

IN RE: PETITION FOR SPECIAL HEARING	*	BEFORE THE
N side Broadway Road, 250 feet +/-		
W of c/l of Kelley Avenue	*	DEPUTY ZONING
8 th Election District		
2 nd Councilmanic District	*	COMMISSIONER
(1906 Broadway Road)		
	*	FOR BALTIMORE COUNTY
W. L. Weyerhaeuser		
<i>Petitioner</i>	*	Case No. 08-306-SPH

* * * * *

FINDINGS OF FACT AND CONCLUSIONS OF LAW

This matter comes before this Deputy Zoning Commissioner for consideration of a Petition for Special Hearing filed by W. L. Weyerhaeuser, the legal property owner. Special Hearing relief is requested pursuant to Section 500.7 of the Baltimore County Zoning Regulations (B.C.Z.R.) to approve a setback of 40 feet in lieu of the required 50 feet for an addition. The subject property and requested relief are more fully described on the site plan which was marked and accepted into evidence as Petitioner's Exhibit 1.

Appearing at the requisite public hearing in support of the requested special hearing relief was Beverly True, representative for the Petitioner, W. L. Weyerhaeuser, who was unable to attend the hearing.

Testimony and evidence offered revealed that the subject property is a panhandle lot measuring 1.719 acres in size zoned RC 5. The property is improved with the Petitioner's existing two-story single family residence. The Petitioner desires to construct an addition measuring 20 feet x 36 feet in size for an office and an enclosed, covered kennel area. The reason this matter was filed as a special hearing instead of an administrative variance is that the Petitioner was informed by the Zoning Office that since this property is not part of a subdivision, an administrative variance was not appropriate, and therefore a special hearing request must be

FILED RECEIVED FOR FILING
 3.18.08
 [Signature]

filed. The existing dwelling was constructed in 2000 and Petitioner purchased the property in April, 2007. The Petitioner is an airline pilot and is often away from home. He has a dog and desires the addition partly so the dog can be in a contained area of the home. Petitioner has a service that comes in and takes care of the dog and the addition will allow the dog to be cared for in one specific area of the home.

Further testimony revealed that the site plan, Petitioner's Exhibit 1, shows the configuration of the dwelling on the property. The house is approximately 4,496 square feet in size and is configured diagonally on the property. The front yard is quite larger while the back yard is much smaller.

The Zoning Advisory Committee (ZAC) comments are made part of the record of this case and contain the following highlights: ZAC comments were received from the Office of Planning dated February 5, 2008 which indicates that the property is a panhandle lot that is improved with a single family dwelling. It is a single lot of record recorded by deed prior to the effective date of Bill 55-04. The Planning Office recommends approval of the request. There is a significant buffer along the rear property line to mitigate any potential impacts.

Based on the testimony and evidence presented, I am persuaded to grant the special hearing relief and approve a setback of 40 feet in lieu of the required 50 feet for an addition. As the site plan and aerial photograph, which were marked and accepted into evidence as Petitioner's Exhibit 2 show, there is sufficient land on all sides of the home for the addition. Although the addition will encroach into the rear yard setback by 10 feet, the aerial photograph shows there is a dense tree buffer between the subject property and the next nearest property to the north. The dwelling on that next nearest property is situated at least several hundred feet away from where the proposed addition will be located. Photographs of the home, Petitioner's

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3-18-08

Exhibit 3A-3H, show a well kept home with plenty of land. The architectural plans for the addition, marked as Petitioner's Exhibit 4, show that it will fit in with the existing land will not overcrowd the land.

In my judgment, Petitioner's plans are appropriate and will not be detrimental to the health, safety, or general welfare of the surrounding locale.

Pursuant to the advertisement, posting of the property, and public hearing on this petition held, and after considering the testimony and evidence offered by Petitioner, I find that Petitioner's request for special hearing should be granted with conditions.

THEREFORE, IT IS ORDERED by the Deputy Zoning Commissioner for Baltimore County, this 18th day of March, 2008 that Petitioner's request for Special Hearing relief filed pursuant to Section 500.7 of the Baltimore County Zoning Regulations (B.C.Z.R.) to approve a setback of 40 feet in lieu of the required 50 feet for an addition is hereby GRANTED, subject to the following restrictions which are conditions precedent to the relief granted herein:

1. Petitioner may apply for permits and be granted same upon receipt of this Order; however, Petitioner is hereby made aware that proceeding at this time is at its own risk until such time as the 30-day appellate process from this Order has expired. If, for whatever reason, this Order is reversed, Petitioner would be required to return, and be responsible for returning, said property to its original condition.

Any appeal of this decision must be made within thirty (30) days of the date of this Order.


THOMAS H. BOSTWICK
Deputy Zoning Commissioner
for Baltimore County

THB:pz

ORDER RECEIVED FOR FILING
3-18-08
p2



BALTIMORE COUNTY
M A R Y L A N D

JAMES T. SMITH, JR.
County Executive

THOMAS H. BOSTWICK
Deputy Zoning Commissioner

March 18, 2008

W. L. WEYERHAEUSER
1906 BROADWAY ROAD
LUTHERVILLE MD 21093

Re: Petition for Special Hearing
Case No. 08-306-SPH
Property: 1906 Broadway Road

Dear Mr. Weyerhaeuser:

Enclosed please find the decision rendered in the above-captioned case.

In the event the decision rendered is unfavorable to any party, please be advised that any party may file an appeal within thirty (30) days from the date of the Order to the Department of Permits and Development Management. If you require additional information concerning filing an appeal, please feel free to contact our appeals clerk at 410-887-3391.

Very truly yours,

THOMAS H. BOSTWICK
Deputy Zoning Commissioner
for Baltimore County

THB:pz

Enclosure

c: Beverly True, 3920 London Bridge Road, Sykesville MD 21784



Petition for Special Hearing

to the Zoning Commissioner of Baltimore County

for the property located at 1906 Broadway Road.
which is presently zoned RC5

This Petition shall be filed with the Department of Permits and Development Management. The undersigned, legal owner(s) of the property situate in Baltimore County and which is described in the description and plat attached hereto and made a part hereof, hereby petition for a Special Hearing under Section 500.7 of the Zoning Regulations of Baltimore County, to determine whether or not the Zoning Commissioner should approve A SETBACK OF 40ft.

IN LIEU OF THE REQUIRED 50ft. for an addition
(SECTION 1A04.3.B.1.b; BCZR).

Property is to be posted and advertised as prescribed by the zoning regulations.

I, or we, agree to pay expenses of above Special Hearing, advertising, posting, etc. and further agree to and are to be bounded by the zoning regulations and restrictions of Baltimore County adopted pursuant to the zoning law for Baltimore County.

I/We do solemnly declare and affirm, under the penalties of perjury, that I/we are the legal owner(s) of the property which is the subject of this Petition.

Contract Purchaser/Lessee:

Name - Type or Print

Signature

Address

Telephone No.

City

State

Zip Code

Attorney For Petitioner:

Name - Type or Print

Signature

Company

Address

Telephone No.

City

State

Zip Code

Legal Owner(s):

Name - Type or Print

Signature

Name - Type or Print

Signature

1906 Broadway Rd. 410-334-7323.

Address

Telephone No.

Lutherville MD 21093

City

State

Zip Code

Representative to be Contacted:

Beverly True

Name

3930 London Bridge Rd 443-380988

Address

Telephone No.

Lutherville MD 21094

City

State

Zip Code

OFFICE USE ONLY

ESTIMATED LENGTH OF HEARING _____

UNAVAILABLE FOR HEARING _____

Case No. 08-306 SPA

Reviewed By [Signature] Date 6-14-08

REV 9/15/98

STAMP RECEIVED FOR FILING

3-18-08

[Signature]

ZONING DESCRIPTION FOR 1906 BROADWAY ROAD

Beginning at a point on the North Side of Broadway Road which is 50' wide at the distance of 250' West of the centerline of the nearest improved intersecting street Kelley Avenue which is 50' wide. As recorded in Deed Liber #13056 Folio # 270. N00 29'37"E 269.64 ft., S 87 08'52"E 254.64 ft., S 08 71'23"W 817.11 ft., S 81 48' 37" W 15.00 ft., N 08 71'23" W 599.38 ft., S 81 48' 37" W 275.33 ft., to the place of the beginning. Containing 1.719 acres. Also known as 1906 Broadway Road Located in the 8th Election District, 2nd Councilmanic District.

**NOTICE OF ZONING
HEARING**

The Zoning Commissioner of Baltimore County, by authority of the Zoning Act and Regulations of Baltimore County will hold a public hearing in Towson, Maryland on the property identified herein as follows:

Case: #08-306-SPH

1906 Broadway Road
N/side of Broadway Road,
250 feet +/- west of
centerline of Kelley Avenue
8th Election District
2nd Councilmanic District
Legal Owner(s):

W.L. Weyerhaeuser

Special Hearing: to approve a setback of 40 feet in lieu of the required 50 feet for an addition.

Hearing: Wednesday,
March 12, 2008 at 9:00
a.m. in Room 106, County
Office Building, 111 West
Chesapeake Avenue,
Towson 21204.

WILLIAM J. WISEMAN, III
Zoning Commissioner for
Baltimore County

NOTES: (1) Hearings are
Handicapped Accessible;
for special accommodations
Please Contact the
Zoning Commissioner's Office
at (410) 887-3868.

(2) For information concerning
the file and/or
Hearing, Contact the Zoning
Review Office at (410)
887-3391.

JT/2/811 Feb. 26 164812

CERTIFICATE OF PUBLICATION

2/28/2008

THIS IS TO CERTIFY, that the annexed advertisement was published
in the following weekly newspaper published in Baltimore County, Md.,
once in each of 1 successive weeks, the first publication appearing
on 2/26/2008.

- ☒ The Jeffersonian
- ☐ Arbutus Times
- ☐ Catonsville Times
- ☐ Towson Times
- ☐ Owings Mills Times
- ☐ NE Booster/Reporter
- ☐ North County News

S. Wilkinson

LEGAL ADVERTISING

BALTIMORE COUNTY, MARYLAND
OFFICE OF BUDGET AND FINANCE
MISCELLANEOUS RECEIPT

No. **09735**

PAID RECEIPT

Date: **01.14.08**

BUSINESS ACTUAL TIME DAY
 1/14/2008 1/14/2008 10:17:13 1

REG #01 WALKIN JRIC JWR
 >RECEIPT N 361440 1/14/2008 OFLN

Fund	Agcy	Orgn	Sub Orgn	Rev Source	Sub Rev	Rept Catg	BS Acct	Amount
001	056			6150				65.-

Dept 5. 528 ZONING VERIFICATION
 CR 009735

Recpt Tot \$65.00
 \$65.00 CR \$6.00 CR
 Baltimore County, Maryland

Total: **65.-**

Rec
 From: **W. Weyerhaeuser**
 For: **OR - 30.6 SPH.**

DISTRIBUTION

WHITE - CASHIER PINK - AGENCY YELLOW - CUSTOMER

**CASHIER'S
 VALIDATION**

McKEE & ASSOCIATES, INC.

Engineering • Surveying • Environmental Planning
Real Estate Development

DATE: February 26, 2008

TO: Baltimore County, Zoning

RE : Case No. 08-306-SPH
1906 Broadway Road
MAI : Job No. : SP-024

ATTENTION: Mr Timothy Kotroco, Ms. Kristen Matthews

☒ (X) We are submitting ☐ () We are returning ☐ () We are forwarding
☐ () Herewith ☐ () Under separate cover

No.	Description
1	Certificate of Posting
2	Photos

☒ (X) For processing ☐ () For your use ☒ (X) For your review
☐ () Please call when ready ☐ () Please return to this office ☐ () In accordance with your request

Remarks:

For further information, please contact the writer at this office.

Very truly yours,

McKee & Associates, Inc.

William D. Gulick, Jr.

cc: File



CERTIFICATE OF POSTING

Baltimore County Dept. of Permits &
Development Management
111 W. Chesapeake Avenue, Rm. 111
Towson, MD 21204

Date: February 26, 2008
MAI Job No : SP-024

Attention: Mr. Timothy Kotroco , Ms. Kristen Matthews
RE:Case Number : No. 08-306-SPH

Petitioner/Developer: W.L. Weyerhaeuser

Date of Hearing/Closing: March 12, 2008

This is to certify under the penalties of perjury that the necessary sign(s) required by law were posted conspicuously on the property located at # 1906 Broadway Road

The sign(s) were posted on

February 25, 2008

(Month, Day, Year)


(Signature of Sign Poster)

William D. Gulick, Jr.

(Printed Name of Sign Poster)

McKee and Associates, Inc.

5 Shawan Road, Suite 1

(Street Address of Sign Poster)

Cockeysville, MD 21030

(City, State, Zip Code of Sign Poster)

(410) 527-1555

(Telephone Number of Sign Poster)

Revised 3/1/01 - SCJ

SEE
**ATTACH PHOTOGRAPH
OF
SIGN POSTED ON
PROPERTY**



ZONING NOTICE

CASE # 08-306-SPH

**A PUBLIC HEARING WILL BE HELD BY
THE ZONING COMMISSIONER
IN TOWSON, MD**

COUNTY OFFICE BUILDING, ROOM 106
111 W. CHESAPEAKE AVENUE
PLACE: TOWSON MD 21204

WEDNESDAY

DATE AND TIME: MARCH 12, 2008 @ 9:00 AM

REQUEST: SPECIAL HEARING

TO APPROVE A SETBACK OF 40 FEET IN LIEU
OF THE REQUIRED 50 FEET FOR AN
ADDITION.

POSTPONEMENTS DUE TO WEATHER OR OTHER CONDITIONS ARE SOMETIMES NECESSARY.
TO CONFIRM HEARING CALL 837-3391

DO NOT REMOVE THIS SIGN AND POST UNTIL DAY OF HEARING, UNDER PENALTY OF LAW

HANDICAPPED ACCESSIBLE

02-25-2008 14:38



BROADWAY

ROAD

02-25-2008 14:38

**DEPARTMENT OF PERMITS AND DEVELOPMENT MANAGEMENT
ZONING REVIEW**

ADVERTISING REQUIREMENTS AND PROCEDURES FOR ZONING HEARINGS

The Baltimore County Zoning Regulations (BCZR) require that notice be given to the general public/neighboring property owners relative to property which is the subject of an upcoming zoning hearing. For those petitions which require a public hearing, this notice is accomplished by posting a sign on the property (responsibility of the petitioner) and placement of a notice in a newspaper of general circulation in the County, both at least fifteen (15) days before the hearing.

Zoning Review will ensure that the legal requirements for advertising are satisfied. However, the petitioner is responsible for the costs associated with these requirements. The newspaper will bill the person listed below for the advertising. This advertising is due upon receipt and should be remitted directly to the newspaper.

OPINIONS MAY NOT BE ISSUED UNTIL ALL ADVERTISING COSTS ARE PAID.

For Newspaper Advertising:

Item Number or Case Number: 306

Petitioner: William L. Weyerhaeuser

Address or Location: 1906 Broadway Rd Lutherville, MD 21093

PLEASE FORWARD ADVERTISING BILL TO:

Name: William L. Weyerhaeuser (Weyerhaeuser)

Address: 1906 Broadway Road
Lutherville, MD 21093

Telephone Number: 410-326-7320



BALTIMORE COUNTY

M A R Y L A N D

JAMES T. SMITH, JR.
County Executive

January 30, 2008
TIMOTHY M. KOTROCO, *Director*
Department of Permits and
Development Management

NOTICE OF ZONING HEARING

The Zoning Commissioner of Baltimore County, by authority of the Zoning Act and Regulations of Baltimore County, will hold a public hearing in Towson, Maryland on the property identified herein as follows:

CASE NUMBER: 08-306-SPH

1906 Broadway Road

N/side of Broadway Road, 250 feet +/- west of centerline of Kelley Avenue

8th Election District – 2nd Councilmanic District

Legal Owners: W.L. Weyerhaeuser

Special Hearing to approve a setback of 40 feet in lieu of the required 50 feet for an addition.

Hearing: Wednesday, March 12, 2008 at 9:00 a.m. in Room 106, County Office Building,
111 West Chesapeake Avenue, Towson 21204

Timothy Kotroco
Director

TK:klm

C: W.L. Weyerhaeuser, 1906 Broadway Road, Lutherville 21093
Beverly True, 3920 London Bridge Road, Sykesville 21784

- NOTES: (1) **THE PETITIONER MUST HAVE THE ZONING NOTICE SIGN POSTED BY AN APPROVED POSTER ON THE PROPERTY BY TUESDAY, FEBRUARY 26, 2008.**
- (2) HEARINGS ARE HANDICAPPED ACCESSIBLE; FOR SPECIAL ACCOMMODATIONS PLEASE CALL THE ZONING COMMISSIONER'S OFFICE AT 410-887-4386.
- (3) FOR INFORMATION CONCERNING THE FILE AND/OR HEARING, CONTACT THE ZONING REVIEW OFFICE AT 410-887-3391.

TO: PATUXENT PUBLISHING COMPANY
Tuesday, February 26, 2008 Issue - Jeffersonian

Please forward billing to:
William Weyerhaeuser
1906 Broadway Road
Lutherville, MD 21093

410-336-7322

NOTICE OF ZONING HEARING

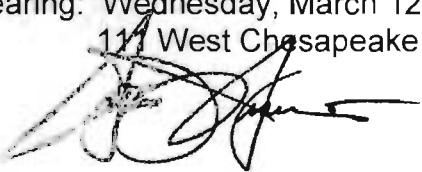
The Zoning Commissioner of Baltimore County, by authority of the Zoning Act and Regulations of Baltimore County, will hold a public hearing in Towson, Maryland on the property identified herein as follows:

CASE NUMBER: 08-306-SPH

1906 Broadway Road
N/side of Broadway Road, 250 feet +/- west of centerline of Kelley Avenue
8th Election District – 2nd Councilmanic District
Legal Owners: W.L. Weyerhaeuser

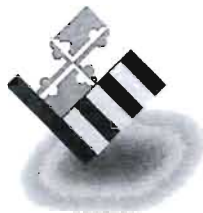
Special Hearing to approve a setback of 40 feet in lieu of the required 50 feet for an addition.

Hearing: Wednesday, March 12, 2008 at 9:00 a.m. in Room 106, County Office Building,
111 West Chesapeake Avenue, Towson 21204



WILLIAM J. WISEMAN III
ZONING COMMISSIONER FOR BALTIMORE COUNTY

- NOTES: (1) HEARINGS ARE HANDICAPPED ACCESSIBLE; FOR SPECIAL ACCOMODATIONS, PLEASE CONTACT THE ZONING COMMISSIONER'S OFFICE AT 410-887-4386.
- (2) FOR INFORMATION CONCERNING THE FILE AND/OR HEARING, CONTACT THE ZONING REVIEW OFFICE AT 410-887-3391.



BALTIMORE COUNTY

M A R Y L A N D

JAMES T. SMITH, JR.
County Executive

TIMOTHY M. KOTROCO, *Director*
Department of Permits and
Development Management

March 5, 2008

W.L. Weyerhaeuser
1906 Broadway Road
Lutherville, MD 21093

Dear Mr. Weyerhaeuser:

RE: Case Number: 08-306-SPH, 1906 Broadway Road

The above referenced petition was accepted for processing **ONLY** by the Bureau of Zoning Review, Department of Permits and Development Management (PDM) on January 14, 2008. This letter is not an approval, but only a **NOTIFICATION**.

The Zoning Advisory Committee (ZAC), which consists of representatives from several approval agencies, has reviewed the plans that were submitted with your petition. All comments submitted thus far from the members of the ZAC are attached. These comments are not intended to indicate the appropriateness of the zoning action requested, but to ensure that all parties (zoning commissioner, attorney, petitioner, etc.) are made aware of plans or problems with regard to the proposed improvements that may have a bearing on this case. All comments will be placed in the permanent case file.

If you need further information or have any questions, please do not hesitate to contact the commenting agency.

Very truly yours,

W. Carl Richards, Jr.
Supervisor, Zoning Review

WCR:amf

Enclosures

c: People's Counsel
Beverly True 3920 London Bridge Road Sykesville 21784



Robert L. Ehrlich, Jr., Governor
Michael S. Steele, Lt. Governor

Robert L. Flanagan, Secretary
Neil J. Pedersen, Administrator

Maryland Department of Transportation

Date: JAN. 30, 2008

Ms. Kristen Matthews
Baltimore County Office Of
Permits and Development Management
County Office Building, Room 109
Towson, Maryland 21204

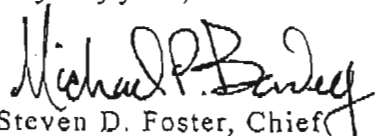
RE: Baltimore County
Item No. 8-306-SPH
1906 BROADWAY ROAD
WEYERHAEUSER PROPERTY
SPECIAL HEARING

Dear Ms. Matthews:

Thank you for the opportunity to review your referral request on the subject of the above captioned. We have determined that the subject property does not access a State roadway and is not affected by any State Highway Administration projects. Therefore, based upon available information this office has no objection to Baltimore County Zoning Advisory Committee approval of Item No. 8-306-SPH.

Should you have any questions regarding this matter, please contact Michael Bailey at 410-545-2803 or 1-800-876-4742 extension 5593. Also, you may E-mail him at (mbailey@sha.state.md.us).

Very truly yours,


FOR Steven D. Foster, Chief
Engineering Access Permits
Division

SDF/MB

BALTIMORE COUNTY, MARYLAND

INTER-OFFICE CORRESPONDENCE

TO: Timothy M. Kotroco, Director
Department of Permits and
Development Management

DATE: February 5, 2008

FROM: Arnold F. 'Pat' Keller, III
Director, Office of Planning

SUBJECT: 1906 Broadway Road

INFORMATION:

Item Number: 8-306

Petitioner: W.L. Weyerhaeuser

Zoning: RC 5

Requested Action: Special Hearing

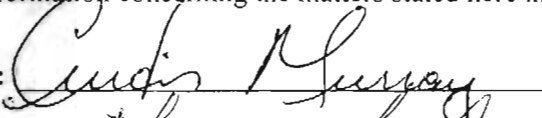
The Subject property is a panhandle lot that is improved with a single-family dwelling. It is a single lot of record recorded by deed prior to the effective date of Bill 55-04.

SUMMARY OF RECOMMENDATIONS:

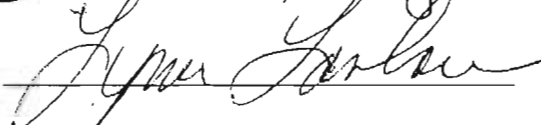
The Office of Planning has reviewed the petitioner's request and recommends its approval. There is a significant buffer along the rear property line to mitigate any potential impacts.

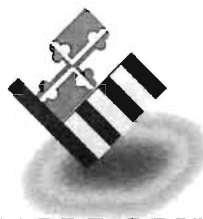
For further information concerning the matters stated here in, please contact Diana Itter at 410-887-3480.

Reviewed by:



Division Chief:

AFK/LL: CM 



BALTIMORE COUNTY

M A R Y L A N D

JAMES T. SMITH, JR.
County Executive

JOHN J. HOHMAN, *Chief*
Fire Department

County Office Building, Room 111
, 2007
Mail Stop #1105
111 West Chesapeake Avenue
Towson, Maryland 21204

January 29, 2008

ATTENTION: Zoning Review Planners

Distribution Meeting Of: January 29, 2008

Item Number:

298, 299, 300, 301, 302, 303, 305, 306, 307, 308, 309, 310, 311, 312, 314, 315,
316, 317, 318, 319, 320, 322, 323, 324

Pursuant to your request, the referenced plan(s) have been reviewed by this Bureau and the comments below are applicable and required to be corrected or incorporated into the final plans for the property.

. 1The Fire Marshal's Office has no comments at this time.

Lieutenant Roland P Bosley Jr.
Fire Marshal's Office
410-887-4880 (C) 443-829-2946
MS-1102F

cc: File

BALTIMORE COUNTY, MARYLAND
INTEROFFICE CORRESPONDENCE

TO: Timothy M. Kotroco, Director
Department of Permits & Development
Management

DATE: February 1, 2008

FROM: Dennis A. Kennedy, Supervisor^{DAK}
Bureau of Development Plans Review

SUBJECT: Zoning Advisory Committee Meeting
For February 4, 2008
Item Nos. 08-298, 299, 300, 301, 302, 304,
306, 307, 308, 309, 310, 311, 312, 313, 314,
316, 317, 318, 319, 320, 321, 322 and 323

The Bureau of Development Plans Review has reviewed the subject zoning items and we have no comments.

DAK:CEN:cab
cc: File
ZAC-NO COMMENTS- 02042008.doc

RE: PETITION FOR SPECIAL HEARING * BEFORE THE
1906 Broadway Road; N/S Broadway *
Road, 250' W c/line of Kelley Avenue * ZONING COMMISSIONER
8th Election & 2nd Councilmanic Districts *
Legal Owner(s): W.L. Wyerhaeuser * FOR
Petitioner(s) * BALTIMORE COUNTY
* 08-306-SPH

* * * * *

ENTRY OF APPEARANCE

Please enter the appearance of People's Counsel in the above-captioned matter. Notice should be sent of any hearing dates or other proceedings in this matter and the passage of any preliminary or final Order. All parties should copy People's Counsel on all correspondence sent and all documentation filed in the case.

Peter Max Zimmerman

PETER MAX ZIMMERMAN
People's Counsel for Baltimore County

Carole S. Demilio

CAROLE S. DEMILIO
Deputy People's Counsel
Old Courthouse, Room 47
400 Washington Avenue
Towson, MD 21204
(410) 887-2188

CERTIFICATE OF SERVICE

I HEREBY CERTIFY that on this 25th day of January, 2008, a copy of the foregoing Entry of Appearance was mailed to, Beverly True, 3920 London Bridge Road, Sykesville, MD 21784, Representative for Petitioner(s).

RECEIVED

JAN 25 2008

Per.....

Peter Max Zimmerman

PETER MAX ZIMMERMAN
People's Counsel for Baltimore County

CASE NAME Weyerhaeuser
CASE NUMBER 03-306-5PH
DATE - 3-13-08

NAME _____

CITY, STATE, ZIP

E-MAIL

Beverly True

3930 Landon Bridge Rd. Sykesville, MD 21781 - true contractors
@com.conc. net

@comcast.net

0025560 026

0025560 / 026

File No: 16522

TAX ID #

FEE SIMPLE DEED

THIS DEED, Made this 17th day of April, 2007, by and between **MITCHELL A. MANKOSA** AND **SHERRY R. MANKOSA , HIS WIFE**, parties of the first part; and **WILLIAM WEYERHAEUSER**, party of the second part, at 1906 BROADWAY ROAD, LUTHERVILLE, MD.

WITNESSETH, That in consideration of the sum of **One Million Five Thousand dollars and Zero cents \$1,005,000.00**, the said parties of the first part do(es) grant and convey to the said party of the second part, his personal representatives and assigns, in fee simple, all that property situate in Baltimore County, State of Maryland, that is to say:

SEE ATTACHED EXHIBIT "A" FOR LEGAL DESCRIPTION

BEING THE SAME PROPERTY WHICH BY DEED DATED JULY 8, 1998 AND recorded among the land records of Baltimore County in Liber SM 13056 folio 270, was granted and conveyed by James W. Oshida and Margaret N. Oshida, unto Mitchell A. Mankosa and Sherry R. Mankosa, his wife, grantors herein.

TOGETHER with the buildings thereupon, and the rights, alleys, ways, waters, privileges, appurtenances and advantages thereto belonging, or in anywise appertaining.

TO HAVE AND TO HOLD the said described lot(s) of ground and premises to the said party of the second part, his personal representatives and assigns, in fee simple.

AND the said parties of the first part hereby covenant that they have not done or suffered to be done any act, matter or thing whatever, to encumber the property hereby conveyed; that they will warrant specially the property hereby granted, and they will execute such further assurances as

Return to: Equity Title Co., Inc.
1164 Kenilworth Drive, Suite 406
Towson, Maryland 21204

Greg,

I think this is what
you're looking for - let
me know if there's
anything else.

Thanks,
Bill

(3 pages to follow)

File No. 16522

EXHIBIT "A" - LEGAL DESCRIPTION

BEING THAT PART OF A TRACT OF LAND LYING IN THE 8TH ELECTION DISTRICT OF BALTIMORE COUNTY, MARYLAND, and known as "Tract A" of Exhibit A, of a Deed conveyed to Paul M. Sears and Norma E. Sears, dated July 21, 1986 and recorded among the Land Records of Baltimore County, Maryland in Liber EHKJR No. 7214 folio 572, and which described as follows:

BEGINNING AT A CONCRETE MONUMENT found at the end of the 6th or North 6 degrees East 52 perches line of a Deed dated October 15, 1873 conveyed from Mary J. Kelley, trustee to John Greb, Jr., and recorded among the land records of Baltimore County, Maryland in Liber EHA 83 folio 205, said monument also being at the end of the 5th or North 87 degrees 08 minutes 52 seconds West 388.912 feet line of the whole tract of land of the above mentioned conveyance to Paul M. and Norma E. Sears; thence running with and binding reversely on part of the said 5th line, with courses being based upon the grid Meridian of Baltimore County as shown on a plat entitled, "The Bolgiano Property", and intended to be recorded prior hereto among the land records of Baltimore County, Maryland as part of the description of the property contained herein. 1) South 87 degrees 08 minutes 52 seconds East a distance of 254.32 feet to a capped bar now set at the common corner with Lot 3 of the aforementioned plat of "The Bolgiano Property", thence leaving the said tract line and binding on the common line of Lot 3; 2) South 08 degrees 11 minutes 23 seconds East a distance of 817.11 feet to a capped bar now set on the future highway widening line of Broadway Road, ultimate right of way 60.00 feet; thence continuing on the same line; 3) South 08 degrees 11 minutes 23 seconds East a distance of 33.14 feet to a point at the common corner with Lot 3, said point also being at the intersection with the 11th or North 81 degrees 48 minutes 37 seconds East 430.260 feet line of the whole tract of land of the abovementioned conveyance to Paul M. and Norma E. Sears; thence binding reversely on the said 11th line and leaving the outline of Lot 3; 4) South 81 degrees 48 minutes 37 seconds West a distance of 15.00 feet to a point at the common corner with Lot 1 of the above mentioned plat of "The Bolgiano Property"; thence leaving the said tract line and binding on the common lines of the said Lot 1; 5) North 08 degrees 11 minutes 23 seconds West a distance of 33.02 feet to a capped bar now set on the future highway widening line of Broadway Road; thence continuing on the same line; 6) North 08 degrees 11 minutes 23 seconds West a distance of 599.38 feet to a capped bar now set at the common corner with the mentioned Lot 1; thence continuing with the outline of Lot 1; 7) South 81 degrees 48 minutes 37 second West a distance of 275.33 feet to a capped bar now set at the common corner with Lot 1, said bar being also at the intersection with the 6th or South 00 degrees 29 minutes 37 seconds West 366.862 feet line of the whole tract of land of the abovementioned conveyance to Paul M. and Norma E. Sears; thence binding reversely with the said 6th line and leaving the outline of Lot 1; 8) North 00 degrees 29 minutes 37 seconds East a distance of 269.64 feet to the place of beginning.

CONTAINING 1.719 NET ACRES, MORE OR LESS, EXCLUSIVE of the Highway widening area.

BEING KNOWN AND DESIGNATED AS LOT NO. 2, AS SHOWN ON A PLAT ENTITLED, "The Bolgiano Property" WHICH PLAT IS RECORDED AMONG THE LAND RECORDS OF BALTIMORE COUNTY IN LIBER SM 8301, FOLIO 502.

THE IMPROVEMENTS THEREON BEING KNOWN AS NO: 1906 BROADWAY ROAD

Tax ID Number:

0025560 0

may be requisite. The total payment per Section 10-912 (b) of the Tax-General Article of the Annotated Code of Maryland is:

Return to: Equity Title Co., Inc.
1104 Kenilworth Drive, Suite 406
Towson, Maryland 21204



Maryland Department of Assessments and Taxation
BALTIMORE COUNTY
Real Property Data Search (2007 vw4.3)

[Go Back](#)
[View Map](#)
[New Search](#)

Account Identifier: District - 08 Account Number - 2100014632

Owner Information

Owner Name: WEYERHAEUSER WILLIAM **Use:** RESIDENTIAL
Principal Residence: YES
Mailing Address: 30 7TH ST E STE 2000 **Deed Reference:** 1) /25560/ 26
 SAINT PAUL MN 55101-4930 2)

Location & Structure Information

Premises Address **Legal Description**
 1906 BROADWAY RD 1.719 AC
 1906 BROADWAY RD NS
 167 W KELLY AVE

Map	Grid	Parcel	Sub District	Subdivision	Section	Block	Lot	Assessment Area	Plat No:
59	3	532						2	Plat Ref:

Special Tax Areas **Town**
Ad Valorem
Tax Class

Primary Structure Built	Enclosed Area	Property Land Area	County Use
2000	4,496 SF	1.71 AC	04
Stories	Basement	Type	Exterior
2	YES	STANDARD UNIT	SIDING

Value Information

	Base Value	Value	Phase-in Assessments	
		As Of	As Of	As Of
		01/01/2008	07/01/2007	07/01/2008
Land	160,650	267,750		
Improvements:	518,270	709,100		
Total:	678,920	976,850	678,920	778,230
Preferential Land:	0	0	0	0

Transfer Information

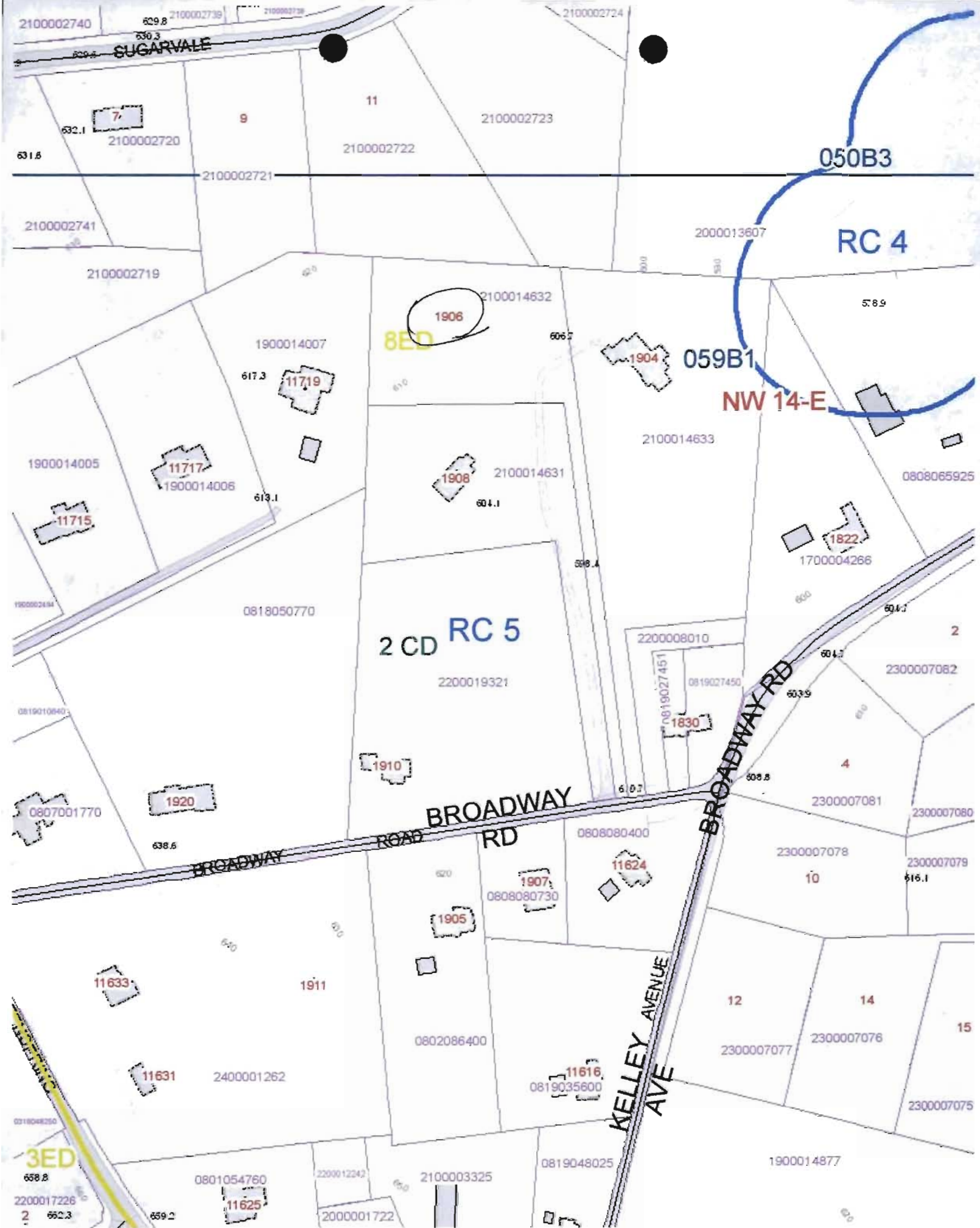
Seller: MANKOSA MITCHELL A	Date: 04/30/2007	Price: \$1,005,000
Type: IMPROVED ARMS-LENGTH	Deed1: /25560/ 26	Deed2:
Seller: OSHIDA JAMES W	Date: 08/05/1998	Price: \$140,000
Type: UNIMPROVED ARMS-LENGTH	Deed1: /13056/ 270	Deed2:
Seller: SEARS NORMA E	Date: 10/18/1989	Price: \$50,000
Type: IMPROVED ARMS-LENGTH	Deed1: / 8301/ 498	Deed2:

Exemption Information

Partial Exempt Assessments	Class	07/01/2007	07/01/2008
County	000	0	0
State	000	0	0
Municipal	000	0	0

Tax Exempt: NO
Exempt Class:

Special Tax Recapture:
 * NONE *



RVALE

GEP PROPERTIES (PDM File/Project # 8-833)

050B3

2100002723

2000013607

2100002721

2100002722

PL. Bk. 57- Folio 113

2100002720

2100002719

PL. Bk. 52 Folio 109

1900014007

11719

8 ED

NW 14-E

RC 5

Flood Zone X

2 CD

1900014006

11717

2100014632

059B1

2100014631

2100014633

BOLGIANO, EDWARD PROPERTY (PDM File/Project #)

0818050770

2200019321

SEARS, PAUL-MADISON PROPERTY (PDM File/Project #)

0819027451

1830

0819027450

1910

PETITIONER'S

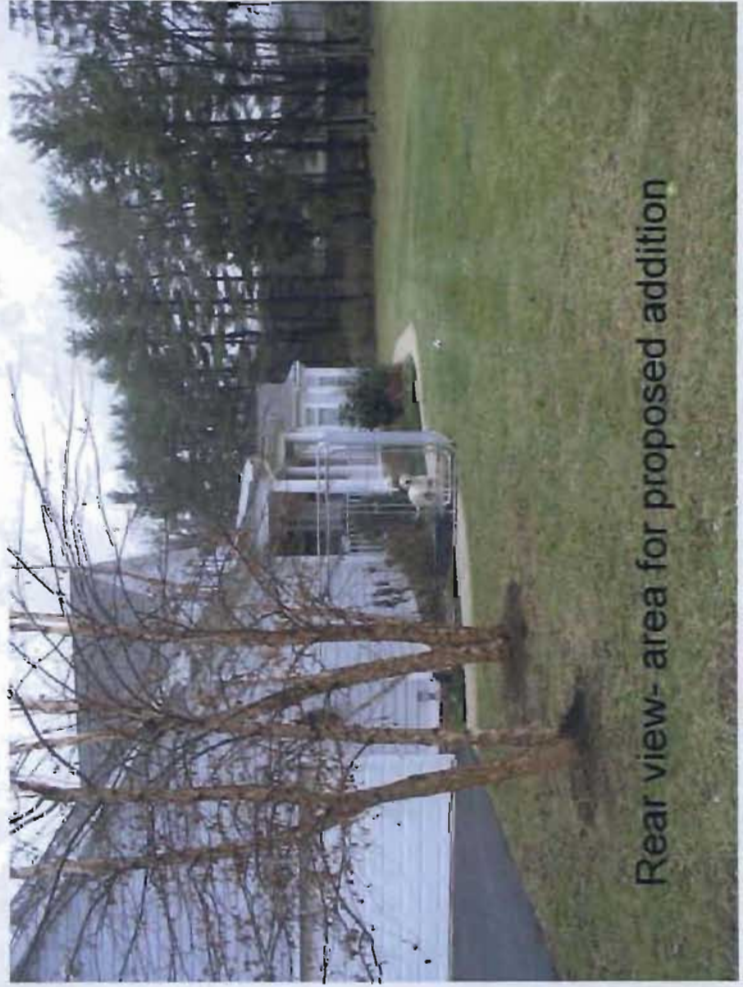
EXHIBIT NO.

2

1906 Broadway Road
Front View



View looking left



Rear view- area for proposed addition



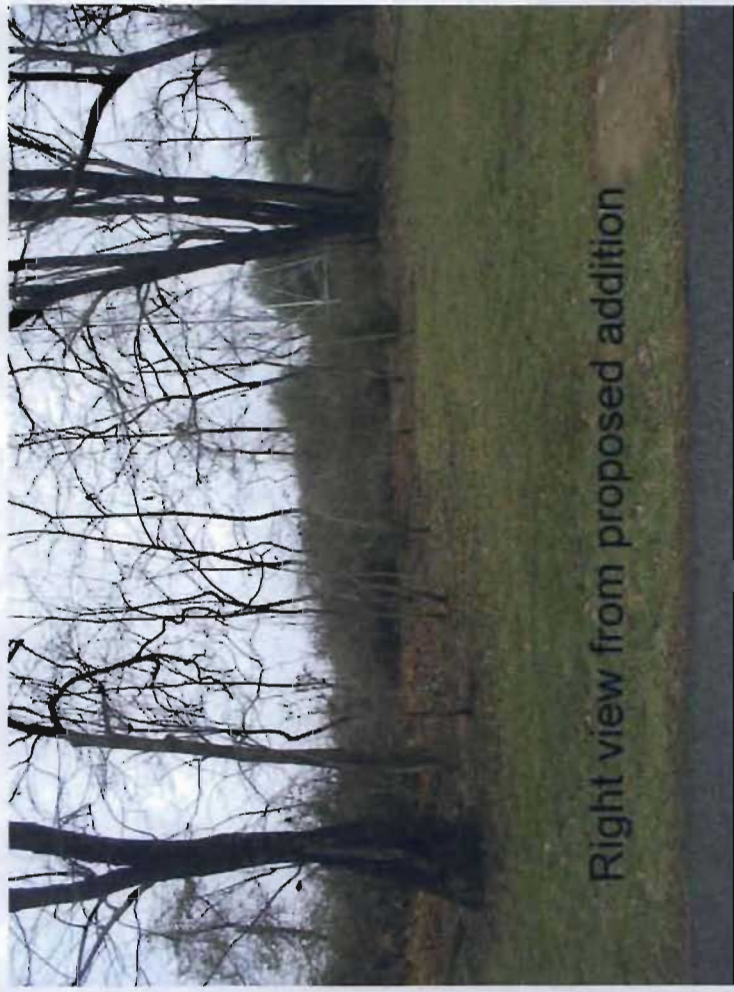
Rear Yard looking left



Proposed addition area



Rear View from proposed addition



Right view from proposed addition



Front view from street

PLAT TO ACCOMPANY PETITION FOR ZONING ☐ VARIANCE ☒ SPECIAL HEARING

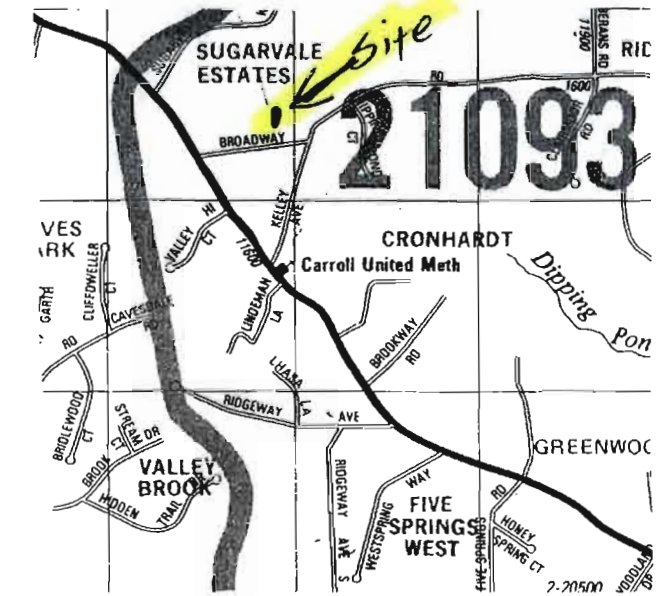
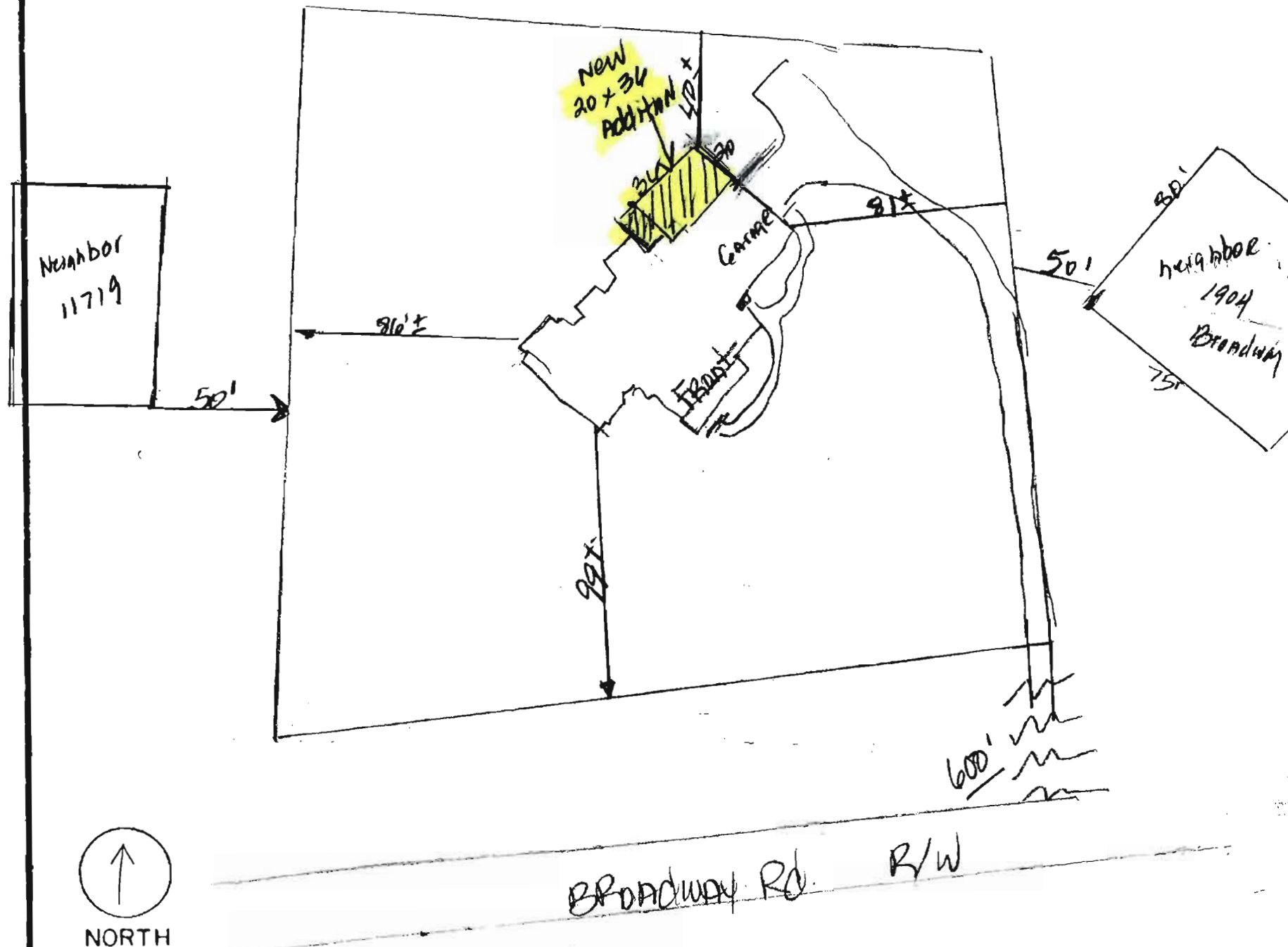
PROPERTY ADDRESS 1906 Broadway Rd

SEE PAGES 5 & 6 OF THE CHECKLIST FOR ADDITIONAL REQUIRED INFORMATION

SUBDIVISION NAME _____

PLAT BOOK # 13056 FOLIO # 270 LOT # _____ SECTION # _____

OWNER William Weyerhaeuser



VICINITY MAP
SCALE 1" = 1000'

LOCATION INFORMATION

ELECTION DISTRICT 8th

COUNCILMANIC DISTRICT 2nd

1" = 200' SCALE MAP # 039B1

ZONING

LOT SIZE 1.719 Aers

ACREAGE SQUARE FEET

PUBLIC PRIVATE

SEWER ☐ ☒

WATER ☐ ☒

CHESAPEAKE BAY CRITICAL AREA YES ☐ NO ☒

100 YEAR FLOOD PLAIN ☐ ☒

HISTORIC PROPERTY/BUILDING ☐ ☒

PRIOR ZONING HEARING N/A

ZONING OFFICE USE ONLY
REVIEWED BY _____ ITEM # _____ CASE # _____

PETITIONER'S

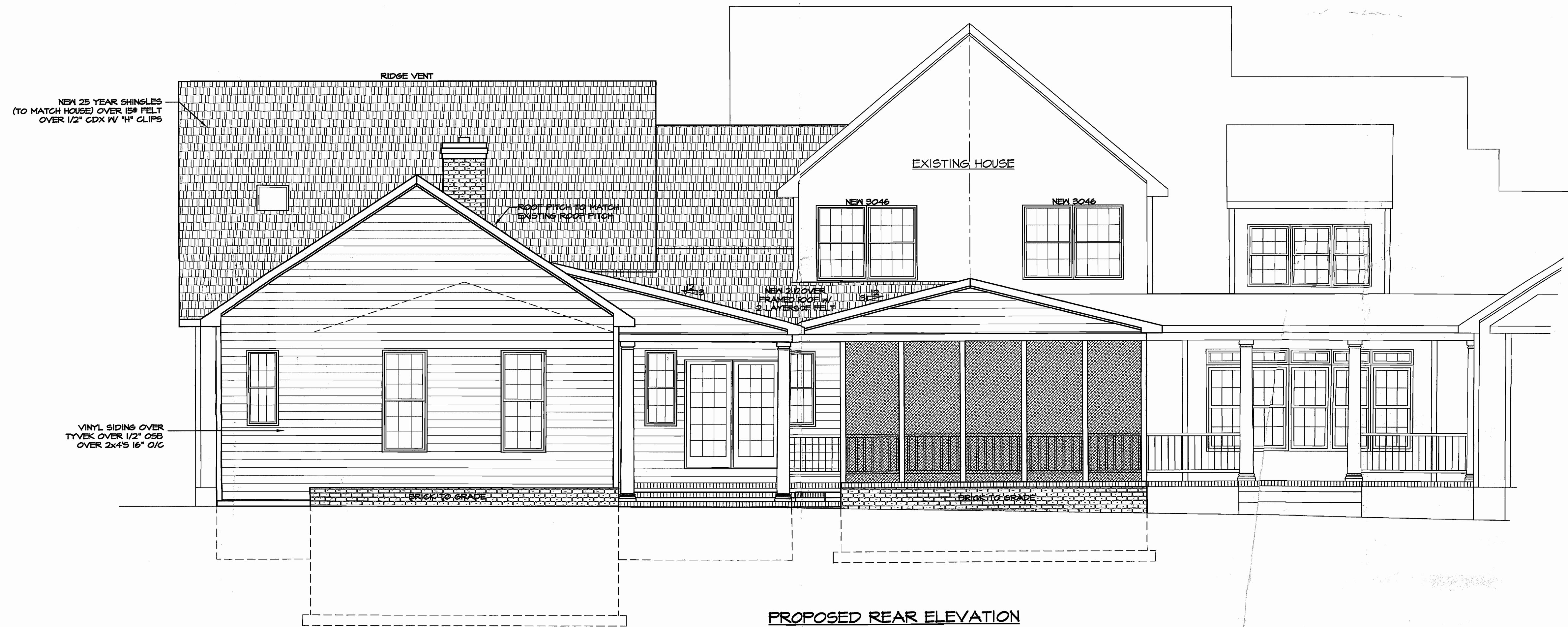
EXHIBIT NO. 1

PREPARED BY Beverly True

SCALE OF DRAWING: 1" = 50'



PROPOSED FRONT ELEVATION
SCALE: 1/4"=1'-0"



PROPOSED REAR ELEVATION
SCALE: 1/4"=1'-0"

THE WEYERHAEUSER RESIDENCE

SCALE: 1/4" = 1'-0"

DATE: 9/2007

SHEET NO.: 4 OF 7

GBL CUSTOM HOME
DESIGN INC.
PO BOX 237 FINKSBURG, MD 21048
PHONE 410-833-8320

GENERAL STRUCTURAL NOTES

1. GENERAL

A. ALL CONSTRUCTION SHALL CONFORM WITH THE PROVISIONS OF THE 2000 INTERNATIONAL RESIDENTIAL CODE FOR ONE AND TWO FAMILY DWELLINGS.

B. DESIGN LIVE LOADS:
ROOF 30 PSF
FLOORS 40 PSF
SLEEPING AREAS 30 PSF

C. THE CONTRACTOR SHALL PROVIDE ALL SHORING AND BRACING AS REQUIRED TO SUPPORT THE EXISTING STRUCTURE. THE CONTRACTOR SHALL EXAMINE THE EXISTING STRUCTURE TO DETERMINE THE EXTENT OF NECESSARY SHORING AND BRACING. THE CAPACITY AND METHOD USED FOR SHORING AND BRACING SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

2. FOUNDATIONS

A. FOOTINGS ARE DESIGNED FOR AN ALLOWABLE SOIL BEARING CAPACITY OF 2000 PSF. FOOTINGS SHALL BEAR ON NATURAL UNDISTURBED SOIL, 1'-0" BELOW ORIGINAL GRADE. THE BOTTOM OF EXTERIOR FOOTINGS SHALL BE A MINIMUM OF 2'-6" BELOW FINISHED GRADE. CONTRACTOR TO VERIFY THE ALLOWABLE SOIL PRESSURE IN THE FIELD. IF FOUND TO BE LESS THAN 2000 PSF, THE FOOTINGS WILL HAVE TO BE REDESIGNED.

3. CAST IN PLACE CONCRETE

A. ALL CONCRETE WORK SHALL CONFORM TO THE LATEST APPROVED (BY LOCAL GOVERNMENT) EDITIONS OF THE FOLLOWING A.C.I. AND A.S.T.M. DOCUMENTS:

ACI-301 SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS
ACI-318 BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE

B. ALL CONCRETE, EXCEPT AS NOTED, SHALL BE (P=3,000 PSI) STONE AGGREGATE CONCRETE AT 28 DAYS. ALL CONCRETE EXPOSED TO THE WEATHER SHALL BE AIR ENTRAINED.

C. SLABS ON GROUND SHALL BE 4" THICK CONCRETE REINFORCED WITH 6"x6" #14X@14 W/6" OVER 6 MIL POLYETHYLENE VAPOR BARRIER AND 4" WASHED GRAVEL UNLESS OTHERWISE NOTED.

4. MASONRY

A. ALL MASONRY CONSTRUCTION AND MATERIALS USED THEREIN (CONCRETE MASONRY, CLAY MASONRY, MORTAR, GROUT AND STEEL REINFORCEMENT) SHALL CONFORM TO "BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES" (ACI 530-12/ASCE 5-12/TMS 402-42) AND "SPECIFICATIONS FOR MASONRY STRUCTURES" (ACI 530-12/ASCE 6-42/TMS 602-42) IN ALL RESPECTS.

B. MASONRY BEARING WALLS SHALL CONSIST OF STANDARD HOLLOW UNITS CONFORMING TO ASTM C 90 UNLESS OTHERWISE NOTED. WHERE SOLID UNITS ARE REQUIRED, PROVIDE UNITS CONFORMING TO ASTM C 145.

C. ALL MORTAR SHALL CONFORM TO THE REQUIREMENTS FOR PROPORTIONS, MIXING, STRENGTH AND APPLICATION FOR PORTLAND CEMENT/LIME TYPE "S" MORTAR AS DESCRIBED IN ACI 530-12.

D. ALL GROUT FILL IN MASONRY WALLS SHALL CONFORM TO ASTM C 476. SLUMP RANGE 8-11". PLACE GROUT IN 3'-0" MAXIMUM FOUR HEIGHTS AND CONSOLIDATE BY MECHANICAL VIBRATION.

E. PROVIDE 8" DEPTH OF 100% SOLID MASONRY BELOW ALL JOIST OR SLAB BEARING LINES. PROVIDE 16" HIGH X 16" LONG 100% SOLID MASONRY BELOW ALL LINTELS AND BEAMS UNLESS NOTED OTHERWISE.

F. ALL MASONRY WALLS SHALL BE REINFORCED WITH NO. 4 GAGE TRUSS TYPE GALVANIZED DUR-O-WALL SPACED VERTICALLY AT 16" O.C. UNO. LAP ALL DUR-O-WALL 6" MINIMUM. PROVIDE CORNER AND TEE PIECES AT ALL INTERSECTIONS.

G. LOOSE LINTELS FOR MASONRY WALLS SHALL BE FOR EACH 4" WIDTH OF MASONRY ONE STEEL ANGLE AS FOLLOWS:

0'-0" TO 3'-0" 3'-1/2" X 3'-1/2" X 5/16"
3'-1" TO 5'-0" 4" X 3'-1/2" X 5/16"
5'-1" TO 6'-6" 5" X 3'-1/2" X 3/8"
6'-7" TO 8'-0" 6" X 3'-1/2" X 3/8"

ALL ANGLES SHALL HAVE THEIR SHORT LEGS OUTSTANDING AND 6" MINIMUM BEARINGS.

5. STRUCTURAL STEEL

A. ALL STRUCTURAL STEEL SHALL CONFORM TO ASTM SPECIFICATION A-36 (LATEST LOCAL APPROVED). ALL STEEL SHALL BE DETAILED, FABRICATED, AND ERECTED IN ACCORDANCE WITH THE AISC MANUAL, AISC SPECIFICATION AND AISC CODE OF STANDARD PRACTICE.

B. ALL WELDED CONNECTIONS SHALL BE DONE WITH E70XX ELECTRODES. SHOP AND FIELD WELDS SHALL BE MADE BY APPROVED CERTIFIED WELDERS AND SHALL CONFORM TO THE AMERICAN WELDING SOCIETY CODE FOR BUILDINGS AND D.I.I. WELDS SHALL DEVELOP THE FULL STRENGTH OF MATERIALS BEING WELDED UNLESS OTHERWISE NOTED.

6. WOOD

A. STRUCTURAL SOLID WOOD RAFTERS, JOISTS, BEAMS AND STUDS SHALL BE HEM FIR #2 OR SPRUCE PINE FIR #2 SURFACED DRY AT A MAXIMUM OF 14% MOISTURE CONTENT. ALL LUMBER EXPOSED TO WEATHER SHALL BE PRESSURE TREATED SOUTHERN PINE #2. ALL FABRICATION, ERECTION, OTHER PROCEDURES, AND MINIMUM UNIT STRESSES SHALL CONFORM TO THE CURRENT NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION.

B. WOOD TRUSSES SHALL BE DESIGNED, FABRICATED AND ERECTED IN ACCORDANCE WITH THE NATIONAL DESIGN STANDARD FOR METAL PLATE CONNECTED WOOD TRUSS CONSTRUCTION (ANSI/TPI 1) AND COMMENTARY AND RECOMMENDATIONS FOR HANDLING, INSTALLING AND BRACING METAL PLATE CONNECTED WOOD TRUSSES (H-11) AS PUBLISHED BY THE TRUSS PLATE INSTITUTE AND IN ACCORDANCE WITH THE 1991 EDITION OF THE NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION.

C. WOOD TRUSSES AND ENGINEERED FLOOR JOISTS ARE TO BE DESIGNED BY THE SUPPLIER. SHOP DRAWINGS SHALL BE SUBMITTED TO THE ENGINEER/ARCHITECT FOR REVIEW. ALL TRUSSES AND JOISTS SHALL BE DESIGNED TO LIMIT THE BEARING STRESS TO 425 psi WHEN MEMBERS BEAR ON STUD WALLS. PROVIDE MEMBERS OF ADEQUATE WIDTH OR METAL CONNECTIONS TO LIMIT STRESSES TO THE SPECIFIED VALUE.

D. ALL LAMINATED VENEER LUMBER (LVL) OR PARALLEL STRAND LUMBER (PSL) SHALL HAVE THE FOLLOWING MINIMUM PROPERTIES: Fb=2600psi, Fv=285psi, E=1,400,000psi, Fc=250psi(PARALLEL), Fc=750psi(PERPENDICULAR).

E. ALL DOUBLE MEMBERS SHALL BE NAILED TOGETHER WITH 2 ROWS OF 16d NAILS SPACED AT 12" O.C. ALL TRIPLE MEMBERS SHALL BE NAILED TOGETHER WITH 3 ROWS OF 16d NAILS SPACED AT 12" O.C. NAILED FROM EACH SIDE.

F. PROVIDE DOUBLE JOISTS AT PARALLEL PARTITIONS WHERE PARTITION LENGTH EXCEEDS 1/3 JOIST SPAN.

G. ALL NAILS ARE TO BE COMMON WIRE NAILS. NAILING OF ALL FRAMING SHALL BE AS SPECIFIED IN THE CONTRACT DOCUMENTS BUT IN NO CASE SHALL BE LESS THAN THE RECOMMENDED NAILING SCHEDULE CONTAINED IN THE 2000 INTERNATIONAL RESIDENTIAL CODE. ALL MULTIPLE STUD POSTS ARE TO BE NAILED TOGETHER WITH 12d NAILS @ 6" O.C. STAGGERED.

H. PROVIDE BRIDGINGS SPACED AT 48" O.C. IN FIRST TWO JOIST, RAFTER OR TRUSS SPACES WHEN FRAMING IS PARALLEL TO EXTERIOR WALL. NAIL SHEATHING (FLOOR, CEILING OR ROOF) TO BRIDGING AND NAIL BRIDGING TO EXTERIOR WALL PLATE. PROVIDE ONE ROW OF BRIDGING BETWEEN ALL FLOOR AND ROOF JOISTS FOR EACH 8'-0" OF SPAN. PROVIDE SOLID BLOCKING OR A CONTINUOUS RIM JOIST AT THE BEARING OF JOISTS, RAFTERS OR TRUSSES ON WOOD PLATES.

I. PROVIDE THE FOLLOWING JAMB STUDS AT ALL BEARING WALL OPENINGS UNLESS NOTED OTHERWISE:

0'-3" OPENING 1 JACK STUD, 1 KING STUD
3'-1" - 6'-0" OPENING 2 JACK STUDS, 1 KING STUD
6'-1" - 8'-0" OPENING 2 JACK STUDS, 2 KING STUDS

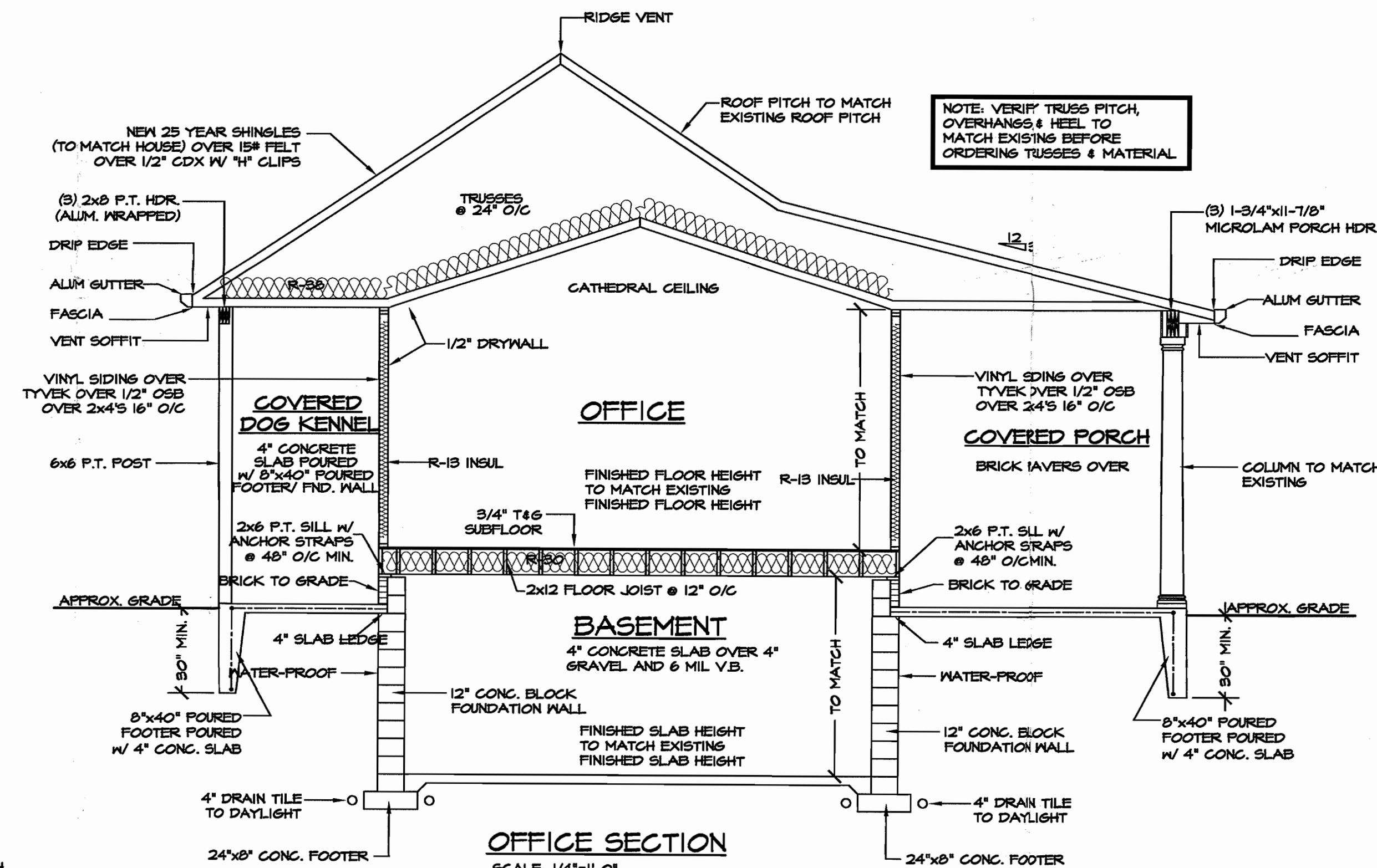
PROVIDE DOUBLE STUDS AT ALL CORNERS AND BENEATH ALL GIRDER TRUSSES AND WOOD BEAMS UNLESS NOTED OTHERWISE ON PLANS. WOOD BEAMS, GIRDER TRUSSES HAVE TH AND HEADERS SHALL BEAR THE FULL DEPTH OF POSTS AND JACK STUDS.

J. ALL POSTS (MULTIPLE STUDS OR SOLID POST) SUPPORTING BEAMS, WALL HEADERS OR GIRDER TRUSSES SHALL BE BUCKED SOLID FOR THE FULL LENGTH AND WIDTH OF POSTS AT ALL INTERSECTIONS WITH FLOORS AS REQUIRED TO PROVIDE CONTINUOUS SUPPORT TO TOP OF FOUNDATION WALLS OR BEAMS. POSTS SHOWN ON UPPER LEVELS FLOORS SHALL ALSO BE INSTALLED ON THE LOWER LEVELS IN LINE WITH THE POST ABOVE DOWN TO FOUNDATION WALLS OR BEAMS.



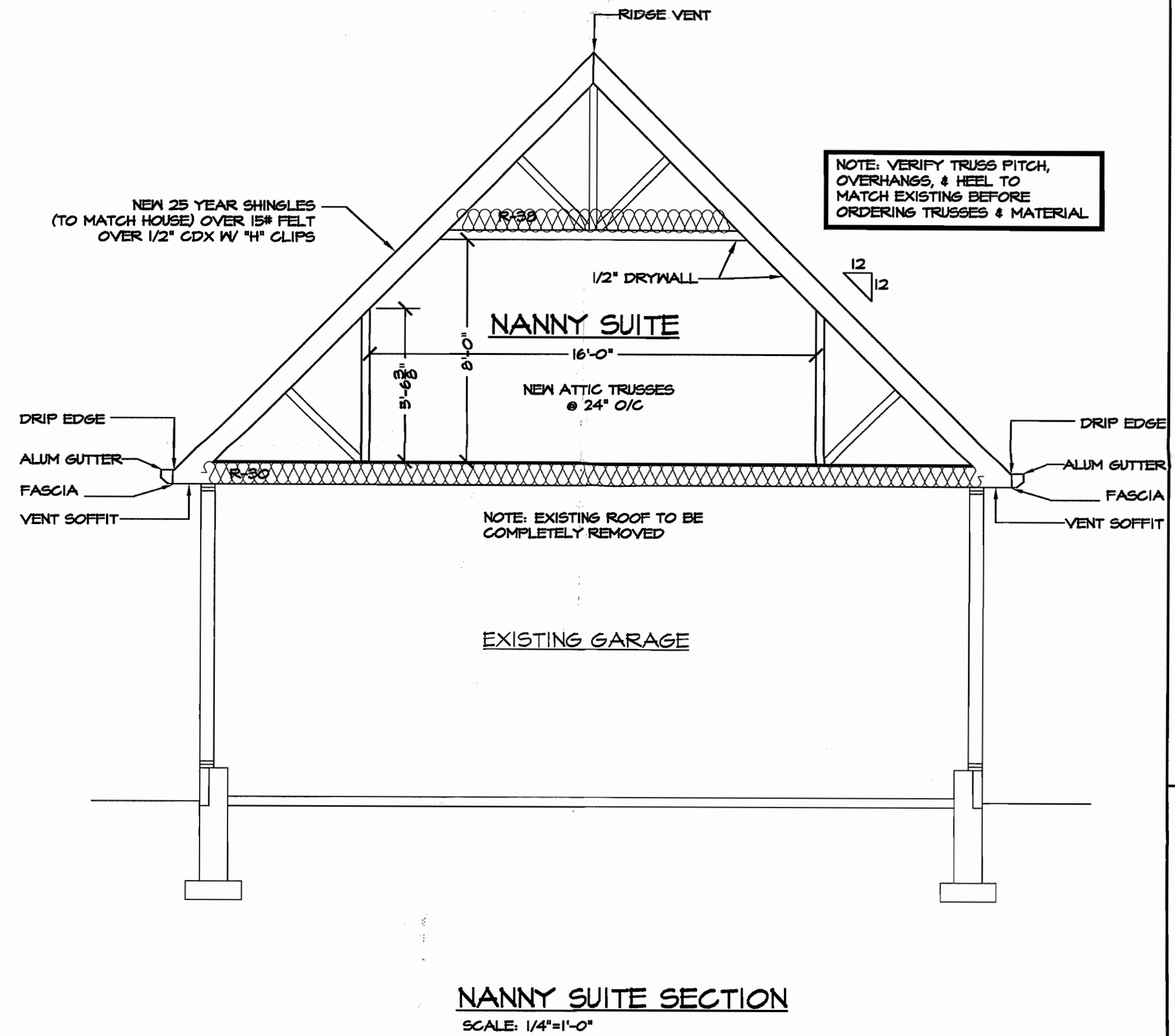
PROPOSED RIGHT SIDE ELEVATION

SCALE: 1/4"=1'-0"



OFFICE SECTION

SCALE: 1/4"=1'-0"



NANNY SUITE SECTION

SCALE: 1/4"=1'-0"

THE WEYERHAEUSER RESIDENCE

SCALE: 1/4" = 1'-0"

DATE: 9/2007

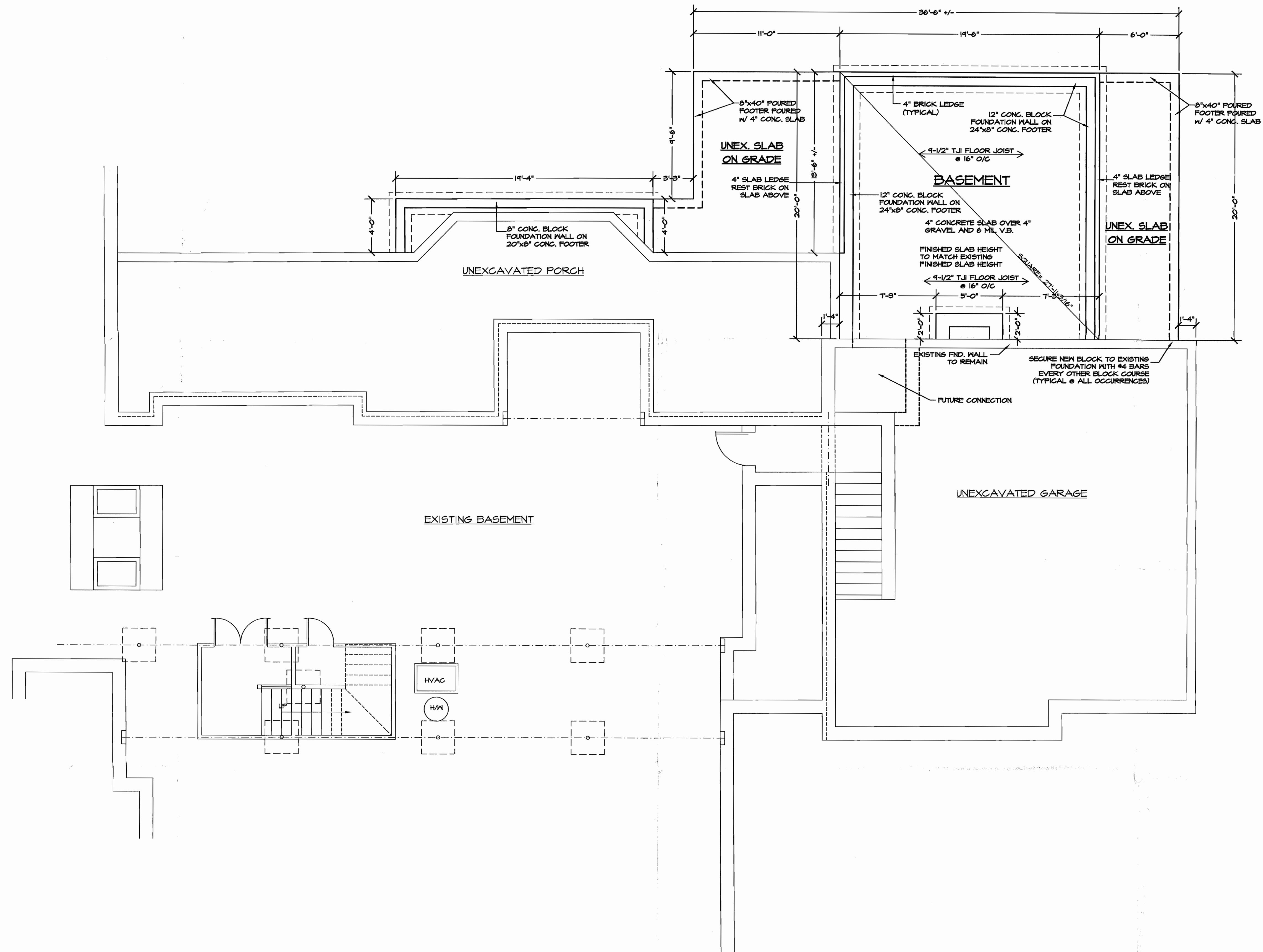
SHEET NO.: 5 OF 7

GHL CUSTOM HOME

DESIGN INC.

PO BOX 237 FINKSBURG, MD 21048

PHONE 410-833-8320

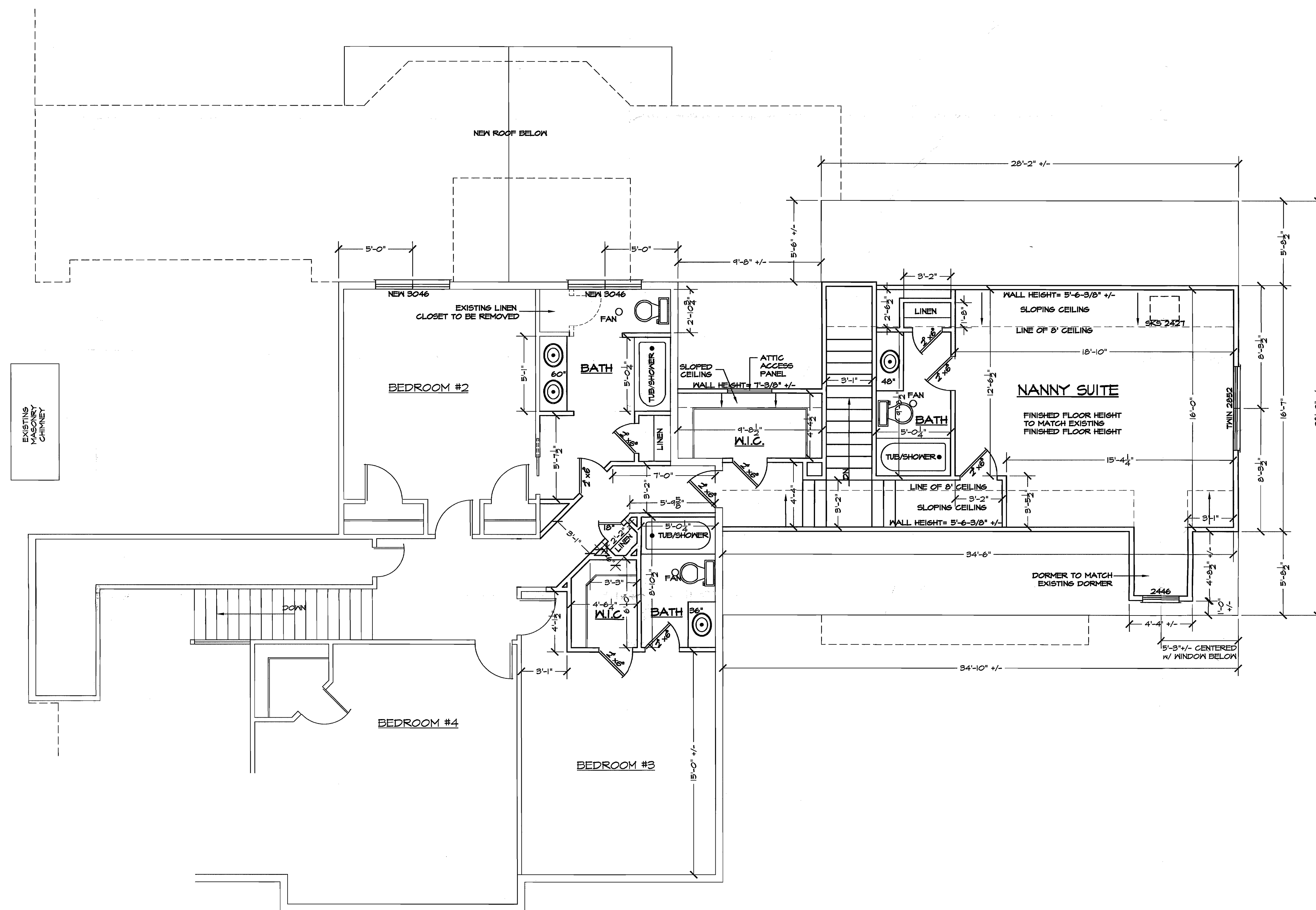


ADDITION FOUNDATION PLAN
SCALE: 1/4"=1'-0"

THE WEYERHAEUSER RESIDENCE

SCALE: 1/4" = 1'-0"
DATE: 9/2007
SHEET NO.: 2 OF 7

GBL CUSTOM HOME
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SECOND FLOOR ADDITION/ REMODEL PLAN
SCALE: 1/4"=1'-0"

SCALE: 1/4" = 1'-0"

DATE: 9/2007

SHEET NO.: 3 OF 7

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THE WEYERHÄUSER RESIDENCE