

IN RE: **PETITIONS FOR SPECIAL EXCEPTION ***

S/S Warren Road, 930' E of

York Road

(103 Warren Road)

8th Election District

3rd Council District

Michelle A. White, et al

Petitioners

BEFORE THE

ZONING COMMISSIONER

FOR

BALTIMORE COUNTY

Case No. 2009-0122-X

* * * * *

FINDINGS OF FACT AND CONCLUSIONS OF LAW

This matter comes before the Zoning Commissioner for consideration of a Petition for Special Exception filed by the legal owners of the subject property, David F. Black and Michelle A. White. The Petitioners request a special exception for a Class B Office Building pursuant to Section 204.3.B of the Baltimore County Zoning Regulations (B.C.Z.R.). The subject property and requested relief are more particularly described on the site plan submitted, which was accepted into evidence and marked as Petitioners' Exhibit 1.

Appearing at the requisite public hearing in support of the request were David Black, co-owner of the property, and Paul Lee, a Professional Engineer with Century Engineering, Inc., the engineering firm who prepared the site plan for the property and are assisting the Petitioners through the development review process. Donald M. Gundlach appeared as an interested citizen on behalf of the Hunt Meadow Community Association. There were no other interested persons present.

Testimony and evidence offered revealed that the property, which is the subject of this special exception request, consists of 0.999 acres, more or less, zoned R-O. The subject property is rectangularly shaped (150' wide x 290' deep) and unimproved at this time. It is located on the south side of Warren Road in the Cockeysville area not far from York Road (MD 45). The Petitioners are proposing to construct a two-story Class B Office Building with basement on the subject property

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Date 1-20-09
By [Signature]

with a parking lot. The details of the building and parking lot are more particularly shown on Petitioners' Exhibit 1. In this regard, the property was the subject of prior Case No. 02-047-XA in which the Petitioners obtained similar special exception relief by Order dated September 19, 2001 by then Deputy Zoning Commissioner Timothy M. Kotroco. Pursuant to Section 502.3 of the B.C.Z.R., any special exception granted must be utilized within two (2) years of the date of any final Order granting same; however, an extension of up to five (5) years may be obtained, if requested prior to the expiration of the initial two (2)-year period. Moreover, where a special exception in effect cannot be utilized within the maximum allowable time because of inadequacy or unavailability of public sewer or water facilities, the Zoning Commissioner shall extend such time for utilization to a date 18 months after such facilities become adequate and available. In this case, it is beyond dispute that the Petitioners have been proceeding through the Design Review Process receiving approvals from the Department of Public Works for road work (Petitioners' Exhibit 3A), utilities (Petitioners' Exhibit 3B), grading and sediment control (Petitioners' Exhibit 3C) and stormwater management (Petitioners' Exhibit 3D). Despite obtaining these approvals that have taken a long time, the prior special exception expired as no extension was requested. Thus, the requested relief is necessary to re-establish the conditional use previously granted in order to proceed. It is to be noted that the site plan is identical to the one previously approved in 2001 (Petitioners' Exhibit 2B). The Office of Planning in its Zoning Advisory Committee (ZAC) comment is also persuasive and sets forth in pertinent part:

"The Office of Planning does not consider this request nor that which was approved in 2001 to be detrimental to the health, safety, or general welfare of the community.

ORDER RECEIVED FOR FILING
Date 1-20-09
By [Signature]

To date the subject community has not experienced any drastic transformations since 2001.

The Office of Planning does not oppose the petitioner's current request for special exception for a Class B office building provided the building adheres to the Hunt Valley/Timonium guidelines and that building elevations are submitted to the Office of Planning for review and approval prior to the application for building permits."

A Class B Office Building is defined in Section 101 of the B.C.Z.R. as a principal building used for offices and which is not a Class A Office Building. A Class B Office Building is permitted in the R-O zone by special exception. Based upon the testimony and evidence presented by Mr. Lee, I am easily persuaded that the special exception relief should be granted. In my judgment, the proposal complies as it did in 2001, with the requirements of Section 502.1 of the B.C.Z.R. and that the proposed office building will not cause detrimental impacts to the health, safety and general welfare of the locale.

As noted above, Don Gundlach appeared as a Board Member of the Hunt Meadow Community Association. The 171-home Aspen Hill townhouse community abuts the Petitioners property at the southeastern corner. Additionally, and as demonstrated on the site plan, Aspen Hill maintains a 30-foot wide strip of community open space land that traverses along the eastern property line from Warren Road until it reaches Spring Glen Court. While he had no objection to the proposed office building, he raised concerns relative to the proposed height of the building, changes in topography or grade that currently exists between the properties and stormwater runoff. In this regard, Mr. Lee discussed, to Mr. Gundlach's satisfaction, General Note No. 14 (Petitioners' Exhibit 1), which limits the building height to 35 feet, and provided information illustrated on the grading and stormwater management plans (Petitioners' Exhibits 3C and 3D respectively) that have been

COUNTY RECEIVED FOR FILING

Date 1-20-09

By [Signature]

approved and comply with all Baltimore County regulations.

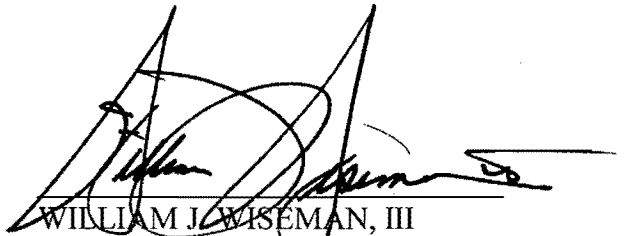
Pursuant to the advertisement, posting of the property and public hearing on this Petition held, and for the reasons set forth above, the relief requested shall be granted.

THEREFORE, IT IS ORDERED by the Zoning Commissioner for Baltimore County this 20th day of January 2009 that the Petition for Special Exception to permit a Class B Office Building in the R-O zone, pursuant to Section 204.3.B of the Baltimore County Zoning Regulations (B.C.Z.R.), in accordance with Petitioners' Exhibit 1, be and is hereby GRANTED, subject to the following:

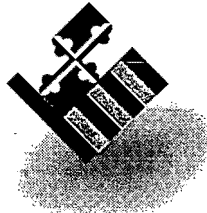
- 1) The Petitioners may apply for their building permit and be granted same upon receipt of this Order; however, the Petitioners are hereby made aware that proceeding at this time is at their own risk until such time as the 30-day appellate process from this Order has expired. If, for whatever reason this order is reversed, the Petitioners shall be required to return, and be responsible for returning said property to its original condition.
- 2) The Petitioners shall submit building elevation drawings of the proposed improvements to the Office of Planning for review and approval prior to the issuance of any permits.

Any appeal of this decision must be made taken in accordance with Section 32-3-401 of the Baltimore County Code.

WJW:dlw


WILLIAM J. WISEMAN, III
Zoning Commissioner
for Baltimore County

ORIGINAL RECEIVED FOR FILING
Date 1-20-09
By [Signature]



BALTIMORE COUNTY
MARYLAND

JAMES T. SMITH, JR.
County Executive

January 20, 2009

WILLIAM J. WISEMAN III
Zoning Commissioner

Michelle A. White
David F. Black
1004 Western Run Road
Cockeysville, Maryland 21030

IN RE: PETITIONS FOR SPECIAL EXCEPTION
S/S Warren Road, 930' E of York Road
(103 Warren Road)
8th Election District - 3rd Council District
Michelle A. White, et al – Petitioners
Case No. 2009-0122-X

Dear Ms. White and Mr. Black:

Enclosed please find a copy of the decision rendered in the above-captioned matter. The Petition for Special Exception has been granted with conditions, in accordance with the attached Order.

In the event any party finds the decision rendered is unfavorable, any party may file an appeal to the County Board of Appeals within thirty (30) days of the date of this Order. For further information on filing an appeal, please contact the Department of Permits and Development Management office at 887-3391.

Very truly yours,

A handwritten signature in black ink, appearing to read 'Bill Wiseman', written over a large, stylized 'A' shape.

WILLIAM J. WISEMAN, III
Zoning Commissioner
for Baltimore County

WJW:dlw
Enclosure

c: Mr. Paul Lee, Century Engineering, Inc., 10710 Gilroy Road, Hunt Valley, Maryland 21030
People's Counsel; Office of Planning; File



Petition for Special Exception

to the Zoning Commissioner of Baltimore County

SOUTH SIDE OF WARREN ROAD
for the property located at 900'± E. OF YORK ROAD

which is presently zoned "R-0"

This Petition shall be filed with the Department of Permits and Development Management. The undersigned, legal owner(s) of the property situate in Baltimore County and which is described in the description and plat attached hereto and made a part hereof, hereby petition for a Special Exception under the Zoning Regulations of Baltimore County, to use the herein described property for CLASS "B" OFFICE BUILDING

103 WARREN ROAD

Property is to be posted and advertised as prescribed by the zoning regulations.

I, or we, agree to pay expenses of above Special Exception, advertising, posting, etc. and further agree to and are to be bounded by the zoning regulations and restrictions of Baltimore County adopted pursuant to the zoning law for Baltimore County.

I/We do solemnly declare and affirm, under the penalties of perjury, that I/we are the legal owner(s) of the property which is the subject of this Petition.

Contract Purchaser/Lessee:

PAUL LEE - CENTURY ENGINEERING, INC.

Name - Type or Print

Signature

10710 GILROY ROAD

443-589-2400

Address

Telephone No.

HUNT VALLEY

MD

21031

City

State

Zip Code

Attorney For Petitioner:

Name - Type or Print

Signature

Company

Address

Telephone No.

City

State

Zip Code

Legal Owner(s):

DAVID F. BLACK

Name - Type or Print

Signature

MICHELLE A. WHITE

Name - Type or Print

Signature

1004 WESTERN RUN ROAD

410-785-2424

Address

Telephone No.

COCKEYSVILLE

MD

21030

City

State

Zip Code

Representative to be Contacted:

PAUL LEE - CENTURY ENGINEERING, INC.

Name

10710 GILROY ROAD

443-589-2400

Address

Telephone No.

HUNT VALLEY

MD

21030

City

State

Zip Code

OFFICE USE ONLY

ESTIMATED LENGTH OF HEARING

UNAVAILABLE FOR HEARING

Reviewed By JF

Date 10/27/02

Case No. 0009-0122X

REV 09/15/98

ORDER RECEIVED FOR FILING

Date 1-20-09

By [Signature]

103 WARREN ROAD

ITEM # 2009-0122X

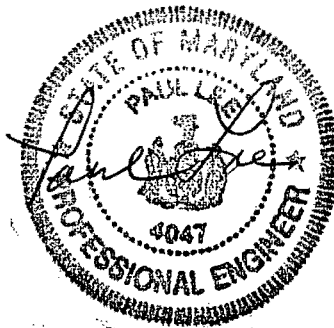
DESCRIPTION

0.999 AC. PROPERTY S. SIDE OF WARREN ROAD
(WARREN OAKS – CASE # 02-047-XA)

BEGINNING FOR THE SAME AT A POINT ON THE SOUTH SIDE AND 30' FROM THE CENTER OF WARREN ROAD, SAID POINT ALSO LOCATED EASTERLY 930'± FROM THE CENTER OF YORK ROAD; THENCE RUNNING WITH AND BINDING ON THE SOUTH SIDE OF WARREN ROAD AS DEEDED TO BALTIMORE COUNTY IN LIBER 5190-941 (RW 68-283-2)

- 1) S 85°-02' -37" E- 150.00' TO A POINT ON SAID SOUTH SIDE; THENCE LEAVING SAID POINT AND RUNNING FOR THE 3 FOLLOWING COURSES AND DISTANCES
- 2) S 04°-57'-19" W – 290.00'
- 3) N 85°-02'-37" W – 150.00' AND
- 4) N 04°-57'-19" E – 290.00' TO THE SOUTH SIDE OF WARREN ROAD AND POINT OF BEGINNING.

CONTAINING 43,500 SF (0.999 AC±) OF LAND MORE OR LESS.



BALTIMORE COUNTY, MARYLAND
OFFICE OF BUDGET AND FINANCE
MISCELLANEOUS CASH RECEIPT

No: 23981

Date: 10/27/08

PAID RECEIPT

BUSINESS ACTUAL TIME DIB
 10/28/2008 10/27/2008 11:16:05 1

REG 4501 WALKER JIM JHR
 RECEIPT # 394995 10/27/2008 OFFI

Fund	Dept	Unit	Sub Unit	Obj	Sub Obj	Dept Obj	BS Acct	Amount
001	106	0000		6150				380.00

Total: 380.00

Rec From: FDB Mortgage Inc.

For: 153 Warren Rd.
Petition for Special Exception

Case # 2009-C122-Y

DISTRIBUTION

WHITE - CASHIER PINK - AGENCY YELLOW - CUSTOMER GOLD - ACCOUNTING
 PLEASE PRESS HARD!!!!

5 528 ZONING VERIFICATION
 CR 13 023981

Receipt Tot \$380.00
 \$380.00 OK \$4.00 CA
 Baltimore County, Maryland

**CASHIER'S
 VALIDATION**

NOTICE OF ZONING HEARING

The Zoning Commissioner of Baltimore County, by authority of the Zoning Act and Regulations of Baltimore County will hold a public hearing in Towson, Maryland on the property identified herein as follows:

Case: # 2009-0122-X

103 Warren Road

S/side of Warren Road at the distance of 930 feet +/- east from the centerline of York Road

8th Election District

3rd Councilmanic District

Legal Owner(s): David Black &

Michele White

Lessee: Paul Lee, Century Engineering

Special Exception: for a Class "B" office building.

Hearing: Wednesday, January 14 2009 at 9:00 a.m. in Room 104, Jefferson Building, 105 West Chesapeake Avenue, Towson 21204.

WILLIAM J. WISEMAN, III
Zoning Commissioner for
Baltimore County

NOTES: (1) Hearings are Handicapped Accessible; for special accommodations Please Contact the Zoning Commissioner's Office at (410) 887-4386.

(2) For information concerning the File and/or Hearing, Contact the Zoning Review Office at (410) 887-3391.

JT 12/825 Dec. 30 191415

CERTIFICATE OF PUBLICATION

1/2/2009

THIS IS TO CERTIFY, that the annexed advertisement was published in the following weekly newspaper published in Baltimore County, Md., once in each of 1 successive weeks, the first publication appearing on 12/30/2008.

- ☒ The Jeffersonian
- ☐ Arbutus Times
- ☐ Catonsville Times
- ☐ Towson Times
- ☐ Owings Mills Times
- ☐ NE Booster/Reporter
- ☐ North County News

S. Wilkinson

LEGAL ADVERTISING

CERTIFICATE OF POSTING

RE: 2009-0122-X

Petitioner/Developer: _____

Paul Lee, Century Engineering

Date of Hearing/Closing: Jan 14 09

Baltimore County Department of
Permits and Development Management
County Office Building, Room 111
111 West Chesapeake Avenue
Towson, Maryland 21204

Attn : Kristin Matthews

Ladies and Gentlemen:

This letter is to certify under the penalties of perjury that the necessary sign(s) required by law were posted conspicuously on the property located at: _____

103 Warren Road

The sign(s) were posted on _____ Dec 30 08
(Month, Day, Year)

Sincerely,

Robert Black Jan 2 09
(Signature of Sign Poster) (Date)

SSG Robert Black

(Print Name)

1508 Leslie Road

(Address)

Dundalk, Maryland 21222

(City, State, Zip Code)

(410) 282-7940

(Telephone Number)

ZONING NOTICE

CASE # 2009-0122-X

**A PUBLIC HEARING WILL BE HELD BY
THE ZONING COMMISSIONER
IN TOWSON, MD**

PLACE: Room 104, JEFFERSON BUILDING
105 W. CHESTER AVE. TOWSON, MD 21204

DATE AND TIME WEDNESDAY, JANUARY 14, 2009 AT 9:00 A.M.

REQUEST: SPECIAL EXCEPTION FOR A CLASS "B" OFFICE
BUILDING.

POSTPONEMENTS DUE TO WEATHER OR OTHER CONDITIONS ARE SOMETIMES NECESSARY
TO CONFIRM HEARING CALL 887-3391

DO NOT REMOVE THIS SIGN AND POST UNTIL DAY OF HEARING, UNDER PENALTY OF LAW
HANDICAPPED ACCESSIBLE

**DEPARTMENT OF PERMITS AND DEVELOPMENT MANAGEMENT
ZONING REVIEW**

ADVERTISING REQUIREMENTS AND PROCEDURES FOR ZONING HEARINGS

The Baltimore County Zoning Regulations (BCZR) require that notice be given to the general public/neighboring property owners relative to property which is the subject of an upcoming zoning hearing. For those petitions which require a public hearing, this notice is accomplished by posting a sign on the property (responsibility of the petitioner) and placement of a notice in a newspaper of general circulation in the County, both at least fifteen (15) days before the hearing.

Zoning Review will ensure that the legal requirements for advertising are satisfied. However, the petitioner is responsible for the costs associated with these requirements. The newspaper will bill the person listed below for the advertising. This advertising is due upon receipt and should be remitted directly to the newspaper.

OPINIONS MAY NOT BE ISSUED UNTIL ALL ADVERTISING COSTS ARE PAID.

For Newspaper Advertising:

Item Number or Case Number: 2009 - 0122 - X

Petitioner: DAVID F. BLACK

Address or Location: SOUTH SIDE OF WARREN ROAD - 930' EAST OF CENTER YORK RD
103 WARREN RD

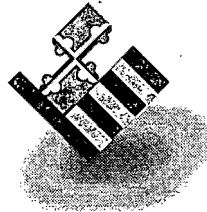
PLEASE FORWARD ADVERTISING BILL TO:

Name: DAVID F. BLACK

Address: 1004 WESTERN RUN ROAD

COCKEYSVILLE, MD. 21030

Telephone Number: 410-785-2424



BALTIMORE COUNTY
MARYLAND

JAMES T. SMITH, JR.
County Executive

November 25, 2008
TIMOTHY M. KOTROCO, *Director*
Department of Permits and
Development Management

NOTICE OF ZONING HEARING

The Zoning Commissioner of Baltimore County, by authority of the Zoning Act and Regulations of Baltimore County, will hold a public hearing in Towson, Maryland on the property identified herein as follows:

CASE NUMBER: 2009-0122-X

103 Warren Road

S/side of Warren Road at the distance of 930 feet +/- east from the centerline of York Road

8th Election District – 3rd Councilmanic District

Legal Owners: David Black & Michele White

Lessee: Paul Lee, Century Engineering

Special Exception for a Class "B" office building.

Hearing: Wednesday, January 14, 2009 at 9:00 a.m. in Room 104, Jefferson Building,
105 West Chesapeake Avenue, Towson 21204

A handwritten signature in cursive script that reads "Timothy Kotroco".

Timothy Kotroco
Director

TK:klm

C: David Black, Michele White, 1004 Western Run Road, Cockeysville 21030
Paul Lee, 10710 Gilroy Road, Hunt Valley 21031

- NOTES: (1) **THE PETITIONER MUST HAVE THE ZONING NOTICE SIGN POSTED BY AN APPROVED POSTER ON THE PROPERTY BY TUESDAY, DECEMBER 30, 2008.**
- (2) HEARINGS ARE HANDICAPPED ACCESSIBLE; FOR SPECIAL ACCOMMODATIONS PLEASE CALL THE ZONING COMMISSIONER'S OFFICE AT 410-887-4386.
- (3) FOR INFORMATION CONCERNING THE FILE AND/OR HEARING, CONTACT THE ZONING REVIEW OFFICE AT 410-887-3391.

TO: PATUXENT PUBLISHING COMPANY
Tuesday, December 30, 2008 Issue - Jeffersonian

Please forward billing to:

David Black
1004 Western Run Road
Cockeysville, MD 21030

410-785-2424

NOTICE OF ZONING HEARING

The Zoning Commissioner of Baltimore County, by authority of the Zoning Act and Regulations of Baltimore County, will hold a public hearing in Towson, Maryland, on the property identified herein as follows:

CASE NUMBER: 2009-0122-X

103 Warren Road

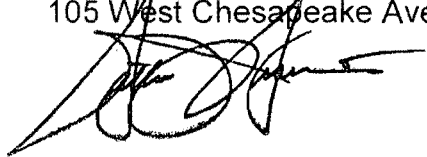
S/side of Warren Road at the distance of 930 feet +/- east from the centerline of York Road
8th Election District – 3rd Councilmanic District

Legal Owners: David Black & Michele White

Lessee: Paul Lee, Century Engineering

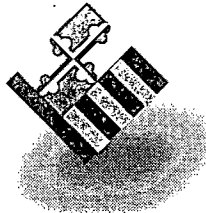
Special Exception for a Class "B" office building.

Hearing: Wednesday, January 14, 2009 at 9:00 a.m. in Room 104, Jefferson Building,
105 West Chesapeake Avenue, Towson 21204



WILLIAM J. WISEMAN III
ZONING COMMISSIONER FOR BALTIMORE COUNTY

- NOTES: (1) HEARINGS ARE HANDICAPPED ACCESSIBLE; FOR SPECIAL ACCOMODATIONS, PLEASE CONTACT THE ZONING COMMISSIONER'S OFFICE AT 410-887-4386.
(2) FOR INFORMATION CONCERNING THE FILE AND/OR HEARING, CONTACT THE ZONING REVIEW OFFICE AT 410-887-3391.



BALTIMORE COUNTY
M A R Y L A N D

JAMES T. SMITH, JR.
County Executive

TIMOTHY M. KOTROCO, *Director*
Department of Permits and
Development Management
January 08, 2009

David F. Black & Michelle A. White
1004 Western Run Rd.
Cockeysville, MD 21030

Dear: David F. Black & Michelle A. White

RE: Case Number 2009-0122-X, 103 Warren Rd.

The above referenced petition was accepted for processing **ONLY** by the Bureau of Zoning Review, Department of Permits and Development Management (PDM) on October 27, 2008. This letter is not an approval, but only a **NOTIFICATION**.

The Zoning Advisory Committee (ZAC), which consists of representatives from several approval agencies, has reviewed the plans that were submitted with your petition. All comments submitted thus far from the members of the ZAC are attached. These comments are not intended to indicate the appropriateness of the zoning action requested, but to ensure that all parties (zoning commissioner, attorney, petitioner, etc.) are made aware of plans or problems with regard to the proposed improvements that may have a bearing on this case. All comments will be placed in the permanent case file.

If you need further information or have any questions, please do not hesitate to contact the commenting agency.

Very truly yours,

A handwritten signature in black ink that reads "W. Carl Richards, Jr." with a stylized flourish at the end.

W. Carl Richards, Jr.
Supervisor, Zoning Review

WCR:lnw

Enclosures

c: People's Counsel
Paul Lee: Century Engineering, INC; 10710 Gilroy Rd.; Hunt Valley, MD 21030

BALTIMORE COUNTY, MARYLAND
INTEROFFICE CORRESPONDENCE

TO: Timothy M. Kotroco, Director
Department of Permits & Development
Management

DATE: November 7, 2008

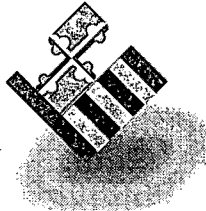
FROM: Dennis A. Kennedy, Supervisor
Bureau of Development Plans Review

SUBJECT: Zoning Advisory Committee Meeting
For November 10, 2008
Item No.: 2009-109, 110, 112, 113,
114, 115, 116, 117, 118, 119, 120,
122 & 123

The Bureau of Development Plans Review has reviewed the subject-zoning items, and we have no comments.

DAK:CEN:cab
cc: File

ZAC-11072008-NO COMMENTS



BALTIMORE COUNTY
M A R Y L A N D

JAMES T. SMITH, JR.
County Executive

JOHN J. HOHMAN, *Chief*
Fire Department

County Office Building, Room 111
Mail Stop #1105
111 West Chesapeake Avenue
Towson, Maryland 21204

November 10, 2008

ATTENTION: Zoning Review Planners

Distribution Meeting Of: November 03, 2008

Item Numbers: Item Number 0109 through 0125 ¹²²

Pursuant to your request, the referenced plan(s) have been reviewed by this Bureau and the comments below are applicable and required to be corrected or incorporated into the final plans for the property.

1. The Fire Marshal's Office has no comments at this time.

Lieutenant Roland P Bosley Jr.
Fire Marshal's Office
410-887-4881 (C) 443-829-2946
MS-1102F

cc: File



Martin O'Malley, Governor
Anthony G. Brown, Lt. Governor

State Highway
Administration

John D. Porcari, Secretary
Neil J. Pedersen, Administrator

Maryland Department of Transportation

Date: Nov. 3, 2008

Ms. Kristen Matthews
Baltimore County Office of
Permits and Development Management
County Office Building, Room 109
Towson, Maryland 21204

RE: Baltimore County
Item No 2009-0122-X
103 WARREN ROAD
BLACK/WHITE PROPERTY
SPECIAL EXCEPTION

Dear Ms. Matthews:

Thank you for the opportunity to review your referral request on the subject of the above captioned. We have determined that the subject property does not access a State roadway and is not affected by any State Highway Administration projects. Therefore, based upon available information this office has no objection to Baltimore County Zoning Advisory Committee approval of Item No. 2009-0122-X

Should you have any questions regarding this matter, please contact Michael Bailey at 410-545-2803 or 1-800-876-4742 extension 5593. Also, you may E-mail him at (mbailey@sha.state.md.us).

Very truly yours,

For Steven D. Foster, Chief
Engineering Access Permits
Division

SDF/MB

My telephone number/toll-free number is _____

Maryland Relay Service for Impaired Hearing or Speech: 1.800.735.2258 Statewide Toll Free

Street Address: 707 North Calvert Street • Baltimore, Maryland 21202 • Phone: 410.545.0300 • www.marylandroads.com



BW 1/14
9am

BALTIMORE COUNTY, MARYLAND

INTER-OFFICE CORRESPONDENCE

TO: Timothy M. Kotroco, Director
Department of Permits and
Development Management

DATE: December 5, 2008

FROM: Arnold F. 'Pat' Keller, III
Director, Office of Planning

SUBJECT: 103 Warren Road

INFORMATION:

Item Number: 9-122

Petitioner: David Black and Michelle White

Zoning: RO

Requested Action: Special Exception

RECEIVED

BY:

SUMMARY OF RECOMMENDATIONS:

The Office of Planning has reviewed the petitioner's request and accompanying site plan and offers the following:

A similar request for special exception was applied for, reviewed and granted in case 2-047-XA in 2001. The Office of Planning does not consider this request nor that which was approved in 2001 to be detrimental to the health, safety, or general welfare of the community. To date the subject community has not experienced any drastic transformations since 2001.

The Office of Planning does not oppose the petitioner's current request for special exception for a Class B office building provided the building adheres to the Hunt Valley/ Timonium guidelines and that building elevations are submitted to the Office of Planning for review and approval prior to the application for building permits. A vegetative buffer shall be provided along the northern property line since there are residential uses that are adjacent to the proposal.

For further information concerning the matters stated here in, please contact Jessie Bialek at 410-887-3480.

Prepared by:

Seneca Murray

Division Chief:
AFK/LL: CM

John L. Lohan

BALTIMORE COUNTY, MARYLAND**Inter-Office Correspondence****RECEIVED**
NOV 21 2008

BY:.....

TO: Timothy M. Kotroco

FROM: Dave Lykens, DEPRM - Development Coordination

DATE: November 21, 2008

SUBJECT: Zoning Item # 09-122-X
Address 103 Warren Road
(White Property)

Zoning Advisory Committee Meeting of November 3, 2008

X The Department of Environmental Protection and Resource Management has no comments on the above-referenced zoning item.

The Department of Environmental Protection and Resource Management offers the following comments on the above-referenced zoning item:

Development of the property must comply with the Regulations for the Protection of Water Quality, Streams, Wetlands and Floodplains (Sections 33-3-101 through 33-3-120 of the Baltimore County Code).

Development of this property must comply with the Forest Conservation Regulations (Sections 33-6-101 through 33-6-122 of the Baltimore County Code).

Development of this property must comply with the Chesapeake Bay Critical Area Regulations (Sections 33-2-101 through 33-2-1004, and other Sections, of the Baltimore County Code).

Additional Comments:

Reviewer: JWL

Date: 11/21/08

RE: PETITION FOR SPECIAL EXCEPTION * BEFORE THE
103 Warren Road; S/S Warren Road, * ZONING COMMISSIONER
930' E c/line of York Road *
8th Election & 3rd Councilmanic Districts *
Legal Owner(s): David Black & Michelle White* FOR
Petitioner(s) * BALTIMORE COUNTY
* 09-122-X

* * * * *

ENTRY OF APPEARANCE

Please enter the appearance of People's Counsel in the above-captioned matter. Notice should be sent of any hearing dates or other proceedings in this matter and the passage of any preliminary or final Order. All parties should copy People's Counsel on all correspondence sent and documentation filed in the case.

RECEIVED

NOV 12 2008

.....

Peter Max Zimmerman

PETER MAX ZIMMERMAN
People's Counsel for Baltimore County

Carole S. Demilio

CAROLE S. DEMILIO
Deputy People's Counsel
Jefferson Building, Room 204
105 West Chesapeake Avenue
Towson, MD 21204
(410) 887-2188

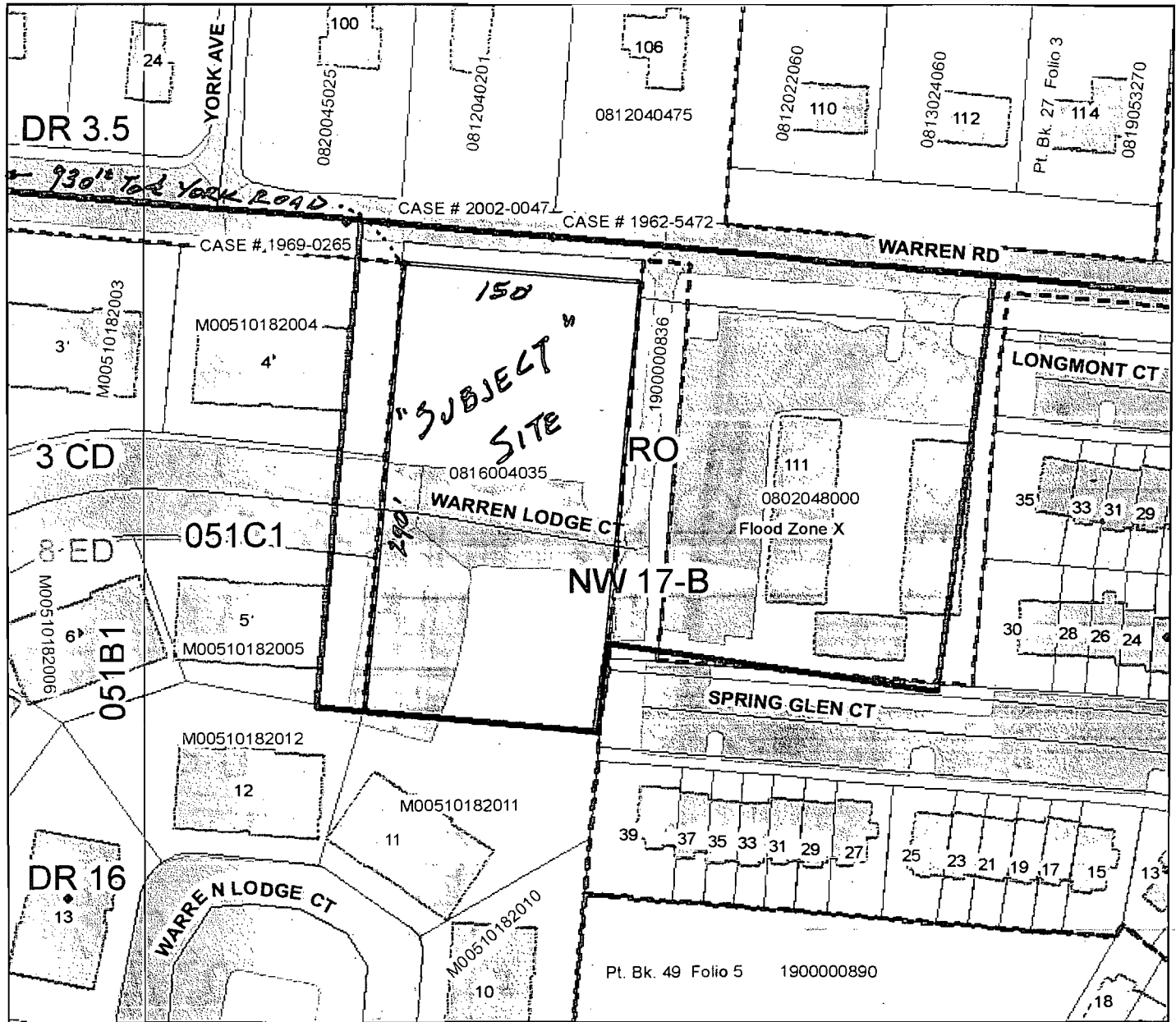
CERTIFICATE OF SERVICE

I HEREBY CERTIFY that on this 12th day of November, 2008, a copy of the foregoing Entry of Appearance was mailed to Paul Lee, Century Engineering, Inc, 10710 Gilroy Road, Hunt Valley, MD 21030, Representative for Petitioner(s).

Peter Max Zimmerman

PETER MAX ZIMMERMAN
People's Counsel for Baltimore County

Warren Road



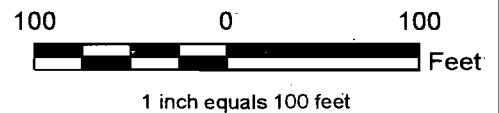
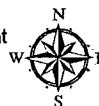
PROPERTY LOCATED ON BCZM-"NW17B"- 1"=200'
103 WARREN ROAD

ITEM # 2009-0122X



Publication Date: September 11, 2008
Publication Agency: Department of Permits & Development Management
Projection/Datum: Maryland State Plane,
FIPS 1900, NAD.1983/91 HARN, US Foot

DQ Map Notes



103 WARREN RD
CASE NAME (0.999 AC PROP (WARREN OAKS)
CASE NUMBER 2009-0122X
DATE 1-14-09

[illegible]

Case No.: 2009-0122-X 103 WARREN ROAD

Exhibit Sheet

Petitioner/Developer

Protestant

No. 1	SITE PLAN	
No. 2	2A - SITE PLAN 2B - Order 02-047-XA	
No. 3	3A - ROAD 3B - UTILITIES 3D - SWM 3C - Sediment Control + Grady	
No. 4		
No. 5		
No. 6		
No. 7		
No. 8		
No. 9		
No. 10		
No. 11		
No. 12		

IN RE: PETITION FOR SPECIAL EXCEPTION *
AND VARIANCE
S/S Warren Road, 900' +/-
E of York Road *
8th Election District *
3rd Councilmanic District *
(s/s Warren Road, 900' +/- E of York Rd.) *

Michelle White & David Black
Petitioners *

BEFORE THE

DEPUTY ZONING COMMISSIONER

OF BALTIMORE COUNTY

CASE NO. 02-047-XA

* * * * *

PET. EXHIBIT # 1

FINDINGS OF FACT AND CONCLUSIONS OF LAW

This matter comes before this Deputy Zoning Commissioner as a Petition for Special Exception and Variance filed by the legal owners of the subject property, Michelle White & David Black. The Petitioners are requesting a special exception for a class B office building and variance relief for property located on the south side of Warren Road, 900 ft. east of York Road. The subject property is zoned RO. The Petitioners originally requested a variance to allow the building to be constructed on the property to have a 10 ft. setback and buffer in lieu of the required 20 ft. However, as a result of a negative comment issued from the Planning Office, the Petitioners have redesigned the building to be constructed on the property and no longer needs to request a variance. Therefore, the Petitioners asked at the hearing, that the variance request be withdrawn. Accordingly, that request was granted. Therefore, the Petitioners proceeded on their Petition for Special Exception to approve this Class B office building.

Appearing at the hearing on behalf of the special exception request were David Black, appearing as the owner of the property and Paul Lee, a professional engineer with Century Engineering, the engineers who prepared the site plan of the property. There were no others in attendance.

ORDER RECEIVED FOR FILING

Date

9/19/01

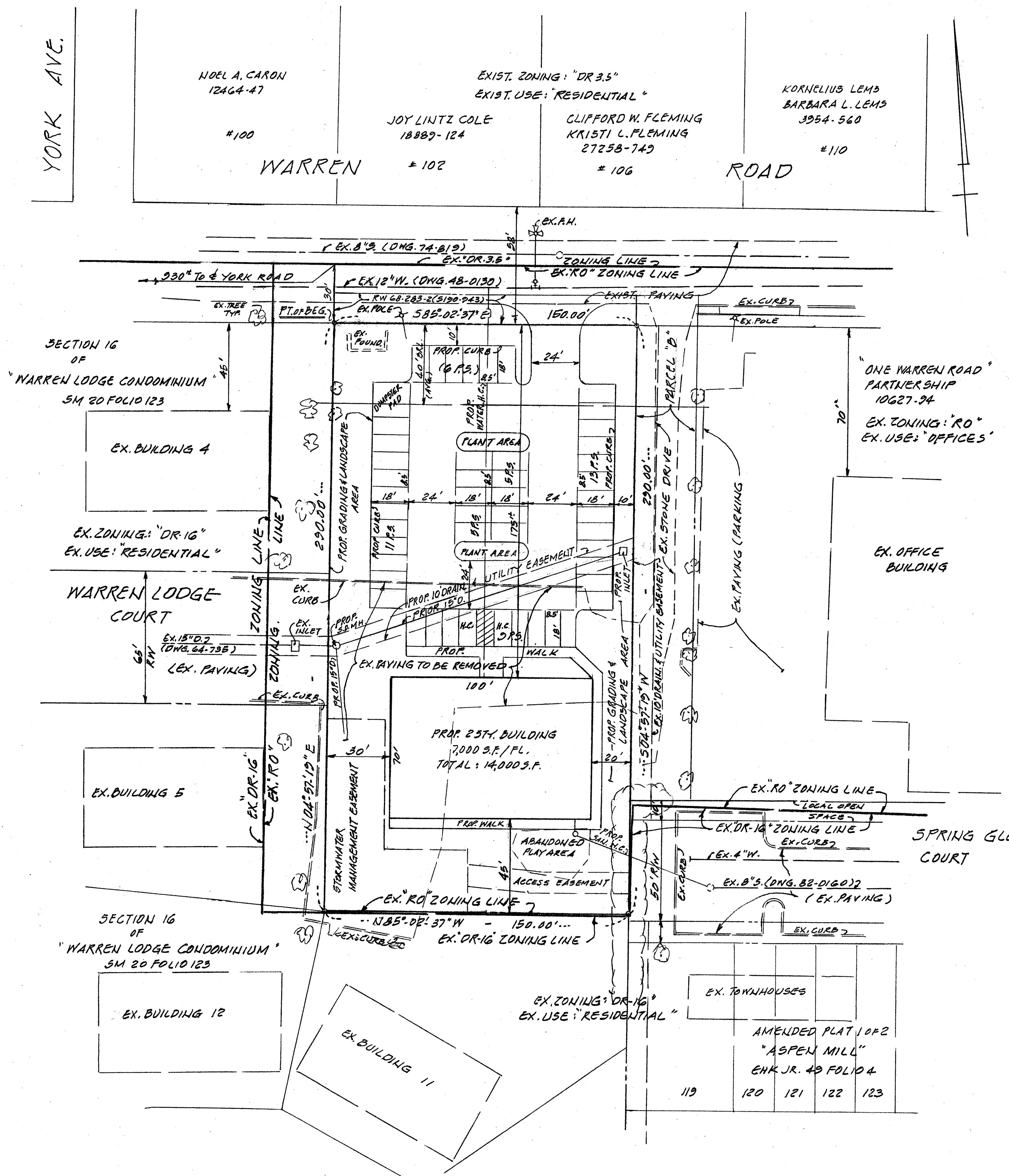
By

R. J. [Signature]

PETITIONER'S

EXHIBIT NO.

2B

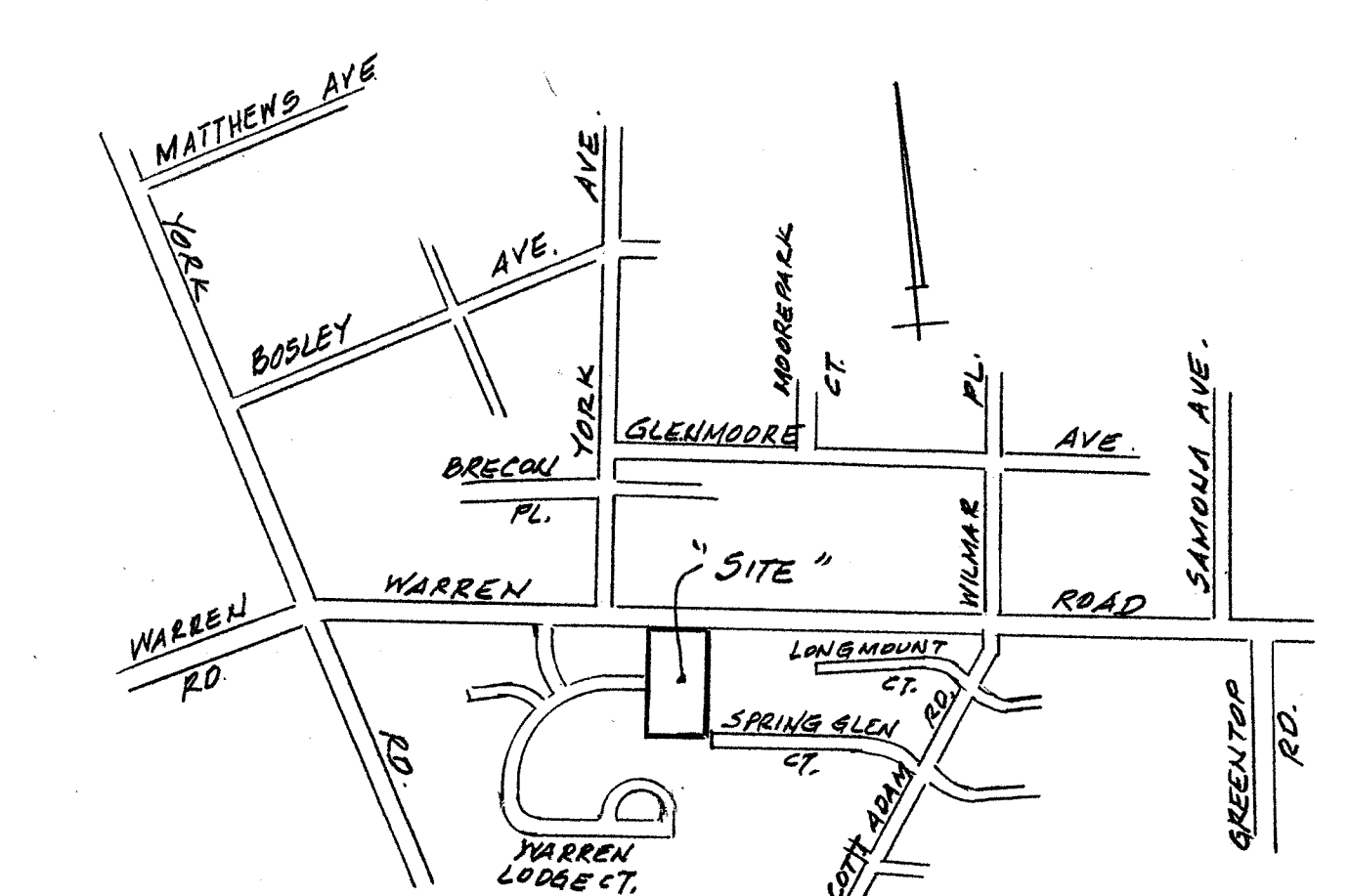


IN RE: PETITION FOR SPECIAL EXCEPTION * BEFORE THE
 AND VARIANCE *
 S/S Warren Road, 900' +/- *
 E of York Road *
 8th Election District *
 3rd Councilmanic District *
 (S/S Warren Road, 900' +/- E of York Rd.) *
 Michelle White & David Black *
 Petitioners *
 * * * * *

Pursuant to the advertising, posting of the property, and public hearing on this Petition held, and for the reasons given above, the relief request in the special exception shall be granted.
 THEREFORE, IT IS ORDERED this 19th day of September, 2001, by this Deputy Zoning Commissioner, that the Petitioners' Request for Special Exception, to approve this Class B office building, be and is hereby APPROVED, subject, however, to the following restrictions which are conditions precedent to the relief granted herein:

1. The Petitioners may apply for their permit and be granted same upon receipt of this Order; however, Petitioners are hereby made aware that proceeding at this time is at their own risk until such time as the 30 day appellate process from this Order has expired. If, for whatever reason, this Order is reversed, the Petitioners would be required to return, and be responsible for returning same property to its original condition.
 2. That prior to the issuance of a building permit for this building, the Petitioners shall be required to submit elevation drawings of the building to the Office of Planning for their review and approval.
 3. When applying for a permit, the site plan filed must reference this case and set forth and address the restrictions of this Order.
- IT IS FURTHER ORDERED, that the Petition for Variance Request, be and is hereby DISMISSED.

Timothy M. Kotroco
 TIMOTHY M. KOTROCO
 DEPUTY ZONING COMMISSIONER
 FOR BALTIMORE COUNTY



LOCATION MAP
 SCALE: 1"=500'

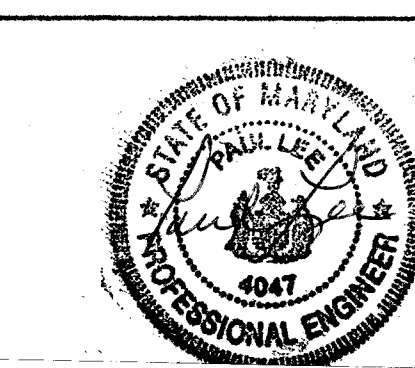
GENERAL NOTES

1. AREA OF PROPERTY = 43,500 S.F. (0.999 AC.) GROSS: 1.05 AC.±
2. EXISTING ZONING OF PROPERTY = "R-O"
3. EXISTING USE OF PROPERTY = "VACANT"
4. PROPOSED ZONING OF PROPERTY = "R-O W/ SPECIAL EXCEPTION"
5. PROPOSED USE OF PROPERTY = "25TH OFFICE BLDG. W/BASEMENT"
6. REQUIRED OFF STREET PARKING - 70'x100' OFFICE BUILDING
 $70 \times 100 = 7,000 \text{ S.F. / FL. @ } 3.3 \text{ F.S. / 1000} = 23.1 \times 2 = 46.2 = 47$
 (BASEMENT - STORAGE) 7000 SF @ 0/1000 = 0
 TOTAL NUMBER OF PARKING SPACES REQUIRED = 47
7. NUMBER OF PARKING SPACES SHOWN (INCL. 34G.) = 49
8. ZONING HISTORY ON EXISTING PROPERTY - CASE # 02-047-XA - SPECIAL EXCEPTION FOR A CLASS B OFFICE BUILDING IN A "R-O" ZONE WAS APPROVED BY THE DEPUTY ZONING COMMISSIONER SEPTEMBER 19, 2001 BUT WAS NEVER UTILIZED.
9. SEDIMENT CONTROL PLAN APPROVED BY BALTIMORE COUNTY SOIL CONSERVATION DISTRICT PLAN # 017-18 J6-03 (1-22-03)
10. STORMWATER MANAGEMENT PLAN APPROVED BY BALTIMORE COUNTY DEPRM PLAN # 080-18 J6-03 PLAN # 3 (4-24-03)
11. PROPERTY RECEIVED "A-2" APPROVAL DRC 070201C - 10-29-01
12. PETITIONER REQUESTING A NEW SPECIAL EXCEPTION TO PERMIT A CLASS B OFFICE BUILDING IN A "R-O" ZONE.
13. PROPERTY SERVED BY PUBLIC UTILITIES
14. HEIGHT OF BUILDING LESS THAN 35'
15. PERMITTED F.A.R. = 0.33 - PROPOSED F.A.R. = 14000/43540 = 0.32 < 0.33
16. ALL SIGNS TO COMPLY WITH SECT. 450 OF THE BCZ AND ALL ZONING POLICIES.

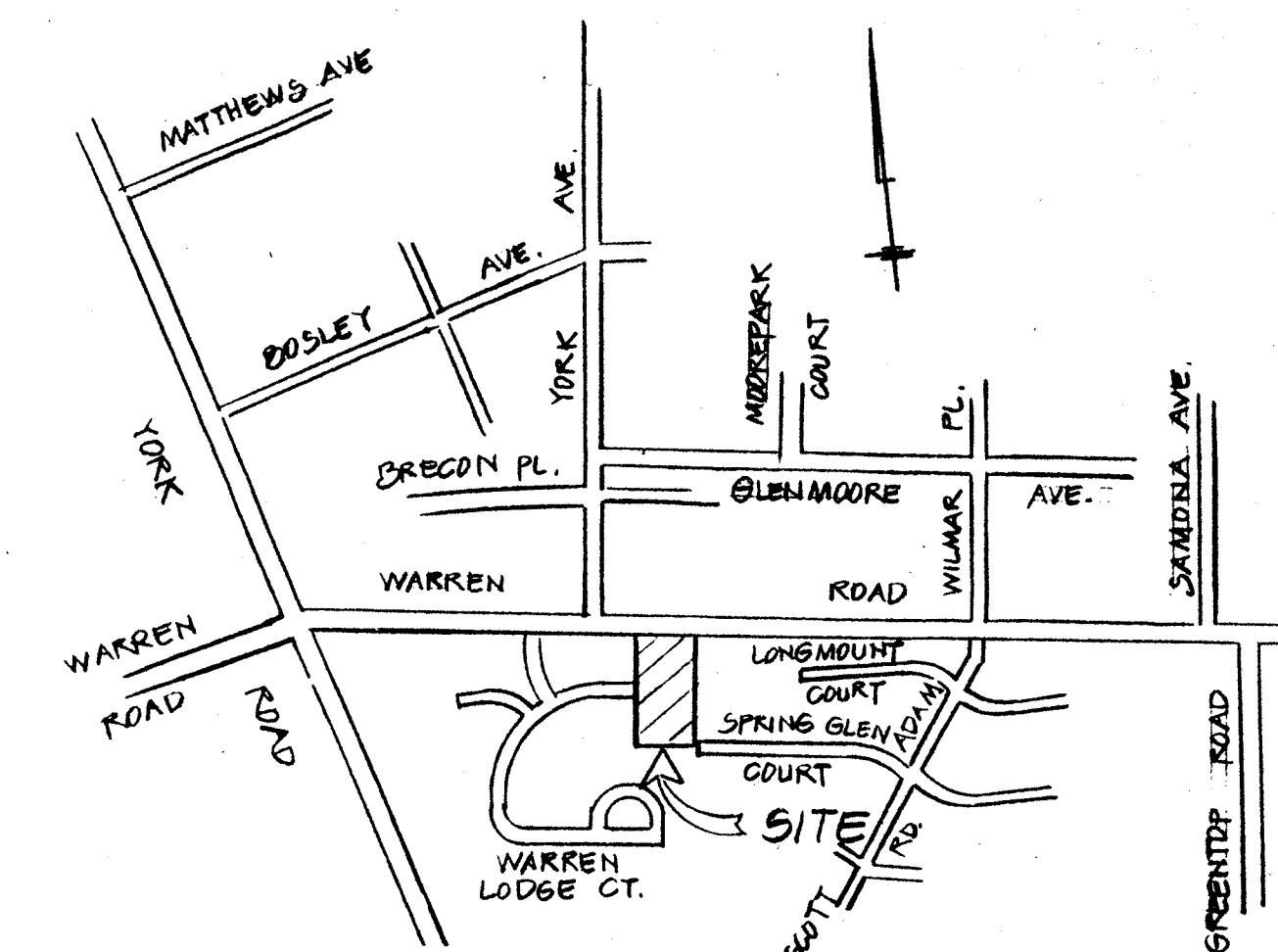
103 WARREN ROAD
 PLAT TO ACCOMPANY PETITION
 FOR
SPECIAL EXCEPTION
0.999 ACRE PROPERTY (WARREN OAKS)
SOUTH SIDE WARREN RD. 330' E. YORK RD.
 ELECT. DIST. BC3 BALTIMORE COUNTY, MD.
 SCALE: 1"=30' OCT. 1, 2008

OWNERS:
 DAVID F. BLACK
 MICHELLE A. WHITE
 1004 WESTERN RUN ROAD
 HUNT VALLEY, MD. 21030-1116

CENTURY
 ENGINEERING
 CONSULTING ENGINEERS - PLANNERS
 10710 GILROY ROAD
 HUNT VALLEY, MD 21031
 Phone: 443.589.2400 Fax: 443.589.2401

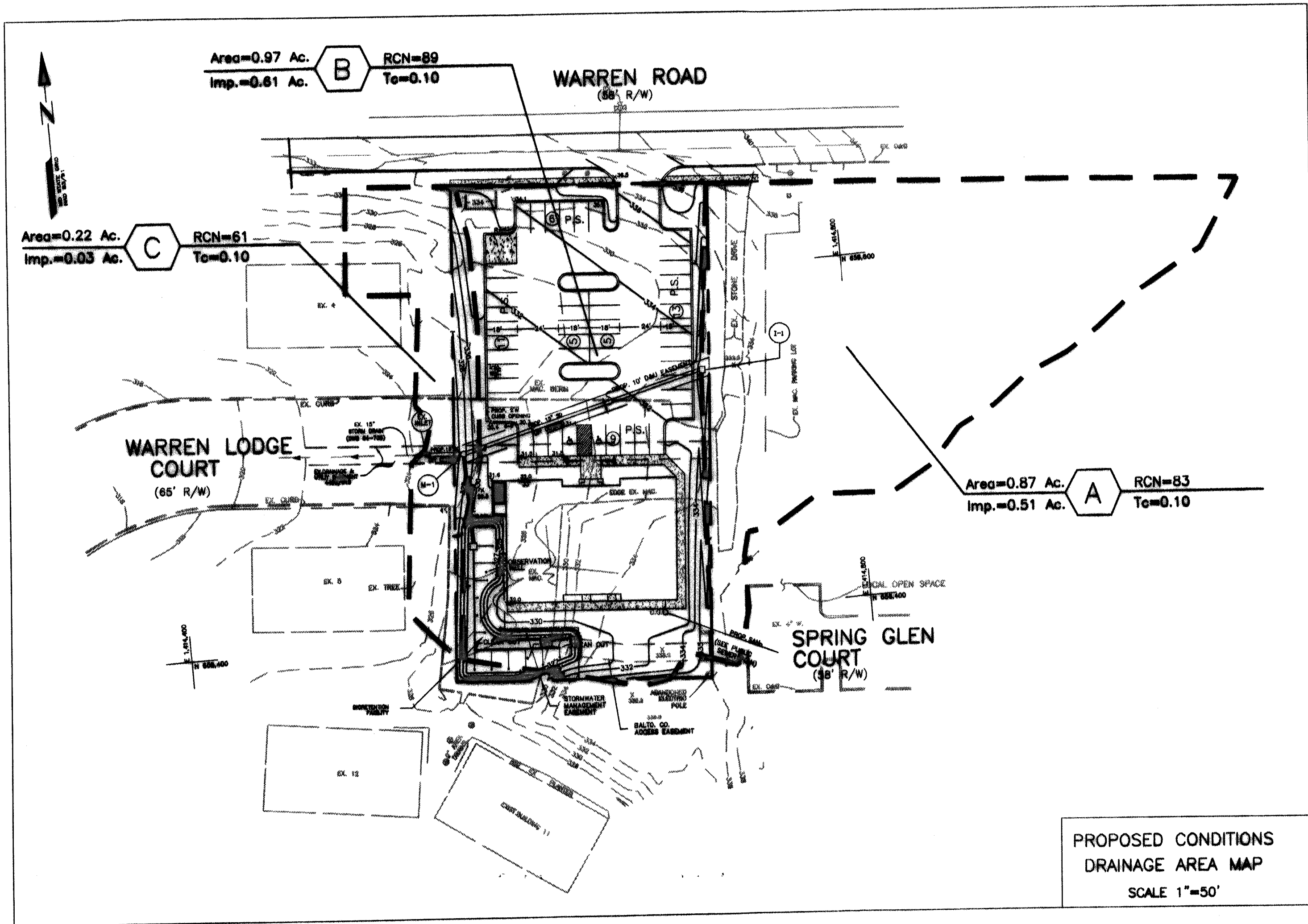


PETITIONER'S
 EXHIBIT NO. 1



PETITIONER'S
EXHIBIT NO. 2A

JAMES H. BLAKE
 3000 LINDEN A. BLVD
 10024 WASHINGTON DC 20034
 202/462-6454 FID 7232-0-1126
 281224038 135074-5031
 OWNER/DEVELOPER
 FDB MORTGAGE
 10944 DEWEY DAM ROAD SUITE A
 FORT VALEY, MISSISSAUGA L4C 0C0
 TELE (416) 785-2424



PROPOSED CONDITIONS
DRAINAGE AREA MAP
SCALE 1"=50'

240. MATERIALS SPECIFICATIONS
Table 27 Geotextile Fabrics

CLASS	APPROXIMATE PENNING SIZE MM. MAX.	GRAB TENSILE STRENGTH LB. MIN.	BURST STRENGTH PSI. MIN.
A	0.30**	250	500
B	0.60	200	320
C	0.30	200	320
D	0.60	90	145
E	0.30	90	145
F (SILT FENCE)	0.40-0.80*	90	190

*US Std Sieve CW - 02215 **0.50 mm. max. for Super Silt Fence

The properties shall be determined in accordance with the following procedure:

- Apparent opening size MSMT 323
- Grab tensile strength ASTM D 1682: 4x8" specimen, 1x2" clamps, 12"/min. strain rate in both principal directions of geotextile fabric.
- Burst strength ASTM D 3786

The fabric shall be inert to commonly encountered chemicals and hydrocarbons, and will be rot and mildew resistant. It shall be manufactured from fibers consisting of long chain synthetic polymers, and composed of a minimum of 85% by weight of polypropylene, polyester, or polyamides. The geotextile fabric shall resist deterioration from ultraviolet exposure.

In addition, Classes A through E shall have a 0.01 cm./sec. minimum permeability when tested in accordance with MSMT 507, and an apparent minimum elongation of 20 percent (20%) when tested in accordance with the grab tensile strength requirements listed above.

Silt Fence
Class F geotextile fabrics for silt fence shall have a 50 lb./in. minimum tensile strength and a 20lb./in. minimum tensile modulus when tested in accordance with MSMT 508. The material shall also have a 0.3 gal./ft.2/min. flow rate and seventy-five percent (75%) minimum filtering efficiency when tested in accordance with MSMT 322.

Geotextile fabrics used in the construction of silt fence shall resist deterioration from ultraviolet exposure. The fabric shall contain sufficient amounts of ultraviolet ray inhibitors and stabilizers to provide a minimum of 12 months of expected usable construction life at a temperature range of 0 to 120 degrees F.

CONSULTANT'S HAZARD CLASS CERTIFICATION

"I, CERTIFY THAT THIS POND MEETS ALL REQUIREMENTS FOR HAZARD CLASS A. (REQUIREMENTS AS STATED IN THE SOIL CONSERVATION SERVICE - MARYLAND STANDARDS AND SPECIFICATIONS FOR POND, CODE 178, JANUARY, 2000.) ALL NECESSARY INVESTIGATIONS AND COMPUTATIONS HAVE BEEN PERFORMED TO VERIFY THIS FINDING. A COPY OF SAID INFORMATION HAS BEEN SUPPLIED TO B.C.S./B.C.S.C.D.

SIGNATURE: *Robert G. Bathurst* NO. LICENSE: *24814* DATE: *4/7/03*
PRINT NAME: *Robert G. Bathurst*

MATERIAL SPECIFICATIONS FOR BIORETENTION

Material Specifications

Material	Specification	Size	Notes
Plantings	See Appendix A Table A-4	N/A	Plantings are site specific
Planting soil (2.5' to 4' deep)	Sand 35-60% Silt 30-55% Clay 10-25%	N/A	UNDA soil types loamy sand, sandy loam or loam
Mulch	Shredded hardwood Class "C" apparent opening size (ASTM-D-4751), grab tensile strength (ASTM-D-4632) puncture resistance (ASTM-D-4833)	N/A	Aged six months, min. For use as necessary beneath underdrains only
Underdrain gravel	AASHTO M-43	0.375" to 0.75"	
Underdrain piping	F 785, Type PS 28 or AASHTO M-278	4" to 6" rigid schedule 40 PVC or SDR35	3/8" perf. @ 6" on center, 4 holes per row, min. of 3' of gravel over pipes; not necessary underdrain pipes
Poured in place concrete (if required)	MSHA Mix No. 3, F _c 3500 psi @ 28 days, normal weight, air-entrained, reinforcing to meet ASTM-615-60	N/A	On-site testing of poured-in-place concrete required; 28 day strength and slump test; all concrete design (cast-in-place or pre-cast) not using previously approved state or local standards requires design drawings sealed and approved by a professional structural engineer licensed in the state of Maryland -design to include meeting ACI Code 350.8R-89, vertical loading [h-10 or h-20]; allowable horizontal loading (based on soil pressures), and analysis of potential cracking Sand substitutions such as Diabase and Greystone #10 are not acceptable. Not calcium carbonated or dolomitic sand substitutions are acceptable. No "rock dust" can be used for sand
Sand (1" deep)	AASHTO-M-6 or ASTM-C-33	0.02" to 0.04"	

Planting Soil

The soil shall be of uniform mix, free of stones, stumps, roots or other similar objects larger than two inches. Not other materials of substances shall be mixed or dumped within the bioretention area that may be harmful to plant growth, or prove a hindrance to the planting or maintenance operation. The planting soil shall be free of Bermuda grass, Quackgrass, Johnson grass, or other noxious weeds as specified under COMAR 15.08.01.05.

The planting soil shall be tested and shall meet the following criteria pH range

5.2 - 7.0	
Organic matter	1.5 - 4% (by weight)
Magnesium	35 lb./ac
Phosphorus	75 lb./ac
Potassium (potash)	85 lb./ac
Soluble salts	not to exceed 500ppm

All bioretention areas shall have a minimum of one test. Each test shall consist of both the standard soil test for pH, phosphorus, and potassium and addition test of organic matter and soluble salts. A textual analysis is required from the site-stocked topsoil. If topsoil is imported, then a texture analysis shall be performed for each location where the topsoil was excavated.

Since different labs calibrate their testing equipment differently, all testing results shall come from the same testing facility.

Should the pH fall out of acceptable range, it may be modified (higher) with lime or (lower) with iron sulfate plus sulfur.

Compaction

It is very important to minimize compaction of both the base on the bioretention area and the required backfill. When possible, use excavation lines to remove original soil. If bioretention areas are excavated using a loader, the contractor should use wide track or marsh track equipment, or light equipment with turf type tires. Use of equipment with narrow tracks or narrow tires, rubber tires with large lugs, or high-pressure tires will cause excessive compaction resulting in reduced infiltration rates and is not acceptable.

Compaction can be alleviated at the base of the bioretention facility by using a primary tilling operation such as a chisel plow, ripper, or subsoiler. These tilling operations are to restructure the soil profile through the 12 inch compaction zone. The engineer must approve substituted methods. Rototillers typically do not till deep enough to reduce the effect of compaction from heavy equipment.

Rototill 2 to 3 inches of sand in to the base of the bioretention facility before backfilling optional sand layer, pump any ponded water before preparing (rototilling) base.

When backfilling topsoil over the land layer, first place 3 to 4 inches of topsoil over the sand, then rototill the sand/topsoil to create a gradation zone. Backfill the remainder of the topsoil to the final grade.

When backfilling the bioretention facility, place soil in lifts of 12 to 18 inches. No use heavy equipment within the bioretention basin. Heavy equipment can be used around the outer perimeter of the basin to supply soils and sand. Grade bioretention materials with light equipment such as a compact loader or a dozer/loader with marsh tires.

Plant Material

See approved landscape plan.

Plant installation

Mulch should be placed to a uniform thickness of 2" to 3". Shredded hardwood mulch is the only accepted mulch. Pine mulch or wood chips will float and move to the perimeter of the bioretention area during a storm event and are not acceptable. Shredded mulch must be well aged (6 to 12 months) for acceptance.

Root stock of the plant material shall be kept moist during transport and on-site storage. The plant root ball should be planted so 1/8" of the ball is above final grade surface. The diameter of the planting pit shall be at least six inches larger than the diameter of the planting ball. Set and maintain the plant strat during the entire planting process. Thoroughly water ground bed cover after installation.

Trees shall be braced using 2" by 2" stakes only as necessary and for the first growing season only. Stakes are to be equally spaced on the outside of the tree ball.

Grasses and legume seed should be drilled into the soil to a depth of at least one inch. Grass and legume plugs shall be planted following the non-grass ground cover planting specifications.

The topsoil specifications provide enough organic material to adequately supply nutrients from natural cycling. The primary function on the bioretention structure is to improve water quality. Adding fertilizers, defolants, or at a minimum, impedes this goal. Only add fertilizers if wood chips or mulch are used to amend the soil. Rototill urea fertilizer at a rate of 2 pounds per 1000 square feet.

Underdrains

Underdrains are to be placed on a 3'-0" wide section of filter cloth. Pipe is place next, followed by the gravel bedding. The ends of the underdrain pipes not terminating in an observation well shall be capped. The main collector pipe for the underdrain systems shall be constructed at a minimum of 0.5%.

Observation wells

Observation wells and/or clean-out pipes must be provided (one min. per every 1000 square feet of surface area).

The observation well pipe shall be perforated pipe of the diameter and material shown on the drawings. The foot plate and cap shall be galvanized metal or stainless steel. The cap shall be clearly marked to indicate the depth of the well at the time of installation. The marking shall be made in a manner to assure permanent legibility.

BIORETENTION FACILITY MAINTENANCE AND INSPECTION SCHEDULE

- FILTERING SYSTEMS MUST BE INSPECTED REGULARLY. WHEN PONDING IS EVIDENT ON THE SURFACE OF THE FILTER BED FOR MORE THAN 72 HOURS, THE TOP FEW INCHES OF DISCOLORED MATERIAL SHALL BE REMOVED AND REPLACED WITH FRESH MATERIAL AND DISPOSED OF PROPERLY.
- SILT REMOVAL SHALL BE PERFORMED WHEN SEDIMENT ACCUMULATES A DEPTH THAT EXCEEDS ONE INCH.
- FILTERS WITH A GRASS COVER SHALL BE MOWED A MINIMUM OF THREE TIME PER GROWING SEASON TO MAINTAIN GRASS HEIGHTS THAT DO NOT EXCEED 12 INCHES.
- DEAD OR DISEASED PLANT MATERIAL SHALL BE REPLACED. AREAS DEVOID OF MULCH SHOULD BE RE-MULCHED ON AN ANNUAL BASIS.
- DIRECT MAINTENANCE ACCESS TO THE PRETREATMENT AREA AND FILTER BED SHALL BE MAINTAINED.
- VIGOROUS AND DENSE GROWTH SHOULD BE MAINTAINED. ANY BARE SPOTS, BURNED OUT AREAS, OR ERODED AREAS MUST BE RE-SEEDING OR RE-SODDED IMMEDIATELY. WATERING AND/OR FERTILIZATION SHOULD BE PROVIDED DURING THE FIRST FEW MONTHS AFTER STRIP IS ESTABLISHED AND MAY PERIODICALLY BE NEEDED DURING PERIODS OF DROUGHT.

SPECIFICATIONS FOR BIORETENTION

MATERIALS SPECIFICATIONS:

- ALL MATERIAL NOT OTHERWISE SHOWN OR SPECIFIED SHALL CONFORM TO THE APPLICABLE REQUIREMENTS OF THE MARYLAND STATE HIGHWAY ADMINISTRATION'S (SHA) PUBLICATION, "STANDARD SPECIFICATIONS FOR CONSTRUCTION AND MATERIALS", DATED OCTOBER 1993.

CONSTRUCTION METHODS AND PROCEDURES FOR BIORETENTION:

- ALL CONSTRUCTION METHODS AND PROCEDURES NOT OTHERWISE SHOWN OR SPECIFIED SHALL CONFORM TO THE APPLICABLE REQUIREMENT OF THE SHA PUBLICATION, "STANDARD SPECIFICATION FOR CONSTRUCTION AND MATERIALS", DATED OCTOBER 1993.
- SITE PROTECTION:** THE BIORETENTION FACILITY SHALL NOT BE CONSTRUCTED OR PLACED IN SERVICE UNTIL ALL OF THE CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED, INSPECTED AND APPROVED BY THE RESPONSIBLE REPRESENTATIVE OF THE DEVELOPER'S ENGINEER.

APPROPRIATE APPROVED SEDIMENT CONTROL MEASURES SHALL BE STRICTLY ADHERED TO AND MAINTAINED AT ALL TIMES TO PREVENT SEDIMENT LADEN RUNOFF FROM CONTAMINATING THE FACILITY.
- EXCAVATION:** EXCEPT AS NOTED BELOW, THE TRENCH SHALL BE EXCAVATED TO THE PLAN DIMENSIONS. EXCAVATED MATERIALS SHALL BE PLACED AT LEAST 10 FEET FROM THE TRENCH IN A MANNER WHICH WILL PREVENT BACKSLIDING, CAVE-IN, OR SEDIMENT TRANSPORT INTO THE EXCAVATION. LARGE TREE ROOTS SHALL BE TRIMMED FLUSH WITH THE TRENCH WALLS TO AVOID FABRIC PUNCTURES AND TEARS DURING SUBSEQUENT INSTALLATION PROCEDURES. ANY VOIDS CREATED DURING EXCAVATION SHALL BE FILLED WITH NATURAL SOILS AT THE MOST CONVENIENT TIME DURING CONSTRUCTION TO ENSURE FABRIC CONFORMITY TO THE EXCAVATION SIDES. THE SIDE WALLS OF THE TRENCH SHALL BE ROUGHENED WHERE SHEARED AND SCALED BY EXCAVATION EQUIPMENT.
- FILTER FABRIC:** WOVEN FILTER FABRIC SHALL BE PLACED COMPLETELY AROUND THE SIDE AND END WALLS OF THE TRENCH FROM THE BOTTOM TO THE TOP OF THE UNDERDRAIN GRAVEL FILL, AND SHALL EXTEND ACROSS THE TOP OF THE GRAVEL A MINIMUM OF 6". THE FILTER FABRIC ROLL SHALL BE CUT TO THE PROPER WIDTH PRIOR TO INSTALLATION. THE CUT WIDTH MUST INCLUDE SUFFICIENT MATERIAL TO CONFORM TO TRENCH PERIMETER IRREGULARITIES AND FOR THE 6" MINIMUM TOP OVERLAP. THE FABRIC SHALL BE UNROLLED A SUFFICIENT LENGTH TO ALLOW PLACEMENT OF THE FABRIC DOWN INTO THE TRENCH. STONES OR OTHER ANCHORING OBJECTS SHOULD BE PLACED ON THE FABRIC AT THE EDGE OF THE TRENCH TO KEEP THE LINED TRENCH OPEN DURING WINDY PERIODS. WHEN OVERLAPS ARE REQUIRED BETWEEN ROLLS, THE UPSTREAM ROLL SHOULD LAP A MINIMUM OF 2 FEET OVER THE DOWNSTREAM ROLL IN ORDER TO PROVIDE A SHINGLED EFFECT. NON-WOVEN FILTER FABRIC SHALL BE PLACED OVER THE ENTIRE AREA OF THE UNDERDRAIN GRAVEL FILL PRIOR TO PLACEMENT OF THE NEXT PLANTING SOIL LAYER.

CONTRACTOR'S "AS-BUILT" NOTE

AS-BUILT PLANS AND CERTIFICATION ARE REQUIRED FOR THIS STORMWATER MANAGEMENT FACILITY. THESE MUST BE PREPARED AND SEALED BY A REGISTERED PROFESSIONAL ENGINEER. BALTIMORE COUNTY WILL NOT PERFORM THE INSPECTION OR PREPARE THE AS-BUILT PLANS OR CERTIFICATION. THE STORMWATER MANAGEMENT PERMIT SECURITY WILL NOT BE RELEASED UNTIL THE AS-BUILT PLANS AND CERTIFICATION ARE APPROVED BY BALTIMORE COUNTY.

IN ORDER TO PREPARE THE REQUIRED AS-BUILT PLANS AND CERTIFICATION, THIS STORMWATER MANAGEMENT FACILITY MUST BE INSPECTED BY THE ENGINEER AT SPECIFIC STAGES DURING CONSTRUCTION AS REQUIRED BY THE CURRENT BALTIMORE COUNTY STORMWATER MANAGEMENT POLICY AND DESIGN MANUAL. THE CONTRACTOR SHALL NOTIFY THE ENGINEER AT LEAST FIVE (5) WORKING DAYS PRIOR TO STARTING ANY WORK SHOWN ON THESE PLANS.

DRG #070201C

1/7/03
Date



THIS PLAN IS SEALED, CERTIFIED AS BEING IN COMPLIANCE WITH THE
Robert G. Bathurst
ROBERT G. BATHURST, P.E.
Maryland Registered No. 24814

CENTURY ENGINEERING, INC.
CONSULTING ENGINEERS' PLANNERS, SURVEYORS
32 WEST ROAD
TOWSON, MARYLAND 21204
(410) 823-8070

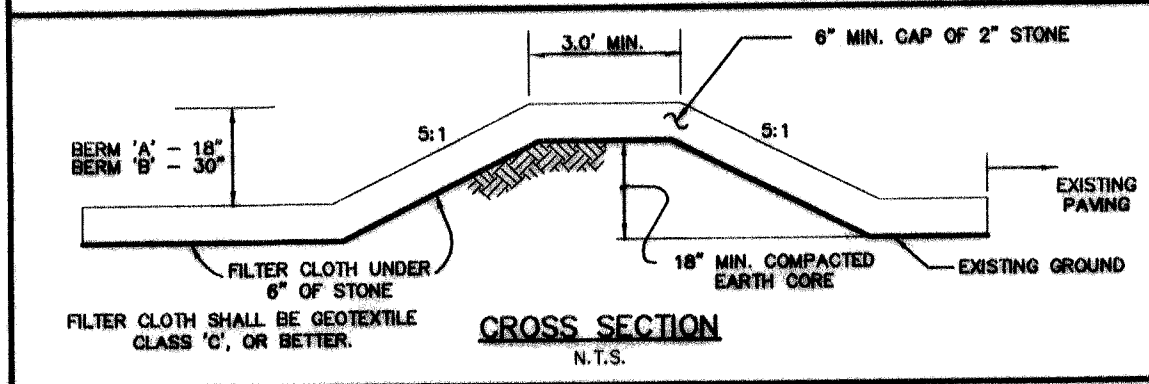
WARREN OAKS
WARREN ROAD - 900 FT EAST OF YORK ROAD
ELECTION DISTRICT BC3 BALTIMORE COUNTY, MARYLAND

STORM WATER MANAGEMENT PLAN
NOTES AND DRAINAGE AREA MAPS

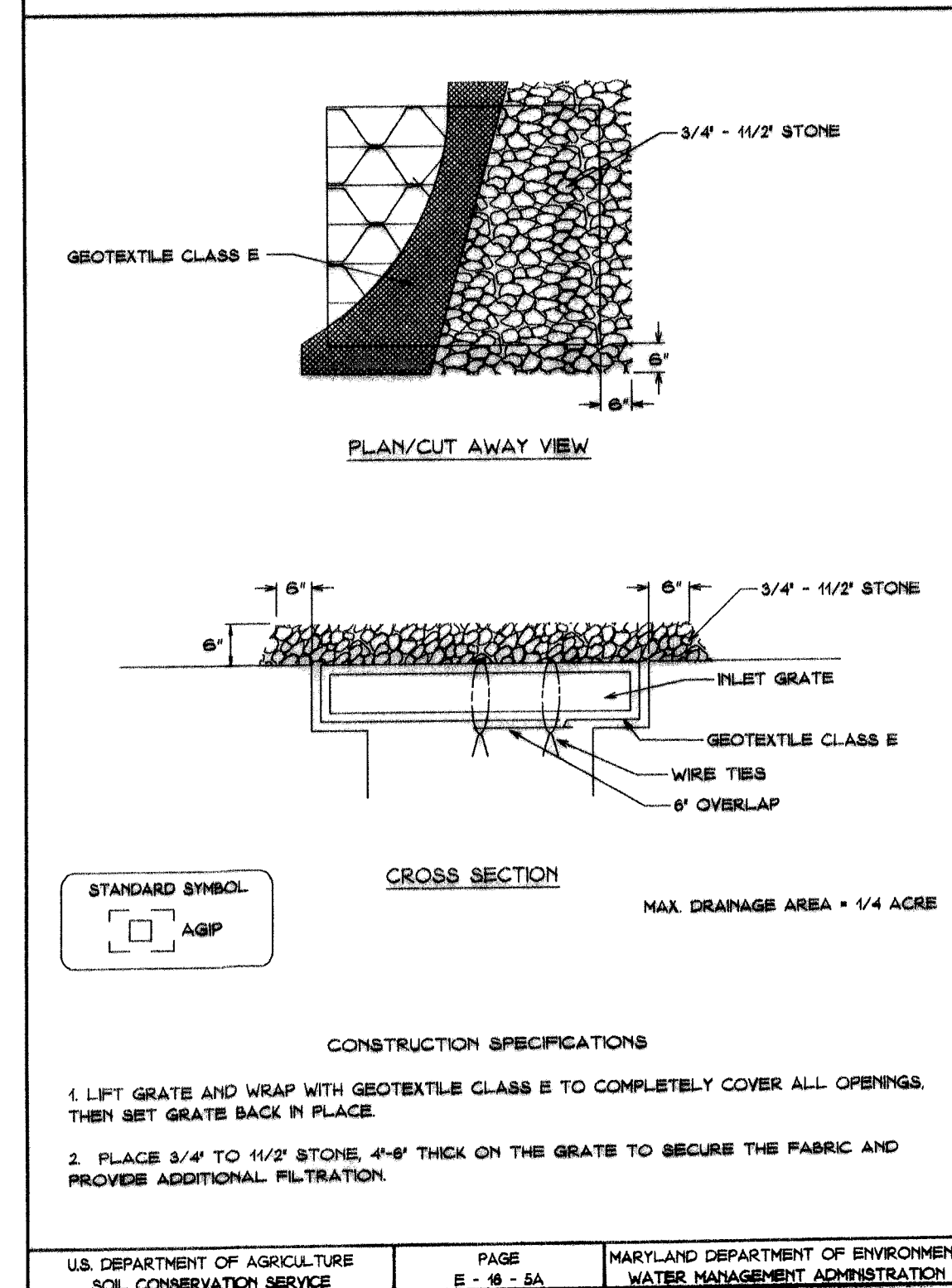
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Des By: IJC	Date: 5/30/2002	DRAWING NO: 2 OF 2
Chk By: JLC	Approved:	

MSC DATUM

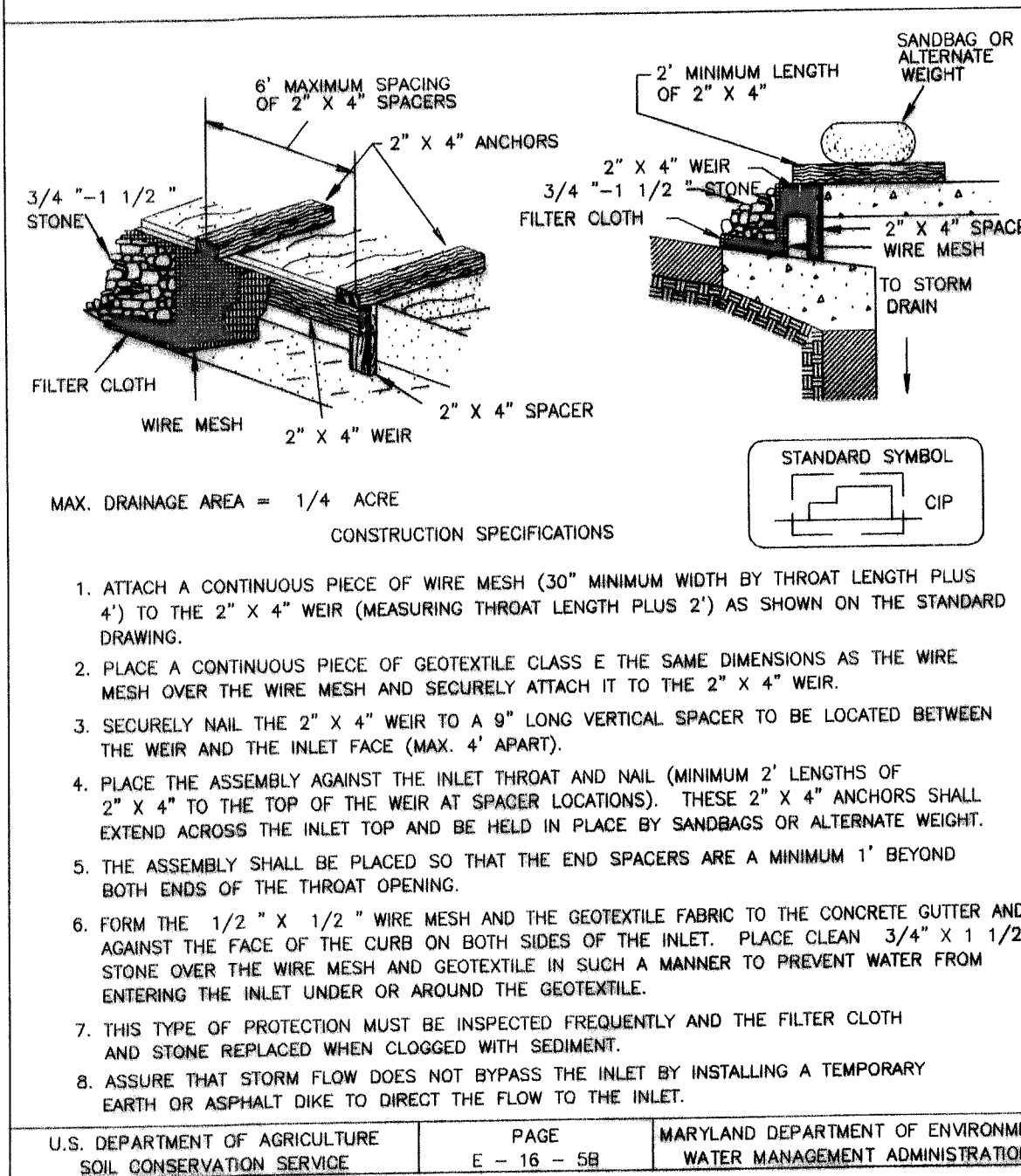
MOUNTABLE BERM



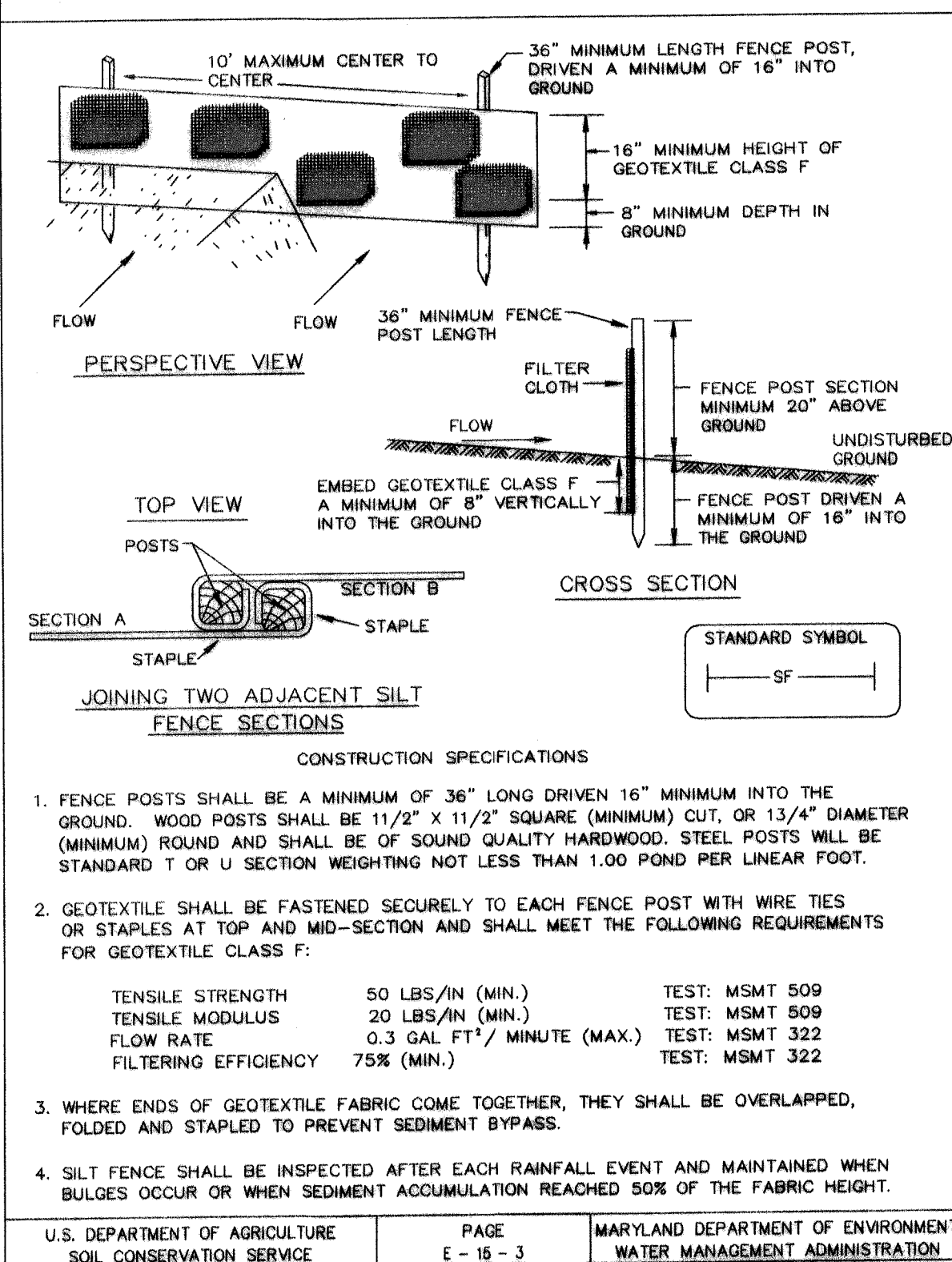
DETAIL 23B - AT GRADE INLET PROTECTION



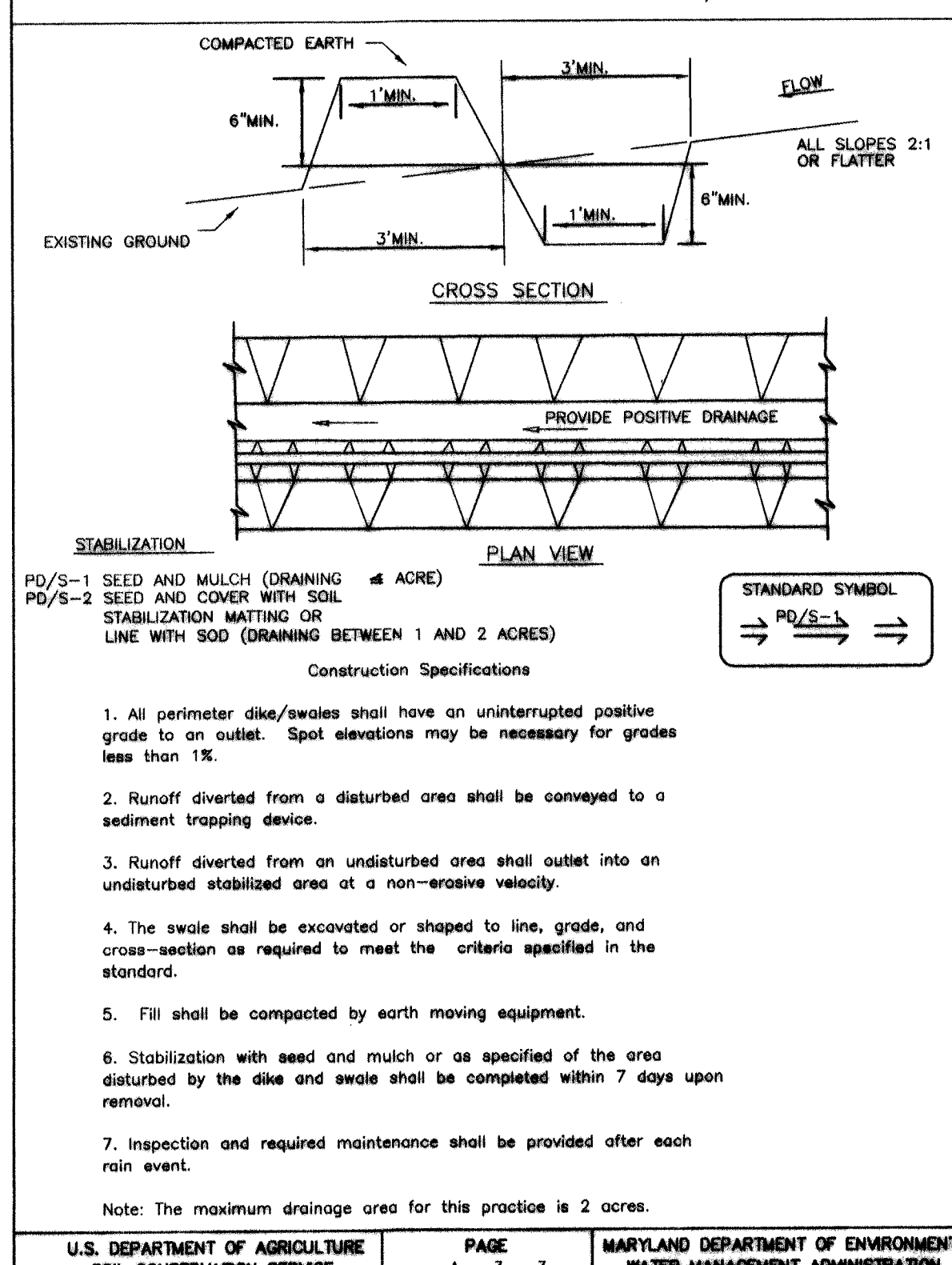
DETAIL 23C - CURB INLET PROTECTION (COG OR COS INLETS)



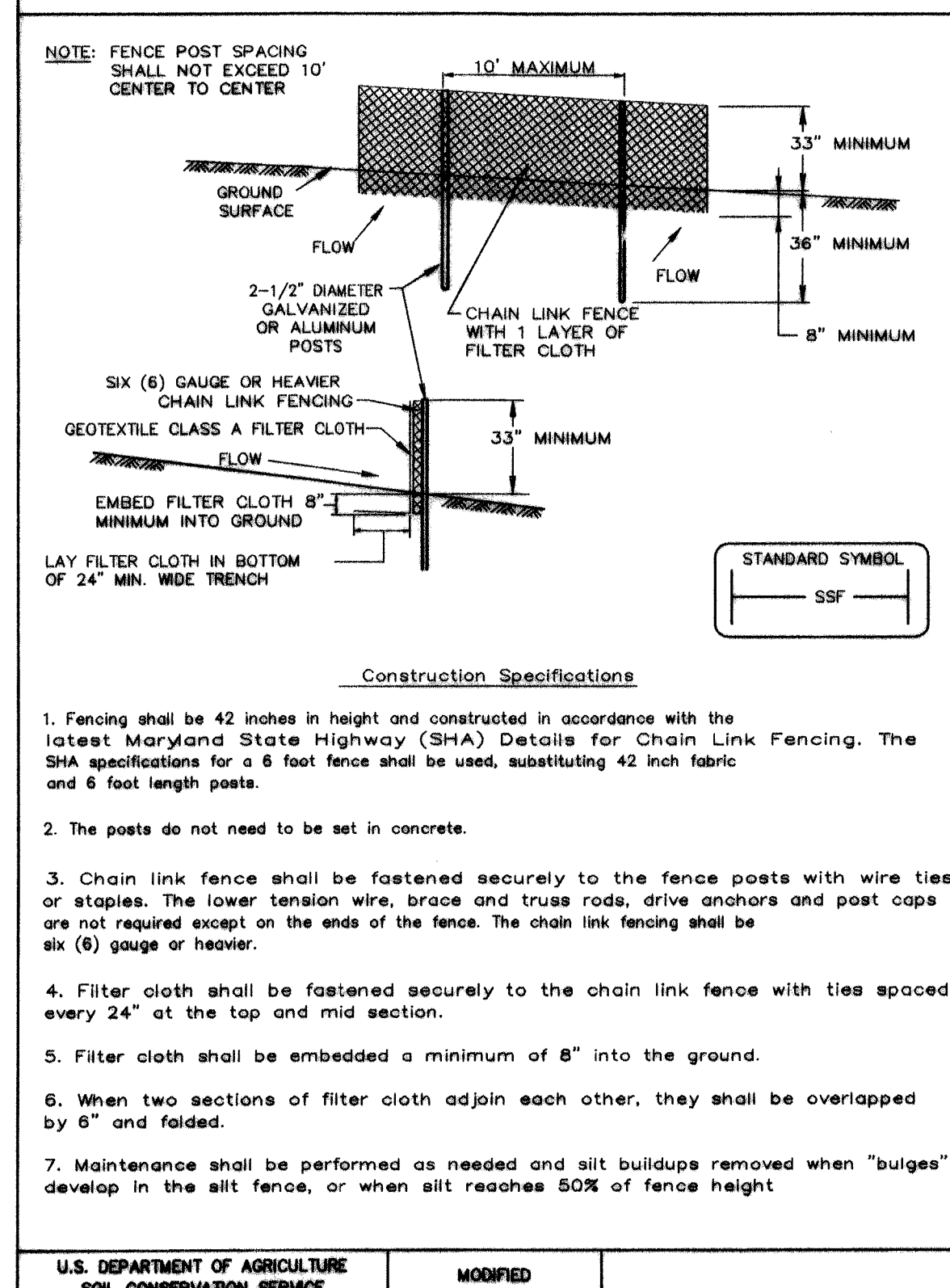
DETAIL 22 - SILT FENCE



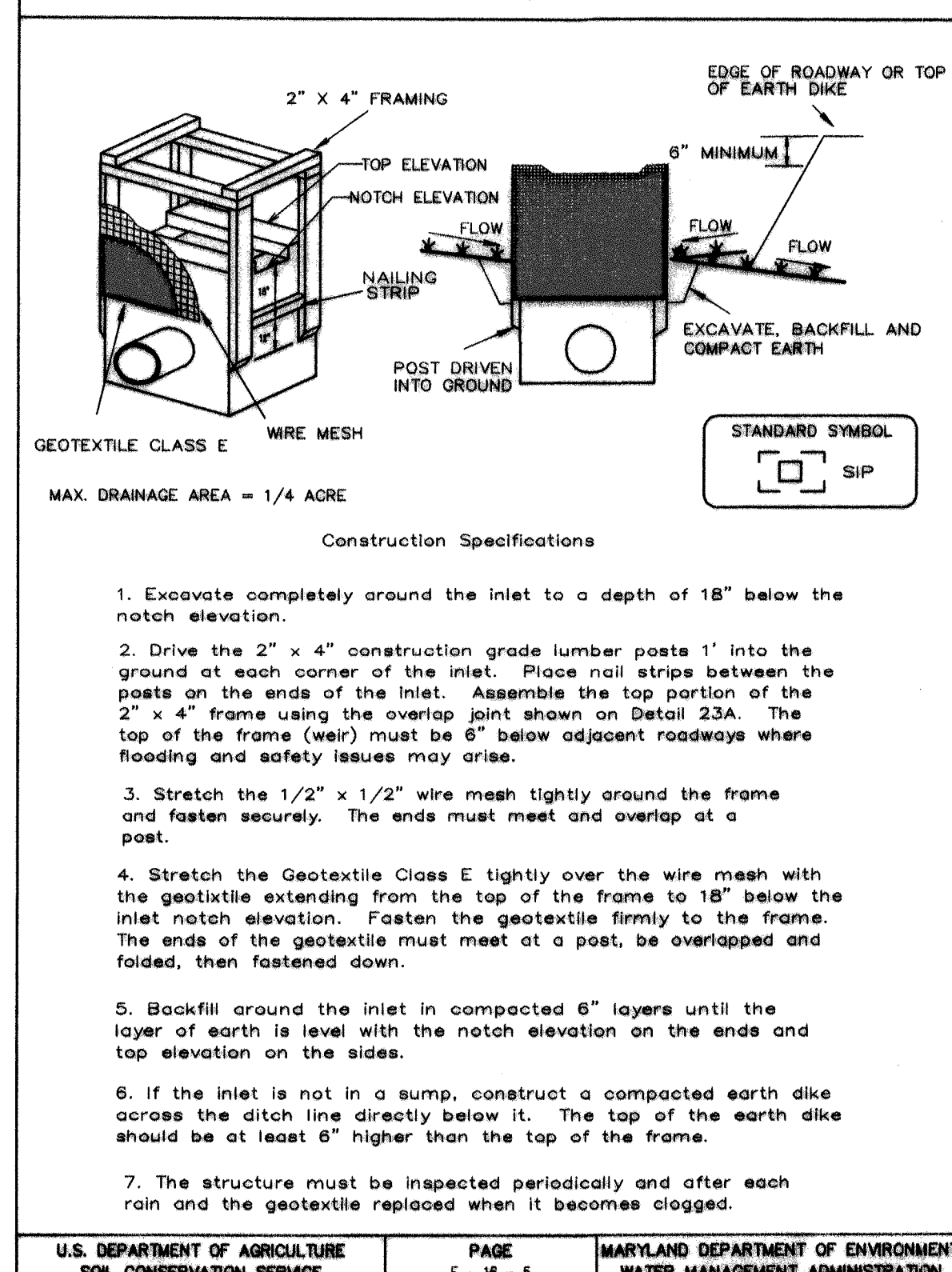
DETAIL 3 - PERIMETER DIKE / SWALE



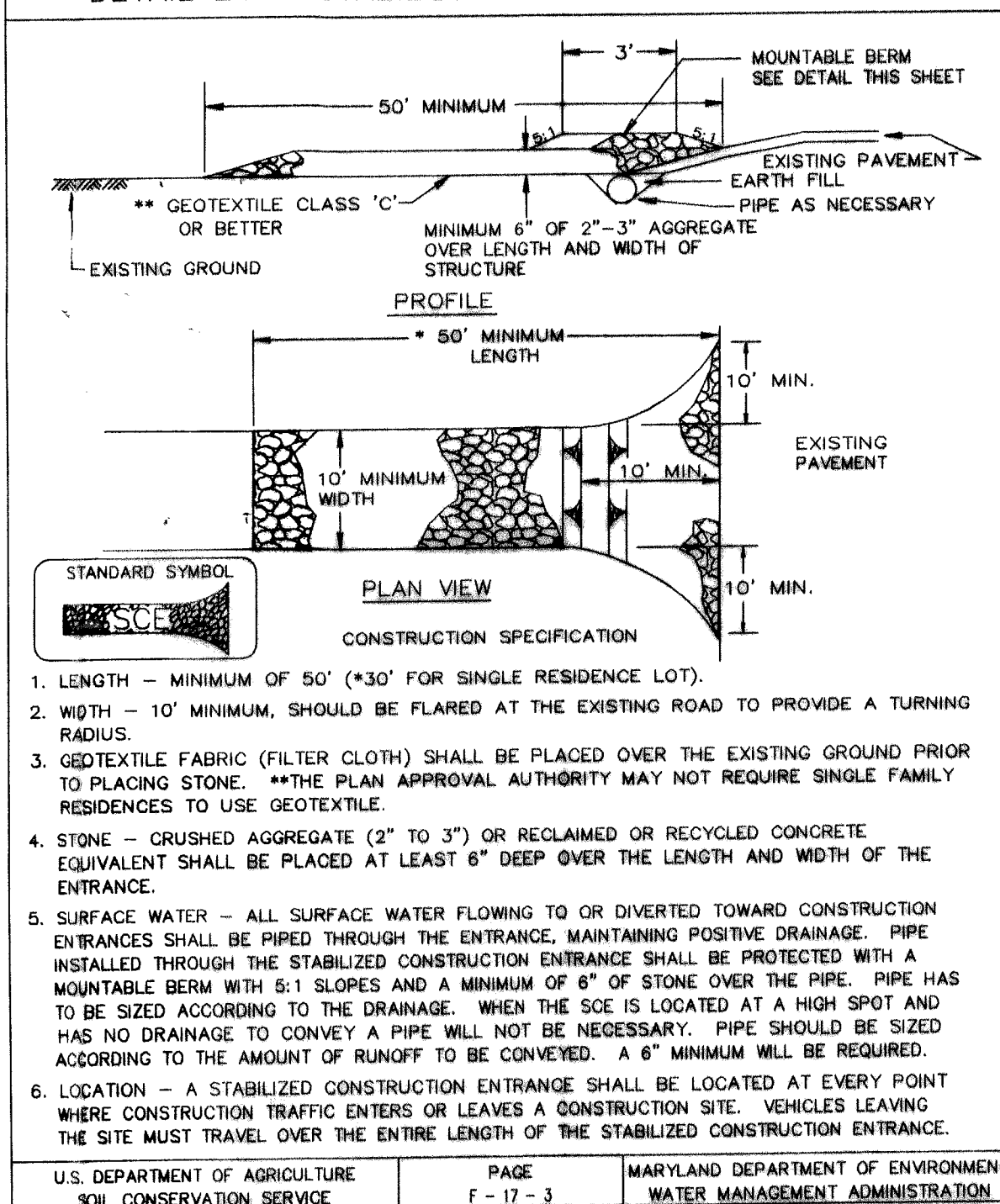
DETAIL 33 - SUPER SILT FENCE



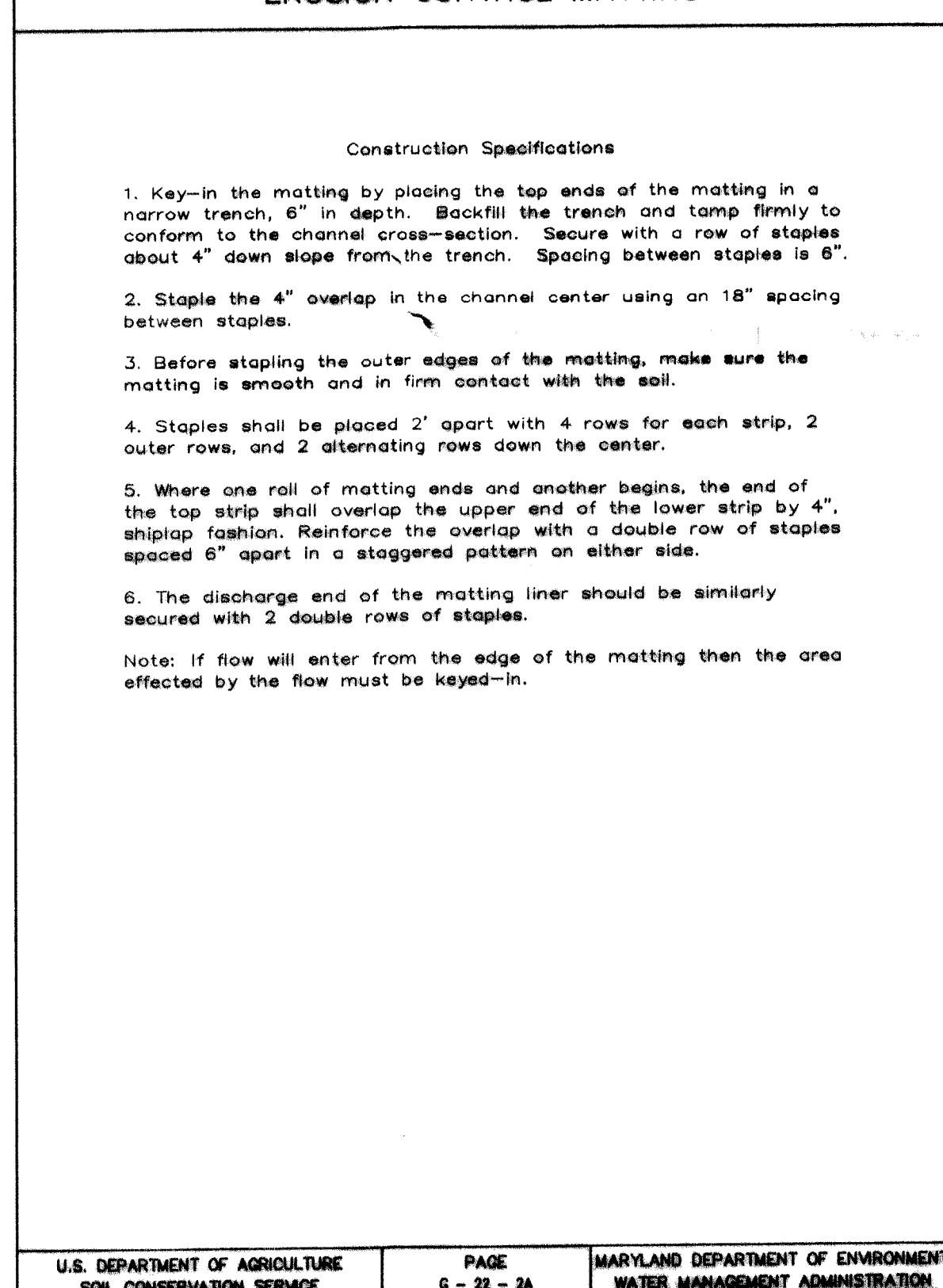
DETAIL 23A - STANDARD INLET PROTECTION



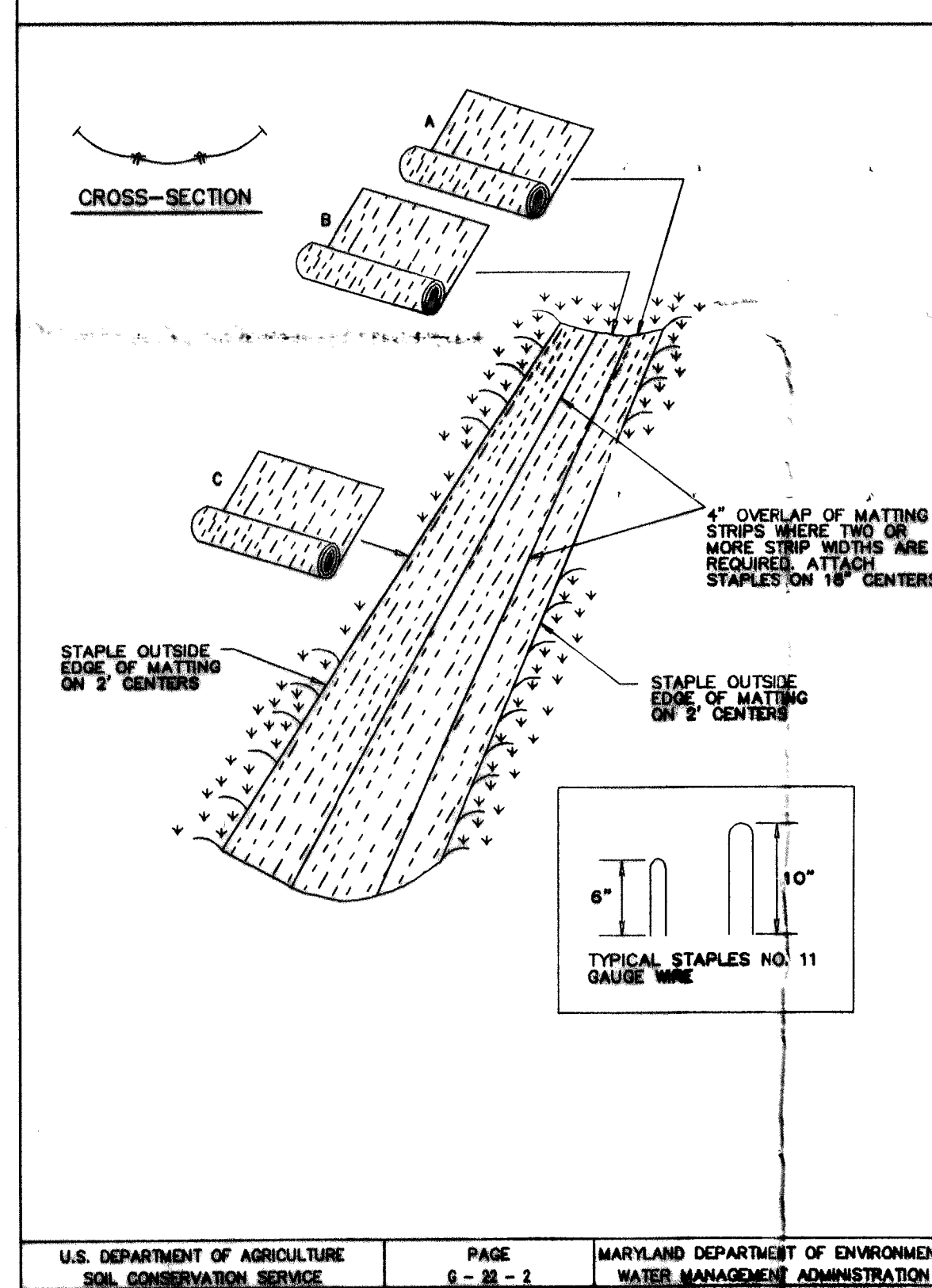
DETAIL 24 - STABILIZED CONSTRUCTION ENTRANCE



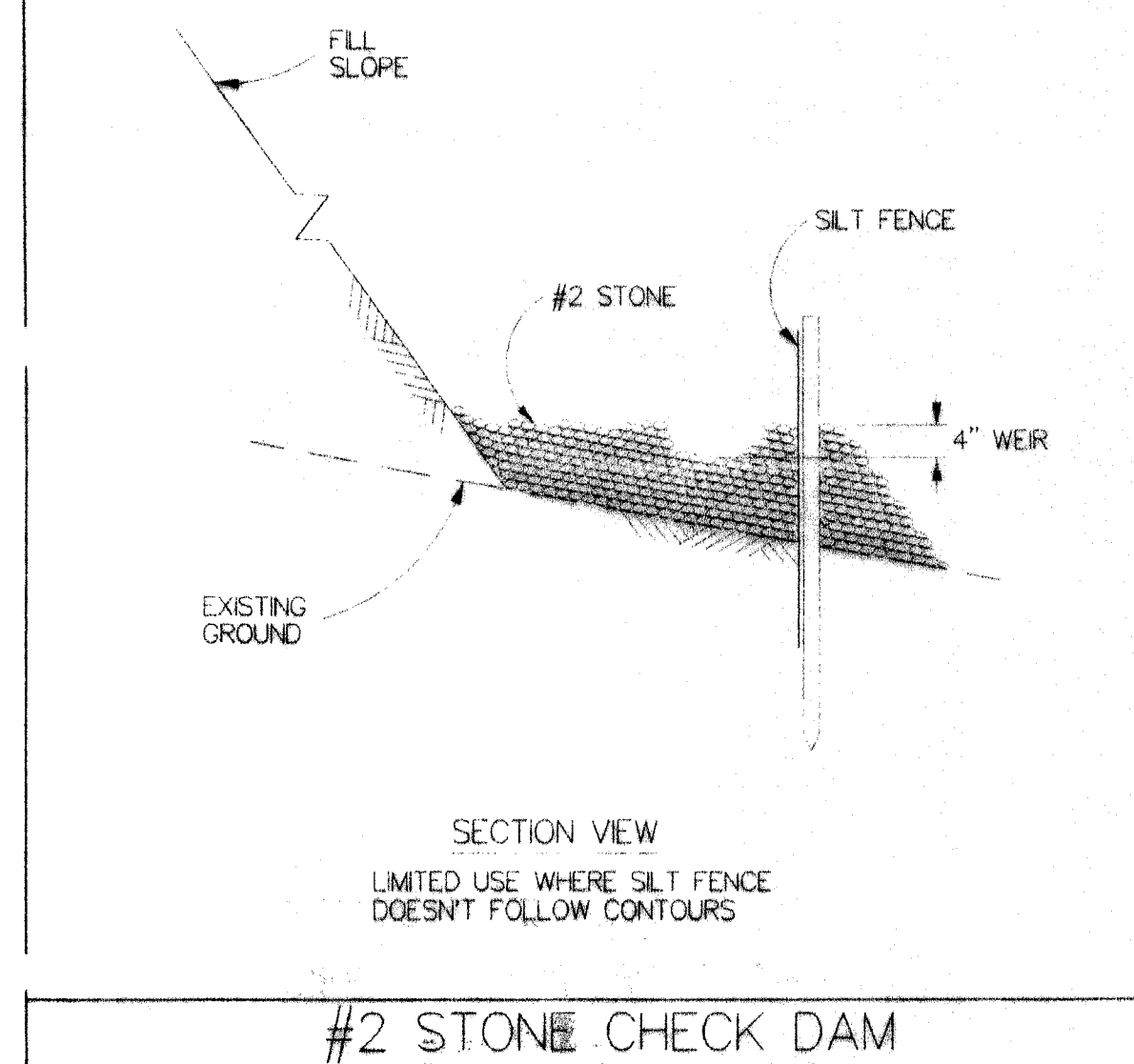
EROSION CONTROL MATTING



DETAIL 30 - EROSION CONTROL MATTING



STD. SILT FENCE	SUPER SILT FENCE
#2 STONE	#2 STONE
12" HIGH	24" HIGH
24" WIDE	36" WIDE
50' - 100' O.C.	50' - 100' O.C.



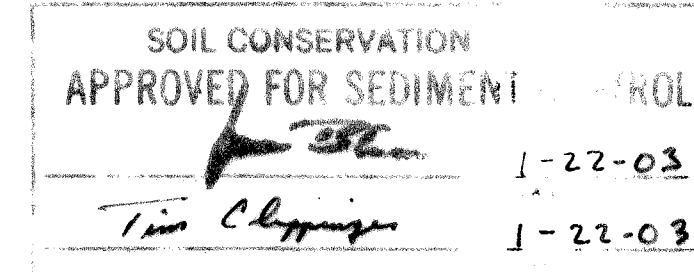
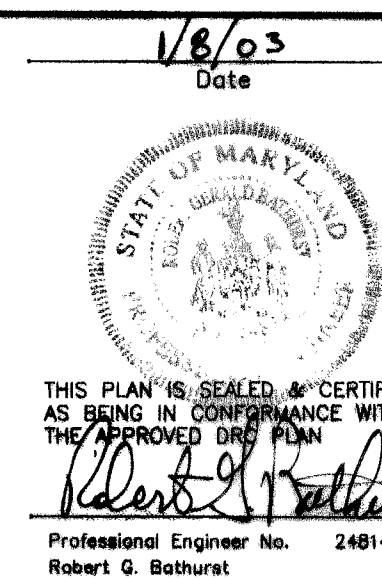
#2 STONE CHECK DAM

CENTURY ENGINEERING, INC.
CONSULTING ENGINEERS PLANNERS SURVEYORS
32 WEST ROAD
TOWSON, MARYLAND 21204
(410) 223-8070

WARREN OAKS
WARREN ROAD - 900 FT EAST OF YORK ROAD
ELECTION DISTRICT 8C3 BALTIMORE COUNTY, MARYLAND

GRADING, EROSION, AND SEDIMENT
CONTROL DETAILS

Des By	GL/RGB	Scale	AS SHOWN	Proj No	21076.00
Drn By	MLA/JC	Date	7/1/2002	Drawing No	
Chk By	GL/RGB	Approved			2 OF 3



Section I - Vegetative Stabilization Methods and Materials

- A. Site Preparation
- Install erosion and sediment control structures (either temporary or permanent) such as diversions, grade stabilization structures, berms, waterways, or sediment control basins.
 - Perform all grading operations at right angles to the slope. Final grading and shaping is not usually necessary for temporary seeding.
 - Schedule required soil tests to determine soil amendment composition and application rates for sites having disturbed areas over 5 acres.
- B. Soil Amendments (Fertilizer and Lime Specifications)
- Soil tests must be performed to determine the exact ratios and application rates for both lime and fertilizer on sites having disturbed areas over 5,000 lbs. per acre. Soil amendment performed by the University of Maryland or a recognized commercial laboratory. Soil samples taken for engineering purposes may also be used for chemical analyses.
 - Fertilizers shall be uniform in composition, free flowing, and suitable for application by approved equipment. Manure may be substituted for fertilizer with prior approval from the appropriate approval authority. Fertilizers shall all be delivered to the site fully labeled according to the applicable state fertilizer laws and shall bear the name, trade name, or trademark and warrantee of the producer.
 - Lime materials shall be ground limestone (hydrated or burnt lime may be substituted) which contains at least 50% total oxides (calcium oxide plus magnesium oxide). Limestone should be of such fineness that at least 50% will pass through a #100 mesh sieve and 98-100% will pass through a #20 mesh sieve.
 - Incorporate lime and fertilizer into the top 3-5" of soil by disking or other suitable means.
- C. Seed-bed Preparation
- Temporary Seeding
 - Seed-bed preparation shall consist of loosening soil to a depth of 3" to 5" by means of suitable agricultural or construction equipment, such as disk harrows or chisel plows or rippers mounted on construction equipment. After the soil is loosened it should not be rolled or dragged smooth but left in the roughened condition. Sloped areas (greater than 3:1) should be tracked leaving the surface in an irregular condition with ridges running parallel to the contour of the slope.
 - Apply fertilizer and lime as prescribed on the plans.
 - Incorporate lime and fertilizer into the top 3-5" of soil by disking or other suitable means.
 - Permanent Seeding
 - Minimum soil conditions required for permanent vegetative establishment
 - Soil pH shall be between 6.0 and 7.0.
 - Soluble salts shall be less than 500 parts per million (ppm).
 - The soil shall contain less than 40% clay but enough fine grained material (>30% silt plus clay) to provide the capacity to hold a moderate amount of moisture. An exception is if levegrass or sericea lespedeza, then the soil may be sandy soil (< 30% silt plus clay) would be acceptable.
 - Soil shall contain 1.5% minimum organic matter by weight.
 - Soil must contain sufficient pore space to permit adequate root penetration.
 - If these conditions cannot be met by soils on site, adding topsoil is required in accordance with Section 21 Standard and Specifications for Topsoil.
 - Areas previously graded in conformance with the drawings shall be maintained in a true and even grade, then scarified or otherwise loosened to a depth of 3-5" to permit bonding of the topsoil to the surface area to create horizontal erosion check slots to prevent topsoil from sliding down a slope.
 - Apply soil amendments as per soil test or as included on the plans.
 - Mix soil amendments into the top 3-5" of topsoil by disking or other suitable means. Lawn areas should be raked to smooth the surface, remove large objects like stones and branches, and ready the area for seed application. Where site conditions will not permit normal seed-bed preparation, loosen surface soil by dragging with a heavy chain or other equipment to roughen the surface. Steep slopes (greater than 3:1) should be tracked by a dozer leaving the soil in an irregular condition with ridges running parallel to the contour of the slope. The top 3-5" of soil should be loose and friable. Seed-bed loosening may not be necessary on newly disturbed areas.
- D. Seed Specifications
- All seed must meet the requirements of the Maryland State Seed Law. All seed shall be subject to re-testing by a recognized seed laboratory. All seed used shall have been tested within the 6 months immediately preceding the date of sowing such material on this job. Note: Seed tags shall be made available to the inspector to verify type and rate of seed used.
 - Inoculant - The inoculant for treating legume seed in the seed mixtures shall be a pure culture of nitrogen-fixing bacteria prepared specifically for the species. Inoculants shall not be used later than the date indicated on the container. Add fresh inoculant as directed on package. Use four times the recommended rate when hydroseeding. Note: It is very important to keep inoculant as cool as possible until used. Temperatures above 75 - 80 F can weaken bacteria and make the inoculant less effective.
- E. Methods of Seeding
- Hydroseeding: Apply seed uniformly with hydroseeder (slurry includes seed and fertilizer), broadcast or drop seeder, or a cutlapper seeder.
 - If fertilizer is being applied at the time of seeding, the application rates amounts will not exceed the following: nitrogen, maximum of 100 lbs. per acre total of soluble nitrogen; P205 (phosphorus): 200 lbs./ac; K2O (potassium): 200 lbs./ac.
 - Lime - use only ground agricultural limestone. (Up to 3 tons per acre may be applied by hydroseeding). Normally, not more than 2 tons are applied by hydroseeding at any one time. Do not use burnt or hydrated lime when hydroseeding.
 - Seed and fertilizer shall be mixed on site and seeding shall be done immediately and without interruption.
 - Dry Seeding: This includes use of conventional drop or broadcast spreaders.
 - Seed spread dry shall be incorporated into the subsoil at the rates prescribed on the Temporary or Permanent Seeding Summaries or Tables 25 or 26. The seeded area shall then be rolled with a weighted roller to provide good seed to soil contact.
 - Where practical, seed should be applied in two directions perpendicular to each other. Apply half the seeding rate in each direction.
 - Drill or Cutlapper Seeding: Mechanized seeders that apply and cover seed with soil.
 - Cutlapper seeders are required to bury the seed in such a fashion as to provide at least 1/4 inch of soil covering. Seed-bed must be firm after planting.
 - Where practical, seed should be applied in two directions perpendicular to each other. Apply half the seeding rate in each direction.
- F. Mulch Specifications (In order of preference)
- Straw shall consist of thoroughly threshed wheat, rye or oat straw, reasonably bright in color, and shall not be musty, moldy, caked, decayed, or excessively dusty and shall be free of noxious weed seeds as specified in the Maryland Seed Law.
 - Wood Cellulose Fiber Mulch (WCFM)
 - WCFM shall consist of specially prepared wood cellulose processed into a uniform fibrous physical state.
 - WCFM shall be dyed green or contain a green dye in the package that will provide an appropriate color to facilitate visual inspection of the uniformly spread slurry.
 - WCFM, including dye, shall contain no germination or growth inhibiting factors.
 - WCFM materials shall be manufactured and processed in such a manner that the wood cellulose fiber mulch will remain in uniform suspension in water under agitation and will blend with seed, fertilizer and other additives to form a homogeneous slurry. The mulch material shall form a blotter-like ground cover, on application, having moisture absorption and percolation properties and shall cover and hold grass seed in contact with the soil without inhibiting the growth of the grass seedlings.
 - WCFM material shall contain no elements or compounds at concentration levels that will be phytotoxic.
 - WCFM must conform to the following physical requirements: fiber length to approximately 10 mm., diameter approximately 1mm., pH range of 4.0 to 8.5, ash content of 1.6% maximum and water holding capacity of 90% minimum.
- Note: Only sterile straw mulch should be used in areas where one species of grass is desired.
- G. Mulching Seeded Areas - Mulch shall be applied to all seeded areas immediately after seeding.
- If grading is completed outside of the seeding season, mulch alone shall be applied as prescribed in this section and maintained until the seeding season returns and seeding can be performed in accordance with these specifications.
 - When straw mulch is used, it shall be spread over all seeded areas at the rate of 2 tons/acre. Mulch shall be applied to a uniform loose depth of between 1" and 2". Mulch applied shall achieve a uniform distribution and depth so that the soil surface is not exposed. If a mulch anchoring tool is to be used, the rate should be increased to 2.5 tons/acre.
 - Wood cellulose fiber used as a mulch shall be applied at a net dry weight of 1,500 lbs. per acre. The wood cellulose fiber shall be mixed with water, and the mixture shall contain a maximum of 50lbs. of wood cellulose fiber per 100 gallons of water.
- H. Securing Straw Mulch (Mulch Anchoring): Mulch anchoring shall be performed immediately following mulch application to minimize loss by wind or water. This may be done by one of the following methods (listed by preference), depending upon size of area and erosion hazard:
- A mulch anchoring tool is a tractor drawn implement designed to punch and anchor mulch into the soil surface a minimum of two (2) inches. This practice is most effective on large areas, but is limited to flatter slopes where equipment can operate safely. If used on sloping land, this practice should be used on the contour if possible.
 - Wood cellulose fiber may be used for anchoring straw. The fiber binder shall be applied at a net dry weight of 750 pounds/acre. The wood cellulose fiber shall be mixed with water and the mixture shall contain a maximum of 50 pounds of wood cellulose fiber per 100 gallons of water.
 - Application of liquid binders should be heavier at the edges where wind catches mulch, such as in valleys and on crests of banks. The remainder of area should appear uniform after binder application. Synthetic binders, such as Acrylic, DLR (Agro-Tack), DCA-70, Petrosel, Terra Tex II, Terra Tack AR, or other approved equal may be used at rates recommended by the manufacturer's to anchor mulch.
 - Lightweight plastic netting may be stapled over the mulch according to manufacturer's recommendations. Netting is usually available in rolls 4 to 15 feet wide and 300 to 3,000 feet long.
- I. Incremental Stabilization - Cut Slopes
- All cut slopes shall be dressed, prepared, seeded and mulched as the work progresses. Slopes shall be excavated and stabilized in equal increments not to exceed 15 feet.
 - Construction sequence to be described if utilized. Note: Once excavation has begun the operation should be continuous from grubbing through the completion of grading and placement of topsoil (if required) and permanent seed and mulch. Any interruptions in the operation or completing the operation out of the seeding season will necessitate the application of temporary stabilization.
- J. Incremental Stabilization of Embankments - Fill Slopes
- Embankments shall be constructed in lifts as prescribed on the plans.
 - Slopes shall be stabilized immediately when the vertical height of the multiple lifts reaches 15 feet, or, when the grading operation ceases as prescribed in the plans.
 - At the end of each day, temporary berms and pipe slope drains should be constructed along the top edge of the embankment to intercept surface runoff and convey it down the slope in a non-erosive manner to a sediment trapping device.
 - Construction sequence to be described if utilized. Note: Once the placement of fill has begun the operation should be continuous from grubbing through the completion of grading and placement of topsoil (if required) and permanent seed and mulch. Any interruptions in the operation or completing the operation out of the seeding season will necessitate the application of temporary stabilization.

Section II - Temporary Seeding

Vegetation - annual grass or grain used to provide cover on disturbed areas for up to 12 months. For longer duration of vegetative cover, Permanent Seeding is required. (Only table needs to appear on plans).

- A. Seed Mixtures - Temporary Seeding
- Select one or more of the species or mixtures listed in Table 26 for the appropriate Plant Hardiness Zone (from Figure 5) and enter them in the Temporary Seeding Summary below, along with application rates, seeding dates and seeding depths. If this Summary is not put on the plans and completed, then Table 26 must be put on the plans.
 - For sites having soil tests performed, the rates shown on this table shall be deleted and the rates recommended by the testing agency shall be written in. Soil tests are not required for Temporary Seeding.

Temporary Seeding Summary

Seed Mixture (Hardiness Zone 6b) From Table 26				Fertilizer Rate (10-10-10)		Lime Rate
No.	Species	Application Rate (lb/ac)	Seeding Dates	Seeding Depths	N	P205 K20
1	Barley or Rye (85%) Festulolol (15%)	150	2/1-10/15	1"	600 lb/ac (15 lb/1000 sf)	2 tons/ac (100 lb/1000 sf)

Section III - Permanent Seeding

Seeding grass and legumes to establish ground cover for a minimum period of one year on disturbed areas generally receiving low maintenance. (Only table needs to appear on plans).

- A. Seed Mixtures - Permanent Seeding
- Select one or more of the species or mixtures listed in Table 25 for the appropriate Plant Hardiness Zone (from Figure 5) and enter them in the Permanent Seeding Summary below, along with application rates, seeding dates and seeding depths. If this Summary is not put on the construction plans and completed, then Table 25 must be put on the plans. Additional planting specifications for exceptional sites such as shorelines, streambanks, or dunes or for special purposes such as wildlife or aesthetic treatment may be found in USDA-SCS Technical Field Office Guide, Section 342 - Critical Area Planting. For special low maintenance areas, see Sections IV Sod and V Turfgrass.
 - For sites having disturbed area over 5 acres, the rates shown on this table shall be deleted and the rates recommended by the soil testing agency shall be written in.
 - For areas receiving low maintenance, apply ureaform fertilizer (46-0-0) at 3 lbs/1000 sq. ft. (150 lbs/ac), in addition to the above soil amendments shown in the table below, to be performed at the time of seeding.

Permanent Seeding Summary

Seed Mixture (Hardiness Zone 6b) From Table 25				Fertilizer Rate (10-20-20)			Lime Rate
No.	Species	Application Rate (lb/ac)	Seeding Dates	Seeding Depths	N	P205 K20	
1	Tall Fescue (83%) Weeping Lovegrass (2%) Sericea Lespedeza (15%)	110	3/1-10/15		90 lb/ac (2.0 lb/1000 sf)	175 lb/ac (4 lb/1000 sf)	2 tons/ac (100 lb/1000 sf)
2		3					
3		20					

Section IV - Sod- To provide quick cover on disturbed areas (2:1 grade or flatter).

A. General Specifications

- Class of turfgrass sod shall be Maryland or Virginia State Certified or Approved. Sod labels shall be made available to the job foreman and inspector.
- Sod shall be machine cut at a uniform soil thickness of 3/4", plus or minus 1/4", at the time of cutting. Measurement for thickness shall exclude top growth and thatch. Individual pieces of sod shall be cut to the suppliers width and length. Maximum allowable deviation from standard widths and lengths shall be 5 percent. Broken pads and torn or uneven ends will not be acceptable.
- Standard size sections of sod shall be strong enough to support their own weight and retain their size and shape when suspended vertically with a firm grasp on the upper 10 percent of the section.
- Sod shall not be harvested or transplanted when moisture content (excessively dry or wet) may adversely affect its survival.
- Sod shall be harvested, delivered, and installed within a period of 36 hours. Sod not transplanted within this period shall be approved by an agronomist or soil scientist prior to its installation.

B. Sod Installation

- During periods of excessively high temperature or in areas having dry subsoil, the subsoil shall be lightly irrigated immediately prior to laying the sod.
- The first row of sod shall be laid in a straight line with subsequent rows placed parallel to and tightly wedged against each other. Lateral joints shall be staggered to promote more uniform growth and strength. Ensure that sod is not stretched or overlapped and that all joints are butted tight in order to prevent voids which would cause air drying of the roots.
- Wherever possible, sod shall be laid with the long edges parallel to the contour and with staggering joints. Sod shall be rolled and tamped, pegged or otherwise secured to prevent slippage on slopes and to ensure solid contact between sod roots and the underlying soil surface.
- Sod shall be watered immediately following rolling or tamping until the underside of the new sod pad and soil surface below the sod are thoroughly wet. The operations of laying, tamping and irrigating for any piece of sod shall be completed within eight hours.

C. Sod Maintenance

- In the absence of adequate rainfall, watering shall be performed daily or as often as necessary during the first week and in sufficient quantities to maintain moist soil to a depth of 4". Watering should be done during the heat of the day to prevent wilting.
- After the first week, sod watering is required as necessary to maintain adequate moisture content.
- The first mowing of sod should not be attempted until the sod is firmly rooted. No more than 1/3 of the grass leaf shall be removed by the initial cutting or subsequent cuttings. Grass height shall be maintained between 2" and 3" unless otherwise specified.

240. MATERIALS SPECIFICATIONS

Table 27 Geotextile Fabrics

CLASS	APPARENT PENING SIZE MM. MAX.	GRAB TENSILE STRENGTH LB. MIN.	BURST STRENGTH PSI. MIN.
A	0.30**	250	500
B	0.60	200	320
C	0.30	200	320
D	0.60	80	145
E	0.30	90	145
F (SILT FENCE)	0.40-0.80*	90	190

*US Std Sieve CW - 02215

**0.50 mm. max. for Super Silt Fence

The properties shall be determined in accordance with the following procedure:

-Apparent opening size MSMT 323

-Grab tensile strength ASTM D 1682: 4x8" specimen, 1x2" clamps, 12"/min. strain rate in both principal directions of geotextile fabric.

-Burst strength ASTM D 3786

The fabric shall be inert to commonly encountered chemicals and hydrocarbons, and will be rot and mildew resistant. It shall be manufactured from fibers consisting of long chain synthetic polymers, and composed of a minimum of 85% by weight of polyolefins, polyesters, or polyamides. The geotextile fabric shall resist deterioration from ultraviolet exposure.

In addition, Classes A through E shall have a 0.01 cm./sec. minimum permeability when tested in accordance with MSMT 507, and an apparent minimum elongation of 20 percent (20%) when tested in accordance with the grab tensile strength requirements listed above.

Silt Fence

Class F geotextile fabric for silt fence shall have a 50 lb./in. minimum tensile strength and a 20lb./in. minimum tensile modulus when tested in accordance with MSMT 509. The material shall also have a 0.3 gal./ft.2./min. flow rate and seventy-five percent (75%) minimum filtering efficiency when tested in accordance with MSMT 322.

Geotextile fabrics used in the construction of silt fence shall resist deterioration from ultraviolet exposure. The fabric shall contain sufficient amounts of ultraviolet ray inhibitors and stabilizers to provide a minimum of 12 months of expected useable construction life at a temperature range of 0 to 120 degrees F.

Table 22 Quality of Seed

LEGUMES

Seed Purity (%)	Minimum Germination (%)
97	85
98.5	80
98	85
98	80

GRASSES

Seed Purity (%)	Minimum Germination (%)
90	80
90	80
98.5	85
98	85
98	90
98	80
92	80
96	80
95	85
98	90

OTHER ANNUALS

Seed Purity (%)	Minimum Germination (%)
98	90
99	90
99	85
98.5	80

NOTE: Seed containing prohibited or restricted noxious weeds is unacceptable. Prohibited Noxious Weeds - Johnsongrass or Johnsongrass crosses, Canada thistle, and quackgrass. Restricted Noxious Weeds - Wild garlic and wild onion, bermudagrass, annual bluegrass, corn cockle, dodder and bindweed.

Seed should contain less than 2.5% of weed seeds, however, 0% is desirable.

To calculate percent pure live seed, multiply germination times purity and divide by 100.

Example: Tall fescue with a germination of 85 percent and a purity of 97 percent. 97 X 85 = 8245. 8245/100 = 82.45 percent pure live seed.

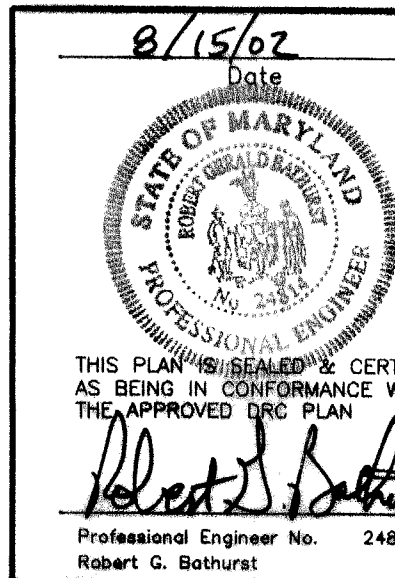
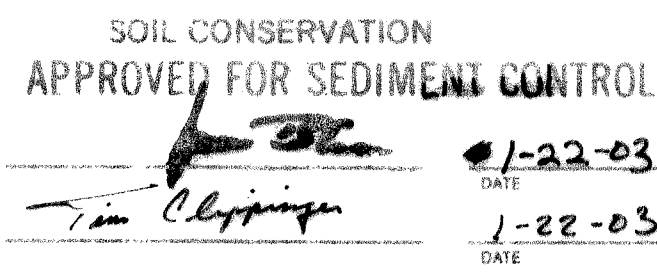
Table 21 Recommended Varieties of Grasses and Legumes for Disturbed Areas

Grasses	Varieties
Tall Fescue	Aventura, apache, grid, Bonanza, Falcon, Clemfline, Finelawn I, Hounddog, Jaguar, Kentucky 31, Mustang, Olympic, Rebel II, Tribute
Perennial Ryegrass	All-star, Blazer, Manhattan, Palmer, Pennant, Penfine, Premier, Prelude, Regal, Repel
Kentucky Bluegrass	"Common", Kenblue, Victa, Rüm I, Monopoly
Creeping Red Fescue	Pennlawn, Flyer
Hard Fescue	Aurora, Biljart, Reliant, Scaldis, Spartan, Waldina
Chewing Fescue	Longfellow, Victory, Jamestown
Canada Bluegrass	Reubens
Redtop	Strecker
Poa Trivialis	Laaser, Sabre
Reed Canarygrass	loared, Palaton, Rise
Weeping Lovegrass	Morpha, "Common"
Legumes	Variety
Crownvetch	Penngift, Chemung
Sericea Lespedeza	Interstate, Interstate 76, Appalaw
Flatpea	Lathco
Birdsfoot	Empire, Norcen, Viking

- Refer to latest Agronomy Memo #77, University of Maryland - Cooperative Extension Service, for the Turfgrass Cultivars recommended for Maryland. This publication is updated annually.
- Kentucky 31 Tall Fescue shall not be used to stabilize wetlands or wetland buffer areas. Contact Maryland Department of Natural Resources, Nontidal Wetlands Division for more information.

General Notes

- Refer to "1994 Maryland Standards and Specifications for Soil Erosion and Sediment Control" for standard details and detailed specifications of each practice specified herein.
- With the approval of the sediment control inspector, minor field adjustments can and will be made to insure soil control of any sediment. Changes in sediment control practices require prior approval of the sediment control inspector and the Baltimore County Soil Conservation District.
- At the end of each working day, all sediment control practices will be inspected and left in operational condition.
- Following initial soil disturbance or redistribution, permanent or temporary stabilization shall be completed with: a) seven calendar days as to the surface of all perimeter controls, dikes, wailes, ditches, perimeter slopes, and all slopes greater than three horizontal to one vertical (3:1) and b) fourteen days as to all other disturbed or graded areas on the project site which will remain idle over fourteen days.
- Any change to the grading proposed on this plan required re-submission to Baltimore County Soil Conservation District for approval.
- Dust control will be provided for all disturbed areas. Refer to "1994 Maryland Standards and Specifications for Soil Erosion and Sediment Control", page H-30-1, for acceptable methods and specifications for dust control.
- Any variations from the sequence of operations stated on this plan requires the approval of the sediment control inspector and the Baltimore County Soil Conservation District prior to the initiation of the change.
- Excess cut or borrow material shall go to, or come from, respectively, a site with an open grading permit.
- The following item may be used as applicable: Refer to "Maryland's Waterway Construction Guidelines" by the Water Management Administration of the Maryland Department of the Environment, revised November, 2000, for standard details and detailed specifications of each practice specified herein for waterway construction.



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WARREN OAKS
WARREN ROAD - 900 FT EAST OF YORK ROAD
ELECTION DISTRICT 8C3 BALTIMORE COUNTY, MARYLAND

GRADING, EROSION, AND SEDIMENT CONTROL NOTES AND SPECIFICATIONS

Des By	GL/RGB	Scale	AS SHOWN	Proj No	21076.00
Des By	MLA/JUC	Date	7/1/2002		DRAWING NO.
Chk By	GL/RGB	Approved			3 OF 3

STA. 1+15.00 TO STA. 3+87.00

EX. R/W

NTS

CONSTRUCTION BASELINE

EX. 30' R/W

PROP. ROAD 18' WIDENING

EX. PAVING 11' +/-

EX. PAVING 11' +/-

PROP. PAVING 9' +/-

PROP. PAVING 3' +/-

6'

4'

21' MAX

20' MAX

BIT. CONC. RESURFACING AS DIRECTED BY ENG. IN FIELD

PGL

7" C&G BALTD. CO STD. DETAIL R-21

SIDE WALK BALTD. CO STD. DETAIL R-19

1 1/2" HDI MIX ASPHALT SURFACE PLACED ON A 3" BASE IN A NON-CONTINUOUS PAVING OPERATION - 9.5 mm SURFACE - SUPERPAVE (SF) (0.3 TO 3 MILLION ESAL) - LEVEL 2 PG 64-22 LIQUID ASPHALT IN A MIX

PRIME COAT: 0.30 GAL/SY (SEE NOTE)

4" GRADED AGGREGATE BASE (GAB)

4" CR-1 / CR-6 / GAB

12 1/2" PAVEMENT SECTION REQUIRED

NOTE: PRIME COAT AS SHOWN ON PLANS OR AS DIRECTED BY THE ENGINEER

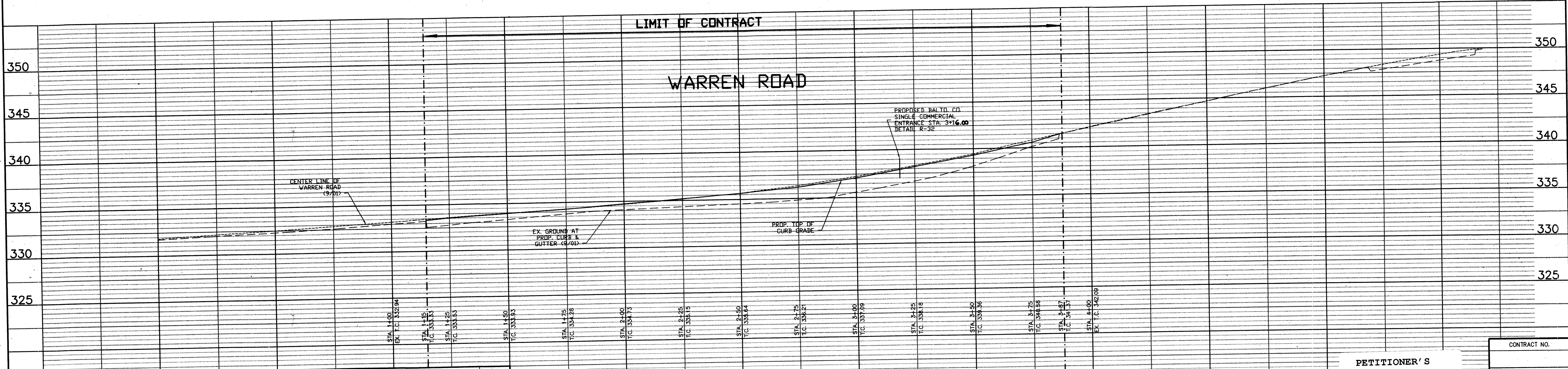
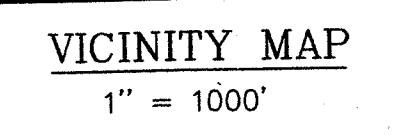
1. THE CONTRACTOR WILL MAINTAIN, REPAIR AND/OR REPLACE ANY EXISTING SEDIMENT CONTROL DEVICES ENCOUNTERED AND DISTURBED DURING THE COURSE OF CONSTRUCTION UNDER THIS CONTRACT, AND AS SHOWN ON THE APPROVED SEDIMENT CONTROL PLAN INCLUDED AS PART OF THE CONTRACT DOCUMENTS. AT THE END OF EACH DAY, ALL SUCH DISTURBED DEVICES WILL BE REPAIRED OR REPLACED BEFORE LEAVING THE WORK SITE. THE COST OF PERFORMING THE WORK, INCLUDING MATERIALS, WILL BE PAID FOR BY A LUMP SUM BID FOR MAINTENANCE AND REPAIR OF SEDIMENT CONTROL DEVICES.
2. ALL WORK UNDER THIS CONTRACT WILL BE PERFORMED BY THE CONTRACTOR IN ACCORDANCE WITH BALTIMORE COUNTY SOIL CONSERVATION DISTRICT PERMIT NO. 130-COUNTY-02.
3. ALL CONSTRUCTION WILL BE ACCOMPLISHED IN ACCORDANCE WITH BALTIMORE COUNTY STANDARD SPECIFICATIONS AND DETAILS FOR CONSTRUCTION, FEBRUARY 2000, AS AMENDED.
4. CURB DEPRESSIONS FOR HANDICAP RAMP WILL BE PLACED AT ALL INTERSECTION CURB RETURNS. THE COST WILL BE INCLUDED IN THE PRICE OF OTHER ITEMS BID.
5. ALL PERMANENT STREET SIGNS WILL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS (MUTCD).
6. THE PRICE BID FOR PERMANENT STREET SIGNS WILL INCLUDE THE COSTS FOR FURNISHING AND PLACING OF SIGNS, COMPLETE IN PLACE, AS SHOWN, SPECIFIED OR DIRECTED.
7. UNLESS OTHERWISE NOTED, THE BID LINE FOR EXCAVATION WILL BE SUBGRADE UNDER PROPOSED ROADS, ESTABLISHED GRADE UNDER TURF AREAS, AND EXISTING GRADE ALONG EXISTING PAVEMENT.
8. THE DEVELOPER SHALL ACCOMPLISH ALL GRADING WITHIN EASEMENT AREAS WHERE UTILITIES ARE TO BE INSTALLED BEFORE THE NOTICE TO PROCEED IS ISSUED.
9. THE DEVELOPER WILL PLACE ROADS TO SUBGRADE FOR THE FULL WIDTH OF THE RIGHT-OF-WAY BEFORE INSTALLING UTILITIES.
10. THE CONTRACTOR WILL NOTIFY MISS UTILITY AT (800) 257-7777 AT LEAST 48 HOURS PRIOR TO STARTING EXCAVATION.
11. ALL TOPS OF MANHOLES, INLETS AND VALVES LOCATED WITHIN THE ROAD METAL SHALL BE BUILT TO AN ELEVATION 0.2' LOWER THAN PROPOSED FINAL GRADE. THIS INTERIM GRADE WILL BE ADJUSTED TO FINAL GRADE UNDER THE ROAD CONTRACT.
12. THE CONTRACTOR WILL MAINTAIN TRAFFIC AT ALL TIMES DURING CONSTRUCTION
13. THE CONTRACTOR WILL ADJUST ALL TOPS OF MANHOLES, INLETS AND VALVES LOCATED WITHIN THE ROAD BEDS TO FINAL GRADE

I HEREBY CERTIFY THAT I HAVE REVIEWED, WITH DUE DILIGENCE, THE DRC PLAN APPROVED BY THE DIRECTOR OF PDM ON 11/19/2001 AND HAVE PREPARED, WITH DUE DILIGENCE, THIS ROAD PLAN PURSUANT TO THAT APPROVED DRC PLAN.

IN MY PROFESSIONAL OPINION, THIS PLAN IS SEALED AND CERTIFIED THAT THE RIGHT OF WAYS AND EASEMENTS SHOWN HEREON CONFORM IN ALL MATERIAL RESPECTS TO THE RIGHT OF WAYS AND EASEMENTS SHOWN ON RIGHT OF WAY PLAT NUMBER 68-283-2, AND RECORD PLATS 49/04 & 20/123, WHICH WERE PREPARED IN COMPLIANCE WITH BALTIMORE COUNTY, DEPARTMENT OF PERMITS AND DEVELOPMENT MANAGEMENT, BUREAU OF LAND ACQUISITION, DRAFTING SECTION MANUAL.

BALTIMORE COUNTY BENCHMARK NO. 471 ELEV. 403.04
 CAPPED PIPE SET IN THE GRASS MEDIAN OF RIDGLAND ROAD, SOUTH OF
 THE INTERSECTION OF WARREN ROAD AND RIGLAND ROAD.
 N 656328.77 E 141945.66

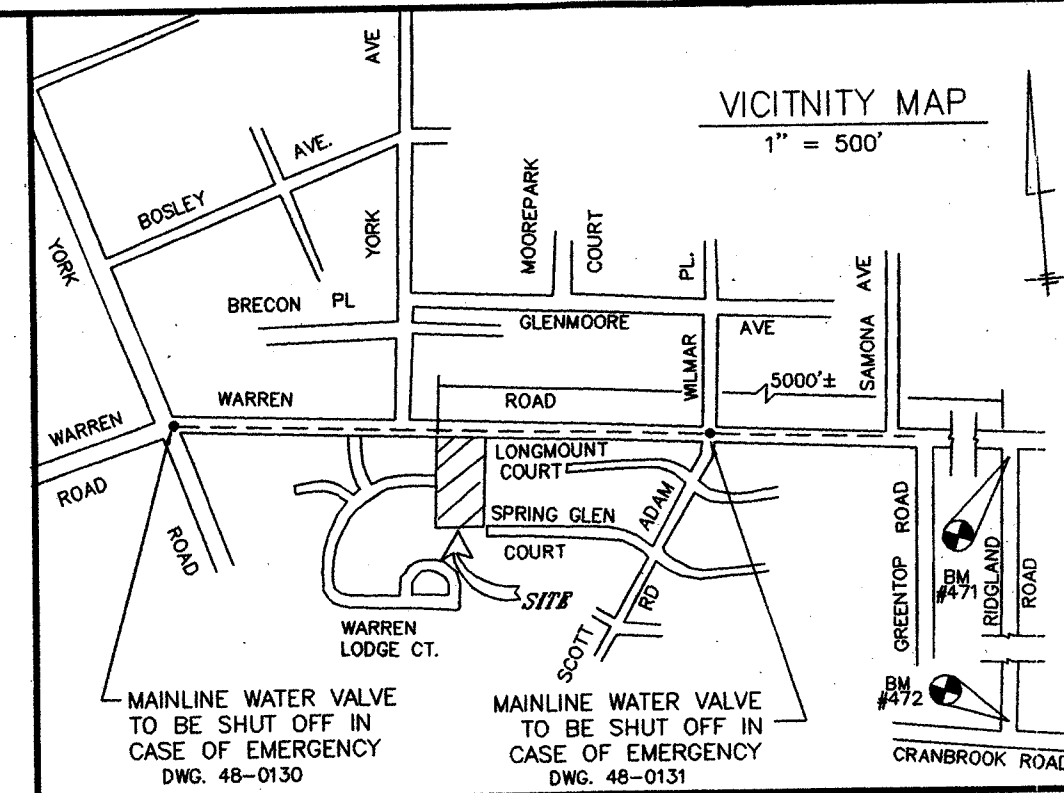
BALTIMORE COUNTY BENCHMARK NO. 742 ELEV. 410.48
 CAPPED PIPE SET IN THE GRASS MEDIAN OF RIDGLAND ROAD, NORTH OF
 THE INTERSECTION OF CRANBROOK ROAD AND RIGLAND ROAD.
 N 657725.76 E 141953.407



	ROAD PERMIT AND GRADES	REVISED AS PER RECORD PRINT		DATE	REVISION	BY											EXHIBIT NO. <u>3A</u>	JOB ORDER NO. 205-0001-9828						
	PERMIT REQUESTED	J.O.	DRAFTSMAN	DATE													SHEET <u>1</u> OF <u>1</u>							
	PERMIT NUMBER																DWG. NO. 2002-1579							
	GRADE ESTABLISHED																FILE: 5							
	PROFILE NUMBER																							
CENTURY ENGINEERING		DESIGNED J/C/RGB	BUREAU OF ENGINEERING AND CONSTRUCTION		HIGHWAYS	STRUCTURES	STORM DRAINS	WATER	SEWER	DEPARTMENT OF PUBLIC WORKS		P.W.A. DIR. NO.	KEY SHEET	SCALE	BALTIMORE COUNTY DEPARTMENT OF PUBLIC WORKS BUREAU OF ENGINEERING AND CONSTRUCTION									
ENGINEER ROBERT G. BATHURST		DRAWN J/C	REVIEWED		 11/26/02				APPROVED DIRECTOR		N/A	V S.E.	PLAN: 1"=20'	ROAD WIDENING 103 WARREN ROAD										
DATE <u>11/9/02</u> J.C. NO. <u>24814</u>		CHECKED J/C/RGB	DATE						DATE <u>11-27-02</u>		RIGHT OF WAY	POSITION SHEET	PROFILE: HOR. 1"=20' VERT. 1"=5'	FROM APPROXIMATELY 1000' EAST OF YORK ROAD TO 272' EASTWARD										
											65 NW 5	PROJECT: WARREN OAKS										EL. DISTRICT NO. 8C3		

GENERAL NOTES FOR WATER AND SEWER CONNECTIONS

- WORK WITHIN A MARYLAND STATE ROAD WILL REQUIRE A UTILITY CONSTRUCTION PERMIT FROM THE STATE HIGHWAY ADMINISTRATION, (410) 321-3456, AND MUST BE ATTACHED HERETO.
- ALL WORK IN THE COUNTY ROADWAY SHALL BE RESTRICTED TO THE HOURS OF 9:00 A.M. TO 3:00 P.M.
- 48 HOURS PRIOR TO BEGINNING WORK:
 - MAKE ALL NOTICES REQUIRED BY SPECIFICATION 105.07.
 - CONTACT THE CONSTRUCTION CONTRACTS ADMINISTRATION DIVISION (410) 887-3531 TO ARRANGE FOR INSPECTION.
 - CONTACT THE BALTIMORE CITY BUREAU OF WATER AND WASTEWATER (410) 396-7807 TO ARRANGE FOR INSPECTION 72 HOURS BEFORE STARTING WORK.
 - NOTIFY MISS UTILITY AT 1-(800) 257-7777.
- AFTER RECEIVING A NOTICE TO PROCEED, THE CONTRACTOR IS TO CALL THE WATER METER SECTION AT (410) 396-0170 TO ARRANGE TO PICK UP THE METER FROM THE BALTIMORE CITY DEPARTMENT OF PUBLIC WORKS, 200 N. FRANKLIN TOWN ROAD, BALTIMORE, MD 21223. THE CONTRACTOR MUST TURN THE OWNER'S ORIGINAL CASH SLIP OVER TO BALTIMORE CITY TO OBTAIN THE METER.
- ALL WORK, INCLUDING BUT NOT LIMITED TO INSTALLATION, TRAFFIC CONTROL AND REPAIRING, IS TO BE ACCOMPLISHED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS AND DETAILS FOR CONSTRUCTION OF THE DEPARTMENT OF PUBLIC WORKS.
- ALL WORK IS TO BE PERFORMED BY A UTILITY CONTRACTOR WHO IS PREQUALIFIED BY THE BALTIMORE COUNTY DEPARTMENT OF PUBLIC WORKS.

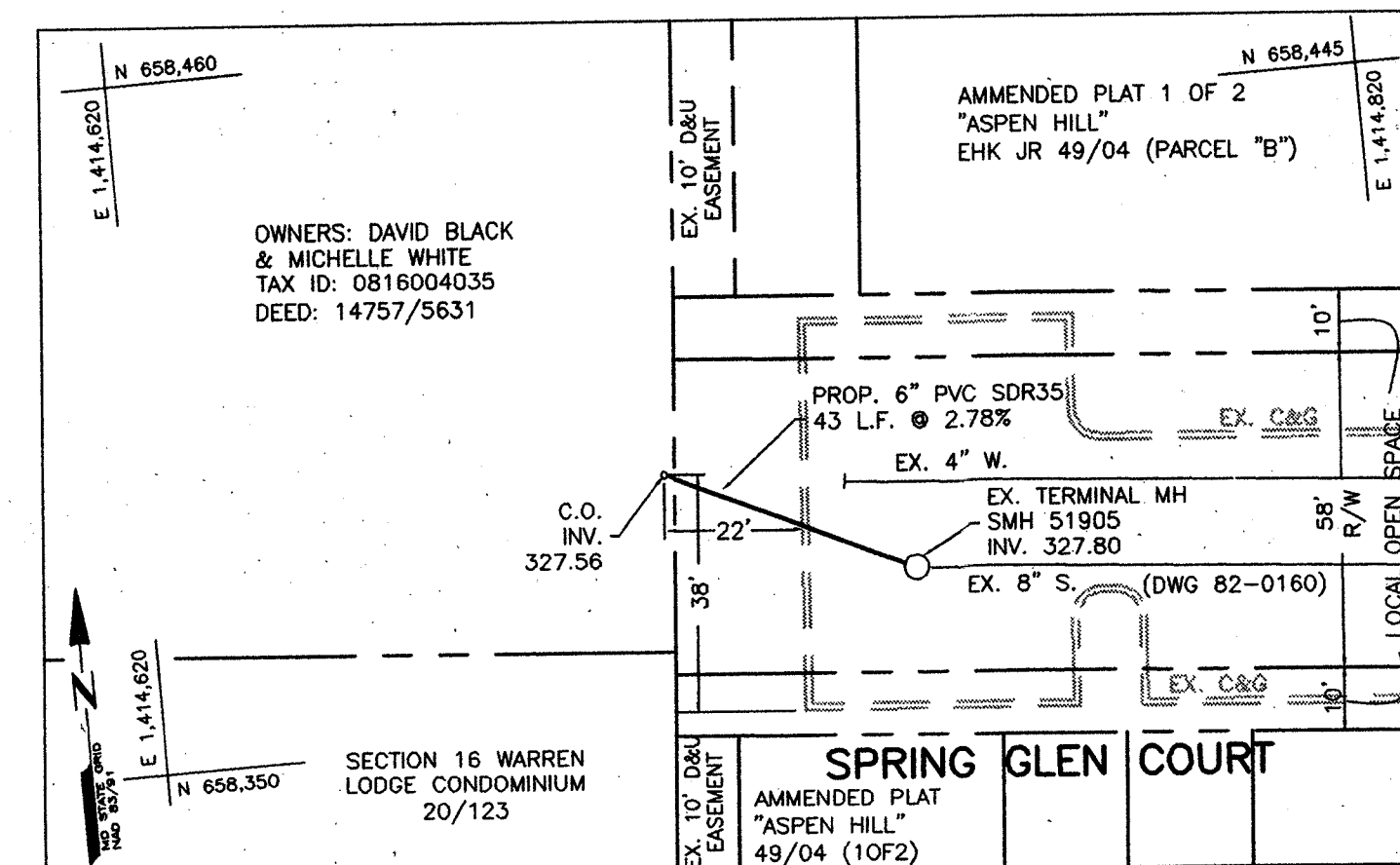


BENCH MARKS

BALTIMORE COUNTY BENCHMARK NO. 471 ELEV. 403.04
CAPED PIPE SET IN THE GRASS MEDIAN OF RIDGLAND ROAD, SOUTH OF THE INTERSECTION OF WARREN ROAD AND RIDGLAND ROAD.
N 658328.77 E 1419459.65

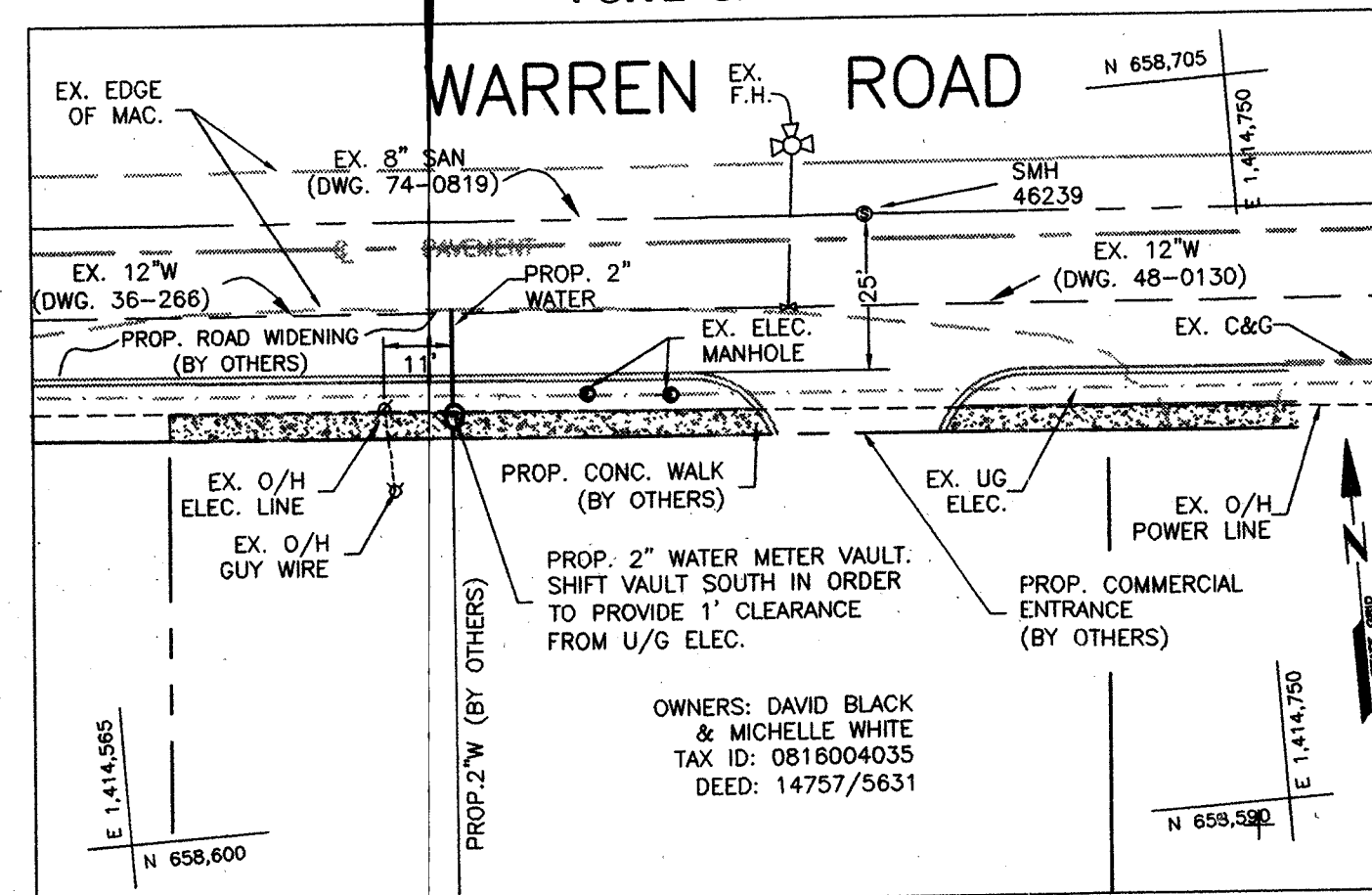
BALTIMORE COUNTY BENCHMARK NO. 742 ELEV. 410.48
CAPED PIPE SET IN THE GRASS MEDIAN OF RIDGLAND ROAD, NORTH OF THE INTERSECTION OF CRANKBROOK ROAD AND RIDGLAND ROAD.
N 657725.76 E 1419534.07

SANITARY SEWER SERVICE INSTALLATION



LOCATION SKETCH: SCALE 1" = 30'
SERVICE SIZE: 6" STANDARD DETAIL S-12A
REFERENCE DRAWING NO.: 82-0160

WATER SERVICE AND METER INSTALLATION FOR 2" SERVICE



LOCATION SKETCH: SCALE 1" = 30'
SERVICE SIZE: 2" STANDARD DETAIL W-26
REFERENCE DRAWING NO.: 48-0134 & 36-286

PLAN AND DRAINAGE AREA MAP

SCALE 1"=50'

SUMP GRADING INSET

SCALE 1"=50'

GENERAL NOTES FOR STORMDRAIN EXTENSION

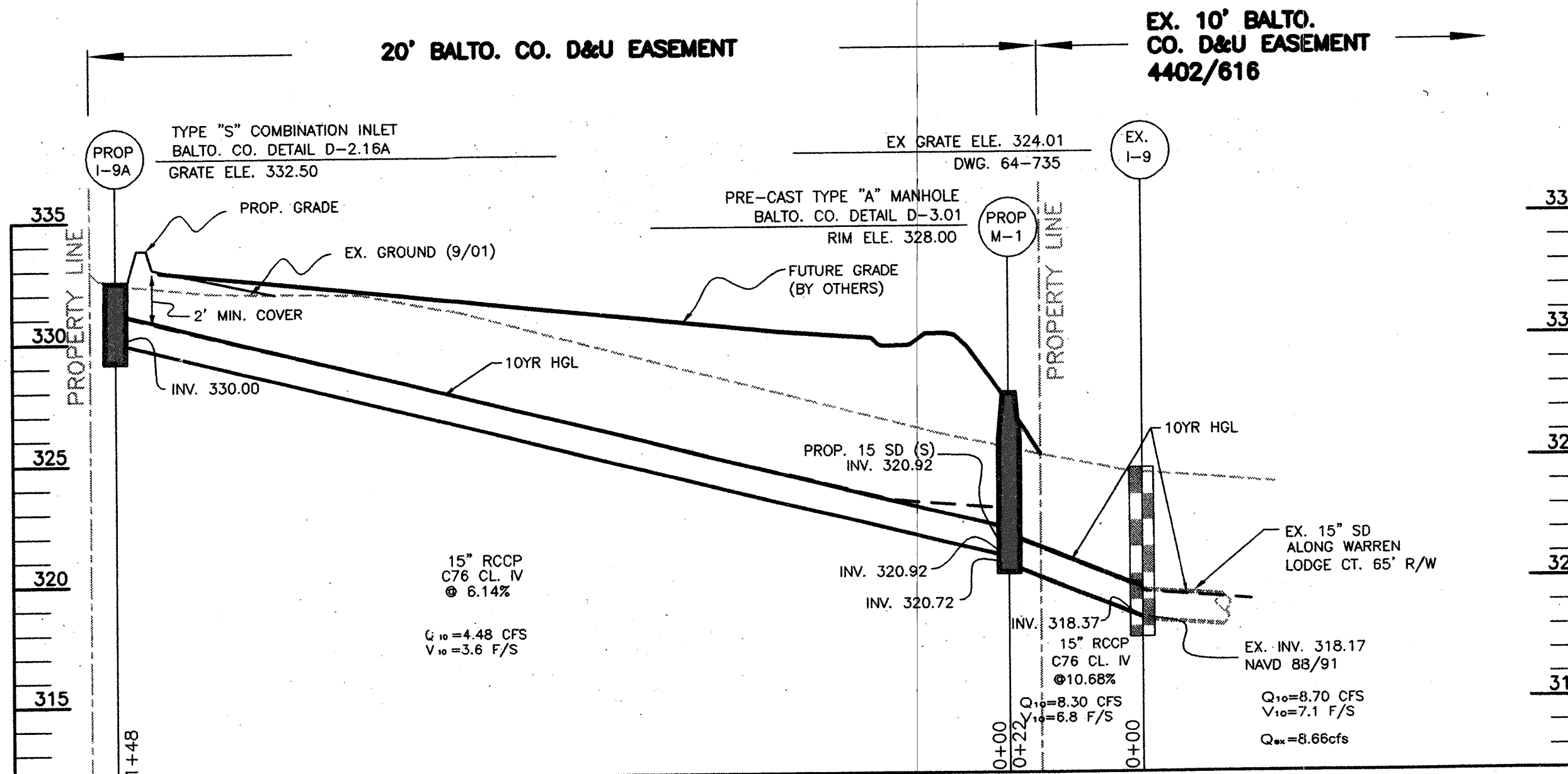
- THE CONTRACTOR WILL MAINTAIN, REPAIR AND/OR REPLACE ANY EXISTING SEDIMENT CONTROL DEVICES ENCOUNTERED AND DISTURBED DURING THE COURSE OF CONSTRUCTION UNDER THIS CONTRACT, AND AS SHOWN ON THE APPROVED SEDIMENT CONTROL PLAN INCLUDED AS PART OF THE CONTRACT DOCUMENTS. AT THE END OF EACH DAY, ALL SUCH DISTURBED DEVICES WILL BE REPAIRED OR REPLACED BEFORE LEAVING THE WORK SITE. THE COST OF PERFORMING THE WORK, INCLUDING MATERIALS, WILL BE PAID FOR BY A LUMP SUM BID FOR MAINTENANCE AND REPAIR OF SEDIMENT CONTROL DEVICES.
- ALL WORK UNDER THIS CONTRACT WILL BE PERFORMED BY THE CONTRACTOR IN ACCORDANCE WITH BALTIMORE COUNTY SOIL CONSERVATION DISTRICT PERMIT NO. 130-COUNTY-02.
- ALL CONSTRUCTION WILL BE ACCOMPLISHED IN ACCORDANCE WITH BALTIMORE COUNTY STANDARD SPECIFICATIONS AND DETAILS FOR CONSTRUCTION FEBRUARY 2000, AS AMENDED.
- UNLESS OTHERWISE NOTED, THE BID LINE FOR EXCAVATION WILL BE SUBGRADE UNDER PROPOSED ROADS, ESTABLISHED GRADE UNDER TURF AREAS, AND EXISTING GRADE ALONG EXISTING PAVEMENT.
- THE DEVELOPER WILL ACCOMPLISH ALL GRADING WITHIN EASEMENT AREAS WHERE UTILITIES ARE TO BE INSTALLED BEFORE THE NOTICE TO PROCEED IS ISSUED.
- THE DEVELOPER WILL PLACE ROADS TO SUBGRADE FOR THE FULL WIDTH OF THE RIGHT-OF-WAY BEFORE INSTALLING UTILITIES.
- THE CONTRACTOR WILL NOTIFY MISS UTILITY AT (800) 257-7777 AT LEAST 48 HOURS PRIOR TO STARTING EXCAVATION.
- ALL TOPS OF MANHOLES, INLETS AND VALVES LOCATED WITHIN THE ROAD METAL SHALL BE BUILT TO AN ELEVATION 0.2' LOWER THAN PROPOSED FINAL GRADE. THIS INTERIM GRADE WILL BE ADJUSTED TO FINAL GRADE UNDER THE ROAD CONTRACT.
- FULL TRENCH COMPACTION IS REQUIRED FOR A MINIMUM DISTANCE OF 20' ON A SIDE OF ALL CROSSINGS AND WITHIN ALL ROAD RIGHT-OF-WAYS.
- TRENCH REPAIR AS PER STANDARD DETAIL R-38
- THE CONTRACTOR SHALL MAINTAIN TRAFFIC AT ALL TIMES.

RIGHT OF WAY CERTIFICATION

IN MY PROFESSIONAL OPINION, THIS PLAN IS SEALED AND CERTIFIED THAT THE RIGHT OF WAYS AND EASEMENTS SHOWN HEREON CONFORM IN ALL MATERIAL RESPECTS TO THE RIGHT OF WAYS AND EASEMENTS SHOWN ON RIGHT OF WAY PLAT NUMBER 68-283-2, RECORD PLATS 49/04 & 20/123, WHICH WAS PREPARED IN COMPLIANCE WITH BALTIMORE COUNTY, DEPARTMENT OF PERMITS AND DEVELOPMENT MANAGEMENT, BUREAU OF LAND ACQUISITION, DRAFTING SECTION MANUAL.

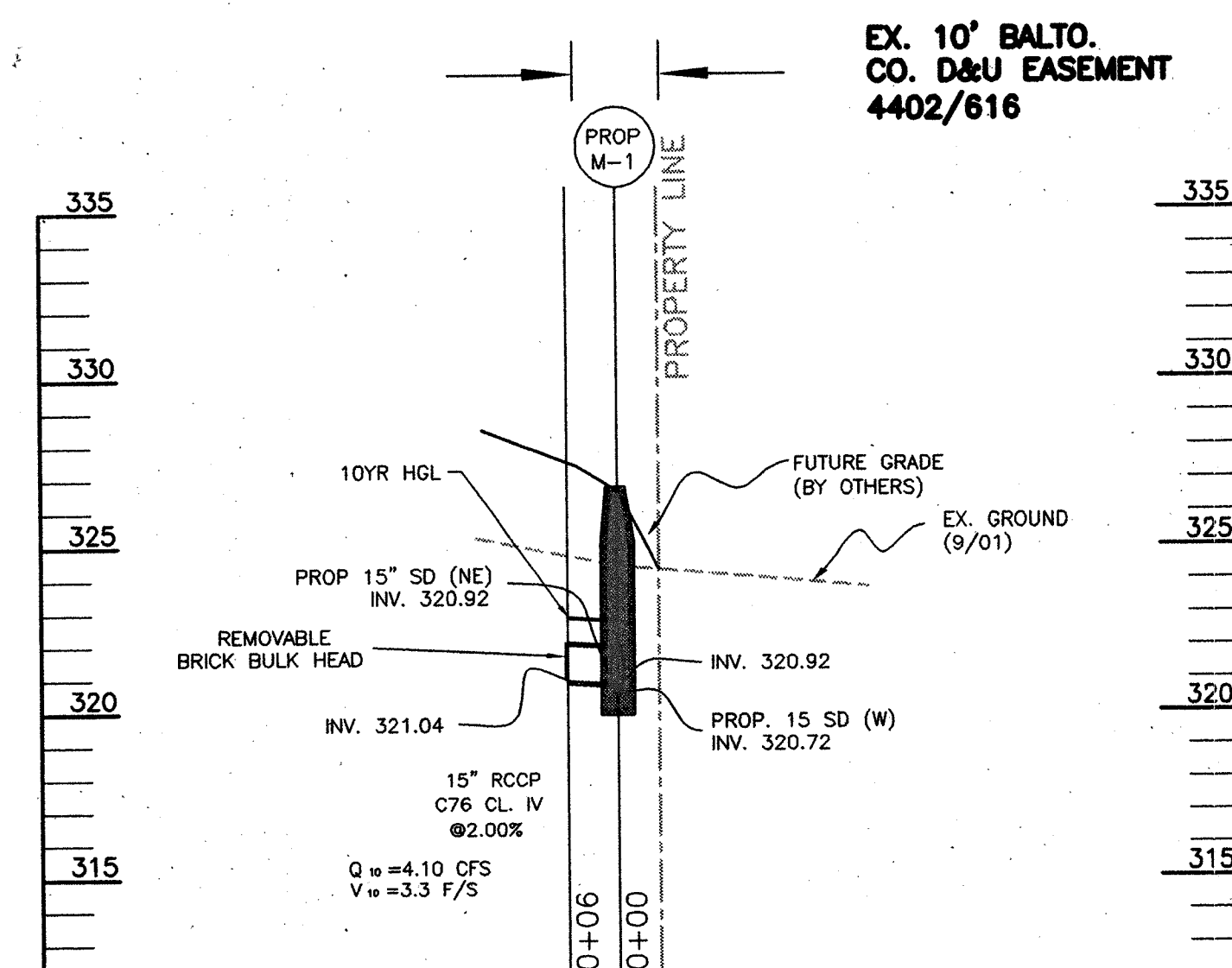
PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT I HAVE REVIEWED, WITH DUE DILIGENCE, THE DRC PLAN APPROVED BY THE DIRECTOR OF PDM ON 11/19/2001 AND HAVE PREPARED, WITH DUE DILIGENCE, THIS STORM DRAIN PLAN PURSUANT TO THAT APPROVED DRC PLAN.



STORM DRAIN PROFILE

HORIZ. 1" = 20'
VERT. 1" = 5'



STORM DRAIN PROFILE

HORIZ. 1" = 20'
VERT. 1" = 5'

STORM DRAIN FLOW TABULATION

LOCATION		AREA		COEFF. C'	CSA		TIME CONC.			INTEN		Peak Flow	PIPE			REMARKS			
		ID	A'-ACRES		CSA	SUMP	MIN	20 Year	10 Year	Q = C.I.A.	Manning's n = .014	Size	Slope	Vel.	20 Year				
FROM	To	Sub.	Total			SUM CSA	Inlet	Drain	Total	in/hr	in/hr	cfs							
1-9A	M-1	A	87		.64	0.56	0.63		5.0	5.0	8.04	7.05	4.48	15"	0.56%	3.6	148'	20	Yr Sump
B-1	M-1	B	97		.67	0.65	-		7.0	7.0	6.55	4.10	15"	0.47%	3.3	54'			Q FROM TR2
M-1	Ex 1-9	A-B		1.84				1.28	7.0	0.3	7.3	6.48	8.30	15"	1.91%	6.8	22'		Q FROM TR2
Ex. 1-9		C	25		.30	0.08	-		7.0	-	7.0	6.55	.49						
Ex 1-9	Ex 1-8	A-C		2.09				1.36	7.3	0.1	7.4	6.46	8.70	15"	2.10%	7.1	245'		Q FROM TR2
EX-14	D		.48		.80	0.38	-		5.0	-	5.0	7.05	2.71						

PETITIONER'S

EXHIBIT NO. 3B

JOB ORDER NO.

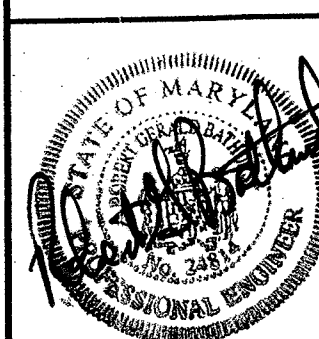
204-0001-9828

SHEET 1 OF 1

DWG. NO.

2002-1578

FILE: 4



DESIGNED: J.C./RGB
DRAWN: J.C.
CHECKED: J.C./RGB

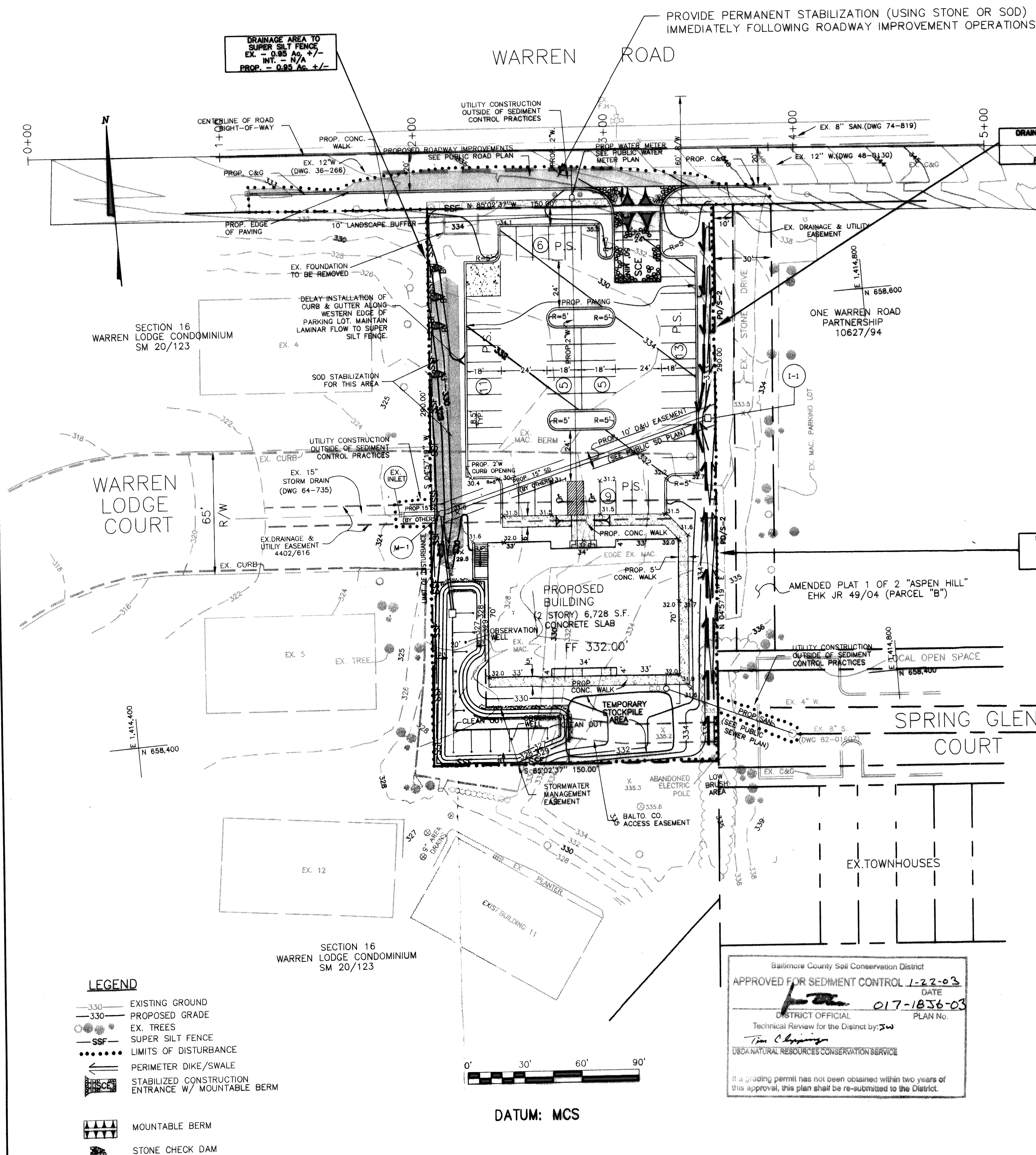
DATE	RIGHT OF WAY	REF.	ROAD PERMIT AND GRADES	P.W.A. DIR. NO.	CONTRACT NO.	REVISED AS PER RECORD PRINT
			PERMIT REQUESTED			
			PERMIT NUMBER			
			GRADE ESTABLISHED			
			PROFILE NUMBER			

APPROVED: *[Signature]*
DATE: 11-23-02
DIRECTOR

LEVEL BK.
KEY SHEET
V S.E.
POSITION SHEET
65 NW 5
DATE
REVISION
BY

SCALE
BALTIMORE COUNTY
DEPARTMENT OF PUBLIC WORKS
BUREAU OF ENGINEERING AND CONSTRUCTION
STORM DRAINS, WATER, AND SEWER
EASEMENT WARREN LODGE COURT EAST
(150' SOUTH OF WARREN ROAD, 140' NORTHEAST OF SPRING GLEN COURT
EL. DISTRICT NO.: 803

OWNER/DEVELOPER
DAVID F. BLACK
MICHELLE A. WHITE
1004 WESTERN RUN RD.
HUNT VALLEY, MD 21030



GRADING NOTES

- THE PROPOSED GRADING SHOWN ON THIS PLAN MEETS THE REQUIREMENTS SET FORTH BY BALTIMORE COUNTY DEPARTMENT OF ENVIRONMENTAL PROTECTION AND RESOURCE MANAGEMENT AND COMPLIES WITH TITLE 14, ARTICLE VI OF THE BALTIMORE COUNTY CODE. HOWEVER, DUE TO BUILDING TYPES AND LAYOUT, SOME FIELD ADJUSTMENTS MAY BE REQUIRED. ALL CHANGES MUST COMPLY WITH THE ABOVE MENTIONED REQUIREMENTS.
- ALL SWALES HAVE BEEN DESIGNED BY THE ENGINEER TO CONVEY RUNOFF ACCORDING TO BALTIMORE COUNTY DEPARTMENT OF PUBLIC WORKS DESIGN STANDARDS.
- THERE SHALL BE NO CLEARING, GRADING, CONSTRUCTION OR DISTURBANCE OF VEGETATION IN THE FOREST BUFFER EASEMENT OR OTHER FOREST RETENTION AREAS, EXCEPT AS PERMITTED BY THE BALTIMORE COUNTY DEPARTMENT OF ENVIRONMENTAL PROTECTION AND RESOURCE MANAGEMENT.

TEMPORARY STOCKPILES

TEMPORARY STOCKPILES SHALL BE:

- LOCATED WITHIN THE LIMIT OF DISTURBANCE (LOD).
- DRAIN TO A FUNCTIONING SEDIMENT CONTROL DEVICE.
- POSITIONED TO NOT IMPEDE UPON, OR IMPAIR THE FUNCTION OF SAID DEVICE.
- POSITIONED TO NOT ALTER DRAINAGE DIVIDES.

BENCH MARKS

BALTIMORE COUNTY BENCHMARK NO. 471 ELEV. 403.04
CAPED PIPE SET IN THE GRASS MEDIAN OF RIDGLAND ROAD, SOUTH OF THE INTERSECTION OF WARREN ROAD AND RIDGLAND ROAD. N 65832.77 E 1419459.15

BALTIMORE COUNTY BENCHMARK NO. 742 ELEV. 410.48
CAPED PIPE SET IN THE GRASS MEDIAN OF RIDGLAND ROAD, NORTH OF THE INTERSECTION OF CRANBROOK ROAD AND RIDGLAND ROAD. N 63725.75 E 1419534.07

VICINITY MAP

1" = 500'

SEQUENCE OF OPERATIONS

- NOTIFY BALTIMORE COUNTY DEPARTMENT OF ENVIRONMENTAL PROTECTION AND RESOURCE MANAGEMENT, INSPECTION AND ENFORCEMENT DIVISION (410-887-3226) AT LEAST 48 HOURS PRIOR TO BEGINNING WORK.
- IF APPLICABLE, ORANGE HIGH VISIBILITY FENCE SHALL BE MANUALLY INSTALLED ALONG THE LIMIT OF DISTURBANCE, WHERE THE LIMIT IS WITHIN 50 FEET OF THE FOREST BUFFER/CONSERVATION EASEMENT. THIS SHALL BE COMPLETED BY AND INSPECTED AT, THE PRE-CONSTRUCTION MEETING.
- CLEAR AND GRUB FOR SEDIMENT AND EROSION CONTROL MEASURES OR DEVICES ONLY.
- INSTALL SEDIMENT AND CONTROL MEASURES AND DEVICES AS FOLLOWS:
INSTALL STABILIZED CONSTRUCTION ENTRANCE, MOUNTABLE BERM, SUPER SILT FENCE, AND STONE CHECK DAMS.
- NOTIFY BALTIMORE COUNTY DEPARTMENT OF ENVIRONMENTAL PROTECTION AND RESOURCE MANAGEMENT, INSPECTION AND ENFORCEMENT DIVISION, UPON COMPLETION OF SAID INSTALLATION.
- INSTALL STORM DRAIN FROM EX. INLET TO PROPOSED M-1, AND INSTALL PERIMETER DIKE/SWALE.
- NOTIFY BALTIMORE COUNTY DEPARTMENT OF ENVIRONMENTAL PROTECTION AND RESOURCE MANAGEMENT, INSPECTION AND ENFORCEMENT DIVISION, UPON COMPLETION OF SAID INSTALLATION.
- WITH THE APPROVAL OF BALTIMORE COUNTY DEPARTMENT OF ENVIRONMENTAL PROTECTION AND RESOURCE MANAGEMENT AND THE SEDIMENT CONTROL INSPECTOR, CLEAR AND GRUB REMAINDER OF SITE, REMOVING EXISTING PAVING AS NECESSARY.
- BEGIN ROUGH GRADING AND BUILDING CONSTRUCTION. CONTRACTOR SHALL INSPECT AND MAINTAIN ALL SUPER SILT FENCE AFTER EACH STORM EVENT. MAINTENANCE SHALL INCLUDE, BUT NOT LIMITED TO, REMOVAL OF ALL ACCUMULATED SEDIMENT. DO NOT INSTALL BIORETENTION FACILITY AT THIS TIME.
- ONCE SUBGRADE ELEVATIONS ARE REACHED, INSTALL UTILITIES, CURB AND GUTTER, AND STONE SUB-BASE FOR PARKING LOT SECTIONS. DELAY CURB AND GUTTER INSTALLATION ALONG WESTERN EDGE OF PARKING LOT. MAINTAIN LAMINAR FLOW TO SUPER SILT FENCE.
- FINE GRADE AND VEGETATIVELY STABILIZE ALL DISTURBED AREAS NOT TO BE PAVED. WITH A FINE (5) DAY DRY WEATHER FORECAST, INSTALL BIORETENTION FACILITY IN ACCORDANCE WITH THE APPROVED STORMWATER MANAGEMENT PLANS. INSTALL REMAINING CURB AND GUTTER ALONG THE WESTERN EDGE OF PARKING LOT. PAVE PARKING LOT SECTIONS.
- UPON STABILIZATION OF SITE WITH ESTABLISHED VEGETATION AND WITH PERMISSION OF THE SEDIMENT CONTROL INSPECTOR, REMOVE SEDIMENT CONTROL MEASURES AND STABILIZE THOSE AREAS DISTURBED BY THIS PROCESS.

UTILITY NOTE

- CONTRACTOR SHOULD OPEN ONLY THAT SECTION OF TRENCH THAT CAN BE BACKFILLED AND STABILIZED EACH DAY. IF TRENCH MUST REMAIN OPEN LONGER THAN ONE DAY, SILT FENCE SHALL BE PLACED BELOW (DOWNSLOPE) THE TRENCH.
- PLACE ALL EXCAVATED MATERIAL ON UPHILL SIDE OF TRENCH.
- ANY SEDIMENT CONTROLS DISTURBED BY UTILITY CONSTRUCTION ARE TO BE REPAIRED IMMEDIATELY.

INLET PROTECTION NOTE

- THE CONTRACTOR IS REQUIRED TO INSTALL INLET PROTECTION ON ALL STORM DRAIN INLETS WITH THE EXCEPTION OF THE FOLLOWING:
- ANY INLET OUTFALLING DIRECTLY INTO A SEDIMENT TRAPPING DEVICE.
 - INLETS ON PRIVATE OR PUBLIC PAVED ROADWAYS OPEN TO THE PUBLIC.
- ALL INLET PROTECTION WILL BE INSTALLED AS DIRECTED BY THE INSPECTOR IN ACCORDANCE WITH THE 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, SECTION 16.0 (OR AS MAY BE AMENDED). THE REMOVAL OF ANY INLET PROTECTION DEVICE WILL REQUIRE APPROVAL FROM THE INSPECTOR.
- *STORM DRAINS SHALL BE FLUSHED PRIOR TO TRAPPING DEVICE REMOVAL.

OWNER/DEVELOPER
DAVID F. BLACK
MICHELLE A. WHITE
1004 WESTERN RUN RD.
HUNT VALLEY, MD 21030

TOTAL DISTURBED AREA
448,128 SQ. FT. 1.10 AC +/-

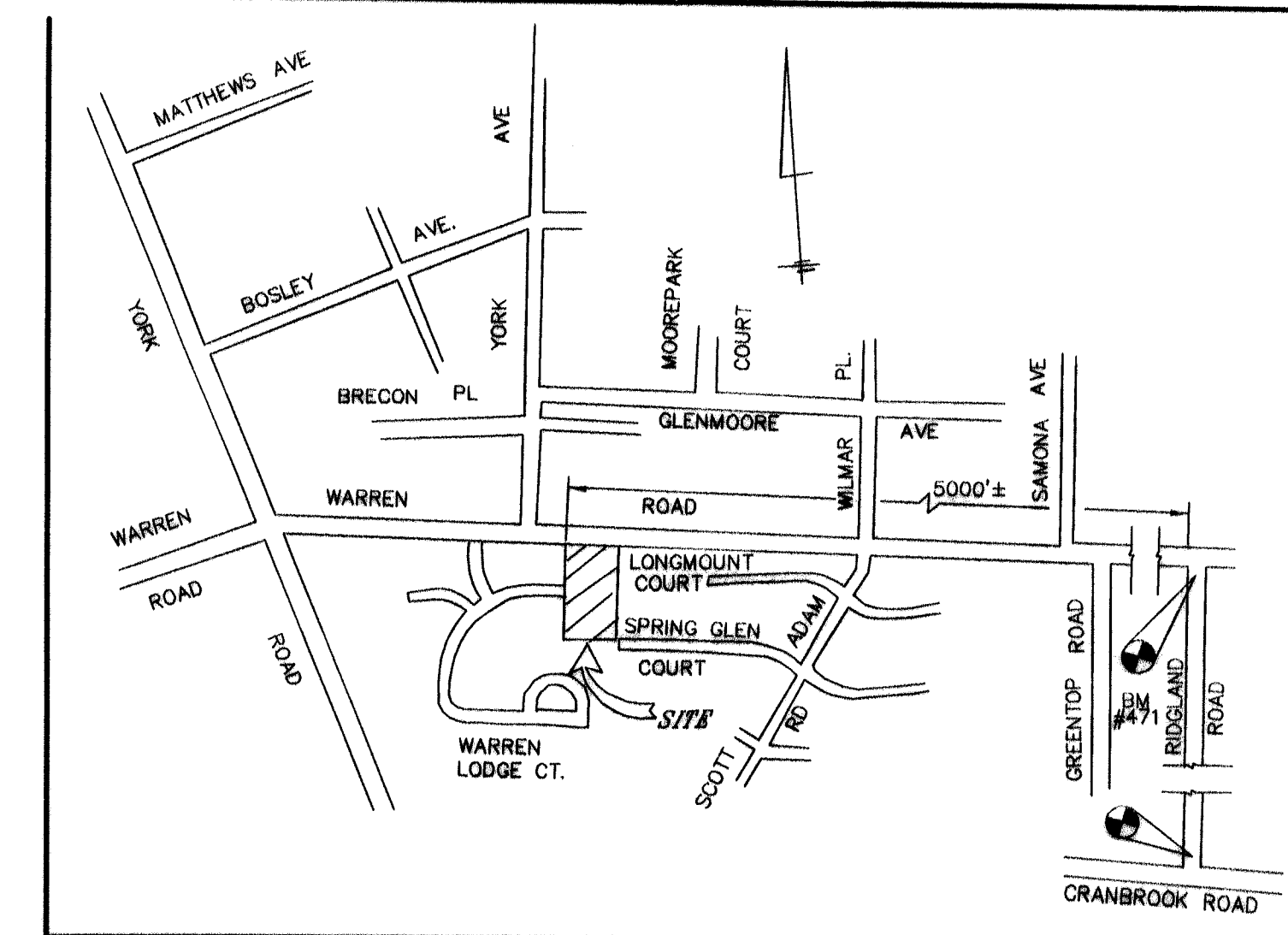
CENTURY ENGINEERING, INC.
CONSULTING ENGINEERS PLANNERS, SURVEYORS
32 WEST ROAD
TOWSON, MARYLAND 21204
(410) 823-8070

WARREN OAKS
WARREN ROAD - 900 FT EAST OF YORK ROAD
ELECTION DISTRICT 8C3 BALTIMORE COUNTY, MARYLAND

GRADING, EROSION,
AND SEDIMENT CONTROL PLAN

Des By: GL/RGB Scale: 1" = 30' Proj No: 21078.00
Dwn By: MLA/JUC Date: 7/1/2002 DRAWING NO:
Chk By: GL/RGB PETITIONER'S 1 OF 3

EXHIBIT NO. 3C



BENCH MARKS

LANDOWNER'S/DEVELOPER'S CERTIFICATION

SIGNATURE OF OWNER/DEVELOPER _____ DATE 11/26/02
F. David Black
 PRINT NAME _____

ENGINEER'S CERTIFICATION:

SIGNATURE Robert G. Bathurst 24814
 ROBERT G. BATHURST P.E. NO.
 PRINT NAME DATE 4/7/63

AS-BUILT CERTIFICATION:

I HEREBY CERTIFY THAT THE FACILITY SHOWN ON THIS PLAN WAS CONSTRUCTED AS SHOWN ON THE "AS-BUILT" PLANS AND MEETS THE APPROVED PLANS AND SPECIFICATIONS.

SIGNATURE _____ P.E. NO. _____

PRINT NAME _____ DATE _____

CERTIFY MEANS TO STAKE OR DECLARE A PROFESSIONAL OPINION BASED UPON ON-SITE INSPECTIONS AND MATERIAL TESTS WHICH ARE CONDUCTED DURING CONSTRUCTION. THE ON-SITE INSPECTIONS AND MATERIAL TESTS ARE THOSE INSPECTIONS AND TESTS DEEMED SUFFICIENT AND APPROPRIATE BY COMMONLY ACCEPTED ENGINEERING STANDARDS. CERTIFY DOES NOT MEAN OR IMPLY A GUARANTEE BY THE ENGINEER NOR DOES AN ENGINEER'S CERTIFICATION RELIEVE ANY OTHER PARTY FROM MEETING REQUIREMENTS IMPOSED BY CONTRACT, EMPLOYMENT, OR OTHER MEANS, INCLUDING MEETING COMMONLY ACCEPTED PRACTICES.

PROPERTY INFORMATION

<u>OWNER/DEVELOPER</u>	<u>ADDRESS:</u>	<u>KEY SHEET:</u>
DAVID F. BLACK	103 WARREN RD.	V-S.E.
MICHELLE A WHITE	900' EAST OF YORK RD.	
1004 WESTERN RUN RD.		<u>POSITION SHEET</u>
HUNT VALLEY, MD 21030	TAX MAP: 51 PARCEL: 286	85 NW 5
	TAX ACCT: 08-0818004035	
	DEED REF: 14757/5631	

CENTURY ENGINEERING, INC.
CONSULTING ENGINEERS PLANNERS, SURVEYORS
32 WEST ROAD
TOWSON, MARYLAND 21204
(410) 823-8070

WARREN OAKS
103 WARREN ROAD - 900 FT EAST OF YORK ROAD
ELECTION DISTRICT 8C3 BALTIMORE COUNTY, MARYLAND

STORM WATER MANAGEMENT PLAN,
PROFILES, NOTES, AND DETAILS

Des By	EB/RGB	Scale	AS SHOWN	Proj No	21076.0
Drn By	IJC	Date	5/30/2002	DRAWING NO	
Chk By	GI/RGB	Approved			

PETITIONER'S

STORMWATER MANAGEMENT SUMMARY TABLE

REQUIREMENT	VOLUME REQUIRED (CU. FT.)	VOLUME PROVIDED (CU. FT.)	NOTES
WATER QUALITY VOLUME (W_q)	1280	0.5 PONDING = 986 2.5 PLANTING SOIL = 1972	231% OF REQUIRED
RECHARGE VOLUME (R_{qv})	107	394	366% OF REQUIRED THIS VOLUME IS WITHIN THE WQ STORAGE
CHANNEL PROTECTION VOLUME (C_p)	N/A	N/A	CPV RELEASE RATE IS 1.53 CFS
OVERBANK FLOOD PROTECTION VOLUME (Q_p)	N/A	N/A	$Q_p \text{ DEV} < Q_p \text{ EXIST}$
EXTREME FLOOD VOLUME (Q_f)	N/A	N/A	$Q_f \text{ DEV} < Q_f \text{ EXIST}$

MISS UTILITY

CALL "MISS UTILITY" AT 1-800-257-7777 48 HOURS PRIOR TO THE START OF WORK. THE EXCAVATOR MUST NOTIFY ALL PUBLIC UTILITY COMPANIES WITH UNDERGROUND FACILITIES IN THE AREA OF PROPOSED EXCAVATION AND HAVE THOSE FACILITIES LOCATED BY THE UTILITY COMPANIES PRIOR TO COMMENCING EXCAVATION.

BIORETENTION FACILITY CONSTRUCTION NOTES

ABSOLUTELY NO RUNOFF IS TO ENTER THE BIORETENTION FACILITY UNTIL ALL CONTRIBUTING DRAINAGE AREAS HAVE BEEN STABILIZED.

THE SURFACE OF THE BIORETENTION FACILITY IS TO BE LEVEL.

THE BIORETENTION FACILITY SHOULD BE CLEARLY DELINEATED WITH SIGNS SO THAT THEY MAY BE LOCATED WHEN MAINTENANCE IS DUE.

STORMWATER MANAGEMENT GENERAL NOTES

1. UNLESS OTHERWISE NOTED, ALL CONSTRUCTION AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH:
 - A. BALTIMORE COUNTY DEPARTMENT OF PUBLIC WORKS STANDARDS AND SPECIFICATIONS AND DETAILS FOR CONSTRUCTION 2000 ERRATA ADDENDA
 - B. MARYLAND DEPARTMENT OF TRANSPORTATION STATE HIGHWAY ADMINISTRATION, OCT. 1993, STANDARD SPECIFICATIONS FOR CONSTRUCTION AND MATERIALS.
 - C. NATURAL RESOURCES CONSERVATION SERVICE OF MARYLAND STANDARDS AND SPECIFICATIONS, POND, CODE 378, JANUARY 2000.
2. THIS SITE LIES WITHIN THE LOCH Raven WATERSHED.
3. STORMWATER MANAGEMENT IS APPROVED UNDER BILL NO. 53-01
4. THIS FACILITY IS PRIVATE, AND SHALL BE MAINTAINED BY THE OWNER.
5. ALL CONSTRUCTION MUST BE SUPERVISED BY A GEOTECHNICAL ENG.
6. ONE & TEN YEAR STORMWATER MANAGEMENT IS REQUIRED AND PROVIDED
7. STRUCTURE CLASSIFICATION: 1000
8. DRAINAGE AREA TO BIORETENTION FACILITY: 0.97 Ac±
9. PRINCIPAL SPILLWAY CAPACITY AT DESIGN STORM: 4.1cfs

CONSTRUCTION/INSPECTION SCHEDULE FOR BIORETENTION FACILITY

1. PRIOR NOTIFICATION SHALL BE GIVEN TO THE ENGINEER SO THAT INSPECTIONS MAY BE MADE AT THE FOLLOWING STAGES:
 - (I) DURING EXCAVATION TO SUBGRADE;
 - (II) DURING PLACEMENT AND BACKFILL OF UNDERDRAIN SYSTEMS;
 - (III) DURING PLACEMENT OF GEOTEXTILES AND ALL FILTER MEDIA;
 - (IV) DURING CONSTRUCTION OF AN APPURTENANT CONVEYANCE AND PRE-TREATMENT SYSTEMS; AND
 - (V) UPON COMPLETION OF FINAL GRADING AND ESTABLISHMENT OF PERMANENT STABILIZATION.
- (VI) NO WORK SHALL PROCEED UNTIL THE ENGINEER INSPECTS AND APPROVES THE WORK PREVIOUSLY COMPLETED.
2. A COPY OF ALL MATERIAL SUPPLY TICKETS MUST BE GIVEN TO THE DESIGNATED ENGINEER IN CHARGE OF AS-

STORMWATER MANAGEMENT SEQUENCE OF CONSTRUCTION

1. INSTALL EROSION AND SEDIMENT CONTROL MEASURES, GRADE THE SITE, AND BEGIN BUILDING CONSTRUCTION IN ACCORDANCE WITH THE APPROVED EROSION AND SEDIMENT CONTROL PLANS. TEMPORARILY DIRECT ALL ROOF DRAINS, WHICH DRAIN TO THE STORMWATER MANAGEMENT FACILITY TO AN OPERATIONAL SEDIMENT CONTROL DEVICE UNTIL THEIR INSTALLATION.
2. NOTIFY THE ENGINEER IN CHARGE OF AS-BUILT CERTIFICATION AT LEAST FIVE (5) DAY PRIOR TO BEGINNING CONSTRUCTION OF ANY STORM WATER MANAGEMENT FACILITY OR ASSOCIATED DRAINAGE STRUCTURE. ENSURE THAT COPIES OF ALL MATERIAL TICKETS ARE SUPPLIED TO THE ENGINEER IN CHARGE OF AS-BUILT CERTIFICATION.
3. DURING A FIVE DAY DRY WEATHER FORECAST AND FOLLOWING STABILIZATION OF THE REMAINDER OF THE SITE, EXCAVATE THE STORMWATER MANAGEMENT FACILITY ACCORDING TO THE APPROVED EROSION AND SEDIMENT CONTROL PLANS, KEEPING ANY WATER FROM ENTERING THE TRENCH.
4. INSTALL FILTER CLOTH, UNDERDRAIN GRAVEL, OBSERVATION WELLS, INLET AND STORM DRAINS. CONDUCT PARTIAL AS-BUILT SURVEY OF TRENCH DIMENSIONS THROUGHOUT INSTALLATION.
5. BACKFILL WITH PLANTING SOIL AND MULCH LAYER TAKING EXTREME CARE SO THAT NO SEDIMENT ENTERS THE STORMWATER MANAGEMENT FACILITY.
6. STABILIZE THE AREAS DISTURBED BY INSTALLATION OF THE STORMWATER MANAGEMENT FACILITY.
7. CONDUCT FINAL AS-BUILT SURVEY OF STORMWATER MANAGEMENT FACILITY AND SUBMIT TO APPROPRIATE AGENCIES WITHIN 30 DAYS OF COMPLETION.

MSC DATUM TOTAL DISTURBED AREA
43,760 SQ. FT., 1.0 AC +/-

DRC #070201C

1/7/63
Date

STATE OF MARYLAND
REGISTERED PROFESSIONAL ENGINEER
No. 24814

THIS PLAN IS SEALED & CE
AS BEING IN CONFORMANCE

ROBERT G. BATHURST, P.E.
Maryland Registered No. 241

PETITIONER'S

EXHIBIT NO 3