IN RE: **PETITIONS FOR VARIANCE**	*	BEFORE THE
SW Corner South Marlyn Avenue and Silver Avenue	*	ZONING COMMISSIONER
(300 & 302 South Marlyn Avenue) 15th Election District 7th Council District	*	OF
	*	BALTIMORE COUNTY
Michael Shortlidge, et al Petitioners	*	**Case Nos. 07-267-A & 07-268-A**

* * * * * * * * * * *

FINDINGS OF FACT AND CONCLUSIONS OF LAW

This matter comes before the Zoning Commissioner for consideration of the Petition for Variance filed by the owners of the subject adjacent properties Michael Shortlidge, Darrell Lambert, and his wife, Alice Lambert. Since the properties are owned by the same individuals and are located adjacent to one another, the two cases were heard contemporaneously. In Case No. 07-267-A, the Petitioners request a variance from Section 1B02.3.C.1 of the Baltimore County Zoning Regulations (B.C.Z.R.) to permit a lot width of 50 feet in lieu of the required 55 feet for the lot containing an existing single-family dwelling known as 300 South Marlyn Avenue and designated as Lot 43 on the plat of Glasco filed in Plat Book W.P.C. No. 7 folio 115. In Case No. 07-268-A, the Petitioners request similar relief. Specifically, relief is requested from Section 1B02.3.C.1 to permit a buildable lot with a width of 50 feet in lieu of the minimum required 55 feet for the adjacent property known as 302 South Marlyn Avenue, which is presently a vacant lot. This property is designated as Lot 44 on the plat of Glasco filed Plat Book W.P.C. No. 7 folio 115. The two properties at issue and requested relief are more particularly described on the site plan submitted in each case and marked into evidence as Petitioners' Exhibit 1.

Appearing at the requisite public hearing in support of the requests were Francis X. Borgerding, Jr., attorney for the Petitioners, and Michael Shortlidge, property owner. There were no Protestants or other interested persons present.

As noted above, the subject properties are located adjacent to one another on the west side of Marlyn Avenue just south of Silver Avenue and known as Lots 43 and 44 on the plat of Glasco filed in the Land Records of Baltimore County in Plat Book W.P.C. No. 7 Folio 115. The properties are zoned D.R.5.5. The Petitioners produced a color coded exhibit to show the pattern of development in the area as well as numerous pictures evidencing that the vast majority of single family homes in this locale are developed on 50 foot lot widths which do not meet the current D.R.5.5 lot width requirement of 55 feet. Petitioner testified that he and his brother-in-law are in the process of refurbishing the existing single-family dwelling on 300 South Marlyn Avenue. Relief is requested as set forth above to allow the development of the vacant lot with a single-family dwelling.

Although the existing and proposed structures on each lot will meet all the D.R.5.5 bulk requirements with the exception of the required 50 foot lot width, a Zoning Advisory Committee (ZAC) comment, dated January 2, 2007, was received from the Bureau of Development Plans Review requesting the Petitioners to "show a future 40-foot-wide right-of-way centered on the existing 30-foot-wide right-of-way on Silver Avenue". To comply with this request, the existing single-family dwelling on 300 South Maryln Avenue will have an eight foot side yard setback instead of the existing 13 feet. To accommodate this request the Petitioners agreed to amend their petition and site plan (Petitioners' Exhibit 1) to include an additional variance in Case No. 07-267-A from Section 1B02.3.C.1 of the B.C.Z.R. to request a side yard setback of eight feet in lieu of the required 10 feet.

As now particularly shown on the site plan, each of the subject lots contain 7,500 square feet of area. Mr. Shortlidge gave a history of the properties and the scope of work taking place which has been fully discussed with neighbors who support the proposal. He submitted pictures showing the refurbishment of the existing house on 300 South Marlyn Avenue. The Petitioner indicated that both the existing house and new house to be put on the existing unimproved lot will be compatible both in size and architecture with the surrounding neighborhood. ZAC comments were received from the Department of Environmental Protection

and Resource Management (DEPRM), dated February 7, 2007, which indicated the lots in both cases must comply with the Chesapeake Bay Critical Area Regulations. The properties are located in the intensely developed area (IDA) of the Chesapeake Bay Critical Area.

The Petitioners filed the instant petitions seeking recognition that these are two separate building lots. As to Lot 43, the variance relief is functionally necessary should Silver Avenue be widened in the future and legitimize the existing lot for the dwelling known as 300 South Marlyn Avenue. As to Lot 44, relief is necessary to permit development with a new single-family dwelling. The new dwelling will meet all front, side and rear setback requirements. It is to be noted that public water and sewer serve both lots. Thus, it appears the relief requested is appropriate and consistent with the neighborhood. Both are lots of record that have existed for many years and although each fails to meet the present lot width of the D.R.5.5 zoning regulations, they are consistent with others in the community. The testimony indicates that the vacant lot has never been utilized as yard space for 300 South Marlyn Avenue or in any way been improved to give the appearance of having been incorporated into the lot known as 300 South Marlyn Avenue. The proposed dwelling while compatible with the neighborhood will be subject to architectural review by the Office of Planning. As the Office of Planning is one of the signatory departments for building permit approval, the Petitioners must comply with Planning's ZAC comment and recommendations regarding the architectural styling of the proposed dwelling to assure compatibility with the area. In my view, the relief requested will not result in any detriment to the health, safety and general welfare of the surrounding community and shall, therefore, be granted.

Pursuant to the advertisement, posting of the property and public hearing on these petitions held, and for the reasons set forth above, the relief requested shall be granted.

THEREFORE, IT IS ORDERED by the Zoning Commissioner for Baltimore County this 2nd day of March, 2007 that the Petition for Variance filed in Case No. 07-267-A seeking relief from Section 1B02.3.C.1 of the Baltimore County Zoning Regulations (B.C.Z.R.) to permit a lot width of 50 feet in lieu of the required 55 feet, and Petitioners' amended request

for a side yard setback of eight feet (north side) in lieu of the required 10 feet for the existing single-family dwelling on the property known as 300 South Marlyn Avenue, in accordance with Petitioners' Exhibit 1, be and is hereby GRANTED; and

IT IS FURTHER ORDERED that the Petition for Variance filed in Case No. 07-268-A seeking relief from Section 1B02.3.C.1 of the B.C.Z.R. to permit a lot width of 50 feet in lieu of the required 55 feet for the property known as 302 South Marlyn Avenue, in accordance with Petitioners' Exhibit 1, be and is hereby GRANTED, subject to the following conditions:

1) The Petitioners may apply for their building permits and be granted same upon receipt of this Order; however, Petitioners are hereby made aware that proceeding at this time is at their own risk until the 30-day appeal period from the date of this Order has expired. If an appeal is filed and this Order is reversed, the relief granted herein shall be rescinded.

2) The development of this property is subject to intensely developed area (IDA) regulations of the Chesapeake Bay Critical Area Regulations. Compliance with the attached Zoning Advisory Committee (ZAC) comments submitted by the Department of Environmental Protection and Resource Management (DEPRM) relative to Chesapeake Bay Critical Area Regulations and IDA regulations, dated January 7, 2007.

3) When applying for any permits, the site plan(s) filed must reference this case and set forth and address the restrictions of this Order.

WILLIAM J. WISEMAN, III
Zoning Commissioner for
Baltimore County

ORDER RECEIVED FOR FILING
Date 3-2-07
By DPZ

BW
2/12

BALTIMORE COUNTY, MARYLAND

Inter-Office Correspondence

TO: Timothy M. Kotroco

FROM: Jeff Livingston, DEPRM - Development Coordination JWL

DATE: January 7, 2007

SUBJECT: Zoning Item # 07-267-A
Address 300 S. Marlyn Avenue
(Shortlidge & Lambert Property)

Zoning Advisory Committee Meeting of 12/25/06

_____ The Department of Environmental Protection and Resource Management has no comments on the above-referenced zoning item.

_X_ The Department of Environmental Protection and Resource Management offers the following comments on the above-referenced zoning item:

_____ Development of the property must comply with the Regulations for the Protection of Water Quality, Streams, Wetlands and Floodplains (Sections 33-3-101 through 33-3-120 of the Baltimore County Code).

_____ Development of this property must comply with the Forest Conservation Regulations (Sections 33-6-101 through 33-6-122 of the Baltimore County Code).

_X_ Development of this property must comply with the Chesapeake Bay Critical Area Regulations (Sections 33-2-101 through 33-2-1004, and other Sections, of the Baltimore County Code).

Additional Comments:
This property is within the Intensely Developed Area (IDA) of the CBCA. Any development must comply with IDA regulations.

Reviewer: Kevin Brittingham Date: 1/4/07

ORDER RECEIVED FOR FILING
Date 3-2-07
By DAS

S:\Devcoord\1 ZAC-Zoning Petitions\ZAC 2007\ZAC 07-267-A.doc

BALTIMORE COUNTY
MARYLAND

JAMES T. SMITH, JR.
County Executive

WILLIAM J. WISEMAN III
Zoning Commissioner

March 2, 2007

Frank Borgerding, Esquire
409 Washington Avenue, Suite 600
Towson, MD 21204

RE: **PETITIONS FOR VARIANCE**
SW Corner South Marlyn Avenue and Silver Avenue
(300 & 302 South Marlyn Avenue
15th Election District - 7th Council District
Michael Shortlidge, et al - Petitioners
Case Nos. 07-267-A & 07-268-A

Dear Mr. Borgerding:

Enclosed please find a copy of the decision rendered in the above-captioned matter. The Petitions for Variance have been granted with restrictions in accordance with the attached Order.

In the event any party finds the decision rendered is unfavorable, any party may file an appeal to the County Board of Appeals within thirty (30) days of the date of this Order. For further information on filing an appeal, please contact the Department of Permits and Development Management office at 887-3391.

Very truly yours,

WILLIAM J. WISEMAN, III
Zoning Commissioner
for Baltimore County

WJW:dlw
Enclosure

c: Michael Shortlidge, 7416 Longfield Drive, Kingsville, Md. 21087
Darrell and Alice Lambert, 7416 Longfield Drive, Kingsville, Md. 21087
People's Counsel; DEPRM; DPR; Case File

Petition for Variance

to the Zoning Commissioner of Baltimore County

for the property located at 302 S. Marlyn Ave

which is presently zoned DR 5.5

This Petition shall be filed with the Department of Permits and Development Management. The undersigned, legal owner(s of the property situate in Baltimore County and which is described in the description and plat attached hereto and made a pa hereof, hereby petition for a Variance from Section(s) 1B02.3.C.1 - to permit a proposed single family dwelling to be built on a 50-foot wide lot in lieu of the required 55 feet

of the Zoning Regulations of Baltimore County, to the zoning law of Baltimore County, for the following reasons: (indicate hardshi or practical difficulty)

to be discussed at hearing

Property is to be posted and advertised as prescribed by the zoning regulations.
I, or we, agree to pay expenses of above Variance, advertising, posting, etc. and further agree to and are to be bounded by the zonin regulations and restrictions of Baltimore County adopted pursuant to the zoning law for Baltimore County.

I/We do solemnly declare and affirm, under the penalties of perjury, that I/we are the legal owner(s) of the property which is the subject of this Petition.

Contract Purchaser/Lessee:

Name - Type or Print

Signature

Address — Telephone No.

City — State — Zip Code

Attorney For Petitioner:

Name - Type or Print

Signature

Company — Date 3-2-07

Address — By — Telephone No.

City — State — Zip Code

Legal Owner(s):

Michael Shortlidge
Name - Type or Print

Signature

Darrell + Alice Lambert
Name - Type or Print

Darrell Lambert Alice Lambert
Signature

7416 Longfield drive 410 371-8522
Address — Telephone No.

Kingsville MD 21087
City — State — Zip Code

Representative to be Contacted:

Michael Shortlidge
Name

7416 Longfield drive 410 371-8522
Address — Telephone No.

Kingsville MD 21087
City — State — Zip Code

OFFICE USE ONLY

ESTIMATED LENGTH OF HEARING _____

UNAVAILABLE FOR HEARING _____

Case No. 07-268-A

(schedule to be held with #07-267-A)

Reviewed By _____ **Date** 12/8/06

REV 9/15/98

Zoning Description
302 S. Marlyn Ave.

Beginning at a point on the west side of south Marlyn Ave (31 ft Paving) 50 ft from the intersection with the south side of Silver Ave (22' paving) Being Lot # 44 in the Subdivision of Glassco, recorded in Plat book # 7 folio # 115 Being 7,500 sq. ft in Area in the 15 elec. dist., 7th counc. dist.

Item #268

BALTIMORE COUNTY, MARYLAND 268

OFFICE OF BUDGET & FINANCE

MISCELLANEOUS RECEIPT

No. 22965

DATE 12/8/06 ACCOUNT [illegible]

AMOUNT $ [illegible]

RECEIVED FROM: _____

FOR: Zoning Hearing - Case # 07-268-A

(Filed with 07-267-A)

DISTRIBUTION
WHITE - CASHIER PINK - AGENCY YELLOW - CUSTOMER

CASHIER'S VALIDATION

PAID RECEIPT

BUSINESS	ACTUAL	TIME	DRW
12/12/2006	12/08/2006	11:55:01	3

REG WEST CASHIER NEW WEST

>>RECEIPT # 492267 12/08/2006 OPEN

Dept 3 - $25 ZONING CERTIFICATION

CR NO. 022965

Recpt Tot: $40.00

9.00 CK $140.00 CA

$110.00- CG

Baltimore County, Maryland

NOTICE OF ZONING HEARING

The Zoning Commissioner of Baltimore County, by authority of the Zoning Act and Regulations of Baltimore County will hold a public hearing in Towson, Maryland on the property identified herein as follows:

Case: #07-268-A
302 South Marlyn Avenue
West side of Marlyn Avenue, 50 feet south of centerline of Silver Avenue
15th Election District - 7th Councilmanic District
Legal Owner(s): Michael Shortridge, Darrell & Alice Lambert

Variance: to permit a proposed single family dwelling to be built on a 50-foot wide lot in lieu of the required 55 feet.

Hearing: Monday, February 12, 2007 at 10:00 a.m. in Room 407, County Courts Building, 401 Bosley Avenue, Towson 21204.

WILLIAM J. WISEMAN, III
Zoning Commissioner for Baltimore County

NOTES: (1) Hearings are Handicapped Accessible; for special accommodations Please Contact the Zoning Commissioner's Office at (410) 887-3868.
(2) For information concerning the File and/or Hearing, Contact the Zoning Review Office at (410) 887-3391.

1/294 Jan. 25 122651

CERTIFICATE OF PUBLICATION

1/25/, 2007

THIS IS TO CERTIFY, that the annexed advertisement was published in the following weekly newspaper published in Baltimore County, Md., once in each of 1 successive weeks, the first publication appearing on 1/25/, 2007.

- [x] The Jeffersonian
- [ ] Arbutus Times
- [ ] Catonsville Times
- [ ] Towson Times
- [ ] Owings Mills Times
- [ ] NE Booster/Reporter
- [ ] North County News

S. Wilkinson

LEGAL ADVERTISING

CERTIFICATE OF POSTING

RE: Case No: 07-268-A

Petitioner/Developer: DARRELL & ALICE LAMBERT, MICHAEL SHORTRIDGE

Date Of Hearing/Closing: 2/12/07

Baltimore County Department of
Permits and Development Management
County Office Building, Room 111
111 West Chesapeake Avenue

Attention:

Ladies and Gentlemen:

This letter is to certify under the penalties of perjury that the necessary sign(s) required by law were posted conspicuously on the property at 302 S. MARLYN AVE

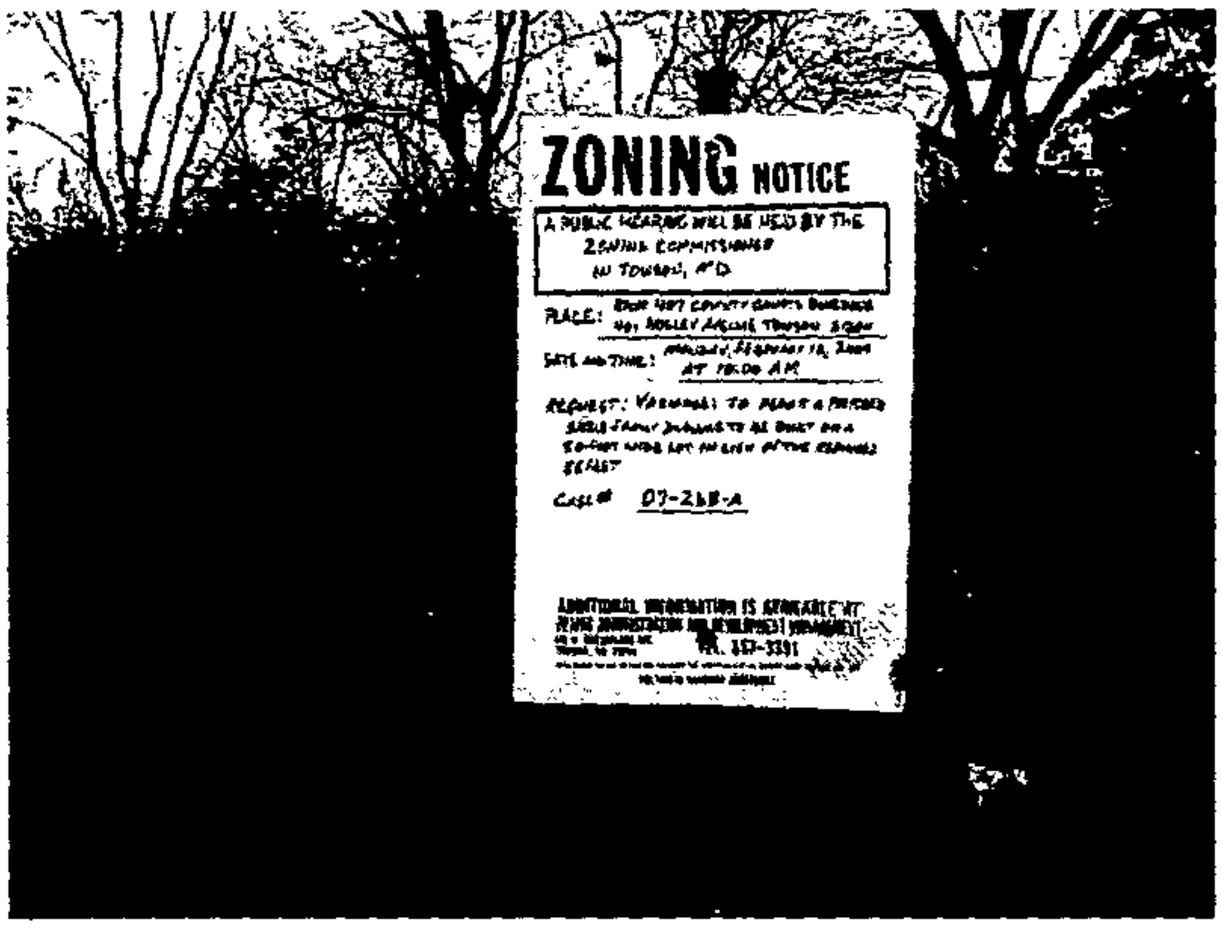
This sign(s) were posted on January 27, 2007
(Month, Day, Year)

Sincerely,

Martin Ogle 1/27/07
(Signature of sign Poster and Date)

Martin Ogle
Sign Poster
16 Salix Court
Address
Balto. Md 21220
(443-629 3411)

im000981 (576x432x24b jpeg)



Walter Ogle 1/27/07

RE:	PETITION FOR VARIANCE 302 S. Marlyn Avenue; W/S S. Marlyn Avenue, 50' S c/line Silver Avenue 15th Election & 7th Councilmanic Districts Legal Owner(s): Michael Shortlidge and Darrell & Alice Lambert Petitioner(s)	* * * * *	BEFORE THE ZONING COMMISSIONER FOR BALTIMORE COUNTY 07-268-A

* * * * * * * * * * * * *

ENTRY OF APPEARANCE

Please enter the appearance of People's Counsel in the above-captioned matter. Notice should be sent of any hearing dates or other proceedings in this matter and the passage of any preliminary or final Order. All parties should copy People's Counsel on all correspondence sent/ documentation filed in the case.

Peter Max Zimmerman

PETER MAX ZIMMERMAN
People's Counsel for Baltimore County

Carole S. Demilio

CAROLE S. DEMILIO
Deputy People's Counsel
Old Courthouse, Room 47
400 Washington Avenue
Towson, MD 21204
(410) 887-2188

CERTIFICATE OF SERVICE

I HEREBY CERTIFY that on this 4th day of January, 2007, a copy of the foregoing Entry of Appearance was mailed to, Michael Shortlidge, 7416 Longfield Drive, Kingsville, MD 21087, Petitioner(s).

RECEIVED
JAN 04 2007
Per.....

Peter Max Zimmerman

PETER MAX ZIMMERMAN
People's Counsel for Baltimore County

BALTIMORE COUNTY

MARYLAND

JAMES T. SMITH, JR.
County Executive

January 2, 2007
TIMOTHY M. KOTROCO, *Director*
Department of Permits and Development Management

NOTICE OF ZONING HEARING

The Zoning Commissioner of Baltimore County, by authority of the Zoning Act and Regulations of Baltimore County, will hold a public hearing in Towson, Maryland on the property identified herein as follows:

CASE NUMBER: 07-268-A
302 South Marlyn Avenue
West side of Marlyn Avenue, 50 feet south of centerline of Silver Avenue
15th Election District – 7th Councilmanic District
Legal Owners: Michael Shortlidge, Darrell & Alice Lambert

Variance to permit a proposed single family dwelling to be built on a 50-foot wide lot in lieu of the required 55 feet.

Hearing: Monday, February 12, 2007 at 10:00 a.m. in Room 407, County Courts Building, 401 Bosley Avenue, Towson 21204

Timothy Kotroco
Director

TK:klm

C: Michael Shortlidge, 7416 Longfield Drive, Kingsville 21087
Darrell & Alice Lambert, 7416 Longfield Drive, Kingsville 21087

NOTES: (1) **THE PETITIONER MUST HAVE THE ZONING NOTICE SIGN POSTED BY AN APPROVED POSTER ON THE PROPERTY BY SATURDAY, JANUARY 27,2007.**
(2) HEARINGS ARE HANDICAPPED ACCESSIBLE; FOR SPECIAL ACCOMMODATIONS PLEASE CALL THE ZONING COMMISSIONER'S OFFICE AT 410-887-4386.
(3) FOR INFORMATION CONCERNING THE FILE AND/OR HEARING, CONTACT THE ZONING REVIEW OFFICE AT 410-887-3391.

TO: PATUXENT PUBLISHING COMPANY
Thursday, January 25, 2007 Issue - Jeffersonian

Please forward billing to:
Michael Shortlidge
7416 Longfield Drive
Kingsville, MD 21087

410-371-8522

NOTICE OF ZONING HEARING

The Zoning Commissioner of Baltimore County, by authority of the Zoning Act and Regulations of Baltimore County, will hold a public hearing in Towson, Maryland on the property identified herein as follows:

CASE NUMBER: 07-268-A
302 South Marlyn Avenue
West side of Marlyn Avenue, 50 feet south of centerline of Silver Avenue
15th Election District – 7th Councilmanic District
Legal Owners: Michael Shortlidge, Darrell & Alice Lambert

Variance to permit a proposed single family dwelling to be built on a 50-foot wide lot in lieu of the required 55 feet.

Hearing: Monday, February 12, 2007 at 10:00 a.m. in Room 407, County Courts Building, 401 Bosley Avenue, Towson 21204

WILLIAM J. WISEMAN III
ZONING COMMISSIONER FOR BALTIMORE COUNTY

NOTES: (1) HEARINGS ARE HANDICAPPED ACCESSIBLE; FOR SPECIAL ACCOMODATIONS, PLEASE CONTACT THE ZONING COMMISSIONER'S OFFICE AT 410-887-4386.
(2) FOR INFORMATION CONCERNING THE FILE AND/OR HEARING, CONTACT THE ZONING REVIEW OFFICE AT 410-887-3391.

DEPARTMENT OF PERMITS AND DEVELOPMENT MANAGEMENT
ZONING REVIEW

ADVERTISING REQUIREMENTS AND PROCEDURES FOR ZONING HEARINGS

The Baltimore County Zoning Regulations (BCZR) require that notice be given to the general public/neighboring property owners relative to property which is the subject of an upcoming zoning hearing. For those petitions which require a public hearing, this notice is accomplished by posting a sign on the property (responsibility of the petitioner) and placement of a notice in a newspaper of general circulation in the County, both at least fifteen (15) days before the hearing.

Zoning Review will ensure that the legal requirements for advertising are satisfied. However, the petitioner is responsible for the costs associated with these requirements. The newspaper will bill the person listed below for the advertising. This advertising is due upon receipt and should be remitted directly to the newspaper.

OPINIONS MAY NOT BE ISSUED UNTIL ALL ADVERTISING COSTS ARE PAID.

For Newspaper Advertising:

Item Number or Case Number: 07-268-A

Petitioner: Michael Shortlidge

Address or Location: 302 S. Marlyn Ave

PLEASE FORWARD ADVERTISING BILL TO:

Name: Michael Shortlidge

Address: 7416 Longfield drive
Kingsville MD 21087

Telephone Number: 410 371-8522

Revised 7/11/05 - SCJ

BALTIMORE COUNTY

MARYLAND

JAMES T. SMITH, JR.
County Executive

TIMOTHY M. KOTROCO, *Director*
Department of Permits and Development Management

February 5, 2007

Michael Shortlidge
Darrell and Alice Lambert
7416 Longfield Drive
Kingsville, MD 21087

Dear Mr. Shortlidge and Mr. and Mrs. Lambert:

RE: Case Number: 07-268-A, 302 S. Marlyn Avenue

The above referenced petition was accepted for processing by the Bureau of Zoning Review, Department of Permits and Development Management (PDM) on December 8, 2006.

The Zoning Advisory Committee (ZAC), which consists of representatives from several approval agencies, has reviewed the plans that were submitted with your petition. All comments submitted thus far from the members of the ZAC are attached. These comments are not *intended to indicate the appropriateness of the zoning action requested*, but to ensure that all parties (zoning commissioner, attorney, petitioner, etc.) are made aware of plans or problems with regard to the proposed improvements that may have a bearing on this case. All comments will be placed in the permanent case file.

If you need further information or have any questions, please do not hesitate to contact the commenting agency.

Very truly yours,

W. Carl Richards, Jr.
Supervisor, Zoning Review

WCR:amf

Enclosures

c: People's Counsel

Click here for a plain text ADA compliant screen.

Maryland Department of Assessments and Taxation
BALTIMORE COUNTY
Real Property Data Search

Go Back
View Map
New Search
Ground Rent

Account Identifier: **District** - 15 **Account Number** - 1516450020

Owner Information

Owner Name: SHORTLIDGE MICHAEL D
LAMBERT DARRELL K LAMBERT ALICE W

Mailing Address: 2229 HOLLY NECK RD
BALTIMORE MD 21221-2025

Use: RESIDENTIAL

Principal Residence: NO

Deed Reference: 1) /24274/ 67
2)

Location & Structure Information

Premises Address
300 S MARLYN AVE

Legal Description
LTS 43,44
300 S MARLYN AVE
GLASSCO

Map	Grid	Parcel	Sub District	Subdivision	Section	Block	Lot	Assessment Area	Plat No:
97	3	368					43	3	Plat Ref: 7/ 115

Special Tax Areas

Town
Ad Valorem
Tax Class

Primary Structure Built	Enclosed Area	Property Land Area	County Use
1926	1,062 SF	15,000.00 SF	04

Stories	Basement	Type	Exterior
1	YES	STANDARD UNIT	SIDING

Value Information

	Base Value	Value As Of 01/01/2006	Phase-in Assessments As Of 07/01/2006	As Of 07/01/2007
Land:	34,000	64,000		
Improvements:	55,280	88,000		
Total:	89,280	152,000	110,186	131,092
Preferential Land:	0	0	0	0

Transfer Information

Seller:	SWEENEY DAVID A SWEENEY WILLIAM A	**Date:**	08/08/2006	**Price:**	$150,000
Type:	IMPROVED ARMS-LENGTH	**Deed1:**	/24274/ 67	**Deed2:**	
Seller:	PILACKAS MARGARE T E	**Date:**	04/24/1991	**Price:**	$69,000
Type:	IMPROVED ARMS-LENGTH	**Deed1:**	/ 8768/ 337	**Deed2:**	
Seller:		**Date:**		**Price:**	
Type:		**Deed1:**		**Deed2:**	

Exemption Information

Partial Exempt Assessments	Class	07/01/2006	07/01/2007
County	000	0	0
State	000	0	0
Municipal	000	0	0

Tax Exempt: NO
Exempt Class:

Special Tax Recapture:

* NONE *

BW 2/12

BALTIMORE COUNTY, MARYLAND

INTER-OFFICE CORRESPONDENCE

TO: Timothy M. Kotroco, Director
Department of Permits and
Development Management

DATE: January 4, 2007

JAN 12 2007

FROM: Arnold F. 'Pat' Keller, III
Director, Office of Planning

SUBJECT: Zoning Advisory Petition(s): **Case(s) 7-267 and 7-268- Variance**

The Office of Planning has reviewed the subject request and has determined that the petitioner owns sufficient adjoining land to conform to the minimum width and area requirements and therefore does not meet the standards stated in Section 304.1.C of the BCZR. However, there appears to be several existing undersized lots in the neighborhood. As such, this office does not oppose the petitioner's request.

If the petitioner's request is granted, the following conditions shall apply to the proposed dwelling:

1. Submit building elevations to this office for review and approval prior to the issuance any building permit. The proposed dwelling shall be compatible in size, exterior building materials, color, and architectural detail as that of the existing dwellings in the area.
2. Provide landscaping along the public road.

For further questions or additional information concerning the matters stated herein, please contact Amy Mantay with the Office of Planning at 410-887-3480.

Prepared By: CJM

Division Chief: Lynn Lanham

MAC/LL

BW 2/12

BALTIMORE COUNTY, MARYLAND

Inter-Office Correspondence

TO: Timothy M. Kotroco

FROM: Jeff Livingston, DEPRM - Development Coordination JWL

DATE: February 7, 2007

SUBJECT: Zoning Item # 07-268-A
Address 300 S. Marlyn Avenue
(Shortlidge & Lambert Property)

Zoning Advisory Committee Meeting of 12/26/06

_____ The Department of Environmental Protection and Resource Management has no comments on the above-referenced zoning item.

_X_ The Department of Environmental Protection and Resource Management offers the following comments on the above-referenced zoning item:

_____ Development of the property must comply with the Regulations for the Protection of Water Quality, Streams, Wetlands and Floodplains (Sections 33-3-101 through 33-3-120 of the Baltimore County Code).

_____ Development of this property must comply with the Forest Conservation Regulations (Sections 33-6-101 through 33-6-122 of the Baltimore County Code).

_X_ Development of this property must comply with the Chesapeake Bay Critical Area Regulations (Sections 33-2-101 through 33-2-1004, and other Sections, of the Baltimore County Code).

Additional Comments:
This property is within the Intensely Developed Area (IDA) of the CBCA. Any development must comply with IDA regulations.

Reviewer: Kevin Brittingham Date: 1/4/07

S:\Devcoord\1 ZAC-Zoning Petitions\ZAC 2007\ZAC 07-268-A.doc

BALTIMORE COUNTY, MARYLAND

INTEROFFICE CORRESPONDENCE

TO: Timothy M. Kotroco, Director
Department of Permits & Development Management

DATE: January 2, 2007

FROM: Dennis A. Kennedy, Supervisor
Bureau of Development Plans Review

SUBJECT: Zoning Advisory Committee Meeting
For January 1, 2006
Item Nos. 07-266, 268, 270, 271, 272, 273, 274, 275, 277, 278, 279, and 280

The Bureau of Development Plans Review has reviewed the subject zoning items and we have no comments.

DAK:CEN:clw
cc: File
ZAC-NO COMMENTS-01022007.doc

Robert L. Ehrlich, Jr., *Governor*
Michael S. Steele, *Lt. Governor*

State Highway Administration
Driven to Excel

Robert L. Flanagan, *Secretary*
Neil J. Pedersen, *Administrator*

MARYLAND DEPARTMENT OF TRANSPORTATION

Date: 1-2-2007

Ms. Kristen Matthews
Baltimore County Office Of
Permits and Development Management
County Office Building, Room 109
Towson, Maryland 21204

RE: Baltimore County
Item No. 7-268-A
302 S. MARLYN AVE
SHORTLIDGE PROPERTY
VARIANCE

Dear Ms. Matthews:

Thank you for the opportunity to review your referral request on the subject of the above captioned. We have determined that the subject property does not access a State roadway and is not affected by any State Highway Administration projects. Therefore, based upon available information this office has no objection to Baltimore County Zoning Advisory Committee approval of Item No. 7-268A.

Should you have any questions regarding this matter, please contact Michael Bailey at 410-545-2803 or 1-800-876-4742 extension 5593. Also, you may E-mail him at (mbailey@sha.state.md.us).

Very truly yours,

Michael P. Bailey

FOR Steven D. Foster, Chief
Engineering Access Permits
Division

SDF/MB

Fire Department

700 East Joppa Road
Towson, Maryland 21286-5500
Tel: 410-887-4500

Baltimore County

James T. Smith, Jr., County Executive
John J. Hohman, Chief

County Office Building, Room 111
Mail Stop #1105
111 West Chesapeake Avenue
Towson, Maryland 21204

December 21,2006

ATTENTION: Zoning Review Planners

Distribution Meeting Of: December 25, 2006

Item Number(s): 267 trough 269 and 271 through 280
(268)

Pursuant to your request, the referenced plan(s) have been reviewed by this Bureau and the comments below are applicable and required to be corrected or incorporated into the final plans for the property.

. 1. The Fire Marshal's Office has no comments at this time.

Lieutenant Roland P Bosley Jr.
Fire Marshal's Office
410-887-4881 (C)443-829-2946
MS-1102F

cc: File

BW 2/12

BALTIMORE COUNTY, MARYLAND

Inter-Office Correspondence

TO: Timothy M. Kotroco

FROM: Jeff Livingston, DEPRM - Development Coordination JWL

DATE: January 7, 2007

SUBJECT: Zoning Item # 07-268-A
Address 300 S. Marlyn Avenue
(Shortlidge & Lambert Property)

Zoning Advisory Committee Meeting of 12/26/06

_____ The Department of Environmental Protection and Resource Management has no comments on the above-referenced zoning item.

_X_ The Department of Environmental Protection and Resource Management offers the following comments on the above-referenced zoning item:

_____ Development of the property must comply with the Regulations for the Protection of Water Quality, Streams, Wetlands and Floodplains (Sections 33-3-101 through 33-3-120 of the Baltimore County Code).

_____ Development of this property must comply with the Forest Conservation Regulations (Sections 33-6-101 through 33-6-122 of the Baltimore County Code).

_X_ Development of this property must comply with the Chesapeake Bay Critical Area Regulations (Sections 33-2-101 through 33-2-1004, and other Sections, of the Baltimore County Code).

Additional Comments:
This property is within the Intensely Developed Area (IDA) of the CBCA. Any development must comply with IDA regulations.

Reviewer: Kevin Brittingham Date: 1/4/07

S:\Devcoord\1 ZAC-Zoning Petitions\ZAC 2007\ZAC 07-268-A.doc

BALTIMORE COUNTY, MARYLAND

INTER-OFFICE CORRESPONDENCE

TO: Timothy M. Kotroco, Director
Department of Permits and
Development Management

DATE: January 4, 2007

FROM: Arnold F. 'Pat' Keller, III
Director, Office of Planning

SUBJECT: Zoning Advisory Petition(s): **Case(s) 7-267 and 7-268- Variance**

The Office of Planning has reviewed the subject request and has determined that the petitioner owns sufficient adjoining land to conform to the minimum width and area requirements and therefore does not meet the standards stated in Section 304.1.C of the BCZR. However, there appears to be several existing undersized lots in the neighborhood. As such, this office does not oppose the petitioner's request.

If the petitioner's request is granted, the following conditions shall apply to the proposed dwelling:

1. Submit building elevations to this office for review and approval prior to the issuance any building permit. The proposed dwelling shall be compatible in size, exterior building materials, color, and architectural detail as that of the existing dwellings in the area.
2. Provide landscaping along the public road.

For further questions or additional information concerning the matters stated herein, please contact Amy Mantay with the Office of Planning at 410-887-3480.

Prepared By: CJM

Division Chief: Lynn Lanham

MAC/LL

Dist 15
Council 7

Click here for a plain text ADA compliant screen.

Maryland Department of Assessments and Taxation
BALTIMORE COUNTY
Real Property Data Search

Go Back
View Map
New Search
Ground Rent

Account Identifier: **District** - 15 **Account Number** - 1516450020

Owner Information

Owner Name:	SHORTLIDGE MICHAEL D LAMBERT DARRELL K LAMBERT ALICE W	**Use:**	RESIDENTIAL
		Principal Residence:	NO
Mailing Address:	2229 HOLLY NECK RD BALTIMORE MD 21221-2025	**Deed Reference:**	1) /24274/ 67 2)

Location & Structure Information

Premises Address
300 S MARLYN AVE

Legal Description
LTS 43,44
300 S MARLYN AVE
GLASSCO

Map	Grid	Parcel	Sub District	Subdivision	Section	Block	Lot	Assessment Area	Plat No:
97	3	368					43	3	Plat Ref: 7/ 115

Special Tax Areas **Town** **Ad Valorem** **Tax Class**

Primary Structure Built	Enclosed Area	Property Land Area	County Use
1926	1,062 SF	15,000.00 SF	04

Stories	Basement	Type	Exterior
1	YES	STANDARD UNIT	SIDING

Value Information

	Base Value	Value As Of 01/01/2006	Phase-in Assessments As Of 07/01/2006	As Of 07/01/2007
Land:	34,000	64,000		
Improvements:	55,280	88,000		
Total:	89,280	152,000	110,186	131,092
Preferential Land:	0	0	0	0

Transfer Information

Seller:	SWEENEY DAVID A SWEENEY WILLIAM A	**Date:**	08/08/2006	**Price:**	$150,000
Type:	IMPROVED ARMS-LENGTH	**Deed1:**	/24274/ 67	**Deed2:**	
Seller:	PILACKAS MARGARE T E	**Date:**	04/24/1991	**Price:**	$69,000
Type:	IMPROVED ARMS-LENGTH	**Deed1:**	/ 8768/ 337	**Deed2:**	
Seller:		**Date:**		**Price:**	
Type:		**Deed1:**		**Deed2:**	

Exemption Information

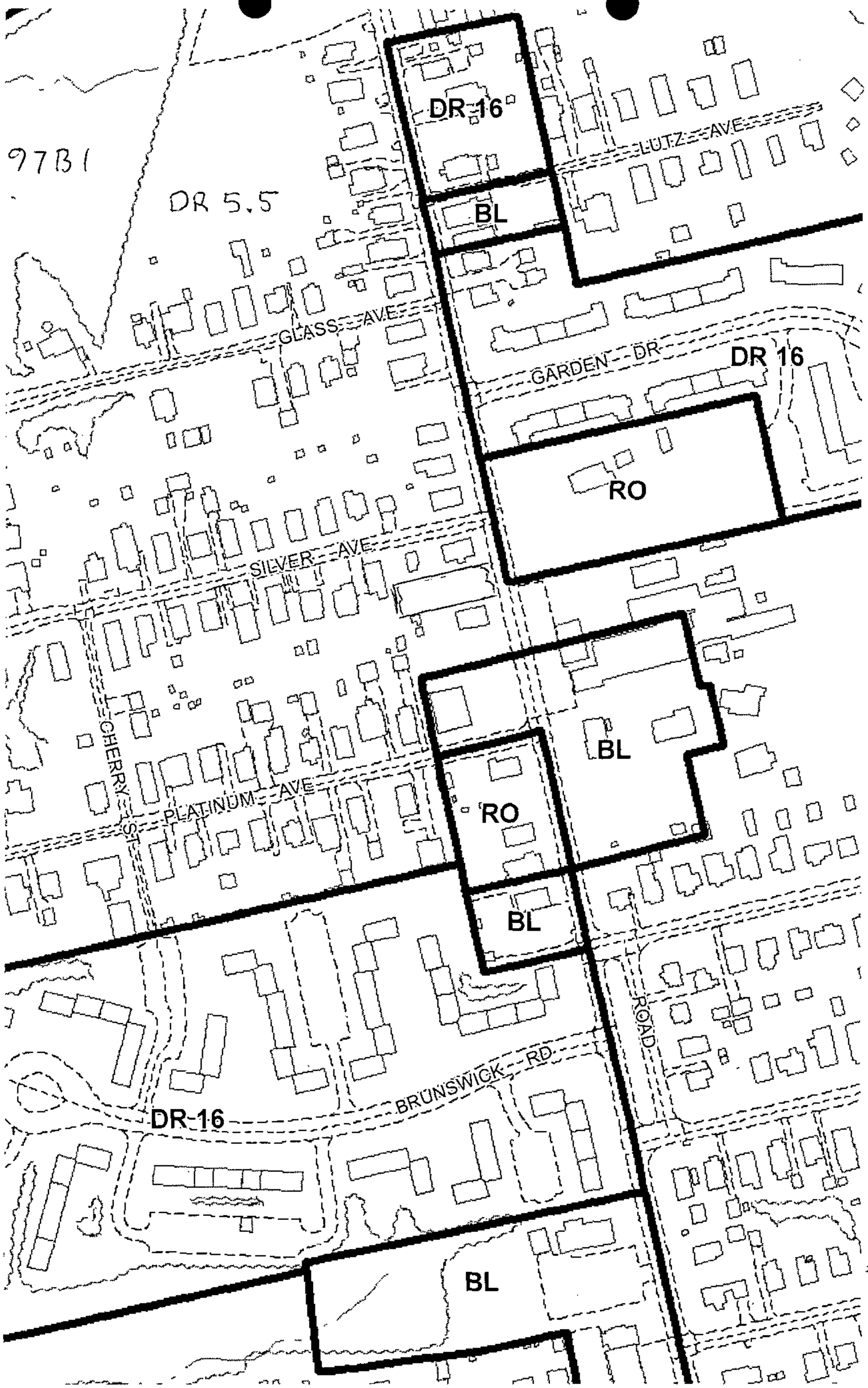
Partial Exempt Assessments	Class	07/01/2006	07/01/2007
County	000	0	0
State	000	0	0
Municipal	000	0	0

Tax Exempt: NO
Exempt Class:

Special Tax Recapture:

* NONE *

Zoning
Map 097B1



Item
#268

PLAT TO ACCOMPANY PETITION FOR ZONING [X] VARIANCE [ ] SPECIAL HEARING

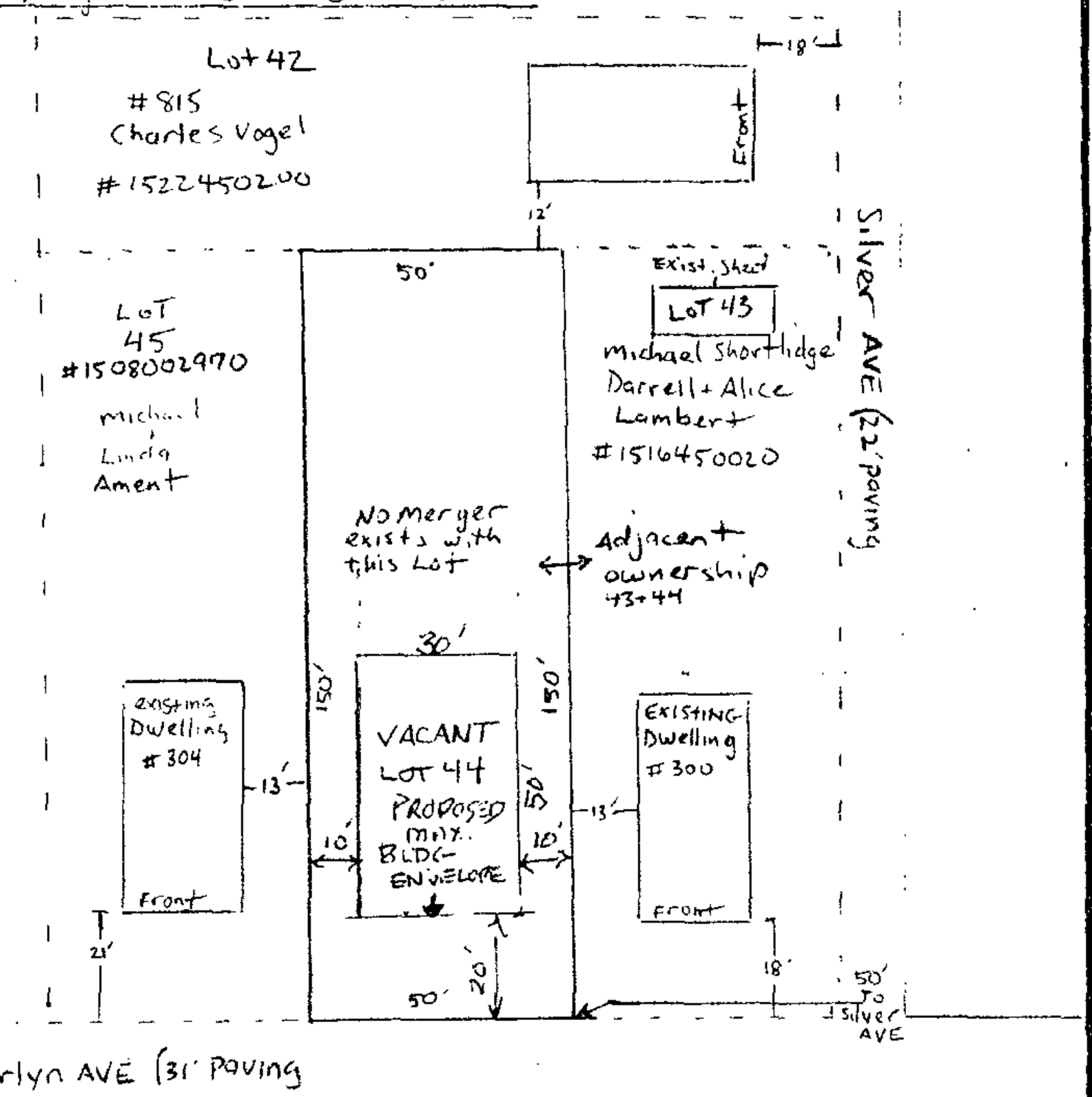
PROPERTY ADDRESS 302 S. Marlyn AVE

SEE PAGES 5 & 6 OF THE CHECKLIST FOR ADDITIONAL REQUIRED INFORMATION

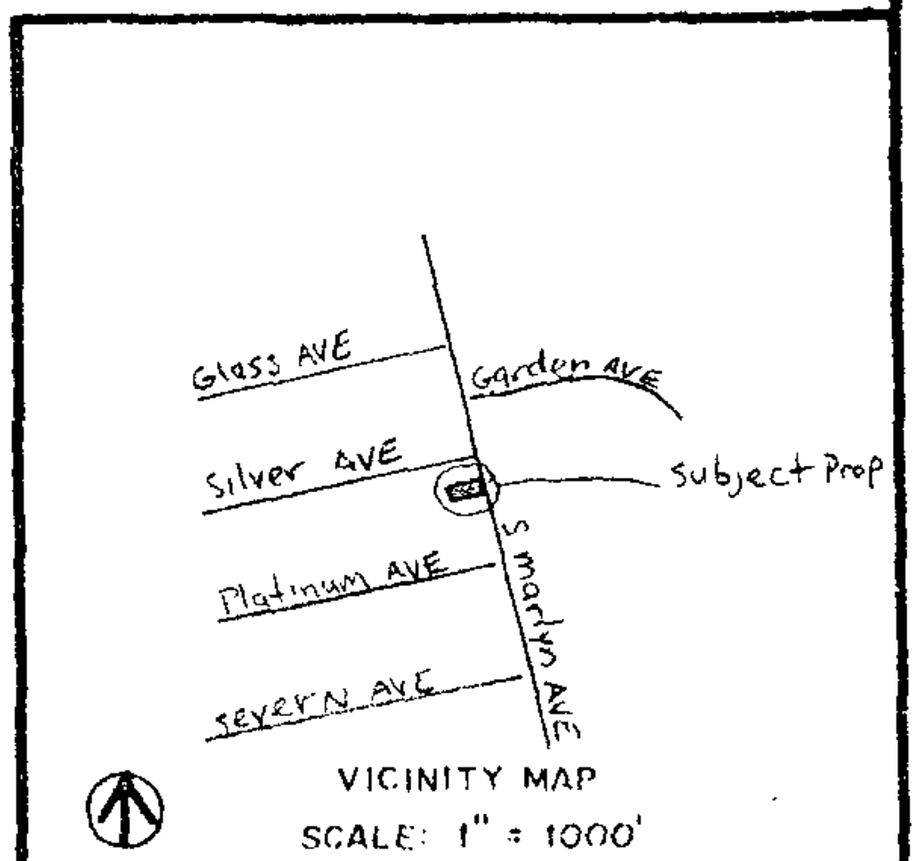
SUBDIVISION NAME Glassco

PLAT BOOK # 7 FOLIO # 115 LOT # 44 SECTION # _____

OWNER Michael Shortlidge Darrell + Alice Lambert



NORTH



VICINITY MAP
SCALE: 1" = 1000'

LOCATION INFORMATION

ELECTION DISTRICT 15

COUNCILMANIC DISTRICT 7

1" = 200' SCALE MAP # 097B1

ZONING DR 5.5

LOT SIZE 0.176 ACREAGE 7500 SQUARE FEET

	PUBLIC	PRIVATE
SEWER	[X]	[ ]
WATER	[X]	[ ]

	YES	NO
CHESAPEAKE BAY CRITICAL AREA	[ ]	[X]
100 YEAR FLOOD PLAIN	[ ]	[X]
HISTORIC PROPERTY/ BUILDING	[ ]	[X]
PRIOR ZONING HEARING		

ZONING OFFICE USE ONLY

REVIEWED BY	ITEM #	CASE #
KB		07-268-A

PREPARED BY MDS

SCALE OF DRAWING: 1" = 40'

PLAT TO ACCOMPANY PETITION FOR ZONING [X] VARIANCE [ ] SPECIAL HEARING

PROPERTY ADDRESS 302 S. Marlyn AVE

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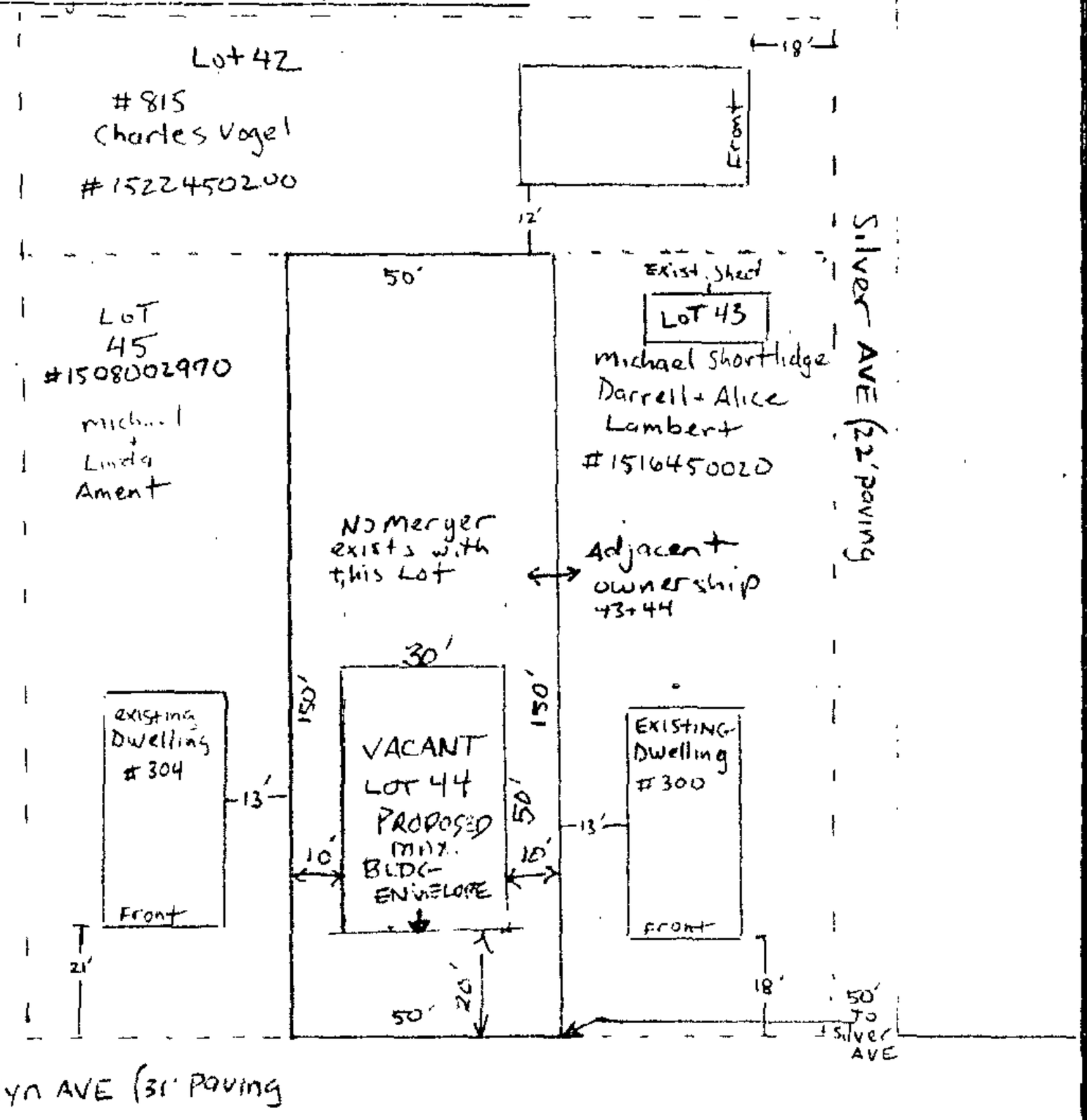

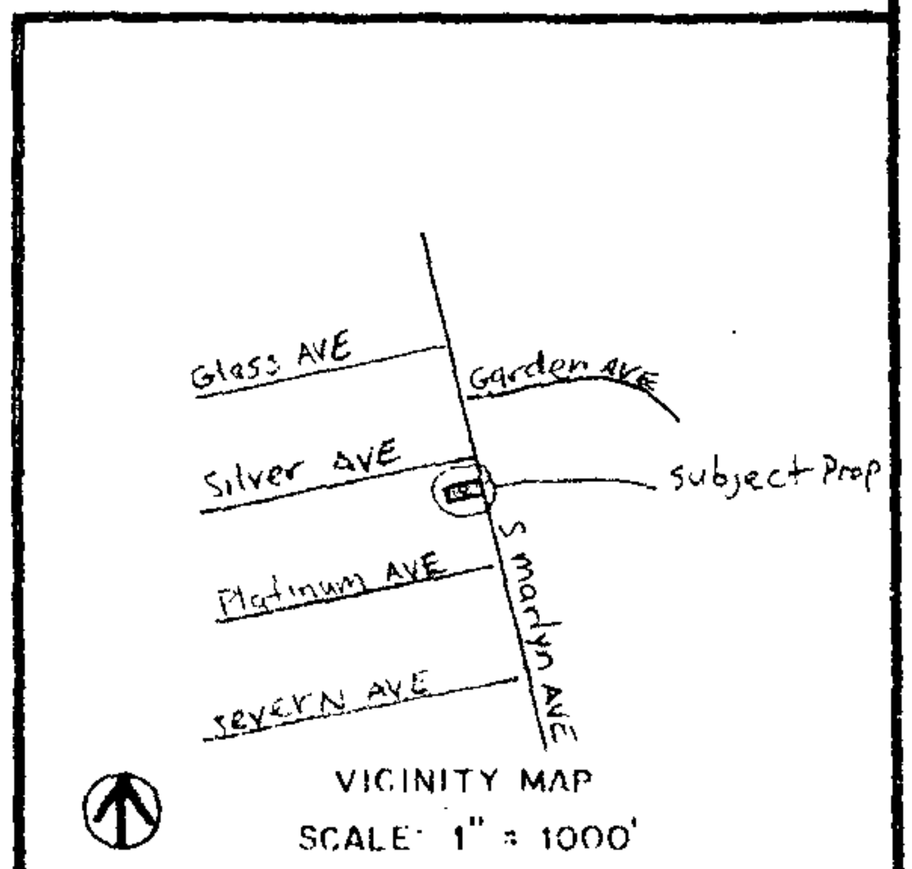

NORTH

PREPARED BY MDS

SCALE OF DRAWING: 1" = 40'

LOCATION INFORMATION

ELECTION DISTRICT 15

COUNCILMANIC DISTRICT 7

1" = 200' SCALE MAP # 097B1

ZONING DR 5.5

LOT SIZE 0.176 ACREAGE 7500 SQUARE FEET

	PUBLIC	PRIVATE
SEWER	[X]	[ ]
WATER	[X]	[ ]

	YES	NO
CHESAPEAKE BAY CRITICAL AREA	[ ]	[X]
100 YEAR FLOOD PLAIN	[ ]	[X]
HISTORIC PROPERTY/ BUILDING	[ ]	[X]
PRIOR ZONING HEARING		

ZONING OFFICE USE ONLY

REVIEWED BY	ITEM #	CASE #
RJD		07-268-A

PLAT TO ACCOMPANY PETITION FOR ZONING [X] VARIANCE [ ] SPECIAL HEARING

PROPERTY ADDRESS 302 S. Marlyn AVE

SEE PAGES 5 & 6 OF THE CHECKLIST FOR ADDITIONAL REQUIRED INFORMATION

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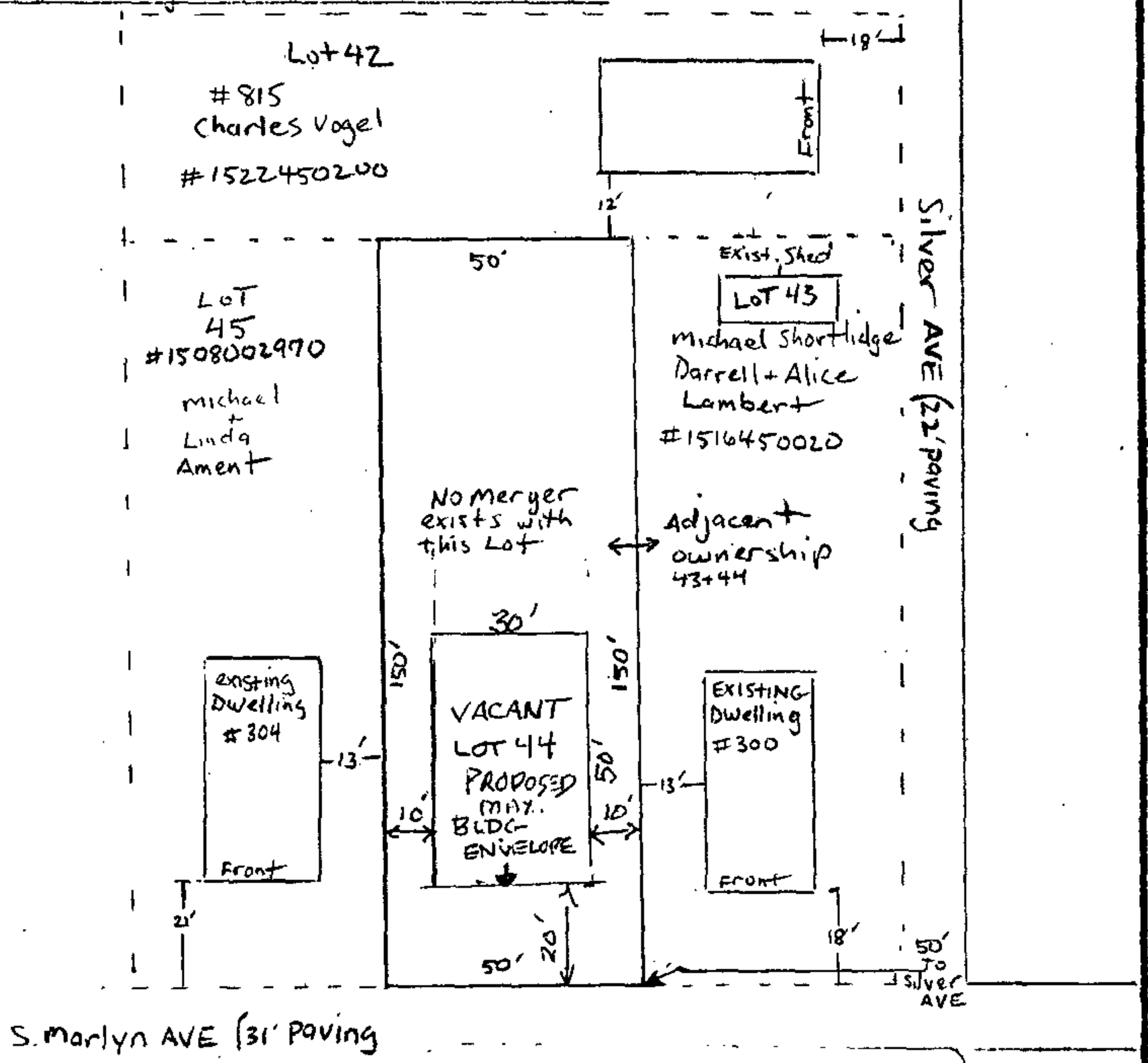
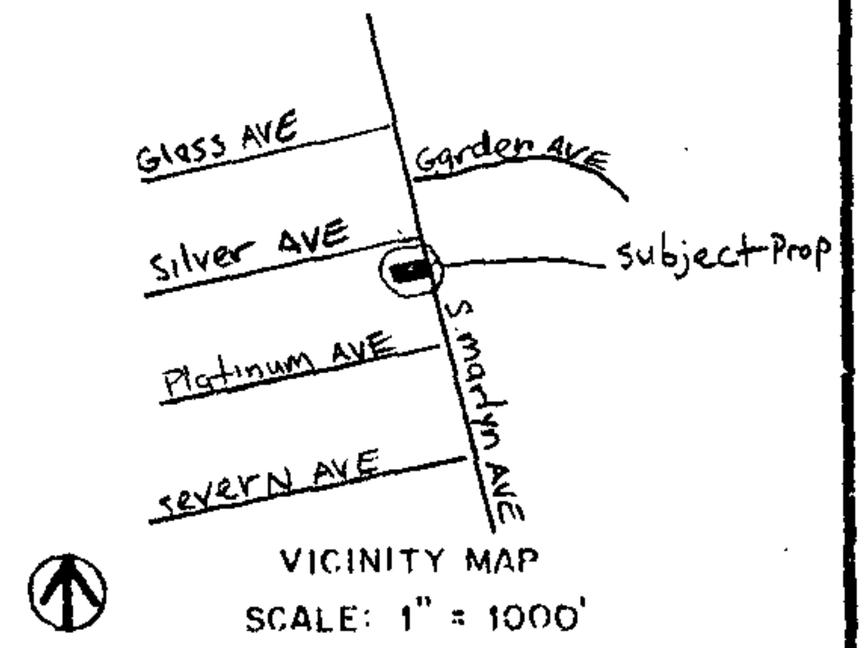




VICINITY MAP
SCALE: 1" = 1000'

LOCATION INFORMATION

ELECTION DISTRICT 15

COUNCILMANIC DISTRICT 7

1"=200' SCALE MAP # 097B1

ZONING DR 5.5

LOT SIZE 0.176 ACREAGE 7500 SQUARE FEET

	PUBLIC	PRIVATE
SEWER	[X]	[ ]
WATER	[X]	[ ]

	YES	NO
CHESAPEAKE BAY CRITICAL AREA	[ ]	[X]
100 YEAR FLOOD PLAIN	[ ]	[X]
HISTORIC PROPERTY/ BUILDING	[ ]	[X]
PRIOR ZONING HEARING		

NORTH

PETITIONER'S

EXHIBIT NO. 1

07-268 A

PREPARED BY M.D.S.

SCALE OF DRAWING: 1" = 40'

ZONING OFFICE USE ONLY

REVIEWED BY	ITEM #	CASE #
RJD		07-268-A

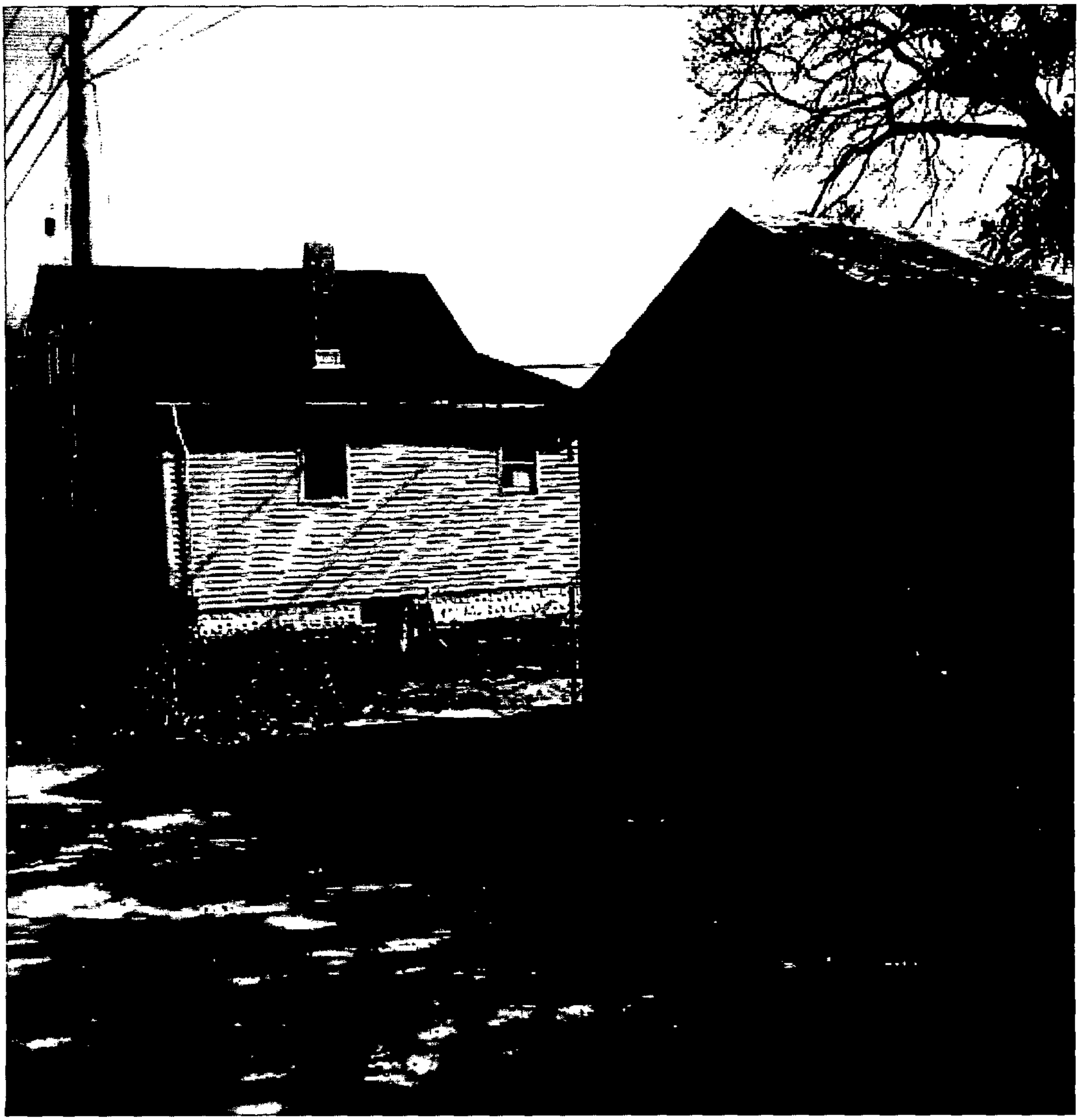
Lot 44

PETITIONER'S

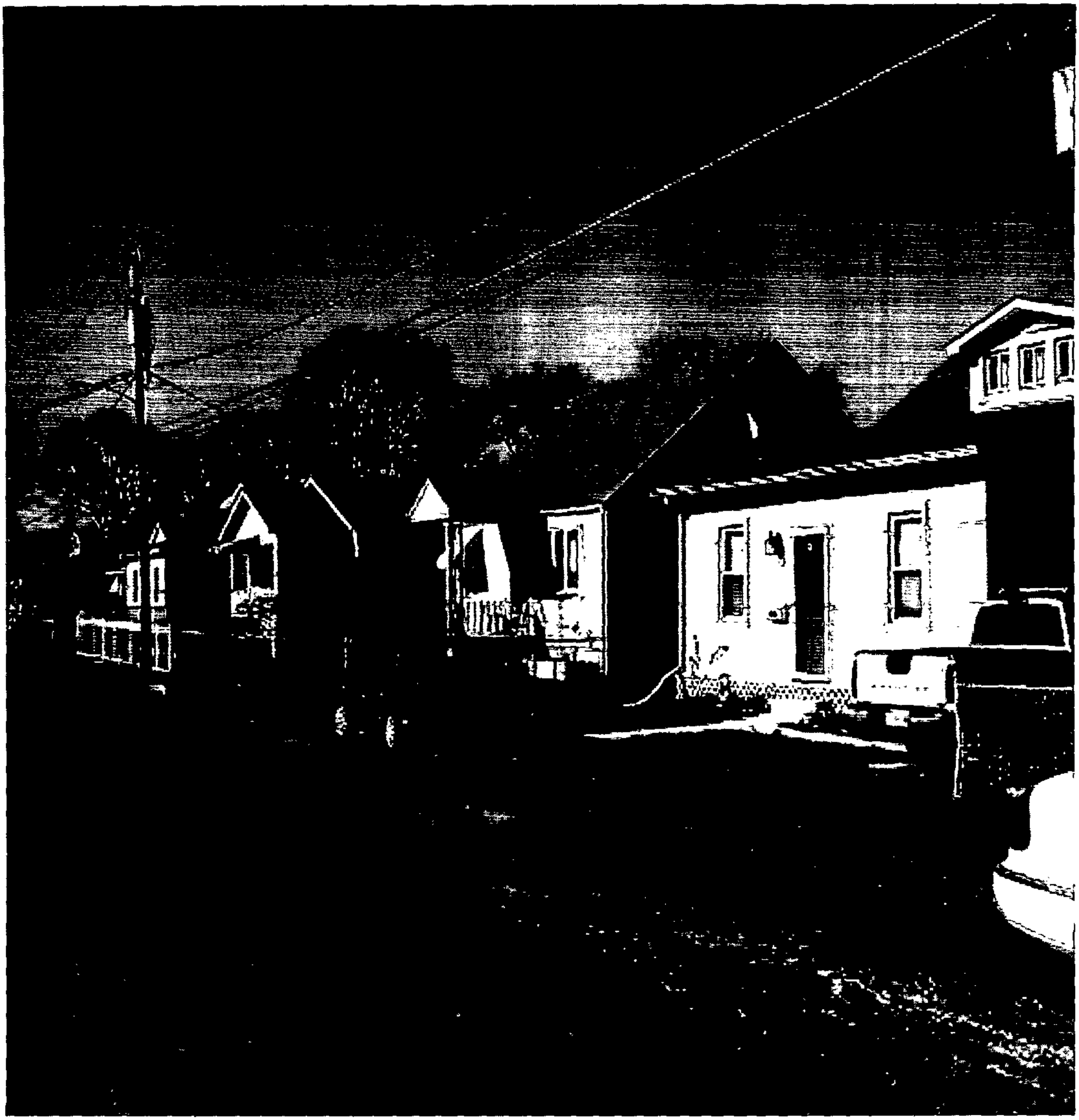
EXHIBIT NO. 2

07-268 A

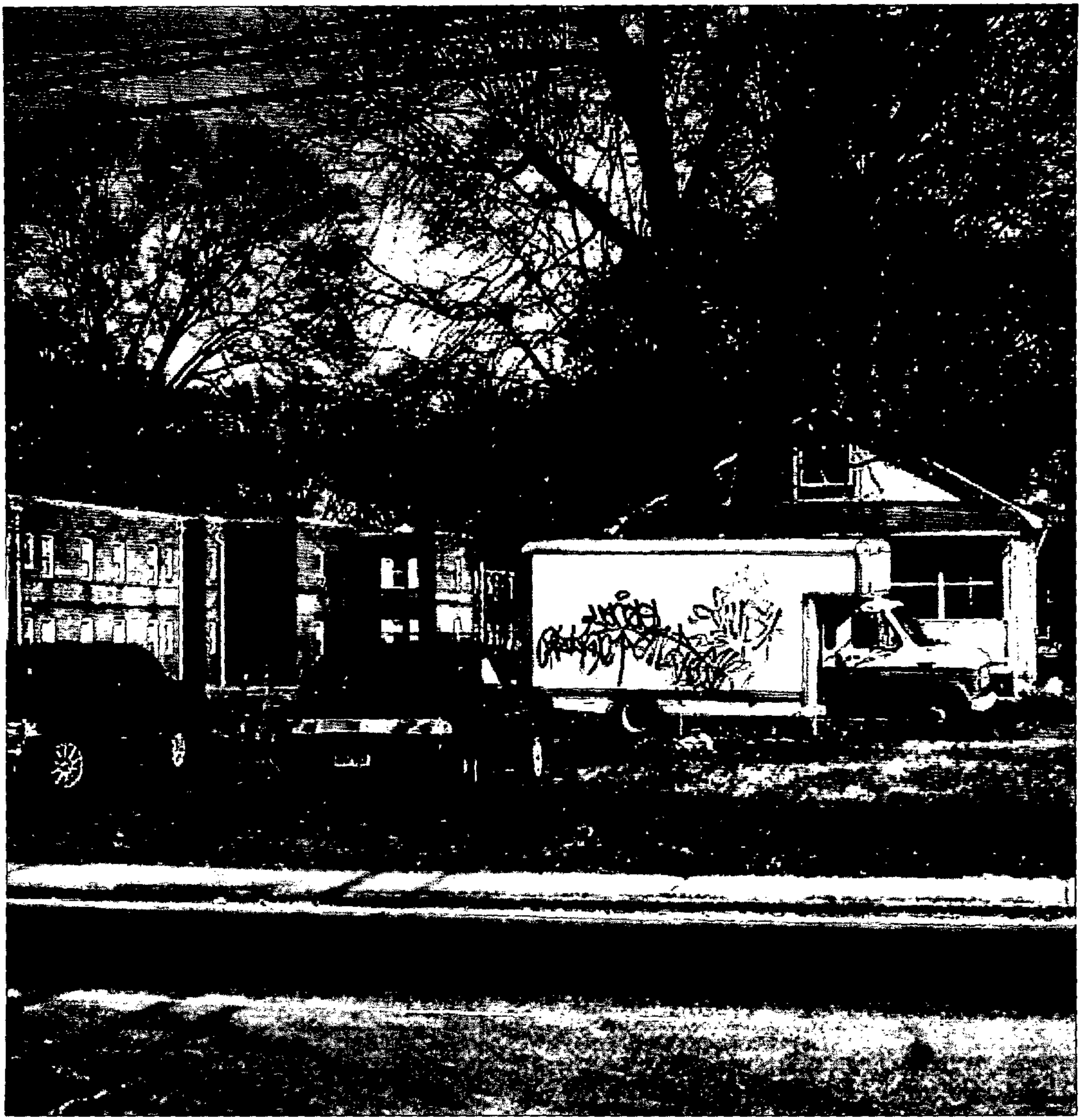
304 + Lot 44 S. Marlyn AVE



300 S. Marlyn AVE



806 808 810 812 Platinum AVE.



223 S. Marlyn AVE

817 815 813 Silver AVE

210 208 204 S. Marlyn AVE

220 218 216 S. Marlyn AVE

Case No.: 07-268-A 302 S. MARLYN

Exhibit Sheet

	Petitioner/Developer	Protestant
No. 1	Site Plan	
No. 2	Collectively - Photo's of neighborhood and Proposed Development	
No. 3		
No. 4		
No. 5		
No. 6		
No. 7		
No. 8		
No. 9		
No. 10		
No. 11		
No. 12		