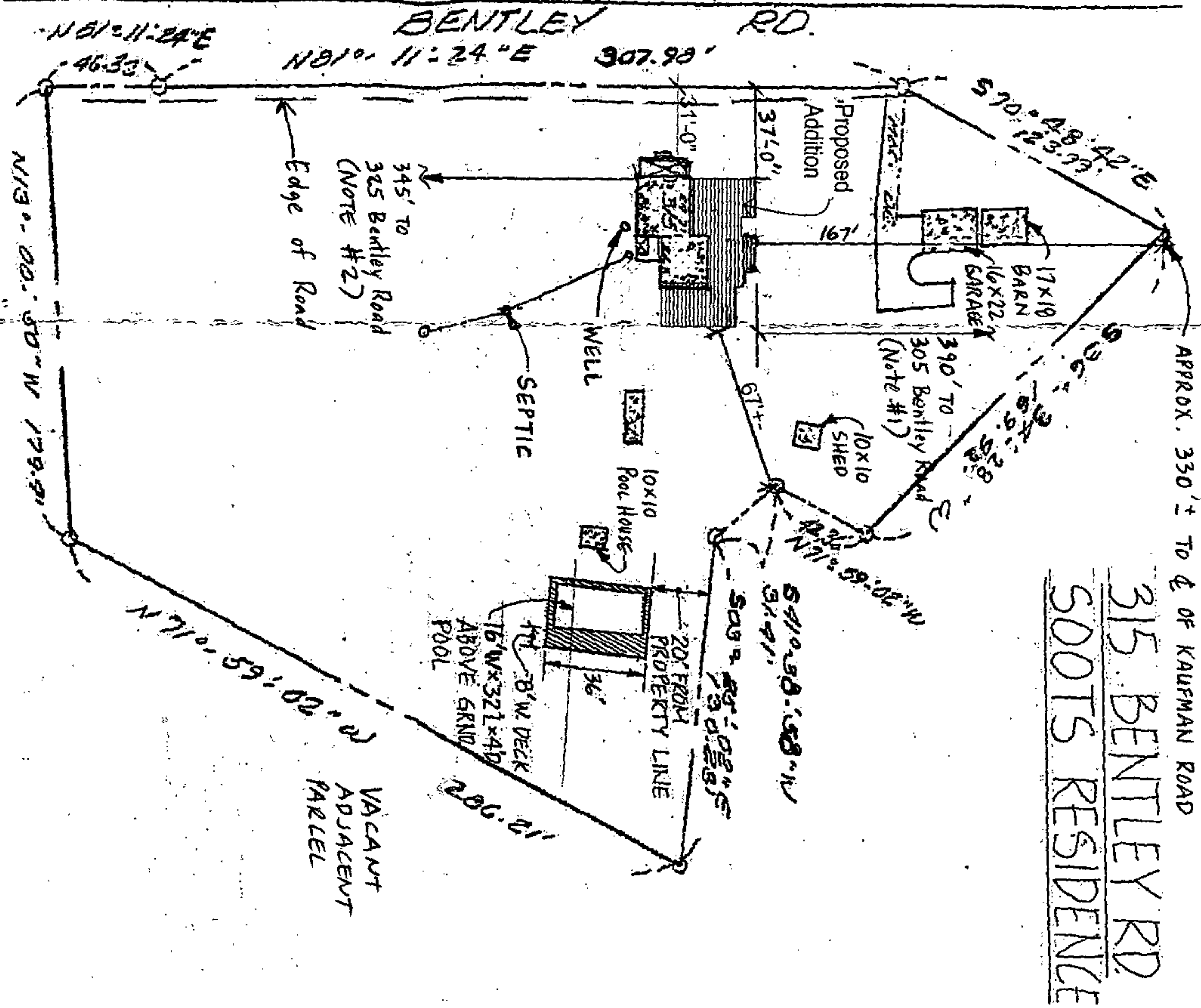
Suzanne and Joseph Wilsberger
325 Bentley Road
Parkton, MD. 21120-9037
Tax Acct. # 07190088175



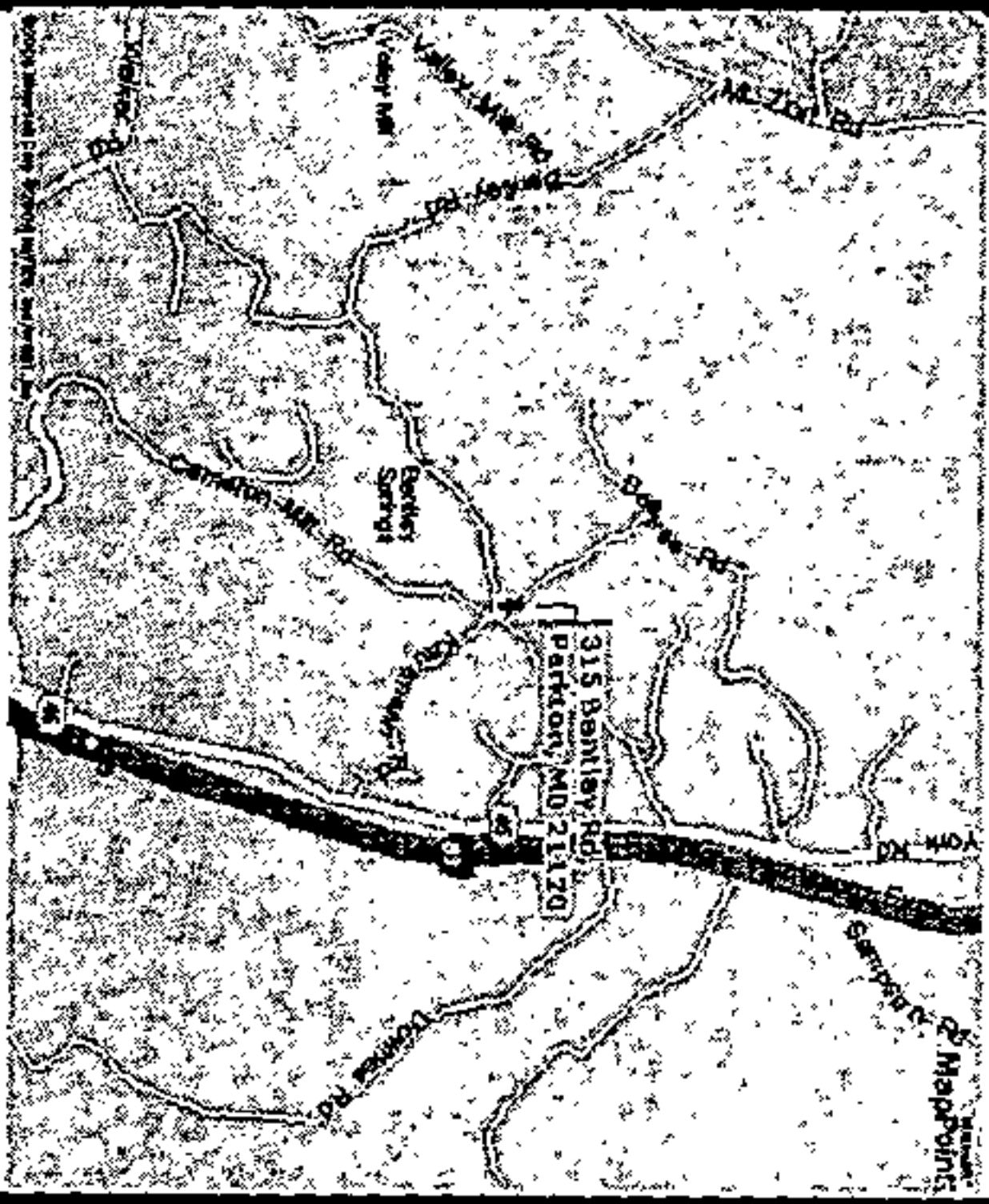
NORTH

PREPARED BY: Joseph P. Brandli

SCALE OF DRAWING: 1" = 60'



315 BENTLEY RD
SOOTS RESIDENCE



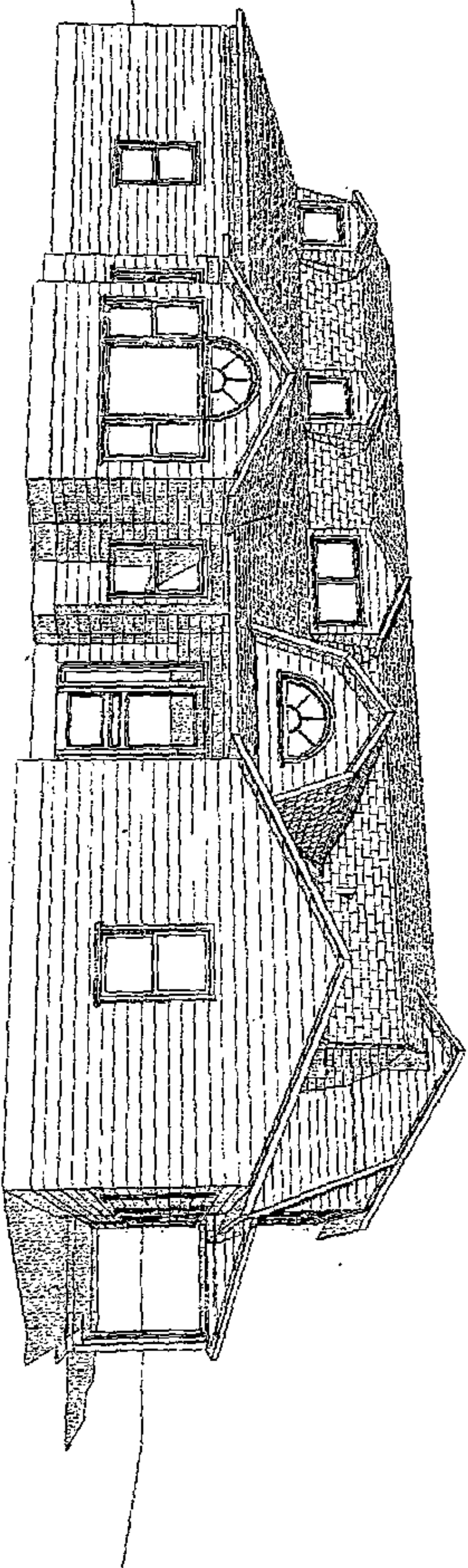
VICINITY MAP SCALE: 1" = 1000'

LOCATION INFORMATION

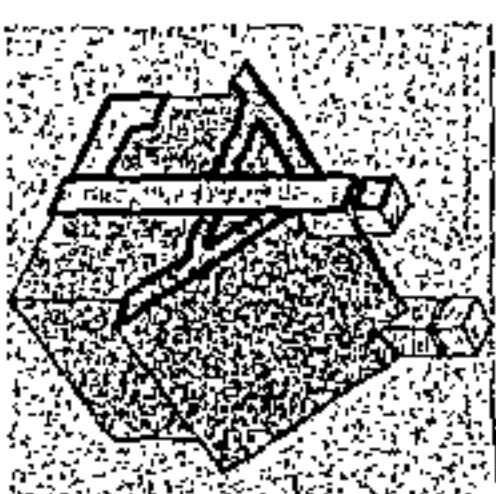
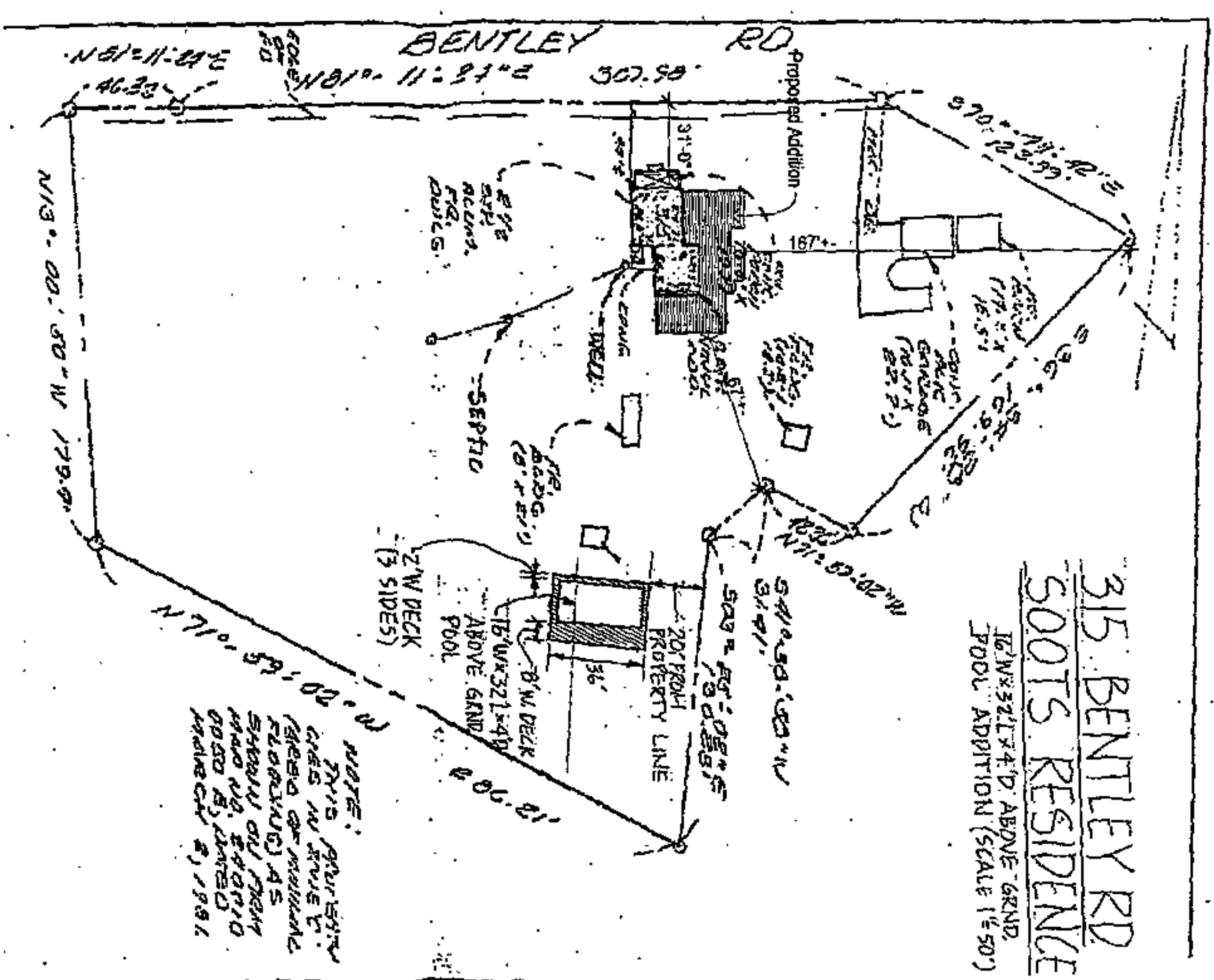
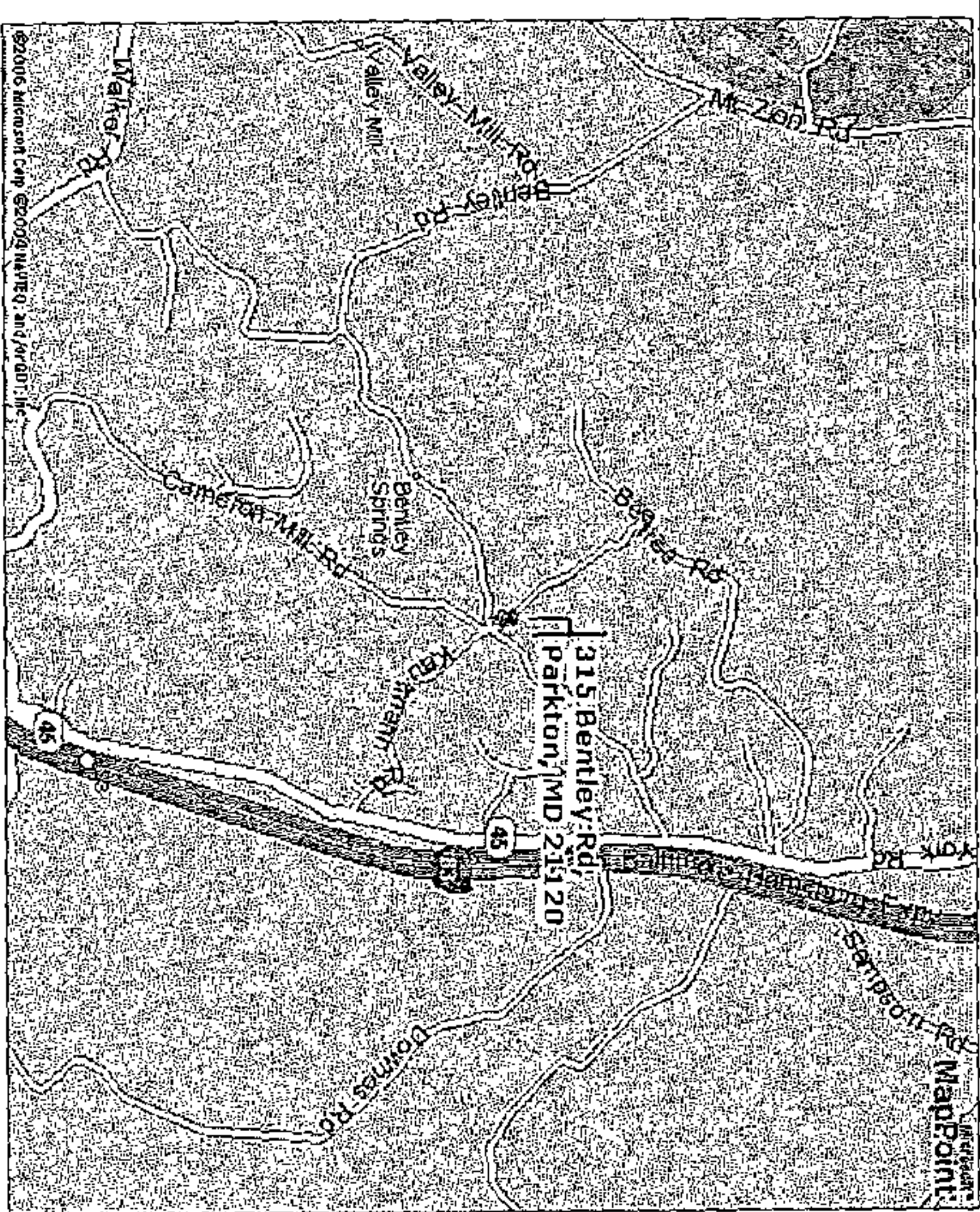
ELECTION DISTRICT: 7th
COUNCILMANIC DISTRICT: 3rd
1"=200 SCALE MAP#: 07-A3
ZONING: RC-5
LOT SIZE: 1.84 80,150
ACREAGE SQUARE FEET

SEWER	☐	☒
WATER	☐	☒
CHESAPEAKE BAY	☐	☒
CRITICAL AREA	☐	☒
100 YEAR FLOOD PLAIN	☐	☒
HISTORIC PROPERTY/ BUILDING	☐	☒
PRIOR ZONING HEARING:	<u>NONE</u>	

ZONING OFFICE USE ONLY
REVIEWED BY _____ ITEM# _____ CASE# _____



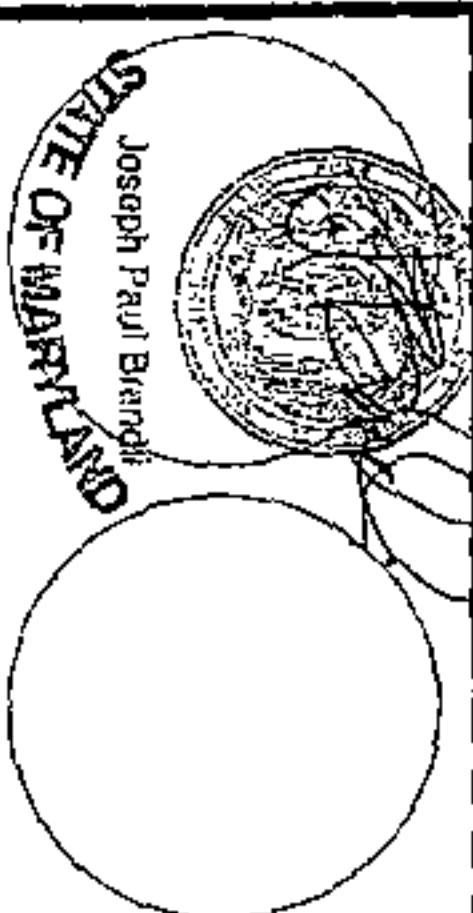
Mr. & Mrs. Marc Soots Residential Addition



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CONSULTANTS

ARCHITECT
License #99093



Residential Addition
315 Bentley Road
Parkton, Maryland. 21120

Mr. & Mrs. Marc Soots

CD	06-08-06	Construction Document Drawings
DD	06-08-06	Design Development Drawings
SD	04-17-06	Schematic Design Drawings
AB	04-05-06	As-Built Drawings
MARK	DATE	DESCRIPTION

PROJECT NO.	Soots Book CD1.lbk
MODEL FILE	Soots Book CD1.lbk
DRAWN BY	HBS
CHECKED BY	Joseph P. Brandt
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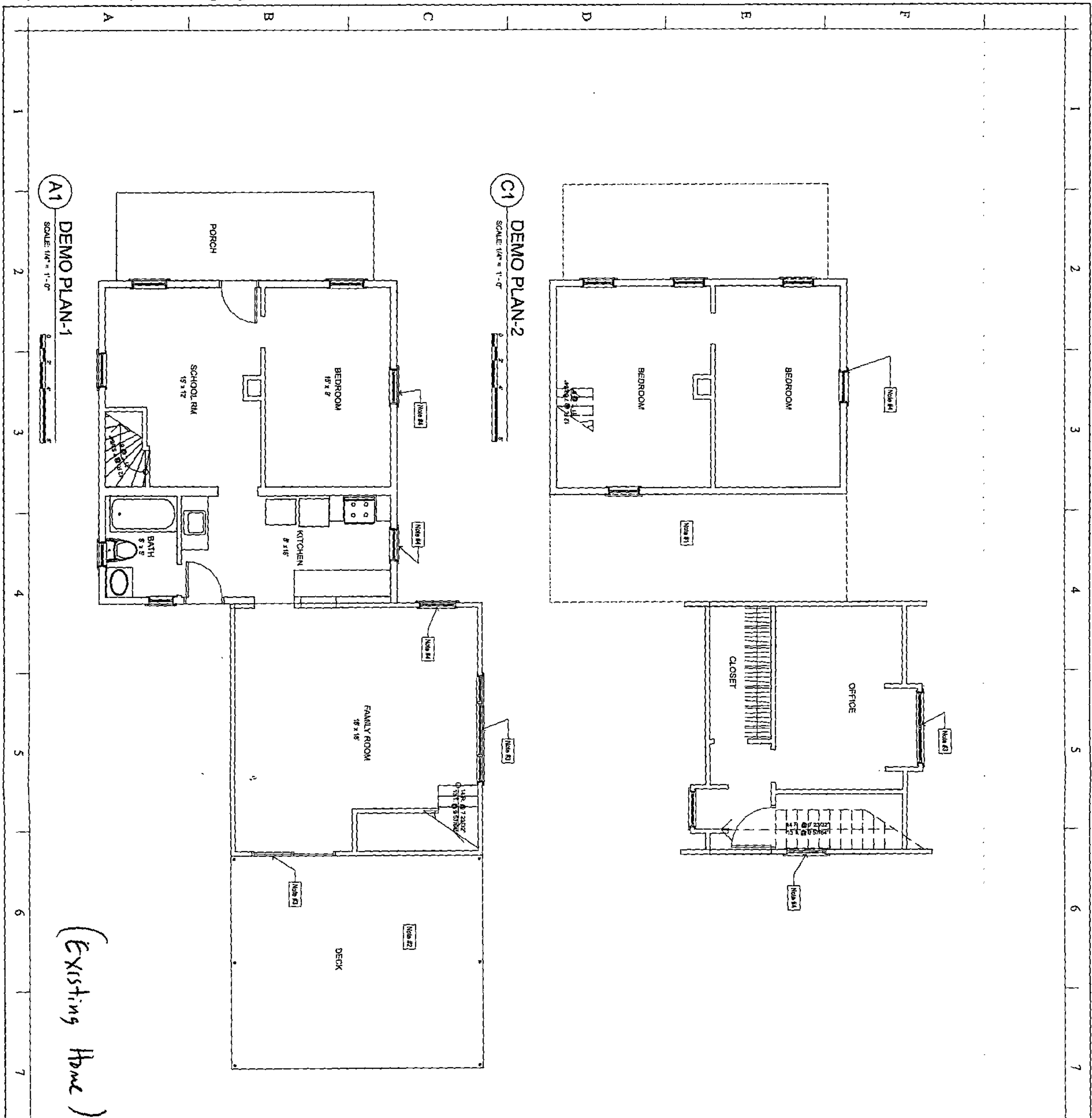
SHEET TITLE

COVER SHEET

G-001

SHEET 1 OF 11

(Construction Set)

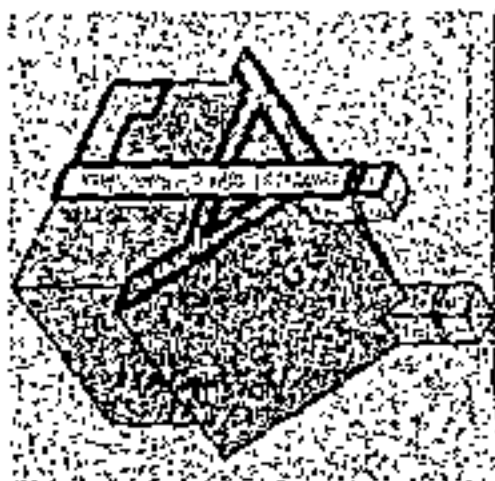


MATERIAL LIST:

221	Cusped Gravel	222	6 mil poly vapor barrier
223	2" Sand Base	224	Rigid Insulation (R-10)
225	4" Drain Tile	226	Not Used
227	Grade	228	Asphalt Shingles
229	Anchor Bolts	230	Ice & Water Shield
231	Concrete Footing	232	15# Felt
233	4" Concrete slab	234	Continuous Ridge Vent
235	Concrete Wall	236	Siding
237	Welded Wire Fabric	238	Protection Board
239	Concrete Masonry Unit	240	Aluminum Flashing
241	Non-Shrink Grout	242	Aluminum Fascade
243	Steel Column (See Struct.)	244	R-41 Fiberglass Batt Insul.
245	Steel Beam (See Struct.)	246	Alum. Gutter
247	Reinforcing Bars (See Struct.)	248	Alum. Downspout
249	Teon Uprift Anchors	250	Alum. Coping
251	Wood Joists (See Struct.)	252	Ventilated Alum. Soffit Material
253	2x6 @ 16" O.C.	254	Body Rubber Sheet Flashing
255	3x4 T&G Plywood Flooring	256	Mastic Sealant
257	5/8" Plywood Root Sheathing	258	Not Used
259	Wood Trusses by Mfr.	260	Insulated Exterior Metal Door
261	1/2" Plywood Sheathing	262	Exterior Door
263	FRT. Wood Blocking	264	Windows
265	Fascia	266	1/2" Gypsum Wallboard
267	Radars (See Structural)	268	5/8" Gypsum Wallboard
269	Waterproof Membrane	270	
271	R-19 Fiberglass Batt Insul.	272	
273	R-38 Fiberglass Batt Insul.	274	

SHEET KEYNOTES:

1. FILL EXISTING OPENING WITH CONSTRUCTION TO MATCH EXISTING.
2. PROVIDE 4" CALS DOWN TO EXIST. FOOTING FOR NEW BLA LEAVE.
3. ADD HEIGHT, LOWERED COUNTERTOP WITH INLET SPACE FOR HANDICAPPED (BY MAX).



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CONSULTANTS

ARCHITECT



Residential Addition
315 Bentley Road
Parkton, Maryland, 21120

Mr. & Mrs. Marc Soots

CD	06-08-06	Construction Document Dwg
DD	06-08-06	Design Development Drawings
SD	04-17-06	Schematic Design Drawings
AB	04-05-06	As-Built Drawings
MARK	DATE	DESCRIPTION

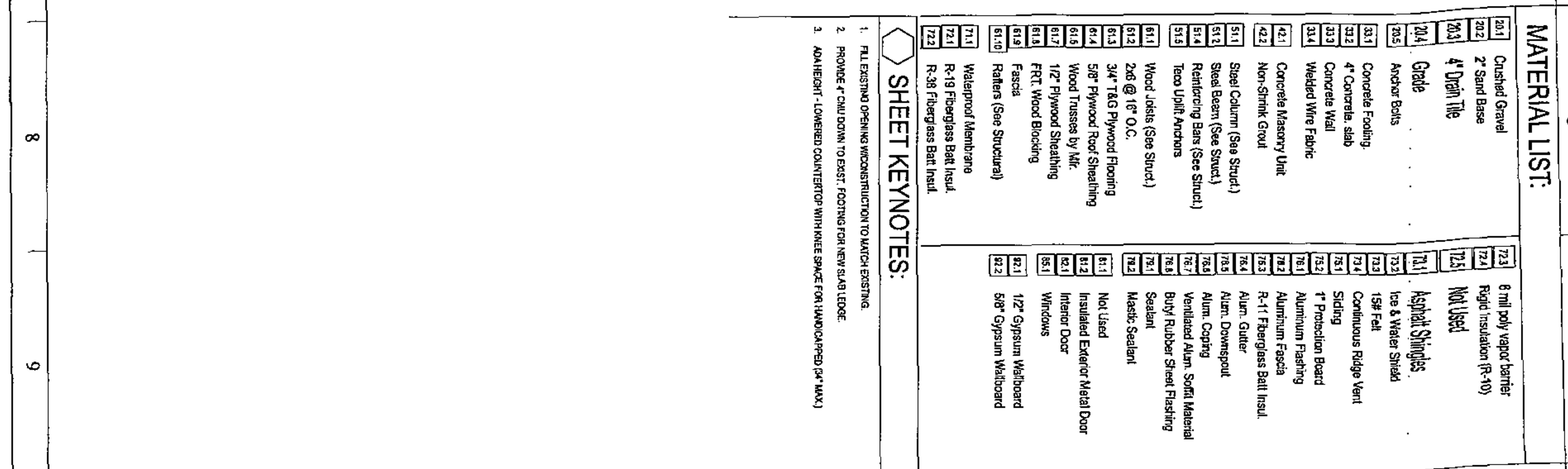
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MODEL FILE: Soots_Book_CD1.lbk
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CHECKED BY: Joseph P. Brandli
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SHEET TITLE

AS-BUILT/DEMO PLANS

A-101

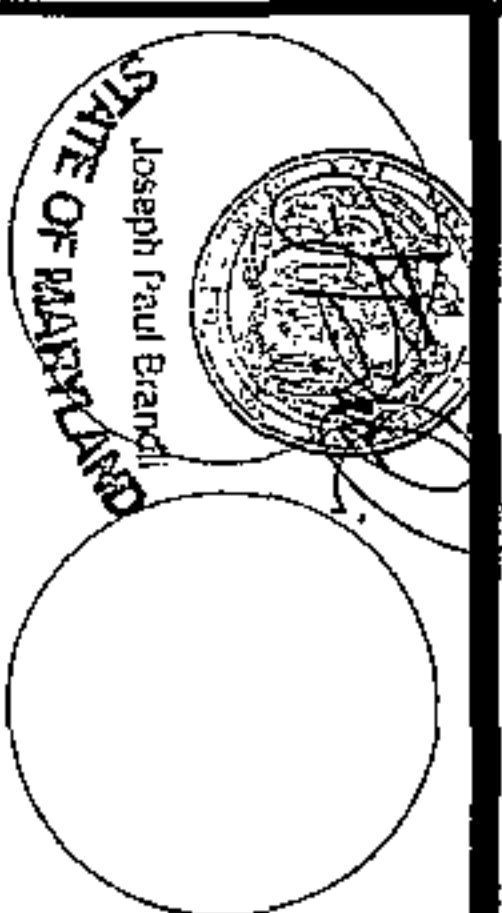
SHEET 2 OF 11



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Residential Addition
315 Bentley Road
Parkton, Maryland, 21120

Mr. & Mrs. Marc Soots

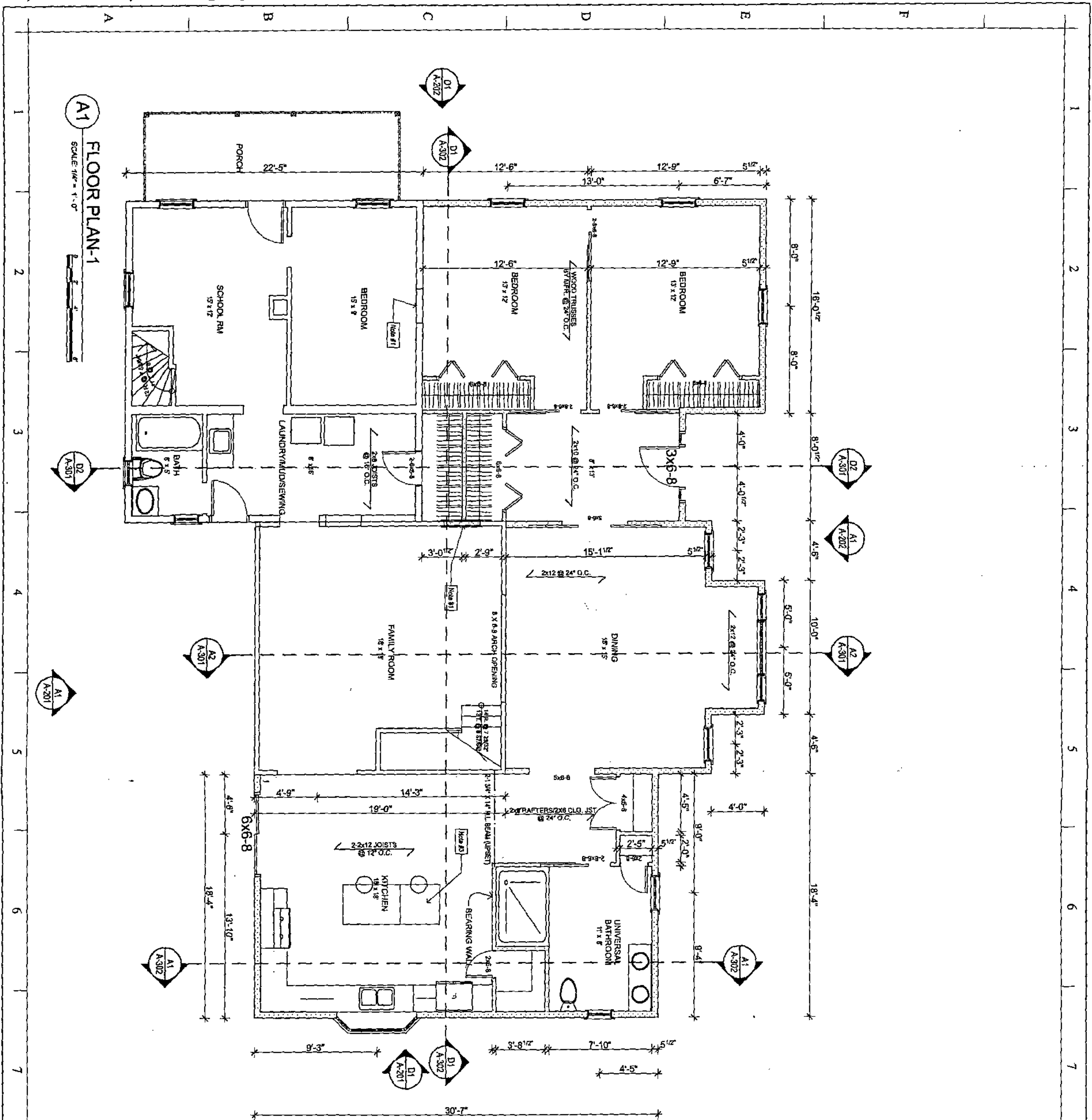
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DD	08-09-06	Design Development Drawings
SD	04-17-06	Schematic Design Drawings
AB	04-05-06	As-Built Drawings

PROJECT NO:	
MODEL FILE:	Scots Book_CDI.lbx
DRAWN BY:	HB3
CHKD BY:	Joseph P. Brandt
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SHEET TITLE

FNDN & ROOF PLAN

A-102



MATERIAL LIST:

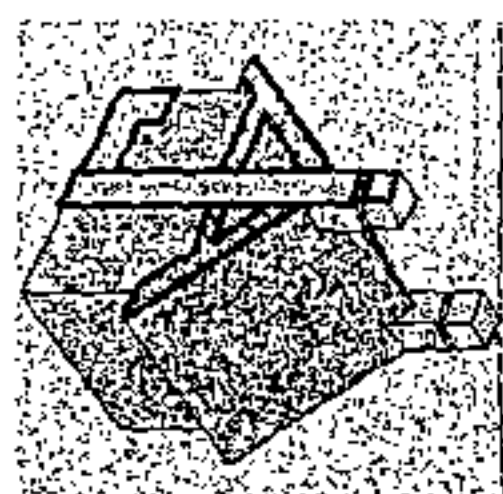
121	Crushed Gravel	721	6 mil poly vapor barrier
122	2" Sand Base	722	Rigid Insulation (R-10)
123	4" Drain Tile	723	Not Used
124	Gravel	724	Asphalt Shingles
125	Anchor Bolts	725	Ice & Water Shield
126	Concrete Footing	726	15# Felt
127	4" Concrete slab	727	Continuous Ridge Vent
128	Concrete Wall	728	Siding
129	Welded Wire Fabric	729	7" Protection Board
130	Concrete Masonry Unit	730	Aluminum Flashing
131	Non-Shrink Grout	731	Aluminum Fascade
132	Steel Column (See Struct.)	732	R-11 Fiberglass Batt Insul.
133	Steel Beam (See Struct.)	733	Alum. Gutter
134	Reinforcing Bars (See Struct.)	734	Alum. Downspout
135	Two Upright Anchors	735	Alum. Coping
136	Wood Joists (See Struct.)	736	Ventilated Alum. Soffit Material
137	2x6 @ 16" O.C.	737	Bury Rubber Sheet Flashing
138	3/4" T&G Plywood Flooring	738	Sealant
139	5/8" Plywood Roof Sheathing	739	Classic Siderite
140	Wood Trusses by M.F.	740	Not Used
141	1/2" Plywood Sheathing	741	Insulated Exterior Metal Door
142	FRT. Wood Blocking	742	Interior Door
143	Fascia	743	Windows
144	Railers (See Structural)	744	1/2" Gypsum Wallboard
145	Waterproof Membrane	745	5/8" Gypsum Wallboard
146	R-19 Fiberglass Batt Insul.	746	
147	R-30 Fiberglass Batt Insul.	747	

SHEET KEYNOTES:

1. FILL EXISTING OPENING WITH CONSTRUCTION TO MATCH EXISTING.
2. PROVIDE 4" DRAIN DOWN TO EXIST. FOOTING FOR NEW SLAB LEDGE.
3. ADJUST HEIGHT - LOWERED CORNER OF WITH INCE SPACE FOR HANDICAPPED BY MAX.

INTEL SCHEDULE

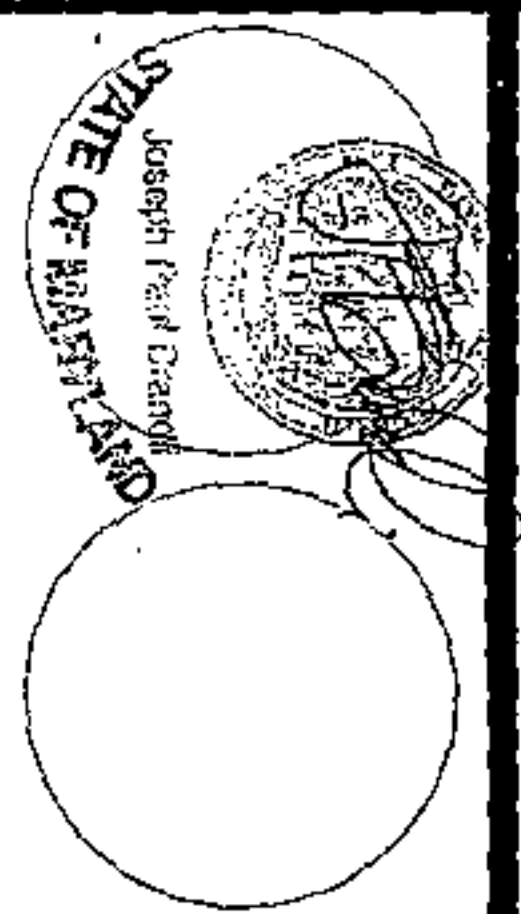
MARK	SPIN	WOOD MEMBER
L1	5" MAX.	(2) 2x10
L2	5" x 8" - 9" x 9"	(3) 2x10
L3	2x8" x 11"	(2) 1 3/4" x 11" x 14" LVL



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ARCHITECT
License #93650



Residential Addition
315 Bentley Road
Parkton, Maryland, 21120

Mr. & Mrs. Marc Soots

MARK	DATE	DESCRIPTION
CD	06-08-06	Construction Document Drawings
DD	06-09-06	Design Development Drawings
SD	04-17-06	Schematic Design Drawings
AB	04-05-06	As-Built Drawings

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SHEET TITLE

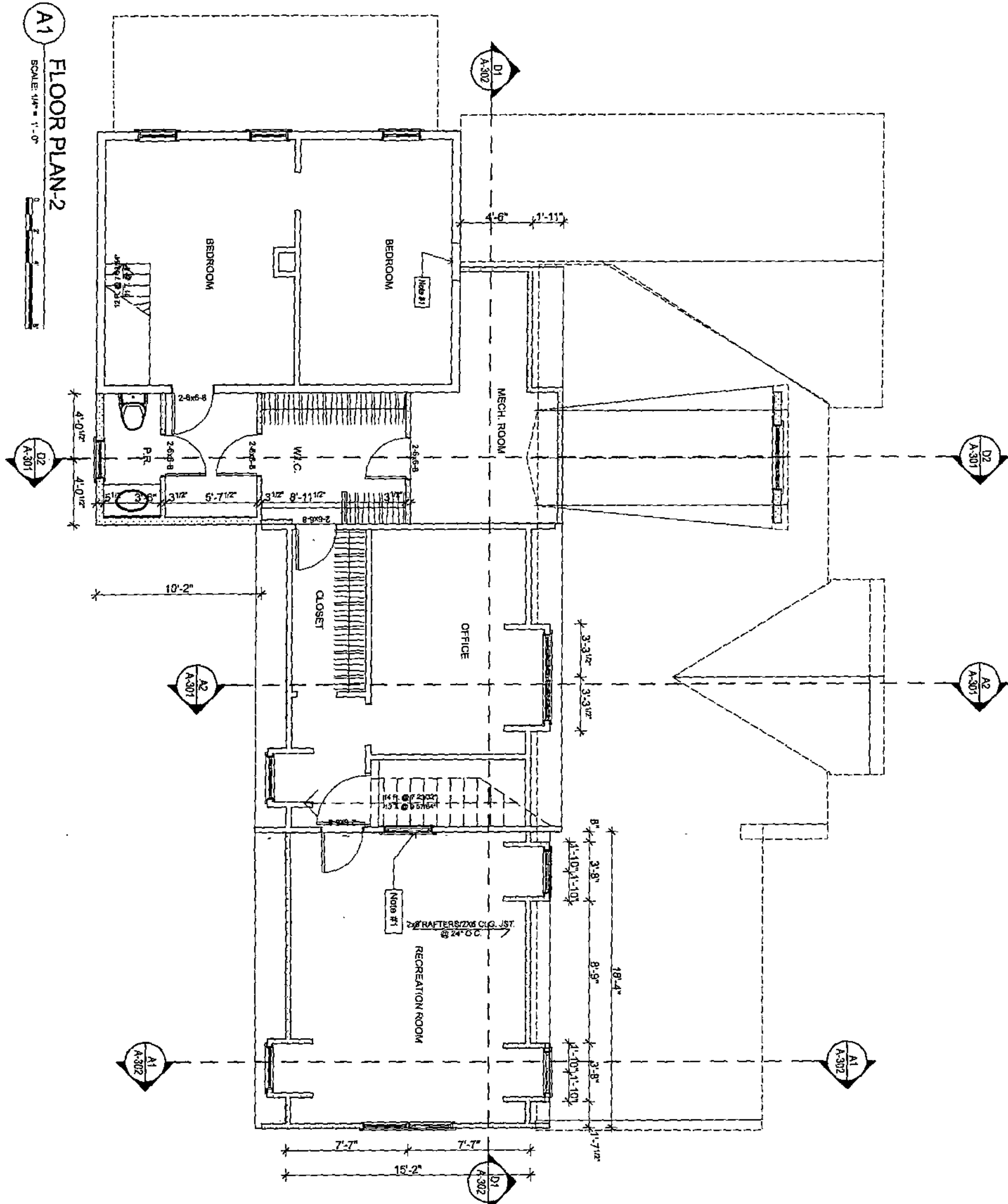
FLOOR PLAN-1

A-103

SHEET 4 OF 11

FLOOR PLAN-2

SCALE: 1/4" = 1'-0"



MATERIAL LIST:

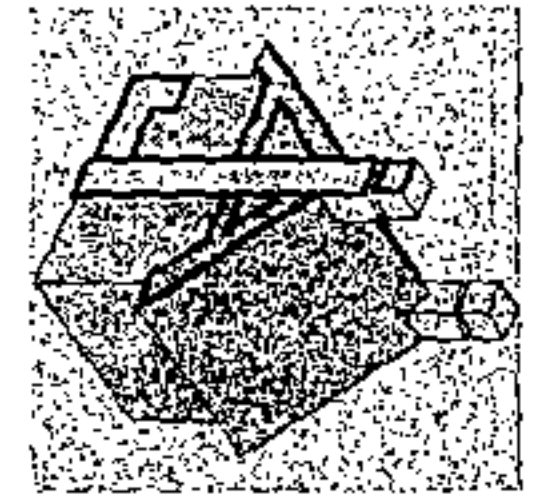
1231	Crushed Gravel	1232	6 mil poly vapor barrier
1232	2" Sand Base	1233	Rigid Insulation (R-10)
1233	4" Drain Tile	1234	Not Used
1234	Grade	1235	Asphalt Shingles
1235	Anchor Bolts	1236	Ice & Water Shield
1236	Concrete Footing	1237	15# Felt
1237	4" Concrete slab	1238	Continuous Ridge Vent
1238	Welded Wire Fabric	1239	Siding
1239	Concrete Masonry Unit	1240	1" Protection Board
1240	Non-Shrink Grout	1241	Aluminum Flashing
1241	Steel Column (See Struct.)	1242	Aluminum Fascia
1242	Steel Beam (See Struct.)	1243	R-11 Fiberglass Batt Insul.
1243	Reinforcing Bars (See Struct.)	1244	Alum. Gutter
1244	Two Uplift Anchors	1245	Alum. Downspout
1245	Wood Joists (See Struct.)	1246	Alum. Coving
1246	2x6 @ 16" O.C.	1247	Ventilated Alum. Soft Material
1247	3x4 T&G Plywood Flooring	1248	Butyl Rubber Sheet Flashing
1248	5/8" Plywood Roof Sheathing	1249	Sealant
1249	Wood Trusses by Mfr.	1250	Mastic Sealant
1250	1/2" Plywood Sheathing	1251	Not Used
1251	FRT. Wood Blocking	1252	Insulated Exterior Metal Door
1252	Palans (See Structural)	1253	Interior Door
1253	Waterproof Membrane	1254	Windows
1254	R-19 Fiberglass Batt Insul.	1255	1/2" Gypsum Wallboard
1255	R-38 Fiberglass Batt Insul.	1256	5/8" Gypsum Wallboard

SHEET KEYNOTES:

1. FILL EXISTING OPENING WITH CONCRETE TO MATCH EXISTING.
2. PROVIDE 4" DRAIN DOWN TO EXIST. FOOTING FOR NEW SLAB EDGE.
3. ADD HEIGHT - LOWERED COUNTERTOP WITH KNEE SINCE FOR HANDICAPPED (OR MAX.)

LINTEL SCHEDULE

MARK	SPAN	WOOD MEMBER
L1	5'-0" MAX.	(3) 2x10
L2	5'-0" - 9'-0"	(3) 2x10
L3	> 9'-0"	(3) 1 3/4" x 11 1/4" LVL



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License #65698



Residential Addition
315 Bentley Road
Parkton, Maryland 21120

Mr. & Mrs. Marc Soots

CD	DATE	DESCRIPTION
CD	06-08-06	Construction Document Drafts
DD	06-08-06	Design Development Drawings
SD	04-17-06	Schematic Design Drawings
AB	04-06-06	AS-BUILT Drawings
MARK	DATE	DESCRIPTION

PROJECT NO.:
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SHEET TITLE

FLOOR PLAN-2

A-104



NOTE: ENTIRE ROOF (NEW AND OLD) TO BE SHINGLED

MATERIAL LIST:

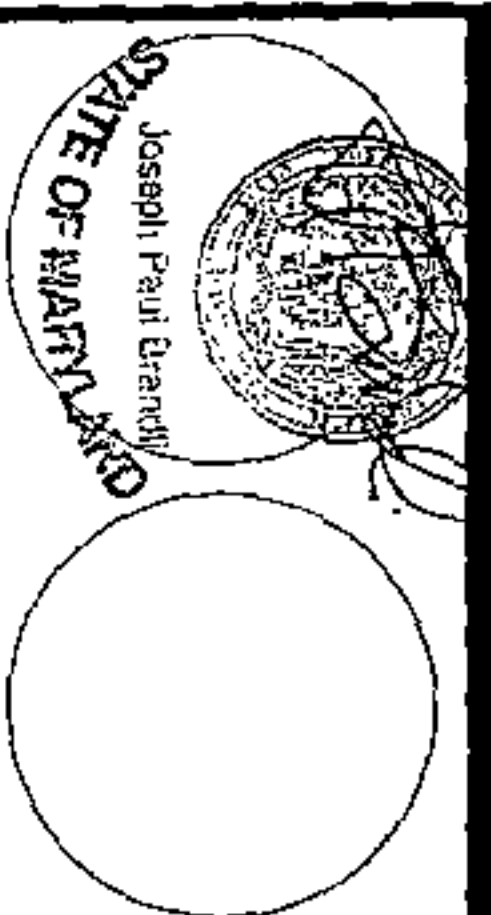
2611	Custard Gravel	7231	6 mil poly vapor barrier
2612	2" Sand Base	7232	Rigid Insulation (R-10)
2613	4" Drain Tile	7235	Not Used
2614	Grade	7231	Asphalt Shingles
2615	Anchor Bolts	7232	Ice & Water Shield
2616		7233	15# Felt
3211	Concrete Footing	7234	Continuous Ridge Vent
3212	4" Concrete, slab	7231	Siding
3213	Concrete Wall	7231	1" Protection Board
3214	Welded Wire Fabric	7232	Continuous Board
4211	Concrete Masonry Unit	7233	Aluminum Flashing
4212	Non-Sink Graft	7234	Aluminum Fascade
5111	Steel Column (See Struct.)	7231	Alum. Gutter
5112	Steel Beam (See Struct.)	7235	Alum. Downspout
5113	Reinforced Alum. (See Struct.)	706	Alum. Coiling
5115	Teap Uplift Anchors	707	Ventilated Alum. Soffit Material
6111	Wood Joists (See Struct.)	709	Bury Rubber Sheet Flashing
6112	2x6 @ 16" O. C.	721	Sealant
6113		722	Mastic Sealant
6115	3/4" TAB Plywood Flooring	8111	Not Used
6117	5/8" Plywood Roof Sheathing	8112	Insulated Exterior Metal Door
6118	Wood Trusses for Lift.	8113	Window Door
6119	1/2" Plywood Sheathing	851	Windows
6119	FRT Wood Blocking	9211	1/2" Gypsum Wallboard
6119	Fascade	922	5/8" Gypsum Wallboard
6119	Refrers (See Structural)		

SHEET KEYNOTES:

1. FILL EXISTING OPENING W/CONSTRUCTION TO MATCH EXISTING.
2. PROVIDE 4" CMU DOWN TO EXIST. FOOTING FOR NEW SLAB LEDGE.
3. ADD HEIGHT - LOWERED COUNTERTOP WITH KNEE SPACE FOR HANDICAPPED (94" MAX.)

Mr. & Mrs. Marc Soots

Residential Addition
315 Bentley Road
Parkton, Maryland. 21120



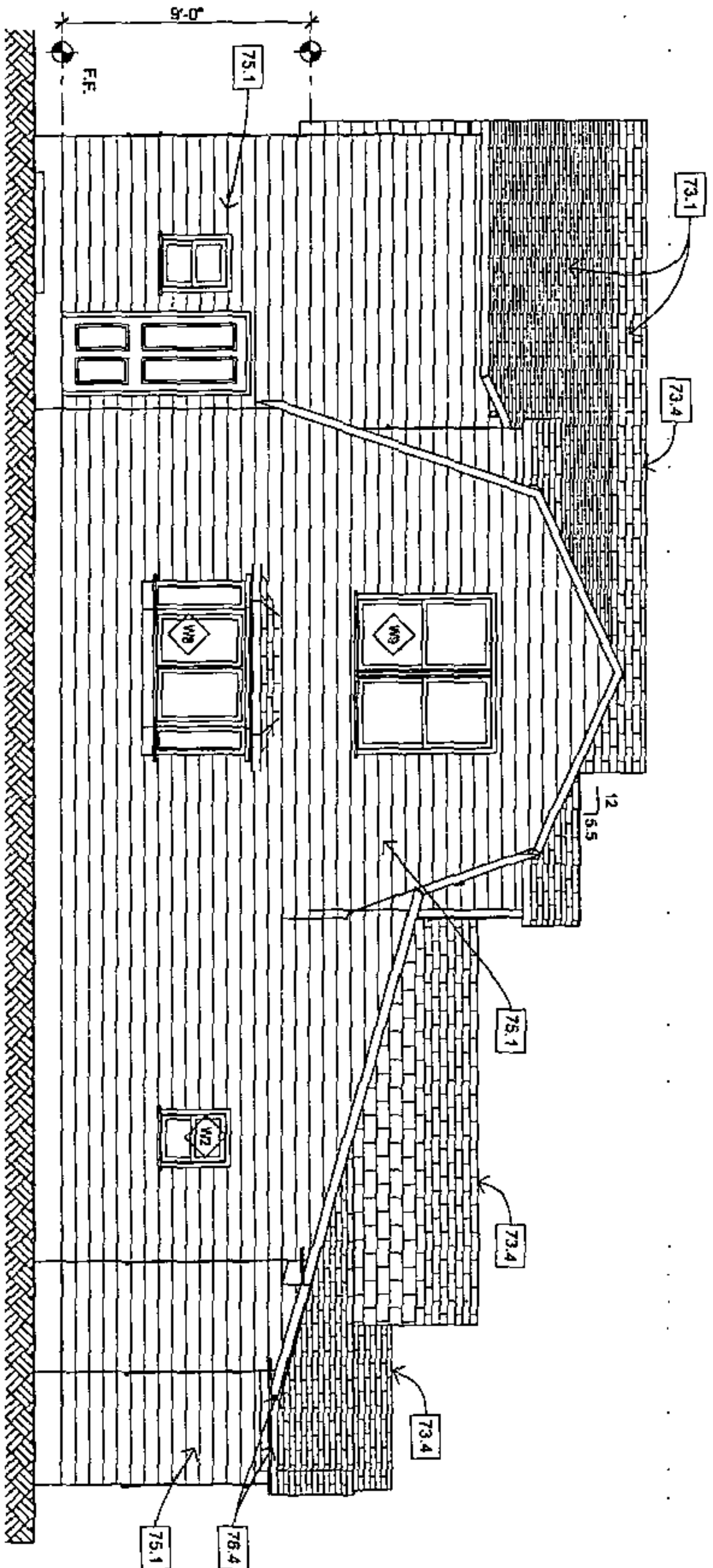
**JOE ARCHITECT
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7311 YORK ROAD - BALTIMORE, MD 21206
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CONSULTANTS

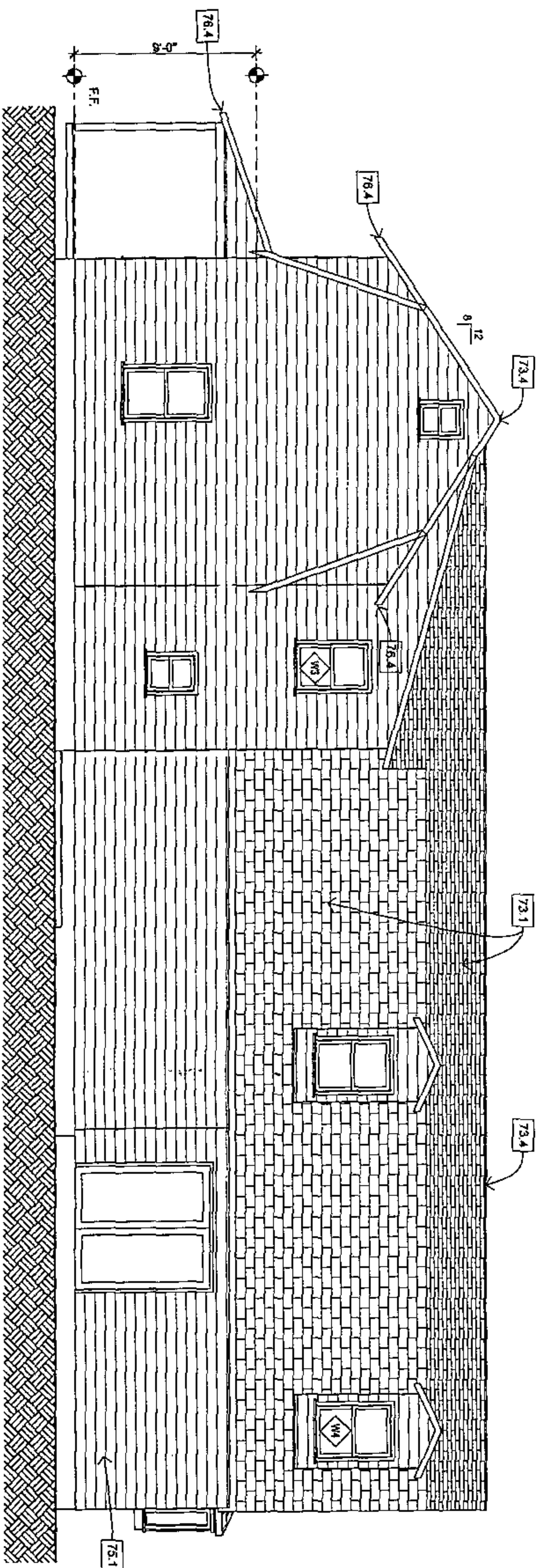
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CHECK BY	Joseph P. Brandt
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JOE Architect Incorporated	
SHEET TITLE	

ROOF PLAN

A-105



D1 ELEVATION-SOUTH
SCALE: 1/4" = 1'-0"



A1 ELEVATION-WEST
SCALE: 1/4" = 1'-0"

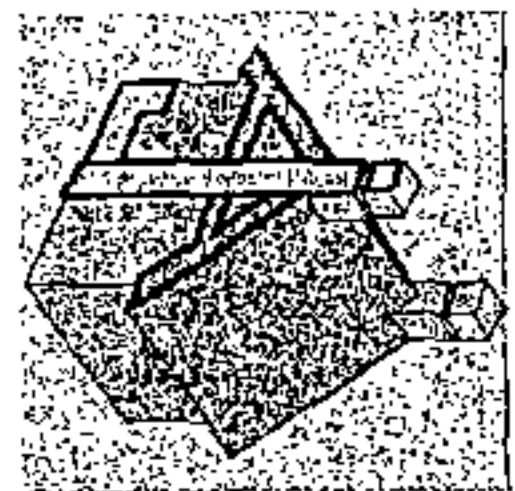
MATERIAL LIST:

72.1	Curbed Gravel	72.9	6 mil poly vapor barrier
72.2	2" Sand Base	72.7	Rigid Insulation (R-10)
72.3	4" Drain Tile	72.5	Not Used
72.4	Gravel	72.6	Asphalt Shingles
72.5	Anchor Bolts	72.8	Ice & Water Shield
72.6	Concrete Footing	72.9	15# Fast
72.7	4" Concrete Slab	73.0	Continuous Ridge Vent
72.8	Concrete Wall	73.1	Siding
72.9	Welded Wire Fabric	73.2	1" Protection Board
73.0	Concrete Masonry Unit	73.3	Aluminum Flashing
73.1	Non-Shrink Grout	73.4	Aluminum Fascia
73.2	Steel Column (See Struct.)	73.5	R-11 Fiberglass Batt Insul.
73.3	Steel Beam (See Struct.)	73.6	Alum. Gutter
73.4	Reinforcing Bars (See Struct.)	73.7	Alum. Downspout
73.5	Two Light Anchors	73.8	Alum. Coping
73.6	Wood Joists (See Struct.)	73.9	Ventilated Alum. Soff. Material
73.7	2x6 @ 16" O.C.	74.0	Butyl Rubber Sheet Flashing
73.8	3/4" T&G Plywood Flooring	74.1	Sealant
73.9	5/8" Plywood Roof Sheathing	74.2	Mastic Sealant
74.0	Wood Trusses by Mfr.	74.3	Not Used
74.1	1/2" Plywood Sheathing	74.4	Insulated Exterior Metal Door
74.2	FRT Wood Blocking	74.5	Interior Door
74.3	Fascia	74.6	Windows
74.4	Rails (See Structural)	74.7	1/2" Gypsum Wallboard
74.5	Waterproof Membrane	74.8	5/8" Gypsum Wallboard
74.6	R-19 Fiberglass Batt Insul.		
74.7	R-38 Fiberglass Batt Insul.		

SHEET KEYNOTES:

1. FILL EXISTING OPENING WITH CONSTRUCTION TO MATCH EXISTING.
2. PROVIDE 4" C&U DOWN TO EXIST. FOOTING FOR NEW S&B LEDGE.
3. ADJUSTMENT - LOWERED COUNTERTOP WITH KNEE SPACES FOR HANDICAPPED (4" MAX)

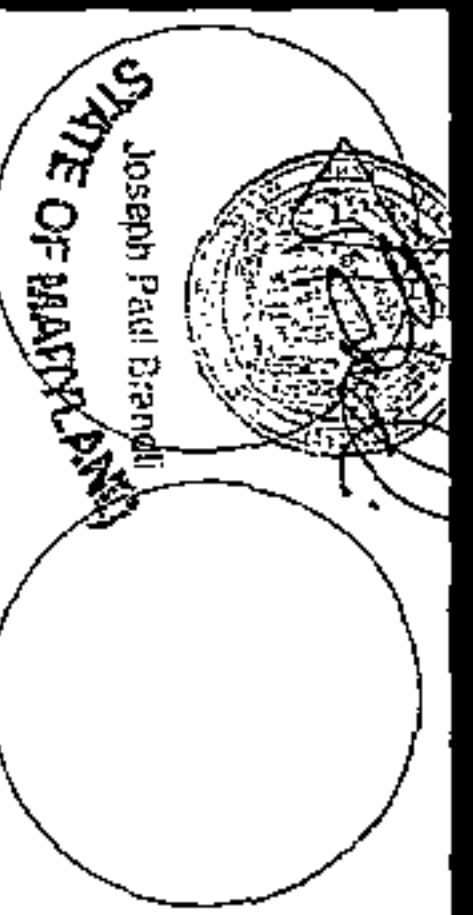
WINDOW SCHEDULE				
MARK	SIZE	TYPE	MATERIAL	MANUFACTURER NOTES
W1	2'-7"	Double Hung	VNVL	
W2	4'-5"	Double Hung	VNVL	
W3	8'	Double Hung	VNVL	
W4	1'-10"	Double Hung	VNVL	
W5	2'-4"	Double Hung	VNVL	
W6	2'-5"	Double Hung	VNVL	
W7	2'-8"	Double Hung	VNVL	
W8	2'-8"	Double Hung	VNVL	
W9	2'-8"	Double Hung	VNVL	
W10	2'-8"	Double Hung	VNVL	
W11	2'-8"	Double Hung	VNVL	
W12	2'-8"	Double Hung	VNVL	
W13	2'-8"	Double Hung	VNVL	
W14	2'-8"	Double Hung	VNVL	
W15	2'-8"	Double Hung	VNVL	
W16	2'-8"	Double Hung	VNVL	
W17	2'-8"	Double Hung	VNVL	
W18	2'-8"	Double Hung	VNVL	
W19	2'-8"	Double Hung	VNVL	
W20	2'-8"	Double Hung	VNVL	



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CONSULTANTS

ARCHITECT
License #8309



Residential Addition
315 Bentley Road
Parkton, Maryland 21120

Mr. & Mrs. Marc Soots

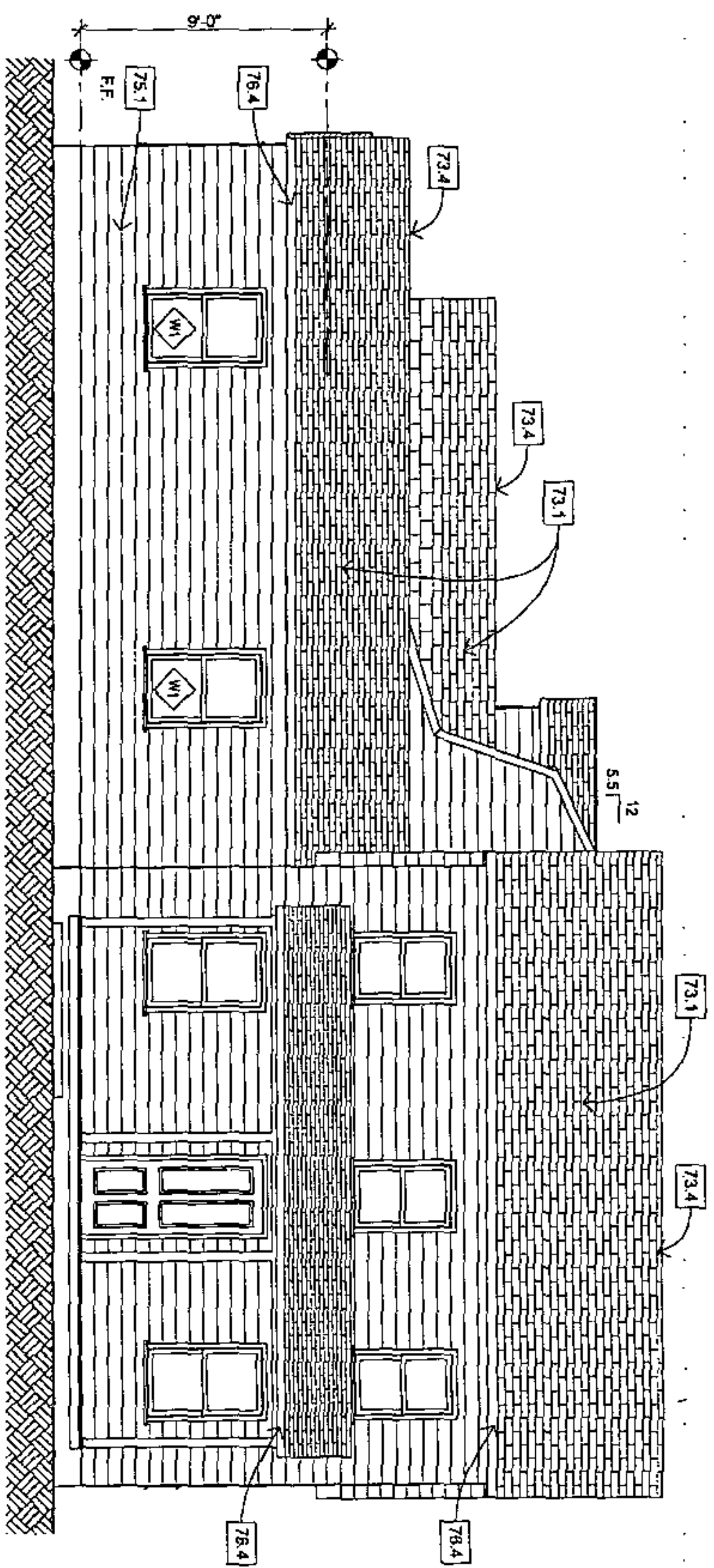
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DD	06-09-06	Design Development Drawings
SD	04-17-06	Schematic Design Drawings
AB	04-05-06	As-Built Drawings
MARK	DATE	DESCRIPTION

PROJECT NO.
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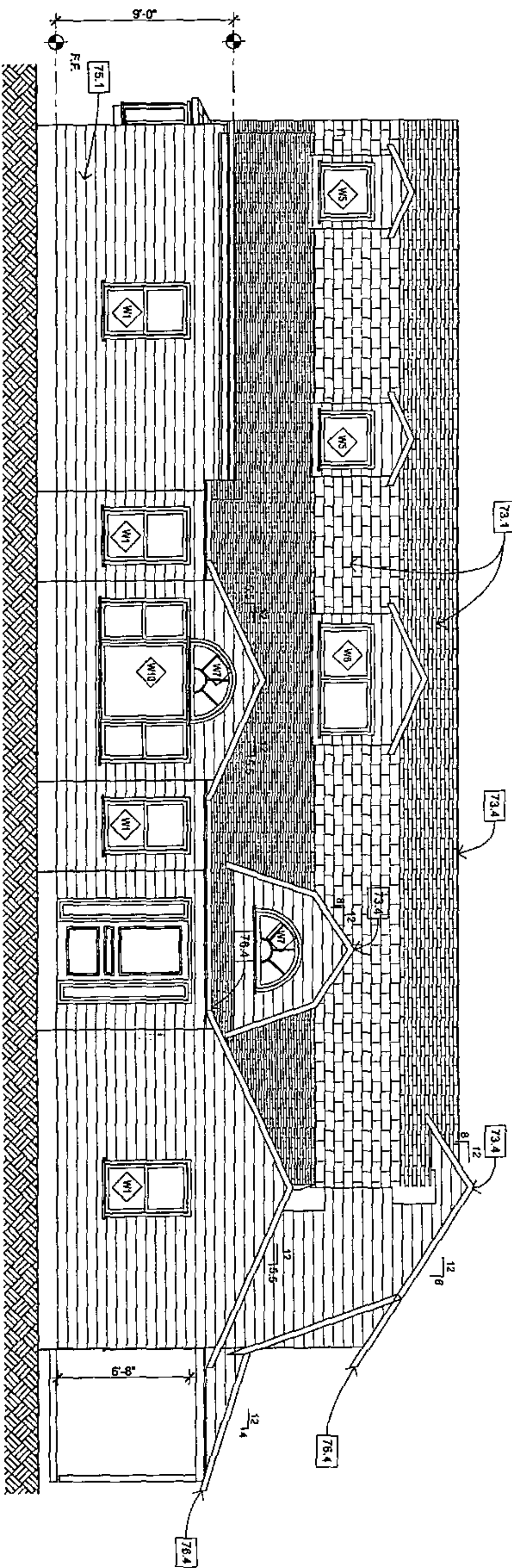
SHEET TITLE

ELEVATIONS-1

A-201



D1 ELEVATION-NORTH
SCALE: 1/4" = 1'-0"



A1 ELEVATION-EAST
SCALE: 1/4" = 1'-0"

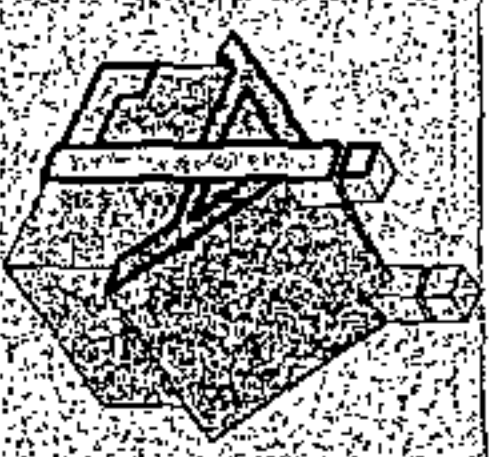
MATERIAL LIST:

723.1	Crushed Gravel	723.1	8 mil poly vapor barrier
723.2	2" Sand Base	723.1	Rigid Insulation (R-10)
723.3	4" Drain Tile	723.1	Not Used
723.4	Grade	723.1	Asphalt Shingles
723.5	Anchor Bolts	723.1	15# Galv Steel
723.6	Concrete Footing	723.1	Continuous Ridge Vent
723.7	4" Concrete slab	723.1	Siding
723.8	Concrete Wall	723.1	1" Protection Board
723.9	Welded Wire Fabric	723.1	Aluminum Flashing
723.10	Non-Sink GROUT	723.1	Aluminum Fascia
723.11	Concrete Masonry Unit	723.1	R-11 Fiberglass Batt Insul.
723.12	Steel Column (See Struct.)	723.1	Alum. Gutter
723.13	Steel Beam (See Struct.)	723.1	Alum. Downspout
723.14	Reinforcing Bars (See Struct.)	723.1	Alum. Coping
723.15	Iron Uplift Anchors	723.1	Ventilated Alum. Soffit Material
723.16	Wood Joists (See Struct.)	723.1	Buyl Rubber Sheet Flashing
723.17	2x6 @ 16" O.C.	723.1	Sealant
723.18	3/4" T&G Plywood Flooring	723.1	Mastic Sealant
723.19	5/8" Plywood Roof Sheathing	723.1	Not Used
723.20	Wood Trusses by Mfr.	723.1	Insulated Exterior Metal Door
723.21	1/2" Plywood Sheathing	723.1	Interior Door
723.22	FTT Wood Blocking	723.1	Windows
723.23	Fascia	723.1	1/2" Gypsum Wallboard
723.24	Rafter (See Structural)	723.1	5/8" Gypsum Wallboard
723.25	Waterproof Membrane	723.1	
723.26	R-19 Fiberglass Batt Insul.	723.1	
723.27	R-38 Fiberglass Batt Insul.	723.1	

SHEET KEYNOTES:

1. FILL EXISTING OPENING WITH CONSTRUCTION TO MATCH EXISTING.
2. PROVIDE 4" SLOPE DOWN TO EXIST. FOOTING FOR NEW SLAB EDGE.
3. ADD HEIGHT - LOWERED COASTER TOP WITH KNEE SPACE FOR HANDICAPPED (PER WALK).

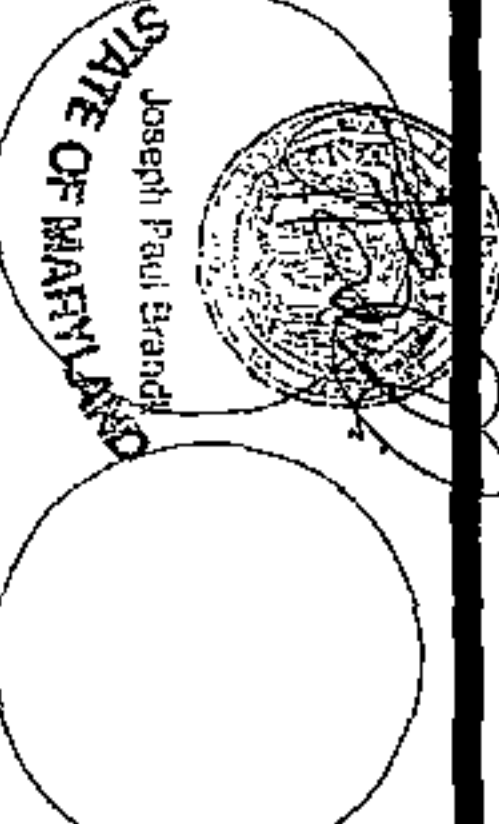
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W1	2'-0"	Double Hung	WNTL		
W2	2'-0"	Double Hung	WNTL		
W3	2'-0"	Double Hung	WNTL		
W4	2'-0"	Double Hung	WNTL		
W5	2'-0"	Double Hung	WNTL		
W6	2'-0"	Double Hung	WNTL		
W7	2'-0"	Double Hung	WNTL		
W8	2'-0"	Double Hung	WNTL		
W9	2'-0"	Double Hung	WNTL		
W10	2'-0"	Double Hung	WNTL		
W11	2'-0"	Double Hung	WNTL		
W12	2'-0"	Double Hung	WNTL		
W13	2'-0"	Double Hung	WNTL		
W14	2'-0"	Double Hung	WNTL		
W15	2'-0"	Double Hung	WNTL		
W16	2'-0"	Double Hung	WNTL		
W17	2'-0"	Double Hung	WNTL		
W18	2'-0"	Double Hung	WNTL		
W19	2'-0"	Double Hung	WNTL		
W20	2'-0"	Double Hung	WNTL		



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Residential Addition
315 Bentley Road
Parkton, Maryland, 21120

Mr. & Mrs. Marc Soots

CD	08-08-06	Construction Document Drawings
DD	06-09-06	Design Development Drawings
SD	04-17-06	Schematic Design Drawings
AB	04-05-06	As-Built Drawings
MARK	DATE	DESCRIPTION

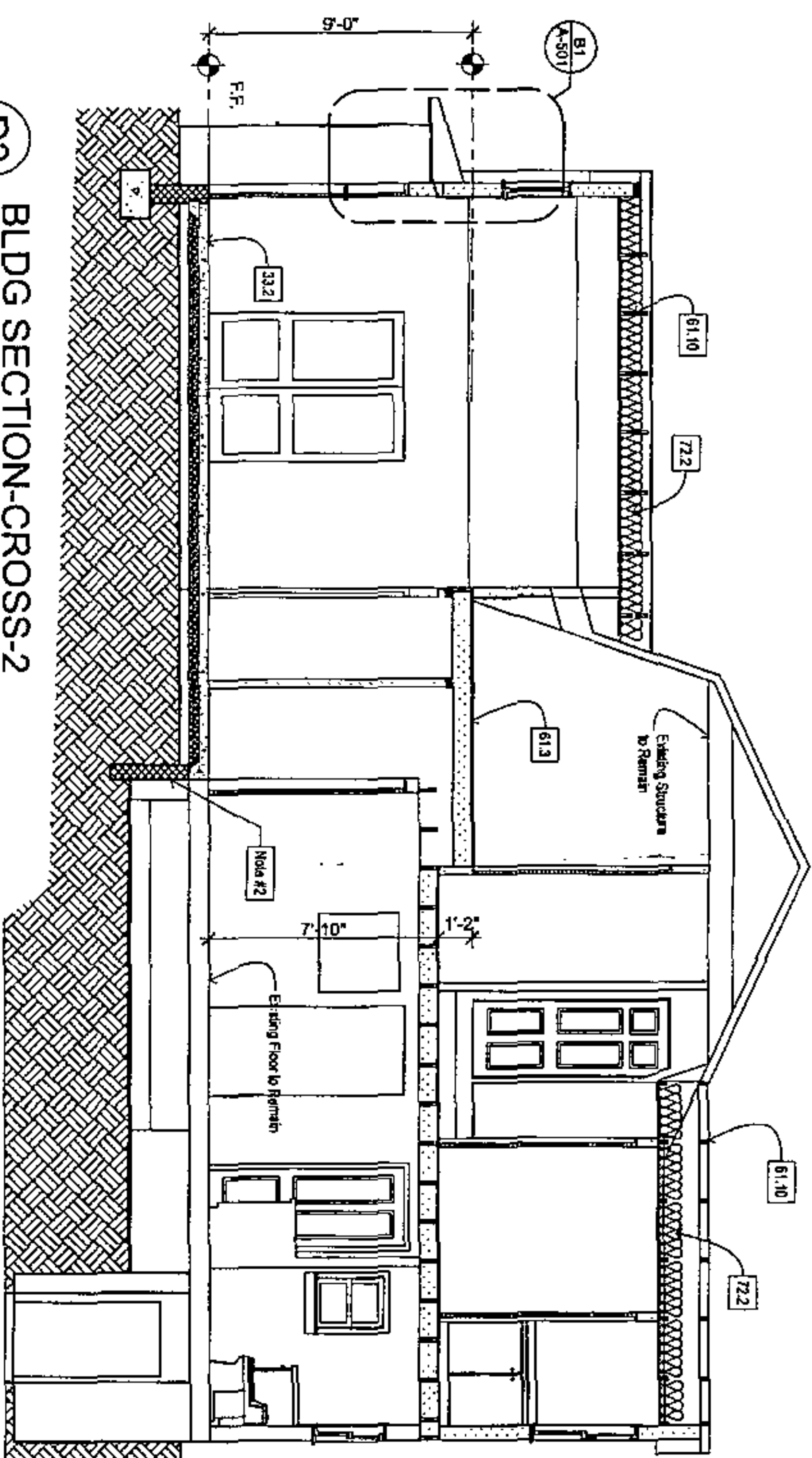
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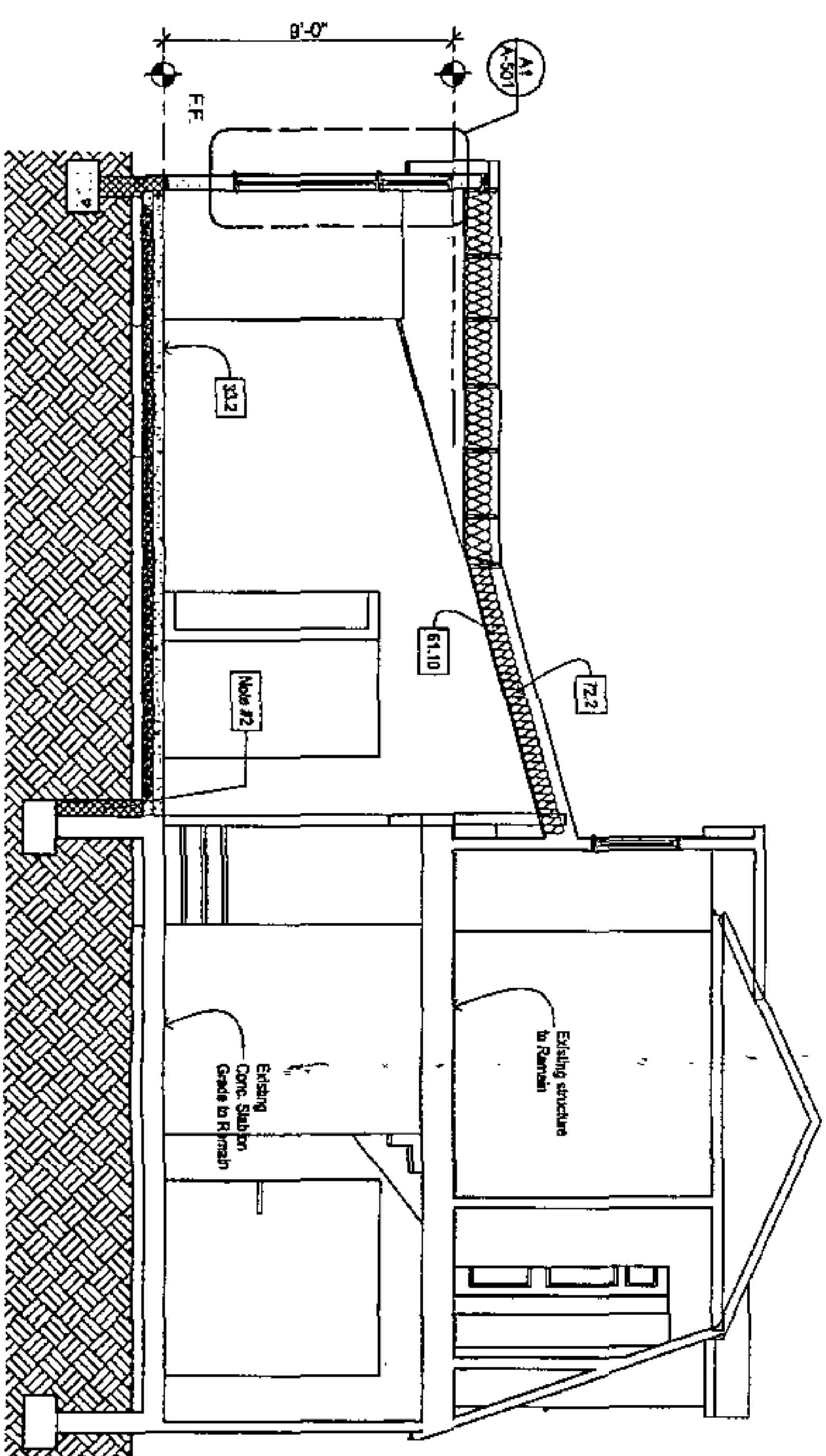
ELEVATIONS-2

A-202

D2 BLDG SECTION-CROSS-2
SCALE: 1/4" = 1'-0"



A2 BLDG SECTION-CROSS-1
SCALE: 1/4" = 1'-0"

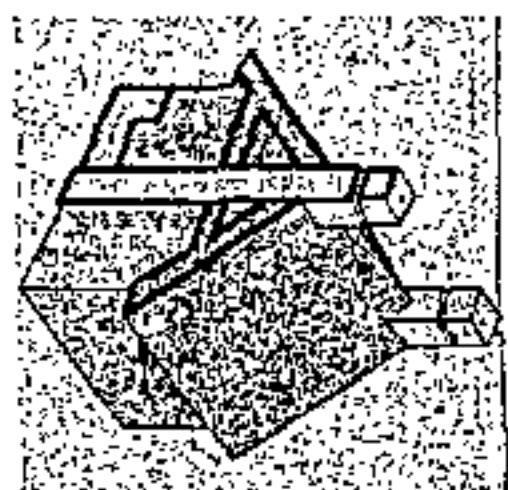


MATERIAL LIST:

72.1	Crushed Gravel	72.3	6 mil poly vapor barrier
20.2	2" Sand Base	72.4	Rigid Insulation (R-10)
20.3	4" Drain Tie	72.5	Not Used
20.4	Grade	72.6	Asphalt Shingles
20.5	Anchor Bolts	72.7	Ice & Water Shield
33.1	Concrete Footing	72.8	15# Felt
33.2	4" Concrete slab	72.9	Continuous Ridge Vent
33.3	Concrete Wall	73.0	Siding
33.4	Welded Wire Fabric	73.1	1" Protection Board
42.1	Concrete Masonry Unit	73.2	Aluminum Flashing
42.2	Non-Shrink Grout	73.3	R-11 Fiberglass Batt Insul.
51.1	Steel Column (See Struct.)	73.4	Alum. Gutter
51.2	Steel Beam (See Struct.)	73.5	Alum. Downspout
51.3	Reinforcing Bars (See Struct.)	73.6	Alum. Capping
51.4	Two Up/Int. Anchors	73.7	Ventilated Alum. Soffit Material
51.5	Wood Joists (See Struct.)	73.8	Buy Rubber Sheet Flashing Sealant
51.6	2x6 @ 16" O.C.	73.9	Mastic Sealant
51.7	3/4" T&G Plywood Flooring	74.0	Not Used
51.8	5/8" Plywood Roof Sheathing	74.1	Insulated Exterior Metal Door
51.9	Wood Trusses by Mfr.	74.2	Interior Door
51.10	1/2" Plywood Sheathing	74.3	Windows
51.11	FRT. Wood Blocking	74.4	1/2" Gypsum Wallboard
51.12	Fascia	74.5	5/8" Gypsum Wallboard
51.13	Railers (See Structural)	74.6	
71.1	Waterproof Membrane	74.7	
71.2	R-19 Fiberglass Batt Insul.	74.8	
72.2	R-38 Fiberglass Batt Insul.	74.9	

SHEET KEYNOTES:

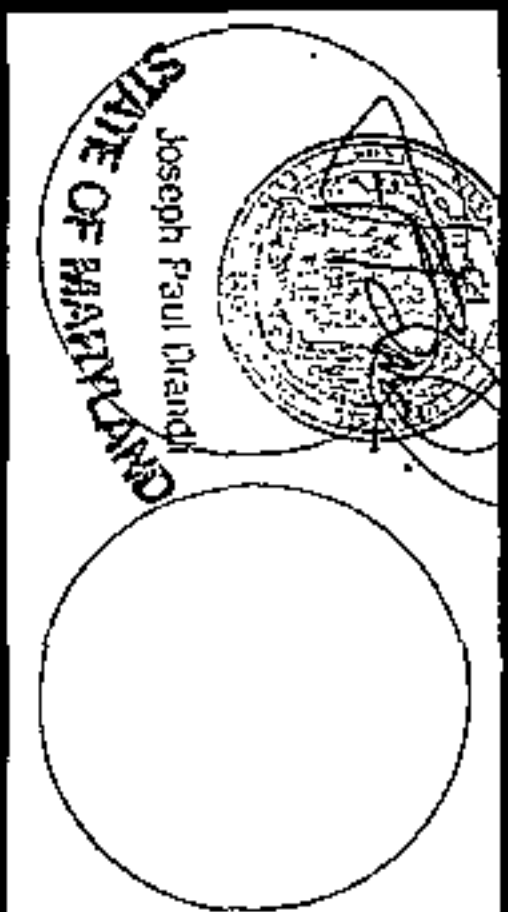
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2. PROVIDE 4" C&U DOWN TO EXIST. FOOTING FOR NEW SLAB EDGE.
3. ANCHOR - LONGER COUNTERTOP WITH NUTS SPACE FOR HANDICAPPED (PER MAX)



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Residential Addition
315 Bentley Road
Parkton, Maryland, 21120

Mr. & Mrs. Marc Soots

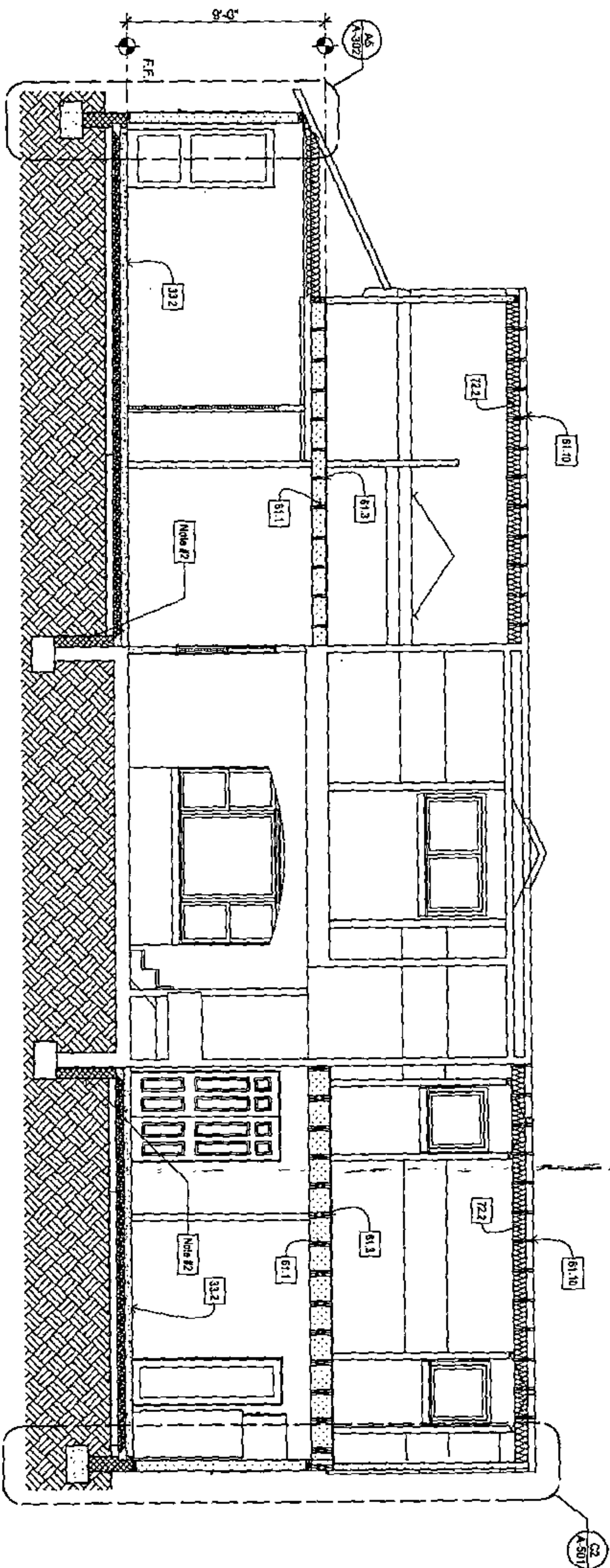
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DD	08-09-06	Design Development Drawings
SD	04-17-06	Schematic Design Drawings
AB	04-05-06	As-Built Drawings
MARK	DATE	DESCRIPTION

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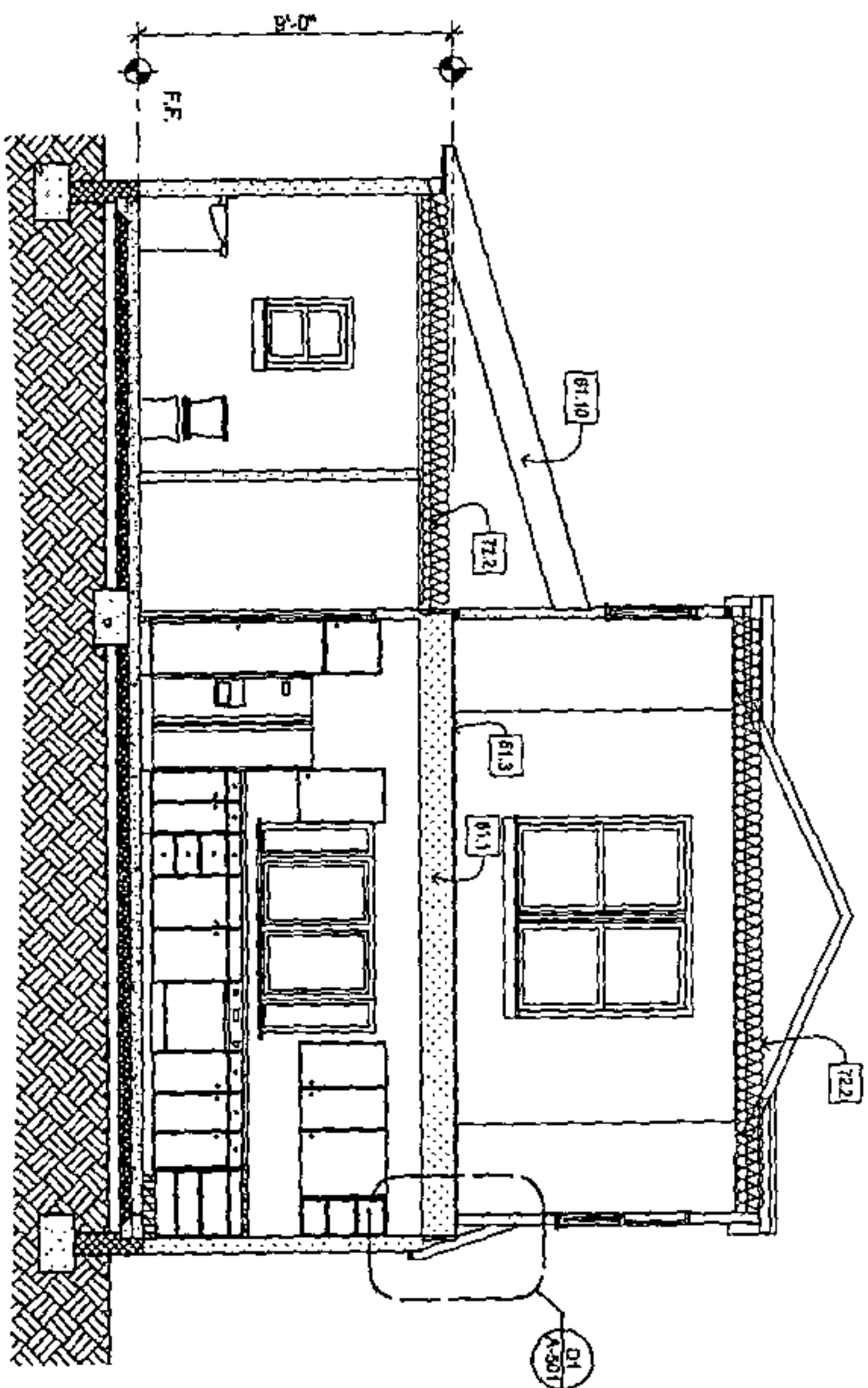
SECTIONS-1



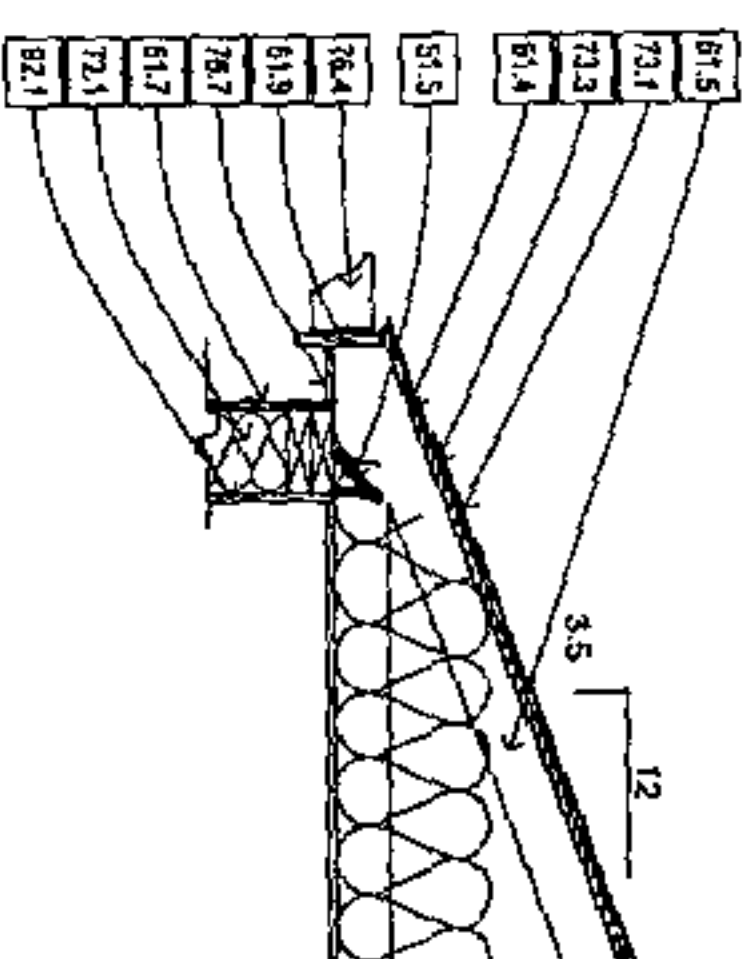
A-301



D1 BLDG SECTION-LONG
SCALE: 1/8" = 1'-0"



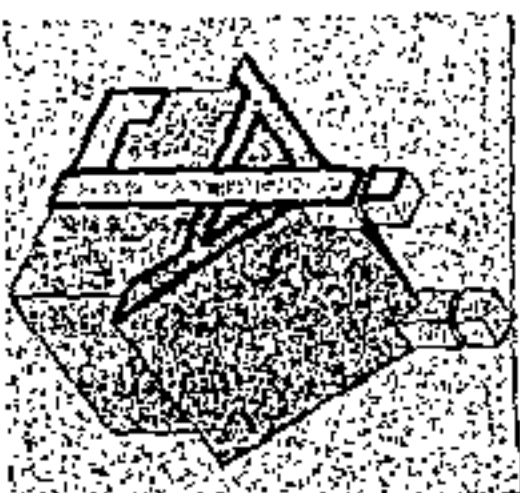
A1 BLDG SECTION-LATERAL
SCALE: 1/8" = 1'-0"



A5 WALL SECTION-01
SCALE: 3/4" = 1'-0"

MATERIAL LIST:

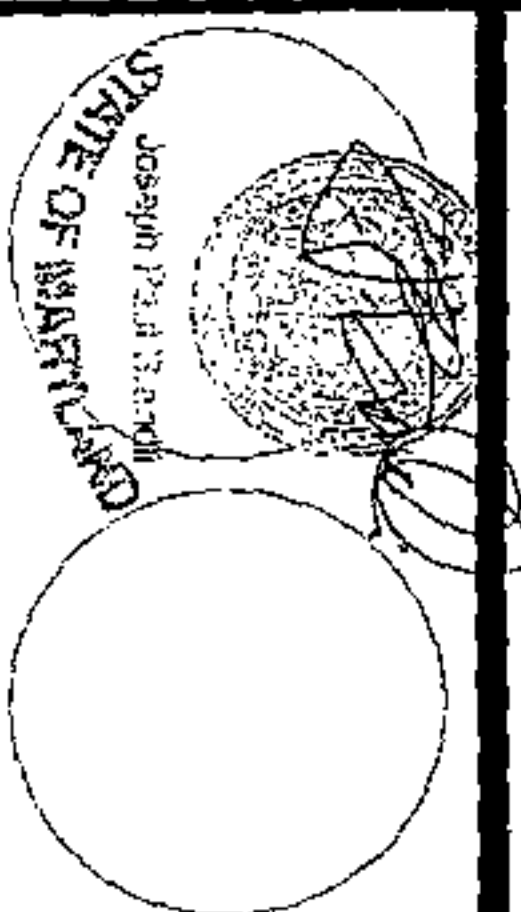
122	Crushed Gravel	122	6 mil poly vapor barrier
121	2" Sand Base	124	Rigid Insulation (R-10)
120	4" Drain Tile	125	Not Used
119	Gravel	126	Asphalt Shingles
118	Anchor Bolts	127	Ice & Water Shield
117	Concrete Footing	128	15# Rebar
116	4" Concrete Slab	129	Continuous Ridge Vent
115	Concrete Wall	130	Sliding
114	Welded Wire Fabric	131	1" Protection Board
113	Concrete Masonry Unit	132	Aluminum Flashing
112	Non-Synthetic Gout	133	Aluminum Fascia
111	Steel Column (See Struct.)	134	R-11 Fiberglass Batt Insul.
110	Steel Beam (See Struct.)	135	Alum. Gutter
109	Reinforcing Bars (See Struct.)	136	Alum. Downspout
108	Tenon Uplift Anchors	137	Alum. Coping
107	Wood Joists (See Struct.)	138	Ventilated Alum. Soffit Material
106	2x6 @ 16" O.C.	139	Buyl Rubber Sheet Flashing
105	3/4" T&G Plywood Flooring	140	Mastic Sealant
104	5/8" Plywood Roof Sheathing	141	Not Used
103	Wood Trusses by Mfr.	142	Insulated Exterior Metal Door
102	1/2" Plywood Sheathing	143	Interior Door
101	FRT Wood Blocking	144	Windows
100	Fascia (See Structure)	145	1/2" Gypsum Wallboard
99	Waterproof Membrane	146	5/8" Gypsum Wallboard
98	R-19 Fiberglass Batt Insul.	147	
97	R-30 Fiberglass Batt Insul.	148	



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Parkton, Maryland, 21120

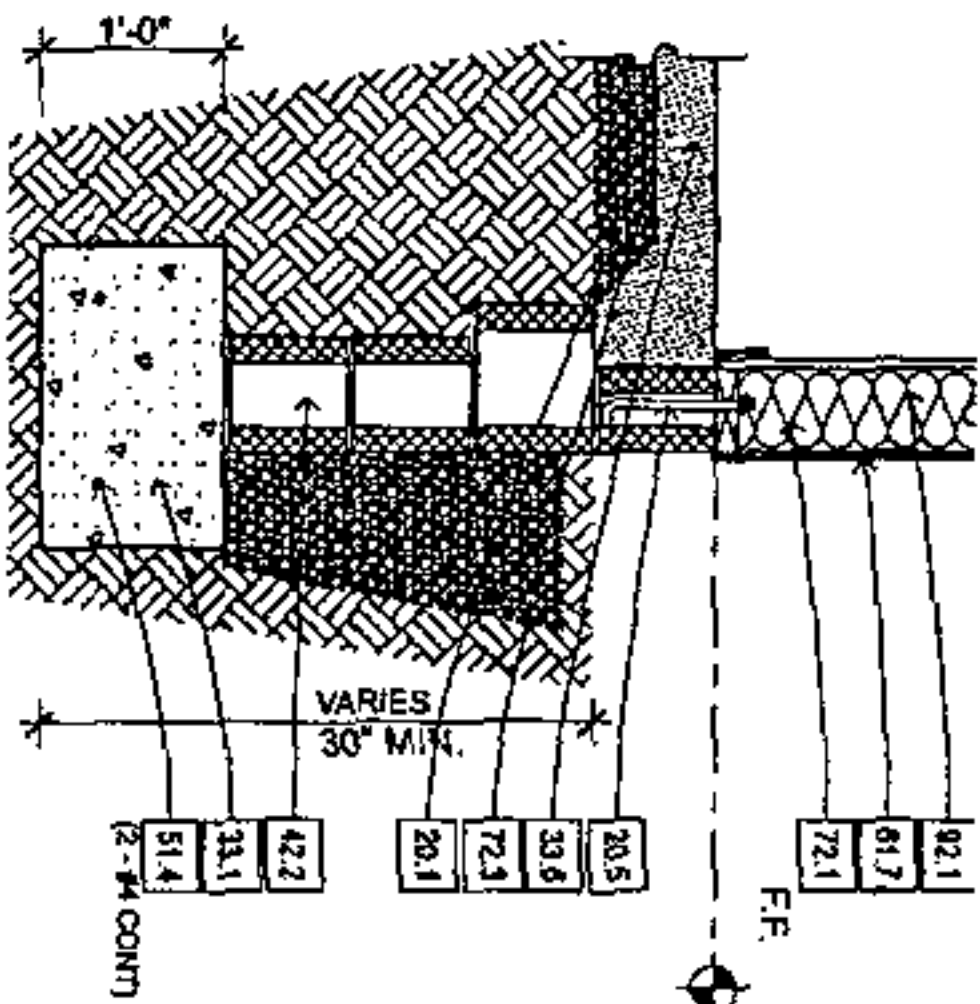
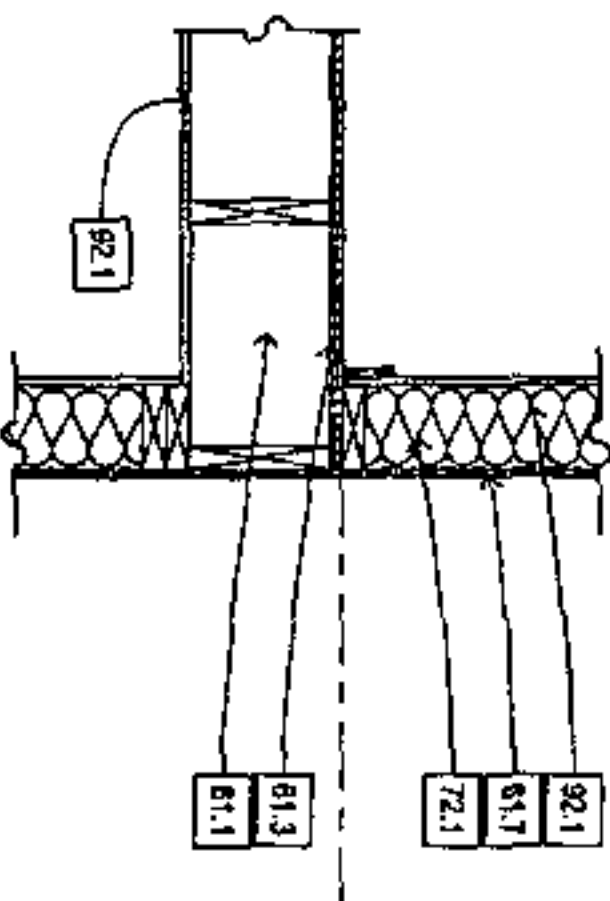
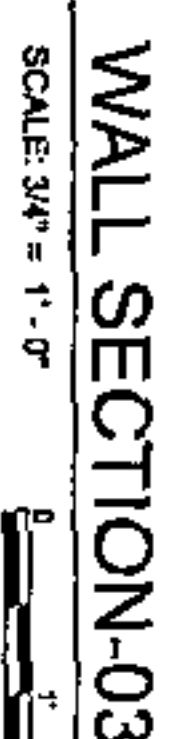
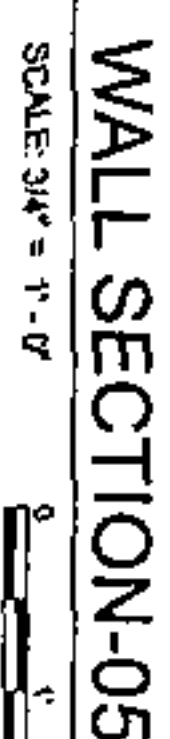
Mr. & Mrs. Marc Soots

MARK	DATE	DESCRIPTION
CD	08-08-06	Construction Document Drawings
DD	08-09-06	Design Development Drawings
SD	04-17-06	Schematic Design Drawings
AD	04-05-06	As-Built Drawings

PROJECT NO.	SOOTS_Book_CD1.lbk
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SECTIONS-2

A-302



MATERIAL LIST:			
201	Crushed Gravel	723	5 mil poly vapor barrier
202	2" Sand Base	724	Rigid Insulation (R-10)
203	4" Drain Tie	725	Not Used
204	Grade	726	Asphalt Shingles
205	Anchor Bolts	727	Ice & Water Shield
311	Concrete Footing	728	15# Feet
312	4" Concrete slab	729	Continuous Ridge Vent
313	Concrete Wall	730	Sliding
421	Welded Wire Fabric	731	1" Protection Board
422	Non-Sink Grout	732	Aluminum Flashing
511	Steel Column (See Struct.)	733	Aluminum Fascia
512	Steel Beam (See Struct.)	734	Alum. Gutter
513	Reinforcing Bars (See Struct.)	735	Alum. Downspout
611	Teac Uplift Anchors	736	Alum. Coping
612	Wood Joists (See Struct.)	737	Ventilated Alum. Soft Material
613	2x6 @ 16" O.C.	738	Butyl Rubber Sheet Flashing
614	3/4" Plywood Flooring	739	Sealant
615	Plywood Roof Sheathing	740	Mastic Sealant
616	Wood Trusses by Mfr.	811	Not Used
617	1/2" Plywood Sheathing	812	Insulated Exterior Metal Door
618	FRT Wood Bonding	813	Interior Door
619	Fascia	814	Windows
610	Railers (See Structural)	815	
711	Waterproof Membrane	821	1/2" Gypsum Wallboard
721	R-19 Fiberglass Batt Insul.	822	5/8" Gypsum Wallboard
731	R-38 Fiberglass Batt Insul.		

 **SHEET KEYNOTES:**

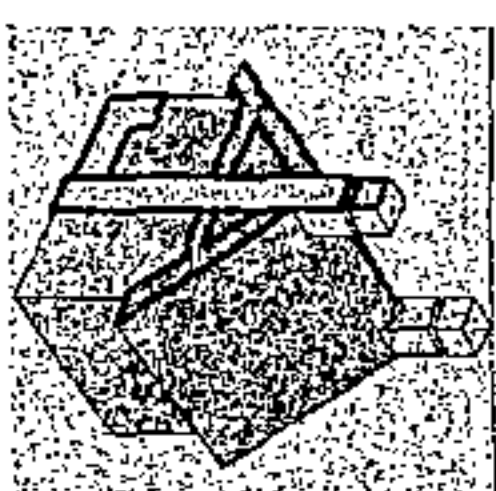
1. FOLLOW EXISTING DRAINAGE AND CONSTRUCTION TO MATCH EXISTING.
2. PROVIDE A CHUTE DOWN TO EXIST. FOOTING FOR NEW SLAB LEADS.
3. MAX HEIGHT - LOWERED COUNTERTOP WITH KNEE SPACE FOR HANDICAPPED (P. MAX.)

SHEET KEYNOTES:

1. FILL EXISTING OPENING W/CONSTRUCTION TO MATCH EXISTING.
2. PROVIDE 4" CHAU DOWN TO EXIST. FOOTING FOR NEW SLAB LEAVE.
3. ADA HEIGHT - LOWERED COUNTERTOP WITH KNEE SPACE FOR HANDICAPPED (4" MAX).

GENERAL NOTES:

1. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE STATE AND LOCAL BUILDING CODES.
2. CONTRACTOR SHALL BE CAREFUL NOT TO DISRUPT PRIOR TO COMPLETION OF FIRST FLOOR FRAMING AND BRACKETED SLAB ON GRADE.
3. CONTRACTOR SHALL PROVIDE FOR THE MINIMUM ATTIC VENTILATION OF 1/200 OF THE AREA BEING ROOFED WITH AT LEAST ONE, BUT NOT MORE THAN TWO, 6"X6" PROVIDED AT THE PEAK OF THE ROOF. ALL VENTILATION SHALL BE LOCATED AT LEAST 12" FROM EAVES AND 36" FROM VENTS AS MATCHED ON THE DRAWINGS. MAINTAIN 1" MINIMUM CLEARANCE.
4. ALL INTERIOR WOODWORKS, TRIM, FINISHES, RECEPTION, PARTITIONS, PLUMBING AND LIGHTING SHALL BE SELECTED BY OWNER AND INTERIOR DESIGNER AND ARE NOT DEFINED IN THESE DOCUMENTS.
5. CONTRACTOR SHALL FINISH ALL LABOR, MATERIALS, EQUIPMENT AND SERVICES REQUIRED FOR COMPLETE INSTALLATION AND OPERATION OF ALL FEATURES WORKED ON THE DRAWINGS SELECTED BY THE OWNER AND AS REQUIRED FOR A COMPLETE, EXISTENT BUILD AND WELL FUNCTIONING BUILDING.
6. INSTALLATION OF ALL MATERIALS NOTED ON THE DRAWINGS SHALL BE IN STRICT ACCORDANCE WITH MANUFACTURERS' INSTRUCTIONS SO AS TO FULFILL ALL REQUIREMENTS OF MANUFACTURERS' WARRANTIES.
7. DO NOT SCALE PLANS FOR PURPOSES OF CONSTRUCTION. WRITTEN NOTES SUPERSEDE ALL SCALE REFERENCES. THE CONTRACTOR SHALL DOWNE AND CONDUIT ALL ELECTRICAL CABLES IN THE WALLS AND FLOORS OF THE BUILDING. ALL ELECTRICAL CABLES SHALL BE INSTALLED DURING THE ROOF PROPER ALLOW SUFFICIENT PRIOR TO PROCEEDING WITH WORK.
8. ELECTRICAL SYSTEM SHALL BE DESIGNED AND INSTALLED BY CONTRACTOR ACCORDING TO ALL APPLICABLE BUILDING CODES.
9. MECHANICAL SYSTEM SHALL BE DESIGNED AND INSTALLED BY THE CONTRACTOR ACCORDING TO ALL APPLICABLE BUILDING CODES.
10. PLUMBING SYSTEM SHALL BE DESIGNED AND INSTALLED BY THE CONTRACTOR ACCORDING TO ALL APPLICABLE BUILDING CODES.
11. SHOP DRAWINGS SHALL BE PROVIDED FOR STRUCTURAL, MECHANICAL, ELECTRICAL AND SPECIALIZED CONSTRUCTION INDICATED HEREIN.
12. ALL WALL FINISHES SHALL BE TO FACE OF STUD AND/OR FACE OF EXTERIOR SHEATHING 8 1/2" THICK. FOR INTERIOR WALLS FINISHES UNLESS OTHERWISE SPECIFIED.

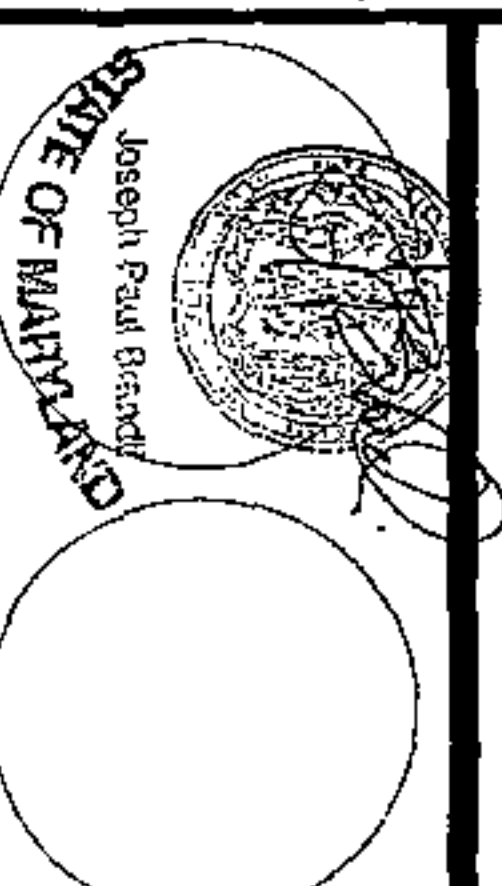


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Residential Addition
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Parkton, Maryland, 21120

Mr. & Mrs. Marc Soots

MARK	DATE	DESCRIPTION
CD	08-08-06	Construction Document Dwg
DD	06-09-06	Design Development Drawn
SD	04-17-06	Schematic Design Drawings
AG	04-05-06	As-Built Drawings

PROJECT NO:	
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DETAILS & SCHEDULES

A-501