

BALTIMORE COUNTY
M A R Y L A N D

JAMES T. SMITH, JR.
County Executive

TIMOTHY M. KOTROCO, *Director*
Department of Permits and
Development Management

September 8, 2010

Judith M. Floam
Congregation Building Committee
Congregation Netivot Shalom
7602 Labyrinth Road
Baltimore, MD 21208

Dear Ms Floam:

RE: Spirit and Intent Request, Case 2009-0317-SPHA, Congregation Netivot Shalom, 7602 Labyrinth Road, 3rd Election District

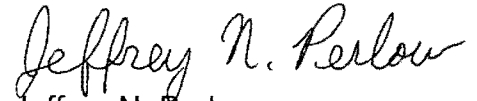
Your recent letter to Timothy Kotroco, Director of the Department of Permits and Development Management, was forwarded to me for reply. After discussing your request with Carl Richards, Zoning Review Supervisor, and Thomas Bostwick, Deputy Zoning Commissioner, and based on the information provided therein and my review of the available zoning records, the following has been determined:

1. Provided the proposed open deck and handicap ramp maintain the residential appearance and character of the existing property/structure, and provided no additions or changes are made to the open deck in the future (other than temporary holiday enclosures), then the aforementioned open deck and handicapped ramp is approved as being in the spirit and intent of the Baltimore County Zoning Regulations (BCZR) and the Zoning Commissioner's order in Case # 2009-0317-SPHA.
2. A copy of your request letter, this response and the red-lined hearing plan will be recorded and made a permanent part of the zoning case file.
3. A verbatim copy of this response must be affixed to any building permit site plans prior to building permit application.
4. This approval is for zoning only, and you will be required to comply with all other County and State regulations relative to this property.

The foregoing is merely an informal opinion. It is not an expert or legal opinion, it is not intended to be relied on as expert or legal advice, and it is not legally or factually binding on Baltimore County or any of its officials, agents, or employees. Baltimore County expressly disclaims any and all liability arising out of, or in any way connected with the information provided in this document, or any interpretation thereof.

I trust that the information set forth in this letter is sufficiently detailed and responsive to the request. If you need further information or have any questions, please do not hesitate to contact me at 410-887-3391.

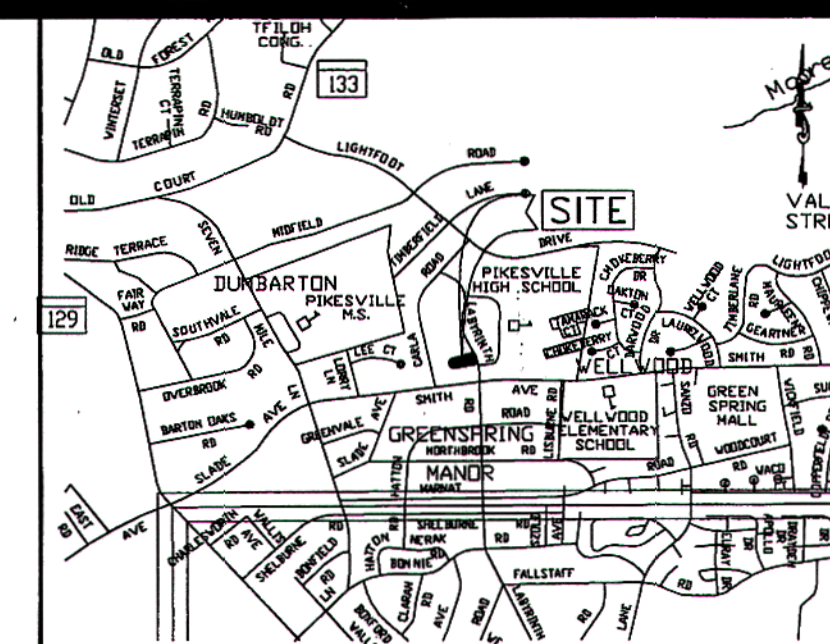
Sincerely,


Jeffrey N. Perlow
Planner II
Zoning Review

JNP

c: Zoning Hearing File # 2009-0317-SPHA
File-Spirit & Intent Letters

LEGEND
 PROPERTY LINE ———
 STREET LINE ———
 EX. CONTOURS - - - - -
 EX. EASEMENT - - - - -
 DENOTES FRONT OF BUILDING →

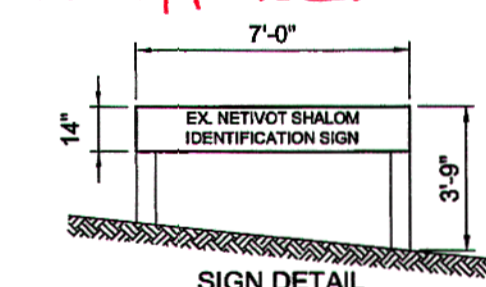


VICINITY MAP
 SCALE: 1"=2000'

GENERAL NOTES

- OWNER/DEVELOPER:
 NETIVOT SHALOM/THE NEW SHUL OF BALTIMORE
 7602 LABYRINTH ROAD
 BALTIMORE, MD. 21208
 PHONE NO. 443-630-9520
- TAX ACCOUNT NO. 0304038880
 DEED REFERENCE 22537/70
 PLAT REFERENCE 26/129
 TAX MAP NO. 78, PARCEL 559
 SITE AREA 14,670 SQ. FT.
- EX. USE - DWELLING
 PROP. USE - SYNAGOGUE - 48 SANCTUARY SEATS
 THERE IS NO ZONING HISTORY FOR THIS SITE.
- ZONED DR-5.5 ZONING MAP NO. 78C1
 THERE IS NO ZONING HISTORY FOR THIS SITE.
- THIS SITE IS SERVED BY PUBLIC WATER AND SEWER
- THIS SITE IS NOT IN THE CHESAPEAKE BAY CRITICAL AREA OR A 100-YEAR FLOODPLAIN.
- THERE ARE NO HISTORIC BUILDINGS ON THIS SITE.
- OFF-STREET PARKING:
 REQUIRED: 12 SPACES
 PROPOSED: 12 SPACES
 12 SPACES PROVIDED BY AGREEMENT WITH PIKESVILLE HIGH SCHOOL ON SCHOOL PARKING LOT. ALL PARKING IS DURABLE, DUSTLESS AND PERMANENTLY STRIPED.
- ALL SIGNS WILL MEET THE REQUIREMENTS OF SEC. 450, BCZP
- SETBACKS: REQUIRED PROPOSED (EXISTING)
 FRONT 40 FT. 38 FT.
 INTERIOR SIDE 20 FT. 8 FT./10 FT.
 REAR 30 FT. 158 FT.
- RTA REQUIREMENTS:
 BUILDING SETBACK
 REQUIRED 75 FT.
 PROPOSED (EXISTING) 38 FT.
 FRONT 8 FT./10 FT.
 SIDE 0 FT.
 REAR 158 FT.
 BUFFER
 REQUIRED 50 FT.
 PROPOSED (EXISTING) 0 FT.
 FRONT 0 FT.
 SIDE 0 FT.
 REAR 0 FT.
 PARKING SETBACK
 REQUIRED 75 FT.
 PROPOSED (EXISTING) 0 FT.
 0 FT. BUFFER
- PREVIOUS COMMERCIAL PERMITS: NONE

All above items approved in Case No. 2009-0317-SPHA.



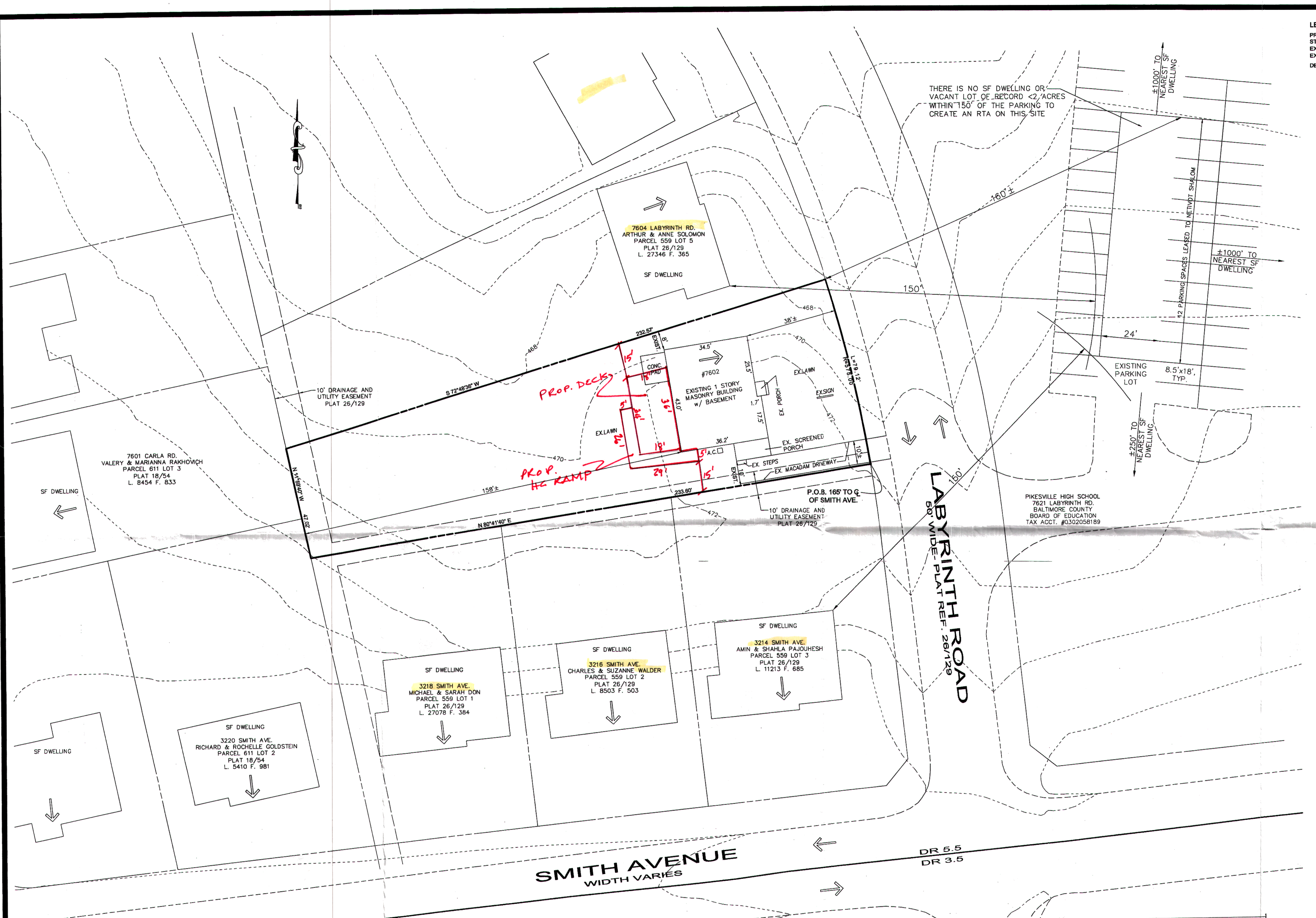
PLAN TO ACCOMPANY
 SPECIAL HEARING AND VARIANCE PETITIONS
NETIVOT SHALOM
7602 LABYRINTH ROAD
Redline Plan for Spirit of Intent Request
 3rd ELECTION DISTRICT 2nd COUNCILMANIC DISTRICT 7-3-10
 BALTIMORE COUNTY, MARYLAND
 GRAPHIC SCALE

(IN FEET)
 1 inch = 20 ft.

Colbert Matz Rosenfelt, Inc.
 Engineers * Surveyors * Planners
 2835 Smith Avenue, Suite G
 Baltimore, Maryland 21209
 Telephone: (410) 653-3838
 Facsimile: (410) 653-7953

Professional Certification		SCALE: 1"= 20'	
I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.		DATE: June 1, 2009	
License No. _____ Expiration Date: _____		JOB NO.: 2006-150	
		DESIGNED: CMR	
		DRAWN: AKC/XJC	
		CHECKED: CMR	
		FILE: 2006150 BASE2.dwg	
		DRAWING NUMBER: SPH-1	
NO.	DATE	REVISIONS:	BY SHEET 1 OF 1

APPROVED AS BEING WITHIN THE SPIRIT AND INTENT OF THE PLAN AND ORDER IN ZONING CASE # 2009-0317-SPHA
Jeffrey Kellum 6/8/10
 PLANNER II



Congregation Netivot Shalom
7602 Labyrinth Road
Baltimore, Maryland 21208

To: JNLP
ASAP
9/3/10 uc
10/237

Mr. Timothy Kotroco
Department of Permits and
Development Management
111 W. Chesapeake Avenue
Towson, Md. 21204

Re: Spirit and Intent Request
Congregation Netivot Shalom
7602 Labyrinth Road
Case No. 2009-0317-SPHA

Dear Mr. Kotroco,

This request is for a synagogue which was approved in Case Number 2009-0317-SPHA. The approval was to use an existing building as a synagogue. The approval included setback variances to the existing building, RTA waivers, a modified parking plan and modified landscape standards.

The Congregation proposes to build a deck with handicap ramp at the rear of the building, as shown on the enclosed redline plan. There are no other changes proposed to the building and the number of sanctuary seats remains the same. We therefore request approval of the deck as being within the Spirit and Intent of the zoning approval in the above-referenced case.

We are requesting expedited approval because we would like to build the deck in time for use for an upcoming Jewish holiday, and we enclose a check for \$ 250.00 for this request.

Yours truly,



Judith M. Floam
For the Congregation Building Committee

cc: Yacov Margolese

**IN RE: PETITIONS FOR SPECIAL HEARING
AND VARIANCE**

W side of Labyrinth Road; 165 feet N
of the c/l of Smith Avenue
3rd Election District
2nd Councilmanic District
(7602 Labyrinth Road)

Netivot Shalom The New Shul of Baltimore, Inc. *
By Howard M. Lederman, President
Petitioner

* BEFORE THE
* DEPUTY ZONING
* COMMISSIONER
* FOR BALTIMORE COUNTY

* **Case No. 2009-0317-SPHA**

* * * * *

FINDINGS OF FACT AND CONCLUSIONS OF LAW

This matter comes before this Deputy Zoning Commissioner for consideration of Petitions for Special Hearing and Variance filed by the legal owner of the subject property, Netivot Shalom The New Shul of Baltimore, Inc., by Howard M. Lederman, President. Petitioner is requesting Special Hearing relief in accordance with Section 500.7 of the Baltimore County Zoning Regulations ("B.C.Z.R.") as follows:

- To determine pursuant to Section 1B01.1.B.1.g(6) of the Baltimore Zoning Regulations (B.C.Z.R.) that the proposed synagogue is planned in such a way that compliance, to the extent possible with Residential Transition Area (RTA) use requirements, will be maintained and can be expected to be compatible with the character and general welfare of the surrounding residential premises; and
- To approve a modified parking plan pursuant to Section 409.12.B of the B.C.Z.R.; and
- To approve a modification of landscaping standards pursuant to Section 409.8.A.1 of the B.C.Z.R.

Petitioner is also requesting Variance relief from Section 1B01.2.C.1.a of the Baltimore County Zoning Regulations (B.C.Z.R) to permit a front non-residential building setback in a D.R.5.5 Zone

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of 38 feet in lieu of the 40 feet required; and side non-residential building setbacks in a D.R.5.5 Zone of 8 and 10 feet in lieu of 20 feet required. The subject property and requested relief are more fully described on the site plan which was marked and accepted into evidence as Petitioner's Exhibit 1.

Appearing at the requisite public hearing in support of the requested relief was Howard M. Lederman, President, on behalf of Petitioner Netivot Shalom The New Shul of Baltimore, Inc. (hereinafter "Petitioner" or "Netivot Shalom"), and Jeffrey Coleman, Treasurer. Also appearing in support of the requested relief was Deborah C. Dopkin, Esquire, attorney for Petitioner, and Kenneth J. Colbert with Colbert Matz Rosenfelt, Inc., the professional engineer who prepared the site plan. The case garnered interest from the surrounding community and a number of neighbors and interested persons attended in support of the requested relief. Their names and addresses are listed on the "Petitioner's Sign-In Sheet" contained within the case file. Also attending were several interested citizens who were opposed to the relief in some respects. They were identified as Charles Walder of 3216 Smith Avenue and Ruth Goldstein of 3226 Midfield Road.

Testimony and evidence presented revealed that the subject property is a rectangular-shaped property consisting of approximately 14,670 square feet or 0.337 acre, more or less, zoned D.R.5.5. The property is located on the west side of Labyrinth Road just north of Smith Avenue, east of Seven Mile Lane and one quarter mile north of the Baltimore City/Baltimore County line. As shown on the aerial photograph that was marked and accepted into evidence as Petitioner's Exhibit 2, the property is situated in a residential area and is also close by a shopping center and several schools, with Pikesville High School located directly across the street on Labyrinth Road. The property is improved with an existing one-story masonry structure with a finished basement and a driveway that runs along the south side of the property to a side porch. The structure

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consists of approximately 1,500 square feet and was originally built in 1960 as a single-family dwelling as part of Section 1 of the "Labyrinth" subdivision shown on the subdivision plat that was marked and accepted into evidence as Petitioner's Exhibit 3.

The structure had been used over the years as a dwelling; however, Petitioner purchased the property in August 2005 and the structure has been used as a synagogue for Petitioner's membership since that time. In order for that use to continue, Petitioner has requested certain zoning relief to legitimize existing conditions, including special hearing relief to determine that the synagogue is planned in such a way to be compliant, to the extent possible, with Residential Transition Area (RTA) use requirements, and will be maintained and is compatible with the character and general welfare of the surrounding residential premises; to approve a modified parking plan; and to approve modification of landscaping standards. Petitioner has also requested variance relief to permit an existing front non-residential building setback of 38 feet in lieu of the 40 feet required and existing side non-residential building setbacks of 8 and 10 feet in lieu of 20 feet required.

In support of the special hearing and variance requests, Kenneth Colbert, a professional engineer with Colbert Matz Rosenfelt, Inc., was called to testify and was offered and accepted as an expert in land use, zoning, and interpretation of the Baltimore County Zoning Regulations. Mr. Colbert has been a professional engineer for approximately 40 years and testified as to his knowledge of the subject property and his involvement in the preparation of the site plan. He also submitted an exhibit containing photographs of the property and the surrounding areas of Labyrinth Road that was collectively marked and accepted into evidence as Petitioner's Exhibit 4. These photographs essentially show a residential neighborhood with similar looking structures and

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the large parking lot of Pikesville High School directly across the street and in the closest proximity to the subject property.

Particularly as to the special hearing request regarding the Residential Transition Area (RTA) requirements, Mr. Colbert explained that although a synagogue is a permitted use in the D.R.5.5 Zone, its existing location at the subject property makes full compliance with the RTA requirements impossible. The location is an existing, mature neighborhood with well-established structures and setbacks. As shown on the RTA Setback Exhibit that was marked and accepted into evidence as Petitioner's Exhibit 5, due to the size and width of the property, the 75 foot RTA setback requirement would completely overlap both sides of the property, rendering strict compliance with this requirement unattainable. Mr. Colbert also indicated that the present use of the property as a synagogue and the limited number of members, as well as the fact that the property will retain its residential aspect and appearance, make strict compliance impractical and unnecessary. As to the request for a modified parking plan and modification of landscape standards, Mr. Colbert further explained that most members of the synagogue live in close proximity and walk to services. Petitioner also has the consent of the nearby high school to utilize the parking across the street should the need ever arise. In addition, a review of the two photographs of the subject property that were marked and accepted into evidence as Petitioner's Exhibit 6 show the existing landscaping to be more than sufficient to give the property a residential look and in keeping with the rest of the neighborhood. A schematic of the existing landscaping with identification of trees and shrubs was also marked and accepted into evidence as Petitioner's Exhibit 7. Mr. Colbert opined that any additional landscaping or changes to the existing landscaping would not be in character with the neighborhood.

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As to the variance request, Mr. Colbert discussed the constraints on the property in its use as a synagogue. Under Section 1B02.3.C.1 of the B.C.Z.R., as a single-family residence, the minimum front yard depth would be 25 feet and the minimum side yard widths would be 10 feet on each side; however, in using the structure as a building for religious worship -- such as a synagogue, which is a use permitted as of right pursuant to Section 1B01.1.A.3 of the B.C.Z.R. -- the non-residential setbacks contained in Section 1B01.2.C.1.a of the B.C.Z.R. are much greater, with minimum front yard setbacks of 40 feet and side yard setbacks on each side of 20 feet. Initially, Mr. Colbert pointed out that the existing 8 foot side yard setback at the northern rear corner of the building would not comply with the setback requirements in any event, whether residential or non-residential. He also indicated that strict compliance with the non-residential setback requirements would force Petitioner to demolish the existing building and construct a much smaller and narrower structure -- one that would definitely not be in keeping with the look and character of the neighborhood. It would also have the practical effect of preventing a permitted and desirable use of the property as a small synagogue, rather than the unkempt residential rental property it was used as previously.

In addition, Mr. Colbert briefly discussed the 502.1 standards set forth in the B.C.Z.R. for special exception uses, which -- although not directly on point in the instant matter -- are instructive to show how slight the impact of the synagogue use is at the subject property. He opined that the use would not be detrimental to the health, safety, or general welfare of the locale and would not have any negative impacts on the other 502.1 criteria. Indeed, the past three to four years bear out that the synagogue has fit in very well with the residential appearance and character of the community, and has benefited members of the community who worship at the synagogue.

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Finally, Mr. Colbert also pointed out that the existing sign is in compliance with the sign regulations for the non-residential use as a synagogue.

Also testifying in support of the relief was Jeffrey Coleman of 3111 Hatton Road located approximately three blocks from the subject property on the south side of Smith Avenue. Mr. Coleman is the treasurer of Petitioner's congregation and is a certified public accountant. He indicated that the congregation was started in 2004 and incorporated as a 501(c)(3) non-profit organization under the Internal Revenue Code. Mr. Coleman indicated the property was acquired in August 2005 from an absentee landlord living in Florida who rented the home as a dwelling, but allowed the property to erode into a state of disrepair. After purchasing the property, the members of the congregation used several weekends during the ensuing fall to clean up the property and make improvements. Their efforts were memorialized in a number of photographs that were collectively marked and accepted into evidence as Petitioner's Exhibit 8. A number of "before" photographs showing the interior condition of the building prior to the cleanup and renovations were also collectively marked and accepted into evidence as Petitioner's Exhibit 9.

Mr. Coleman advised that the full membership of the congregation is approximately 40 people and services at the subject property occur mainly on Friday mornings, Saturday mornings and evenings, and Sunday mornings, as well as during high holidays. Photographs showing the areas of worship located in the basement of the building were collectively marked and accepted into evidence as Petitioner's Exhibit 11. There are essentially two areas of worship divided by a curtain that bisects the basement and provides separate areas for men and women of the congregation, as well as a reader's table and area for the scrolls. The bedrooms on the main upstairs level are used for children's programs during services and the living room/dining room areas are used for socializing after services. Mr. Coleman noted that the kitchen is not used for

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cooking or food preparation, but rather the running water and refrigerator are used as a convenience to the congregation. Finally, Mr. Coleman stressed that the current congregation is a close-knit community and, while membership may fluctuate slightly from time to time and new members are welcome, there are no plans to physically change or alter or expand the existing configuration or layout of the building. According to Mr. Coleman, the property and the existing building provide the congregation with ample room for their religious activities.

Testifying as an interested citizen was Charles Walder of 3216 Smith Avenue. Mr. Walder's property is just south of the subject property. His rear yard abuts the subject property and his front yard fronts Smith Avenue. He has lived there for almost 20 years. Presently, he is concerned about Petitioner's requested relief because he is apprehensive that this would be the first step toward further expansion of the property and changes in the residential appearance of the property, especially so close to his property. On the one hand, Mr. Walder indicated he is not opposed to the property being used as a place for people to pray, and has no objection to the existing sign in front of the subject property; however, on the other hand, he feels that the property should continue to be a house instead of designated as a "synagogue." His testimony was also summarized in a letter to this Commission dated August 5, 2009, which was marked and accepted into evidence as Protestant's Exhibit 1.

Also testifying as an interested citizen was Ruth Goldstein of 3226 Midfield Road. Ms. Goldstein's property is located approximately one half mile north of the subject property. She is also President of the Greater Midfield Association. Ms. Goldstein presented a letter dated July 29, 2009 from Barry Holt Blank, Vice President of the Pikesville-Greenspring Community Coalition, Inc., indicating his organization voted to oppose a requested sign variance submitted by Netivot Shalom. This letter was marked and accepted into evidence as Protestant's Exhibit 2. Ms.

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Goldstein indicated that her organization, Greater Midfield Association, does not have a formal position on the instant matter; however, she also indicated that as a neighbor and interested citizen, her main concern and objection is with the existing sign on the front lawn of the subject property. She believes that because the neighborhood is residential, even though Petitioner is using the property for a permitted non-residential use, the sign should be a size (approximately one foot by one foot) that is permitted for a residential use. In Ms. Goldstein's view, allowing a larger sign for a non-residence only exacerbates the non-residential look of the property and makes it stand out in a negative way.

Finally, a letter dated August 10, 2009 from Ann Halpern of 7606 Labyrinth Road was submitted expressing opposition to a variance that allows the subject property to change its use or future uses and opposition to any sign that needs a variance to permit it. This letter was marked and accepted into evidence as Protestant's Exhibit 3. In response, Petitioner submitted 12 letters from various neighbors in and around the Greater Midfield Association, including adjacent neighbors, that expressed support for the synagogue and the related special hearing and variance requests. These letters were collectively marked and accepted into evidence as Petitioner's Exhibit 12.

The Zoning Advisory Committee (ZAC) comments were received and are made part of the record of this case. Comments were received from the Office of Planning dated July 6, 2009 which indicates that the Office does not oppose Petitioner's request.

Turning first to the Petition for Special Hearing, I am persuaded to grant the requested relief. As to the Residential Transition Area (RTA) requirements, Section 1B01.1.B.1.g(6) of the B.C.Z.R. states that the RTA restrictions do not apply to a building for religious worship provided the site plan for which has been approved after a public hearing, as well as a finding that proposed

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improvements to the property are planned in such a way that compliance, to the extent possible with RTA use requirements, will be maintained and can otherwise be expected to be compatible with the character and general welfare of the surrounding residential premises. In the instant matter, I am easily persuaded that the purposes of the RTA will be fulfilled and that the property and the building will be compatible with the character and general welfare of the community. The property has been used as a synagogue for a number of years with no changes to the building or the overall appearance of the property in that time. In addition, Petitioner's representatives repeatedly testified that there are no plans to significantly increase the number of members in the congregation or make any changes in, or expansion of, the existing building.

As to the request for a modified parking plan and modification of landscaping standards, I am also persuaded to grant these requests. It is clear from the evidence -- and from the experience of the last five years -- that the existing parking situation is more than adequate to meet the needs of the congregation. Most members live in close proximity to the subject property -- within the community "Eruv" -- and walk to services. Moreover, in the unlikely event that more parking is required, there is availability in the parking lot of adjacent Pikesville High School across the street. It is also clear from the evidence that the existing landscaping is in keeping with the residential character of the neighborhood. Based on the photographs in evidence, I believe that any changes to the landscaping -- whether more or less or different landscaping -- would make the subject property stand out and be less similar to the other residential properties.

As to the variance requests, considering all of the testimony and evidence presented, I am convinced that the requests should be granted. I find special circumstances or conditions exist that are peculiar to the land or structure which is the subject of the variance request. The use of the property as a place for religious worship is a use permitted by right, yet even though the physical

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appearance of the property is unchanged and unaltered from that of a dwelling and fits in with the residential neighborhood, the setback requirements are significantly more demanding for this non-residential use and impacts the subject property disproportionately as compared to other similar properties in the zoning district. Hence, I find the property to be unique in a zoning sense. I also find that strict compliance with the B.C.Z.R. would result in practical difficulty and undue hardship upon Petitioner. Petitioner would be compelled to make significant alterations or demolish the existing structure in order to erect a much smaller and narrower structure that would comply with the non-residential setback requirements.

Lastly, I find that these variance requests can be granted in strict harmony with the spirit and intent of said regulations, and in such manner as to grant relief without injury to the public health, safety and general welfare.

Pursuant to the advertisement, posting of the property and public hearing held, and after considering the testimony and evidence offered, I find that Petitioner's special hearing and variance requests should be granted.

THEREFORE, IT IS ORDERED by the Deputy Zoning Commissioner for Baltimore County this 2nd day of September, 2009 that Petitioner's Special Hearing request in accordance with Section 500.7 of the Baltimore County Zoning Regulations (B.C.Z.R.) as follows:

- To determine pursuant to Section 1B01.1.B.1.g(6) of the Baltimore Zoning Regulations (B.C.Z.R.) that the proposed synagogue is planned in such a way that compliance, to the extent possible with Residential Transition Area (RTA) use requirements, will be maintained and can be expected to be compatible with the character and general welfare of the surrounding residential premises; and
- To approve a modified parking plan pursuant to Section 409.12.B of the B.C.Z.R.; and

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- To approve a modification of landscaping standards pursuant to Section 409.8.A.1 of the B.C.Z.R.,

be and are hereby GRANTED; and

IT IS FURTHER ORDERED that Petitioner's variance requests from Section 1B01.2.C.1.a of the Baltimore County Zoning Regulations (B.C.Z.R) to permit a front non-residential building setback in a D.R.5.5 Zone of 38 feet in lieu of the 40 feet required; and side non-residential building setbacks in a D.R.5.5 Zone of 8 and 10 feet in lieu of 20 feet required be and are hereby GRANTED, subject to the following:

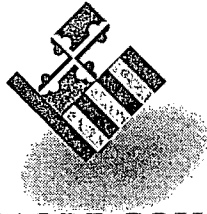
1. Petitioner is advised that it may apply for any required building permits and be granted same upon receipt of this Order; however, Petitioner is hereby made aware that proceeding at this time is at its own risk until the 30-day appeal period from the date of this Order has expired. If for whatever reason, this Order is reversed, Petitioner would be required to return, and be responsible for returning, said property to its original condition.
2. Any additions or changes to the residential appearance or character of the existing property or structure shall require a special hearing to reassess the Residential Transition Area use requirements, and a determination as to whether the proposed improvements to the property are planned in such a way that compliance, to the extent possible with RTA use requirements, will be maintained and can otherwise be expected to be compatible with the character and general welfare of the surrounding residential premises.

Any appeal of this decision must be made within thirty (30) days of the date of this Order.


THOMAS H. BOSTWICK
Deputy Zoning Commissioner
for Baltimore County

THB:pz

~~APPROVED FOR FILED~~
9-2-09
M



BALTIMORE COUNTY
M A R Y L A N D

JAMES T. SMITH, JR.
County Executive

THOMAS H. BOSTWICK
Deputy Zoning Commissioner

September 2, 2009

DEBORAH DOPKIN, ESQUIRE
409 WASHINGTON AVENUE, SUITE 1000
TOWSON, MD 21204

Re: Petition for Special Hearing and Variance
Case No. 2009-0317-SPHA
Property: 7602 Labyrinth Road

Dear Ms. Dopkin:

Enclosed please find the decision rendered in the above-captioned case.

In the event the decision rendered is unfavorable to any party, please be advised that any party may file an appeal within thirty (30) days from the date of the Order to the Department of Permits and Development Management. If you require additional information concerning filing an appeal, please feel free to contact our appeals clerk at 410-887-3391.

Very truly yours,

A handwritten signature in black ink, appearing to read "Thomas H. Bostwick", written over a printed name.

THOMAS H. BOSTWICK
Deputy Zoning Commissioner
for Baltimore County

THB:pz
Enclosure

- c: Kenneth J. Colbert and Judith M. Floam, Colbert, Matz & Rosenfelt, 2835 Smith Avenue, Suite G, Baltimore, MD 21209
Howard M. Lederman, President, Netivot Shalom The New Shul of Baltimore, Inc., 7602 Labyrinth Road, Baltimore MD 21208
Jeffrey Coleman, 3111 Hatton Road, Baltimore MD 21208
Jennifer Bader, 3305 Labyrinth Road, Baltimore MD 21208
Yacov Margolese, 6808 Timberline Road, Baltimore MD 21208
Judy and Walter Michelson, 3209 Midfield Road, Baltimore MD 21208
Charles Walder, 3216 Smith Avenue, Pikesville MD 21208
Ruth Goldstein, 3226 Midfield Road, Baltimore MD 21208
Ann Halpern, 7606 Labyrinth Road, Baltimore MD 21208
Barry Holt Blank, Vice President, Pikesville-Greenspring Community Coalition, 3004 Old Court Road, Pikesville MD 21208
Christina Moscati, Code Enforcement Office, Baltimore County



Petition for Special Hearing

to the Zoning Commissioner of Baltimore County

for the property located at: 7602 Labyrinth Road

which is presently zoned DR-5.5

Deed Reference 22537 / 70 Tax Account # 0304036880

This Petition shall be filed with the Department of Permits and Development Management. The undersigned, legal owner(s) of the property situate in Baltimore County and which is described in the description and plat attached hereto and made a part of thereof, hereby petition for a Special Hearing under 500.7 of the Zoning Regulations of Baltimore County, to determine whether or not the Zoning Commission should approve

See attached.

Property is to be posted and advertised as prescribed by the zoning regulations.

I, or we, agree to pay expenses of above Special Hearing, advertising, posting, etc and further agree to and are to be bounded by the zoning regulations and restrictions of Baltimore County adopted pursuant to the zoning law for Baltimore County.

I/We do solemnly declare and affirm, under the penalties of perjury, that I/we are the legal owner(s) of the property which is the subject of this Petition.

Contract Purchaser/Lessee:

Name - Type or Print

Signature

Address

Telephone No.

City

State Zip Code

Attorney For Petitioner:

Deborah C. Dopkin, Esq.

Name - Type or Print

Signature

Law Offices of Deborah C. Dopkin, P.A.

Company

409 Washington Avenue

410-821-0200

Address

Telephone No.

Towson

MD 21204

City

State Zip Code

Legal Owner(s):

Netivot Shalom The New Shul of Baltimore, Inc.

Howard M. Lederman, President

Name - Type or Print

Signature

Name - Type or Print

Signature

443-630-9520

7602 Labyrinth Road

~~443-630-9520~~

Address

Telephone No.

Baltimore

MD 21208

City

State Zip Code

Representative to be Contacted:

Judith M. Floam

COLBERT MATZ ROSENFELT, INC

2835 Smith Avenue, Suite G

410-653-3838

Address

Telephone No.

Baltimore

MD 21209

City

State Zip Code

Case No. 2009-0317-SPH-A

9-2-09

OFFICE USE ONLY

ESTIMATED LENGTH OF HEARING

UNAVAILABLE FOR HEARING 7/19, 7/30, 8/14-24

Reviewed By [Signature] Date 6/8/09

Attachment to Special Hearing Petition – 7602 Labyrinth Road

To determine, pursuant to Section 1B01.1.B.1.g (6), BCZR, that the proposed synagogue is planned in such a way that compliance, to the extent possible with RTA use requirements, will be maintained and can be expected to be compatible with the character and general welfare of the surrounding residential premises.

To approve a modified parking plan, pursuant to Section 409.12.B, BCZR.

To approve a modification of landscaping standards, pursuant to Section 409.8.A.1, BCZR.



Petition for Variance

to the Zoning Commissioner of Baltimore County

for the property located at 7602 Labyrinth Road

which is presently zoned DR-5.5

Deed Reference 22537 / 70 Tax Account # 0304036880

This Petition shall be filed with the Department of Permits and Development Management. The undersigned, legal owner(s) of the property situate in Baltimore County and which is described in the description and plat attached hereto and made a part of thereof, hereby petition for a Variance from Section(s)

See Attached.

Of the Zoning Regulations of Baltimore County, to the zoning law of Baltimore County, for the following reasons: (indicate hardship or practical difficulty)

Reasons to be presented at the hearing.

Property to be posted and advertised as prescribed by the zoning regulations.

I, or we, agree to pay expenses of above Variance, advertising, posting, etc and further agree to and are to be bounded by the zoning regulations and restrictions of Baltimore County adopted pursuant to the zoning law for Baltimore County.

I/We do solemnly declare and affirm, under the penalties of perjury, that I/we are the legal owner(s) of the property which is the subject of this Petition.

Contract Purchaser/Lessee:

Name - Type or Print

Signature

Address Telephone No.

City State Zip Code

Attorney For Petitioner:

Deborah C. Dopkin, Esq.

Name - Type or Print

Signature

Law Offices of Deborah C. Dopkin, P.A.

Company

409 Washington Avenue 410-821-0200

Address Telephone No.

Towson MD 21204

City State Zip Code

Legal Owner(s):

Netivot Shalom The New Shul of Baltimore, Inc.

Howard M. Lederman, President

Name - Type or Print

Signature

Name - Type or Print

Signature

7602 Labyrinth Road 443-630-9520

Address Telephone No.

Baltimore MD 21208

City State Zip Code

Representative to be Contacted:

Judith M. Floam

COLBERT MATZ ROSENFELT, INC

2835 Smith Avenue, Suite G 410-653-3838

Address Telephone No.

Baltimore MD 21209

City State Zip Code

OFFICE USE ONLY

ESTIMATED LENGTH OF HEARING

UNAVAILABLE FOR HEARING 7/9, 7/30, 8/14-24

Reviewed By tu Date 6/8/09

Case No. 2009-0317-SPH-A

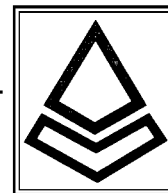
9-2-09
B3

Attachment to Variance Petition – 7602 Labyrinth Road

Variance from Section 1B01.2.C.1.a, BCZR, to permit a front non-residential building setback in a DR-5.5 zone of 38 feet in lieu of the 40 feet required, and side non-residential building setbacks in a DR-5.5 zone of 8 and 10 feet in lieu of 20 feet required;

Colbert Matz Rosenfelt, Inc.

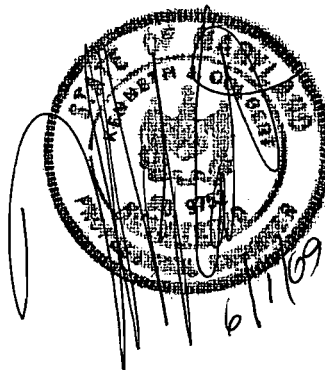
Civil Engineers • Surveyors • Planners



ZONING DESCRIPTION – 7602 LABYRINTH ROAD

Beginning at a point on the west side of Labyrinth Road, which is 50 feet wide, at a distance of 165 feet, more or less, north of the centerline of Smith Avenue, which is of varying width.

Being Lot 4 in Block A, Section 1, Plat 1 in the Subdivision of Labyrinth, which is recorded in the Baltimore County Land Records at Book 26, Page 129, and containing 14,670 square feet, more or less. Also known as 7602 Labyrinth Road and located in the 3rd Election District, 2nd Councilmanic District.



Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.

License No. 9752, Expiration Date: 2-28-10

2009-0317-SPH-A

BALTIMORE COUNTY, MARYLAND
OFFICE OF BUDGET AND FINANCE
MISCELLANEOUS CASH RECEIPT

No. **39837**

Date: **6/8/09**

PAID RECEIPT

AMOUNT PAID TO ORDER OF
 \$ 6.50
 RECEIVED BY
 NETIVOT SHALON
 DATE
 6/8/09
 BY
 [Signature]

Fund	Dept	Unit	Sub Unit	Rev Source/ Obj	Sub Rev/ Obj	Dept	Obj	BS Acct	Amount
001	806	1000		6150					6.50

Total: **6.50**

Rec From: **Netivot Shalon**

For: **7601 Lubwinth Rd**
1 **7029-0317-SPU/H**

DISTRIBUTION

WHITE - CASHIER PINK - AGENCY YELLOW - CUSTOMER GOLD - ACCOUNTING

PLEASE PRESS HARD!!!!

**CASHIER'S
 VALIDATION**

NOTICE OF ZONING HEARING

The Zoning Commissioner of Baltimore County, by authority of the Zoning Act and Regulations of Baltimore County will hold a public hearing in Towson, Maryland on the property identified herein as follows:

Case: # 2009-0317-SPHA

7602 Labyrinth Road

W/side of Labyrinth Road, 165 feet north of the centerline of Smith Avenue

3rd Election District --, 2nd Councilmanic District

Legal Owner(s): Netivot Shalom The New Shul of Baltimore, Inc., Howard Lederman, Pres.

Special Hearing: to determine that the proposed synagogue is planned in such a way that compliance, to the extent possible with RTA use requirements, will be maintained and can be expected to be compatible with the character and general welfare of the surrounding residential premises. To approve a modified parking plan. To approve a modification of landscaping standards. **Variance:** to permit a front non-residential building setback in a DR-5.5 zone of 38 feet in lieu of the 40 feet required, and side non-residential building setbacks in a DR-5.5 zone of 8 and 10 feet in lieu of 20 feet required.

Hearing: Monday, August 10, 2009 at 9:00 a.m. in the Jefferson Building, 105 West Chesapeake Avenue, Towson 21204.

WILLIAM J. WISEMAN, III
Zoning Commissioner for Baltimore County

NOTES: (1) Hearings are Handicapped Accessible; for special accommodations Please Contact the Zoning Commissioner's Office at (410) 887-4386.

(2) For information concerning the File and/or Hearing, Contact the Zoning Review Office at (410) 887-3391.

7/427 July 23

206352

CERTIFICATE OF PUBLICATION

7/23/2009

THIS IS TO CERTIFY, that the annexed advertisement was published in the following weekly newspaper published in Baltimore County, Md., once in each of 1 successive weeks, the first publication appearing on 7/23/2009.

- The Jeffersonian
- Arbutus Times
- Catonsville Times
- Towson Times
- Owings Mills Times
- NE Booster/Reporter
- North County News

J. Wilkinson

LEGAL ADVERTISING

CERTIFICATE OF POSTING

RE: Case No 2009-0317-SPHA

Petitioner/Developer NETVDT
SHALOM, HOWARD LEDERMAN

Date Of Hearing/Closing: 8/10/09

Baltimore County Department of
Permits and Development Management
County Office Building, Room 111
111 West Chesapeake Avenue

Attention:

Ladies and Gentlemen

This letter is to certify under penalties of perjury that the necessary
sign(s) required by law were posted conspicuously on the property
at 7607 LABYRINTH RD

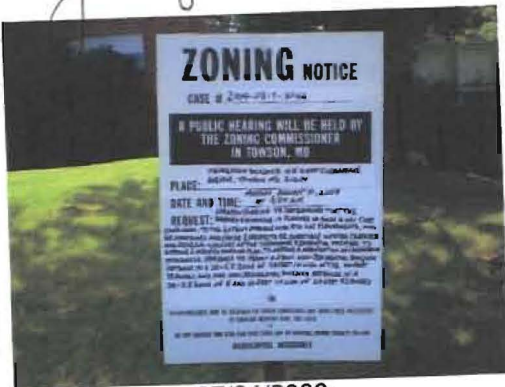
This sign(s) were posted on July 24, 2009

Month, Day, Year
Sincerely,

Martin Ogle 7/24/09
Signature of Sign Poster and Date

Martin Ogle
60 Chelmsford Court
Baltimore, Md, 21220
443-629-3411

Martin Ogle 7/24/09



07/24/2009

DEPARTMENT OF PERMITS AND DEVELOPMENT MANAGEMENT
ZONING REVIEW

ADVERTISING REQUIREMENTS AND PROCEDURES FOR ZONING HEARINGS

The Baltimore County Zoning Regulations (BCZR) require that notice be given to the general public/neighboring property owners relative to property which is the subject of an upcoming zoning hearing. For those petitions which require a public hearing, this notice is accomplished by posting a sign on the property (responsibility of the petitioner) and placement of a notice in a newspaper of general circulation in the County, both at least fifteen (15) days before the hearing.

Zoning Review will ensure that the legal requirements for advertising are satisfied. However, the petitioner is responsible for the costs associated with these requirements. The newspaper will bill the person listed below for the advertising. This advertising is due upon receipt and should be remitted directly to the newspaper.

OPINIONS MAY NOT BE ISSUED UNTIL ALL ADVERTISING COSTS ARE PAID.

For Newspaper Advertising:

Item Number or Case Number: 2009-0317-SPTA
Petitioner: Congregation Netivot Shalom
Address or Location: 7602 Labyrinth Rd.

PLEASE FORWARD ADVERTISING BILL TO:

Name: Congregation Netivot Shalom c/o Jeff Coleman
Address: 7602 Labyrinth Rd.
Baltimore, Md. 21208
Telephone Number: 443-630-9520

DEPARTMENT OF PERMITS AND DEVELOPMENT MANAGEMENT
ZONING REVIEW

ADVERTISING REQUIREMENTS AND PROCEDURES FOR ZONING HEARINGS

The Baltimore County Zoning Regulations (BCZR) require that notice be given to the general public/neighborhood property owners relative to property which is the subject of an upcoming zoning hearing. For those petitions which require a public hearing, this notice is accomplished by posting a sign on the property (responsibility of the petitioner) and placement of a notice in a newspaper of general circulation in the County, both at least fifteen (15) days before the hearing.

Zoning Review will ensure that the legal requirements for advertising are satisfied. However, the petitioner is responsible for the costs associated with these requirements. The newspaper will bill the person listed below for the advertising. This advertising is due upon receipt and should be remitted directly to the newspaper.

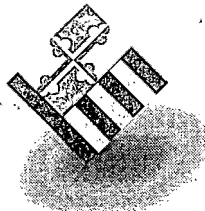
OPINIONS MAY NOT BE ISSUED UNTIL ALL ADVERTISING COSTS ARE PAID.

For Newspaper Advertising:

Item Number or Case Number: 2009-0317-SPHA
Petitioner: Congregation Netivot Shalom
Address or Location: 7602 Labyrinth Rd.

PLEASE FORWARD ADVERTISING BILL TO:

Name: Congregation Netivot Shalom c/o Jeff Coleman
Address: 7602 Labyrinth Rd.
Baltimore, Md. 21208
Telephone Number: 443-630-9520



BALTIMORE COUNTY

M A R Y L A N D

JAMES T. SMITH, JR.
County Executive

July 7, 2009
TIMOTHY M. KOTROCO, Director
Department of Permits and
Development Management

NOTICE OF ZONING HEARING

The Zoning Commissioner of Baltimore County, by authority of the Zoning Act and Regulations of Baltimore County, will hold a public hearing in Towson, Maryland on the property identified herein as follows:

CASE NUMBER: 2009-0317-SPHA

7602 Labyrinth Road

W/side of Labyrinth Road, 165 feet north of the centerline of Smith Avenue

3rd Election District – 2nd Councilmanic District

Legal Owners: Netivot Shalom The New Shul of Baltimore, Inc., Howard Lederman, Pres.

Special Hearing to determined that the proposed synagogue is planned in such a way that compliance, to the extent possible with RTA use requirements, will be maintained and can be expected to be compatible with the character and general welfare of the surrounding residential premises. To approve a modified parking plan. To approve a modification of landscaping standards. Variance to permit a front non-residential building setback in a DR-5.5 zone of 38 feet in lieu of the 40 feet required, and side non-residential building setbacks in a DR-5.5 zone of 8 and 10 feet in lieu of 20 feet required.

Hearing: Monday, August 10, 2009 at 9:00 a.m. in the Jefferson Building,
105 West Chesapeake Avenue, Towson 21204

A handwritten signature in black ink that reads "Timothy Kotroco".

Timothy Kotroco
Director

TK:klm

C: Deborah Dopkin, 409 Washington Avenue, Towson 21204
Howard Lederman, Pres., 7602 Labyrinth Road, Baltimore 21208
Judith Floam, Colbert, Matz, & Rosenfelt, 2835 Smith Ave., Ste. G, Baltimore 21209

- NOTES: (1) **THE PETITIONER MUST HAVE THE ZONING NOTICE SIGN POSTED BY AN APPROVED POSTER ON THE PROPERTY BY SATURDAY, JULY 25, 2009.**
- (2) HEARINGS ARE HANDICAPPED ACCESSIBLE; FOR SPECIAL ACCOMMODATIONS PLEASE CALL THE ZONING COMMISSIONER'S OFFICE AT 410-887-4386.
- (3) FOR INFORMATION CONCERNING THE FILE AND/OR HEARING, CONTACT THE ZONING REVIEW OFFICE AT 410-887-3391.

TO: PATUXENT PUBLISHING COMPANY
Thursday, July 23, 2009 Issue - Jeffersonian

Please forward billing to:
Jeff Coleman
7602 Labyrinth Road
Baltimore, MD 21208

443-630-9520

NOTICE OF ZONING HEARING

The Zoning Commissioner of Baltimore County, by authority of the Zoning Act and Regulations of Baltimore County, will hold a public hearing in Towson, Maryland on the property identified herein as follows:

CASE NUMBER: 2009-0317-SPHA

7602 Labyrinth Road

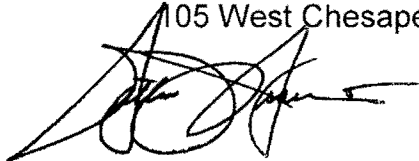
W/side of Labyrinth Road, 165 feet north of the centerline of Smith Avenue

3rd Election District – 2nd Councilmanic District

Legal Owners: Netivot Shalom The New Shul of Baltimore, Inc., Howard Lederman, Pres.

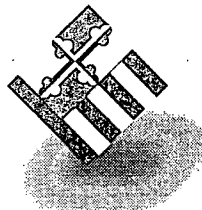
Special Hearing to determined that the proposed synagogue is planned in such a way that compliance, to the extent possible with RTA use requirements, will be maintained and can be expected to be compatible with the character and general welfare of the surrounding residential premises. To approve a modified parking plan. To approve a modification of landscaping standards. Variance to permit a front non-residential building setback in a DR-5.5 zone of 38 feet in lieu of the 40 feet required, and side non-residential building setbacks in a DR-5.5 zone of 8 and 10 feet in lieu of 20 feet required.

Hearing: Monday, August 10, 2009 at 9:00 a.m. in the Jefferson Building,
105 West Chesapeake Avenue, Towson 21204



WILLIAM J. WISEMAN III
ZONING COMMISSIONER FOR BALTIMORE COUNTY

- NOTES: (1) HEARINGS ARE HANDICAPPED ACCESSIBLE; FOR SPECIAL ACCOMODATIONS, PLEASE CONTACT THE ZONING COMMISSIONER'S OFFICE AT 410-887-4386.
(2) FOR INFORMATION CONCERNING THE FILE AND/OR HEARING, CONTACT THE ZONING REVIEW OFFICE AT 410-887-3391.



BALTIMORE COUNTY

M A R Y L A N D

JAMES T. SMITH, JR.
County Executive

TIMOTHY M. KOTROCO, *Director*
Department of Permits and
Development Management

August 5, 2009

Deborah Dopkin
Law Office of Deborah C. Dopkin, P.A.
409 Washington Ave.
Towson, MD 21204

Dear: Deborah Dopkin

RE: Case Number 2009-0317-SPHA, 7602 Labyrinth Rd.

The above referenced petition was accepted for processing **ONLY** by the Bureau of Zoning Review, Department of Permits and Development Management (PDM) on June 08, 2009. This letter is not an approval, but only a **NOTIFICATION**.

The Zoning Advisory Committee (ZAC), which consists of representatives from several approval agencies, has reviewed the plans that were submitted with your petition. All comments submitted thus far from the members of the ZAC are attached. These comments are not intended to indicate the appropriateness of the zoning action requested, but to ensure that all parties (zoning commissioner, attorney, petitioner, etc.) are made aware of plans or problems with regard to the proposed improvements that may have a bearing on this case. All comments will be placed in the permanent case file.

If you need further information or have any questions, please do not hesitate to contact the commenting agency.

Very truly yours,

A handwritten signature in black ink that reads "W. Carl Richards, Jr." with a stylized flourish at the end.

W. Carl Richards, Jr.
Supervisor, Zoning Review

WCR:lnw

Enclosures

c: People's Counsel
Howard M. Lederman; 7602 Labyrinth Rd.; Baltimore, MD 21208
Judith Floam; 2835 Smith Ave. Ste. G; Baltimore, MD 21209

TB 8-10
9 AM

BALTIMORE COUNTY, MARYLAND

INTER-OFFICE CORRESPONDENCE

TO: Timothy M. Kotroco, Director
Department of Permits and
Development Management

DATE: July 6, 2009

FROM: Arnold F. 'Pat' Keller, III
Director, Office of Planning

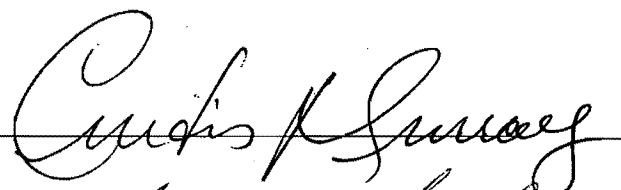
SUBJECT: Zoning Advisory Petition(s): **Case(s) 09-317- Special Hearing and Variance**

The applicant requests a special hearing and variance to allow an existing one story single family dwelling to be converted to a 48 seat synagogue. A modified parking plan and modifications to landscaping standards are also requested. The synagogue will share parking with Pikesville High School on the east side of Labyrinth Road opposite the site.

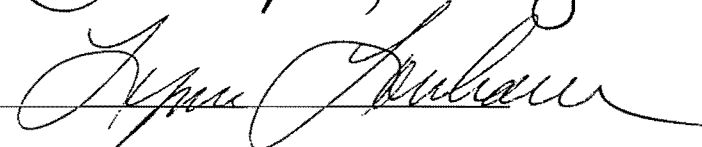
The Office of Planning has reviewed the above referenced case(s) and does not oppose the petitioner's request.

For further questions or additional information concerning the matters stated herein, please contact Diana Itter in the Office of Planning at 410-887-3480.

Prepared By:



Division Chief:
CM/LL



RECEIVED

JUL 09 2009

ZONING COMMISSIONER

TB 8/10
9am

BALTIMORE COUNTY, MARYLAND

Inter-Office Correspondence



RECEIVED

JUL 14 2009

ZONING COMMISSIONER

TO: Timothy M. Kotroco
FROM: Dave Lykens, DEPRM - Development Coordination
DATE: July 13, 2009
SUBJECT: Zoning Item # 09-317-SPHA
Address 7602 Labyrinth Road
(Lederman Property)

Zoning Advisory Committee Meeting of June 15, 2009

X The Department of Environmental Protection and Resource Management has no comments on the above-referenced zoning item.

Reviewer: JWL

Date: July 13, 2009

BALTIMORE COUNTY, MARYLAND
INTEROFFICE CORRESPONDENCE

TO: Timothy M. Kotroco, Director
Department of Permits &
Development Management

DATE: June 17, 2009

FROM: Dennis A. Kennedy, Supervisor
Bureau of Development Plans
Review

SUBJECT: Zoning Advisory Committee Meeting
For June 22, 2009
Item Nos. 2009-299, 315, 316,
317, and 318, 319

The Bureau of Development Plans Review has reviewed the subject-zoning items, and we have no comments.

DAK:CEN:dak
cc: File
ZAC-06172009 -NO COMMENTS



BALTIMORE COUNTY
M A R Y L A N D

JAMES T. SMITH, JR.
County Executive

JOHN J. HOHMAN, *Chief*
Fire Department

County Office Building, Room 111
Mail Stop #1105
111 West Chesapeake Avenue
Towson, Maryland 21204

June 4, 2009

ATTENTION: Zoning Review Planners

Distribution Meeting Of: June 22.2009

Item Numbers 299,0315,0316,0317,0318,0319,0320

Pursuant to your request, the referenced plan(s) have been reviewed by this Bureau and the comments below are applicable and required to be corrected or incorporated into the final plans for the property.

1. The Fire Marshal's Office has no comments at this time.

Lieutenant Roland P Bosley Jr.
Fire Marshal's Office
410-887-4881 (C)443-829-2946
MS-1102F

cc: File



State Highway Administration

Martin O'Malley, Governor | Anthony G. Brown, Lt. Governor

Beverley K. Swain-Staley, Acting Secretary | Neil J. Pedersen, Administrator

Maryland Department of Transportation

Date: JUNE 17, 2009

Ms. Kristen Matthews
Baltimore County Office of
Permits and Development Management
County Office Building, Room 109
Towson, Maryland 21204

RE: Baltimore County
Item No. 2009-0317-SPHA
7602 LABYRINTH ROAD
LEDERMAN PROPERTY
VARIANCE -
SPECIAL HEARING -

Dear Ms. Matthews:

Thank you for the opportunity to review your referral request on the subject of the above captioned. We have determined that the subject property does not access a State roadway and is not affected by any State Highway Administration projects. Therefore, based upon available information this office has no objection to Baltimore County Zoning Advisory Committee approval of Item No. 2009-0317-SPHA.

Should you have any questions regarding this matter, please contact Michael Bailey at 410-545-2803 or 1-800-876-4742 extension 5593. Also, you may E-mail him at (mbailey@sha.state.md.us).

Very truly yours,

[Handwritten signature of Steven D. Foster]

Foster Steven D. Foster, Chief
Engineering Access Permits
Division

SDF/MB

RE: PETITION FOR SPECIAL HEARING * BEFORE THE
 AND VARIANCE * ZONING COMMISSIONER
 7602 Labyrinth Road, W/S Labyrinth Road, *
 165' N c/line of Smith Avenue *
 3rd Election & 2nd Councilmanic Districts * FOR
 Legal Owner(s): Howard M. Lederman *
 Petitioner(s) * BALTIMORE COUNTY
 * 09-317-SPHA

* * * * *

ENTRY OF APPEARANCE

Pursuant to Baltimore County Charter § 524.1, please enter the appearance of People's Counsel for Baltimore County as an interested party in the above-captioned matter. Notice should be sent of any hearing dates or other proceedings in this matter and the passage of any preliminary or final Order. All parties should copy People's Counsel on all correspondence sent and all documentation filed in the case.

Peter Max Zimmerman

PETER MAX ZIMMERMAN
 People's Counsel for Baltimore County

Carole S. Demilio

CAROLE S. DEMILIO
 Deputy People's Counsel
 Jefferson Building, Room 204
 105 West Chesapeake Avenue
 Towson, MD 21204
 (410) 887-2188

RECEIVED

JUN 29 2009

.....

CERTIFICATE OF SERVICE

I HEREBY CERTIFY that on this 29th day of June, 2009, a copy of the foregoing Entry of Appearance was mailed to Judith Floam, PE, Colbert Matz Rosenfelt, Inc, 2835 Smith Avenue, Suite G, Baltimore, MD 21209 and Deborah C. Dopkin, Esquire, 409 Washington Avenue, St 1000, Towson, MD, 21204, Attorney for Petitioner(s).

Peter Max Zimmerman

PETER MAX ZIMMERMAN
 People's Counsel for Baltimore County



Pikesville-Greenspring Community Coalition, Inc.

Mical Wilmoth Carton, Executive Director
3004 Old Court Rd., Pikesville, MD 21208
410 486-6420 Phone / 410 484-8184 Fax / PGCC Inc@aol.com
<http://pgccinc.org>

TB
8-10-09

July 29, 2009

RECEIVED

AUG 07 2009

William J. Wiseman, III, Zoning Commissioner
Thomas H. Bostwick, Deputy Zoning Commissioner
111 West Chesapeake Avenue, Room 111
Towson, Maryland 21204

ZONING COMMISSIONER

RE: Case #2009 - 0317 - SPHA

Dear Commissioner Wiseman and Commissioner Bostwick:

At a meeting of the Board of Directors of the Pikesville-Greenspring Community Coalition, Inc. (PGCC) held on July 27, 2009, at which 15 Coalition voting members (of the Coalition's 18 voting members) were present, it was voted to oppose the requested sign variance submitted by Netivot Shalom by a vote of 14 members against the variance with one abstention.

A copy of this letter has been provided to Ruth Goldstein, the President of the Greater Midfield Association to present at the scheduled Zoning Hearing on this matter.

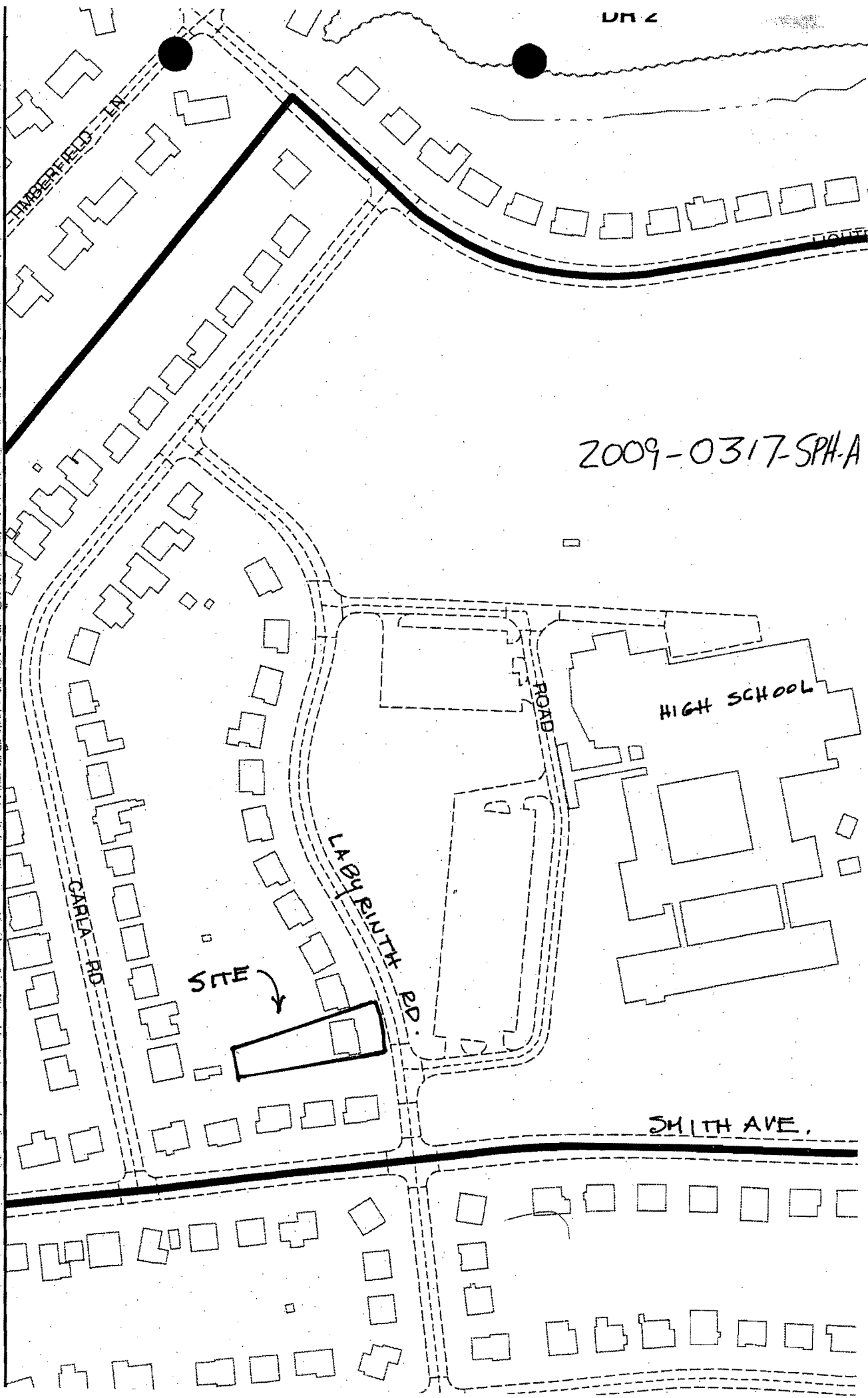
Sincerely,

Barry Holt Blank, Vice President
Pikesville-Greenspring Community Coalition, Inc.

PGCC Inc. Member Associations

- Brookstone Condominium Association • Dumbarton-Stevenson Civic & Improvement Assn., Inc. • Falls Garden Condo Assn. • Greengate Community Association • Greenspring East HOA • Helmsley Court HOA, Inc. • Jones Valley Community Assn. • Midfield Assn., Inc. • Old Court-Greenspring Improvement Assn., Inc. • Quarry Lake at Greenspring • Stevenson Commons Condominium • Stevenson Crossing HOA • Stevenson Post HOA • Stevenson Ridge-Halcyon Assn. • Stevenson Village Condominium Assn., Inc. • Summit Chase HOA. • The Parke at Mt. Washington •

DN 2



2009-0317-SPH-A

MAP NO.
78C 1
1" = 200'

DIVISION OF CODE INSPECTIONS AND ENFORCEMENT

ACTIVE VIOLATION CASE DOCUMENTS

CO-0054143
7602 Labyrinth Road

BALTIMORE COUNTY MARYLAND
INTER-OFFICE CORRESPONDENCE

DATE: March 30, 2009

TO: W. Carl Richards, Jr.

FROM: Meghan Ferguson, Chief
Division of Code Inspections & Enforcement

SUBJECT: Item No: 2009-0317-SPHA
Legal Owner/Petitioner: Howard M. Lederman
Contract Purchaser:
Property Address: 7602 Labyrinth Rd
Location Description: West side of Labyrinth Road; 165 feet North of the
Centerline of Smith Avenue

Please be advised that the aforementioned petition is the subject of an active violation case. When the petition is scheduled for a public hearing, please notify the following person(s) regarding the hearing date:

In addition, please find attached a duplicate copy of the following pertinent documents relative to the violation case, for review by the Zoning Commissioner's Office:

Case No: CO-0054143

Photographs
Correction Notice

After the public hearing is held, please send a copy of the Zoning Commissioner's order to Christina Moscati in Room 213 in order that the appropriate action may be taken relative to the violation case.

MF/cm
C: Ryan Fisher, Code Enforcement Officer



CODE INSPECTIONS AND ENFORCEMENT CORRECTION NOTICE

CASE NUMBER CO-054143	PROPERTY TAX ID 0304036880	DATE ISSUED 2/11/09
NAME(S): NETIVOT SHALOM THE NEW SHUL		
MAILING ADDRESS OF BALTIMORE INC.		
CITY BALT	STATE MD	ZIP CODE 21208
VIOLATION ADDRESS SAME		
CITY BALTIMORE	STATE MARYLAND	ZIP CODE

DID UNLAWFULLY VIOLATE THE FOLLOWING BALTIMORE COUNTY LAWS:

RESIDENTIAL ZONE CLASSIFICATION

- DR1 DR2 DR3.5 DR5.5 DR10.5 DR16
 RC2(1A01) RC4(1A03) RC20 & 50 (1A05) RC6(1A07)
 RC3(1A02) RC5(1A04) RCC (1A06) RC7 (1A08)
 OTHER: _____

NON-RESIDENTIAL CLASSIFICATION

- BL (230) BR (236) BM (233)
 MR (240) ML (253) MH (256)
 OTHER: _____

BALTIMORE COUNTY ZONING REGULATIONS (B.C.Z.R.)

AUTHORITY TO ENFORCE ZONING REGULATIONS: 32-3-102; 32-3-602; 32-3-603; 32-4-114

- | | |
|---|--|
| <input type="checkbox"/> 101; 102.1: Definitions; general use | <input type="checkbox"/> 415A: License/ remove untagged recreation vehicle |
| <input type="checkbox"/> 1B01.1: DR Zones-use regulations | <input type="checkbox"/> 415A: Improperly parked recreation vehicle |
| <input type="checkbox"/> 428: License/ Remove all untagged/ inoperative or damaged/ disabled motor vehicle(s) | <input type="checkbox"/> 415A: One recreational vehicle per property |
| <input type="checkbox"/> 1B01.1D: Remove open dump/ junk yard | <input type="checkbox"/> 410: Illegal Class II trucking facility |
| <input type="checkbox"/> 431: Remove commercial vehicle(s) | <input type="checkbox"/> 400: Illegal accessory structure placement. |
| <input type="checkbox"/> 101; 102.1: Remove contractors equip. storage yard | <input type="checkbox"/> 1B02.1; 270; 421.1: Illegal kennel. Limit 3 dogs |
| <input type="checkbox"/> 101; 102.1; ZCPM: Cease service garage activities | <input type="checkbox"/> 102.5: Residential site line violation /obstruction |
| <input type="checkbox"/> 402: Illegal conversion of dwelling | <input type="checkbox"/> 408B: Illegal rooming/ boarding house |
| <input type="checkbox"/> 101; 102.1; ZCPM: Illegal home occupation | <input type="checkbox"/> BCC: 32-3-102; 500.9 BCZR; ZCPM:
Violation of commercial site plan and/or zoning order |

BALTIMORE COUNTY CODE (B.C.C.)

- | | |
|--|--|
| <input type="checkbox"/> 13-7-112: Cease all nuisance activity | <input checked="" type="checkbox"/> 35-2-301: Obtain building/ fence/sign permit |
| <input type="checkbox"/> 13-7-115: County to abate nuisance & lien costs | <input type="checkbox"/> 18-2-601: Remove all obstruction(s) at street, alley, road |
| <input type="checkbox"/> 13-7-310: Remove all trash & debris from property | <input type="checkbox"/> 13-7-310(2): Remove bird seed / other food for rats |
| <input type="checkbox"/> 13-7-312: Remove accumulations of debris, materials, etc | <input type="checkbox"/> 32-3-102: Violation of development plan/ site plan |
| <input type="checkbox"/> 13-7-201(2): Cease stagnant pool water | <input type="checkbox"/> IBC 115; BCBC 115: Remove/ Repair unsafe structure board and secure all openings to premise |
| <input type="checkbox"/> 12-3-106: Remove animal feces daily | <input type="checkbox"/> 13-7-401; 13-7-402; 13-7-403: Cut & remove all tall grass and weeds to three (3) inches in height |
| <input type="checkbox"/> 35-5-208(a)(c): Seal exterior openings from rodents & pests | |
| <input type="checkbox"/> 13-4-201(b)(d): Store garbage in containers w/tight lids | |

OWNER OCCUPIED HOUSING (B.C.C.)

- | | |
|---|--|
| <input type="checkbox"/> 35-5-302(a)(1): Unsanitary conditions. | <input type="checkbox"/> 35-5-302(a)(2): Store all garbage in trash cans |
| <input type="checkbox"/> 35-5-302(a)(3): Cease _____ infestation from prop. | <input type="checkbox"/> 35-5-302(b)(1): Repair exterior structure |
| <input type="checkbox"/> 35-5-302(b)(1)(2): Repair decorative trim, cornices, etc | <input type="checkbox"/> 35-5-302(b)(1)(3): Repair exterior extentions |
| <input type="checkbox"/> 35-5-302(b)(1)(4): Repair chimney & similar extentions | <input type="checkbox"/> 35-5-302(b)(1)(5): Repair metal/wood surfaces |
| <input type="checkbox"/> 35-5-302(b)(1)(6): Repair defective door(s) / window(s) | <input type="checkbox"/> 35-5-302(b)(1)(7): Repair defective fence |

INVESTMENT PROPERTY (B.C.C.)

- | | |
|--|---|
| <input type="checkbox"/> 35-2-404(a)(1)(i): Remove hazardous or unsafe condition | <input type="checkbox"/> 35-2-404(a)(1)(ii): Repair ext. walls / vertical members |
| <input type="checkbox"/> 35-2-404(a)(1)(iii): Repair roof or horizontal members | <input type="checkbox"/> 35-2-404(a)(1)(iv): Repair exterior chimney |
| <input type="checkbox"/> 35-2-404(a)(1)(v): Repair ext. plaster or masonry | <input type="checkbox"/> 35-2-404(a)(1)(vi): Waterproof walls/ roof /foundations |
| <input type="checkbox"/> 35-2-404(a)(1)(vii): Repair exterior construction (see below) | <input type="checkbox"/> 35-2-404(a)(1)(2): Remove trash, rubbish, & debris |
| <input type="checkbox"/> 35-2-404(a)(1)(3): Repair /remove defective exterior sign(s) | <input type="checkbox"/> 35-2-404(a)(4)(i)(ii): Board & secure. Material to match building color of structure |

OTHER VIOLATIONS OR REMARKS:

OBTAIN PERMITS FOR BOTH SIGNS & IN FRONT YARD

NOTICE POSTED AND MAILED

POTENTIAL FINE: \$200 \$500 \$1000 per day, per violation and to be placed as a lien upon your tax bill.

COMPLIANCE DATE: **3.2.09** INSPECTOR NAME: **FISHER**

PRINT NAME (Rev 9/05)

AGENCY

File No: HA 0144365

Photographs: 2/11/09

7602 LABYRINTH RD



2

I CERTIFY that I took the _____ photographs set out above, and that these photographs
 (number of photos)
 accurately depict the condition of the property that is the subject of the above-referenced
 case number on the date set out above.

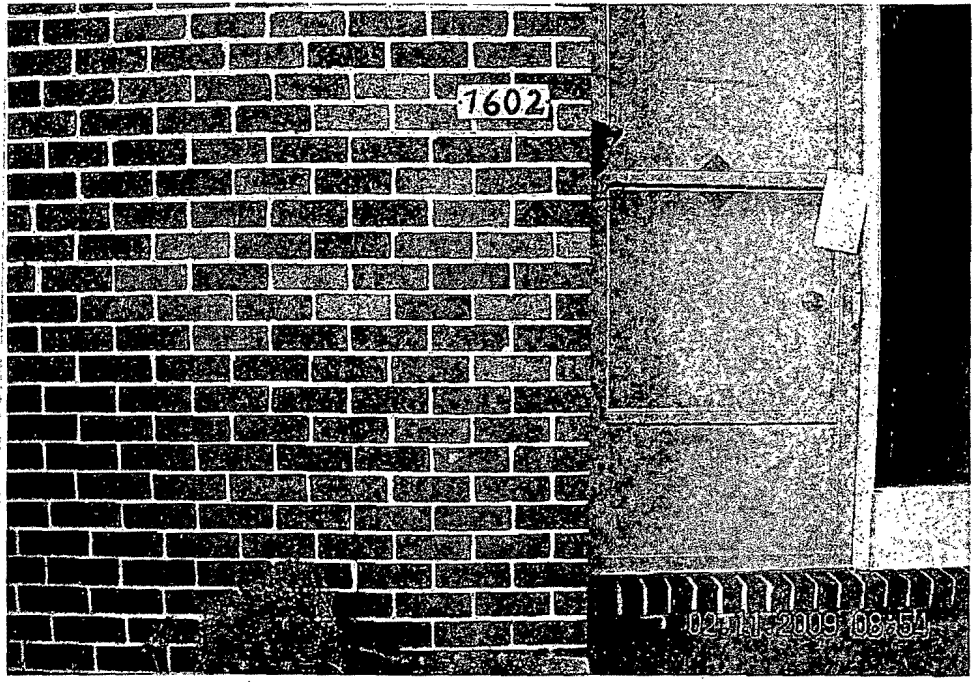
FISHER

Enforcement Officer

File No: FA 0144 365

Photographs: 2/11/09

7602 LABYRINTH RD



2

I CERTIFY that I took the 2 photographs set out above, and that these photographs
(number of photos)
 accurately depict the condition of the property that is the subject of the above-referenced
 case number on the date set out above.

FISHER

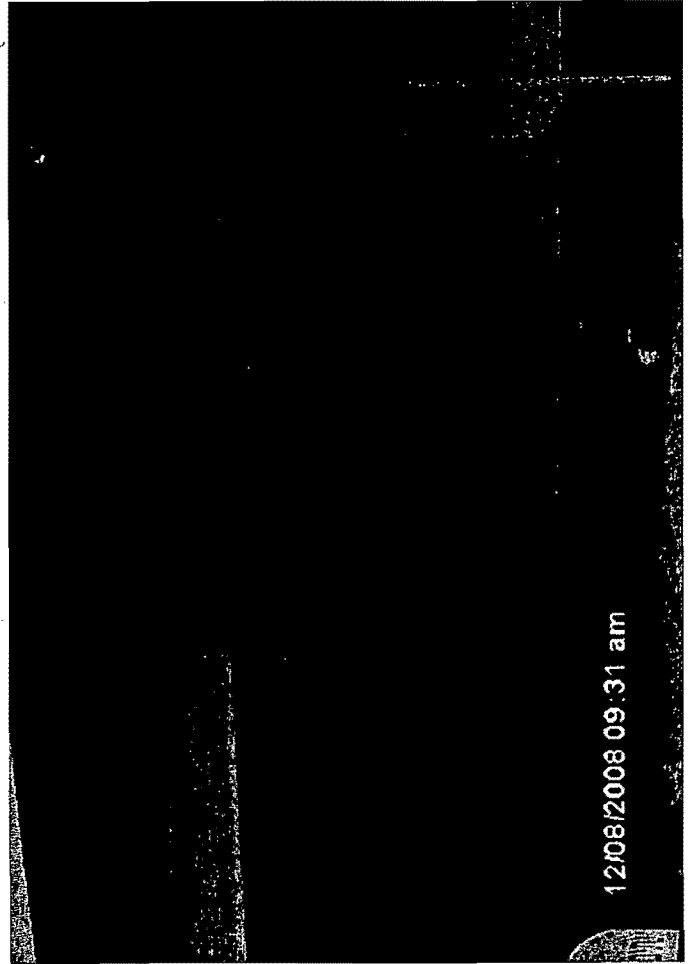
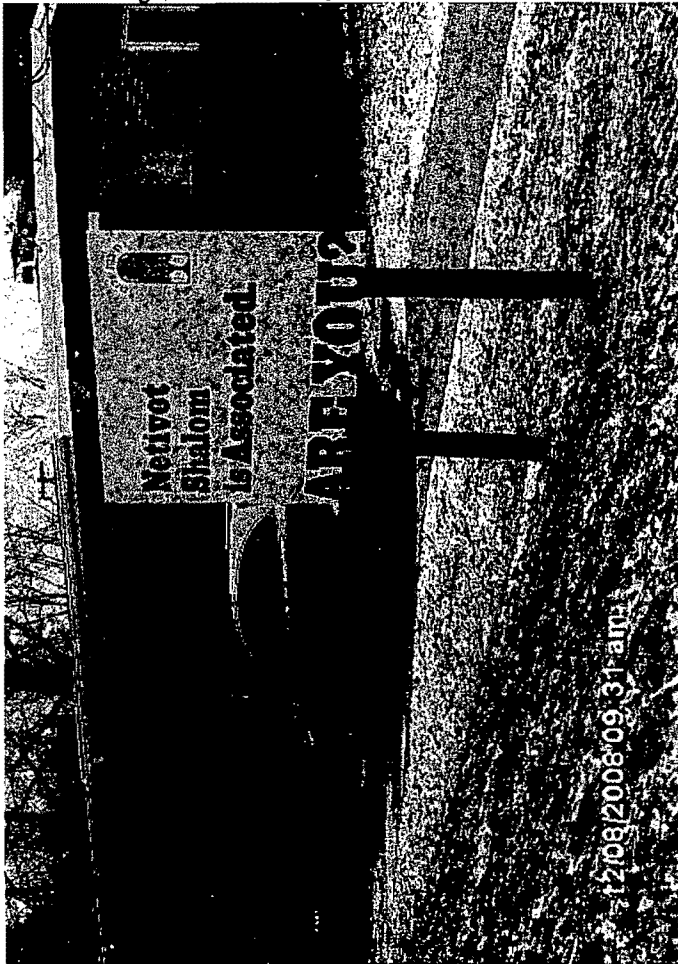
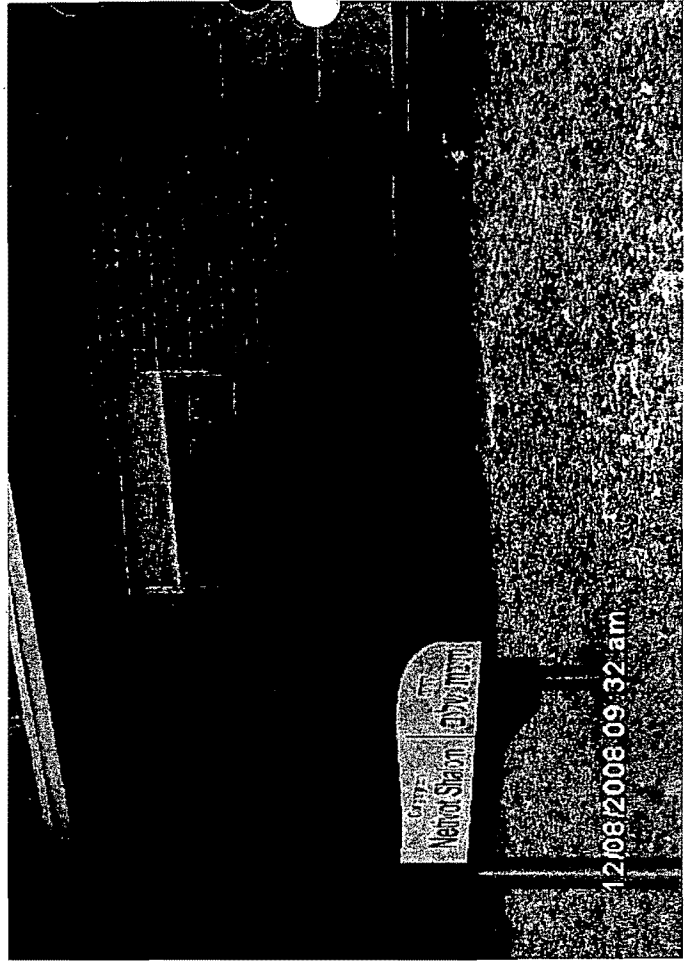
Enforcement Officer

FA 0144365

12/8/08

7602 LABYRINTH RD.

Ryan M. Fisher



Case No.:

2009-317-5PHA

Exhibit Sheet

Petitioner/Developer

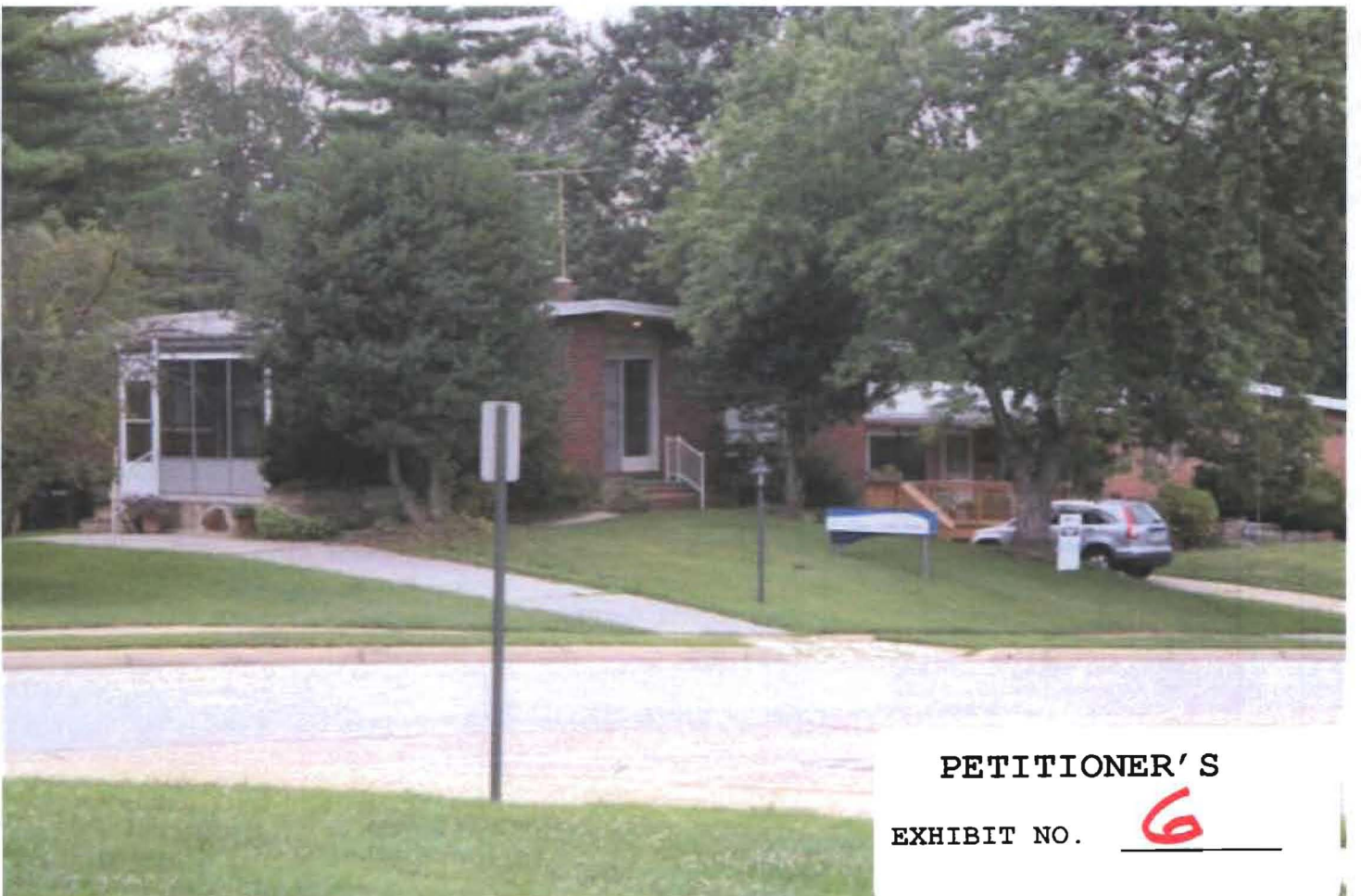
Protestant

No.	Petitioner/Developer	Protestant
No. 1	Site Plan	letter of opposition from Charles Wolder
No. 2	Aerial Photograph	letter of opposition from Pakenells - Greenway Comm. Coalition
No. 3	Plot of Neighborhood	letter of opposition from Ann Halpern
No. 4	Photos of property	string of emails
No. 5	RTA setback exhibit	
No. 6	2 photos of property	
No. 7	site plan showing existing development	
No. 8	photos documenting cleanup of property	
No. 9	photos of interior showing "before" cleanup	
No. 10	Application to use school parking lot	
No. 11	Photos of basement services setup	
No. 12	letters of support	

No 13 | Photos of Property



IMG_3082.JPG 2009/08/06 05:50:49



PETITIONER' S

EXHIBIT NO. 6

IMG_3085.JPG 2009/08/06 05:51:33



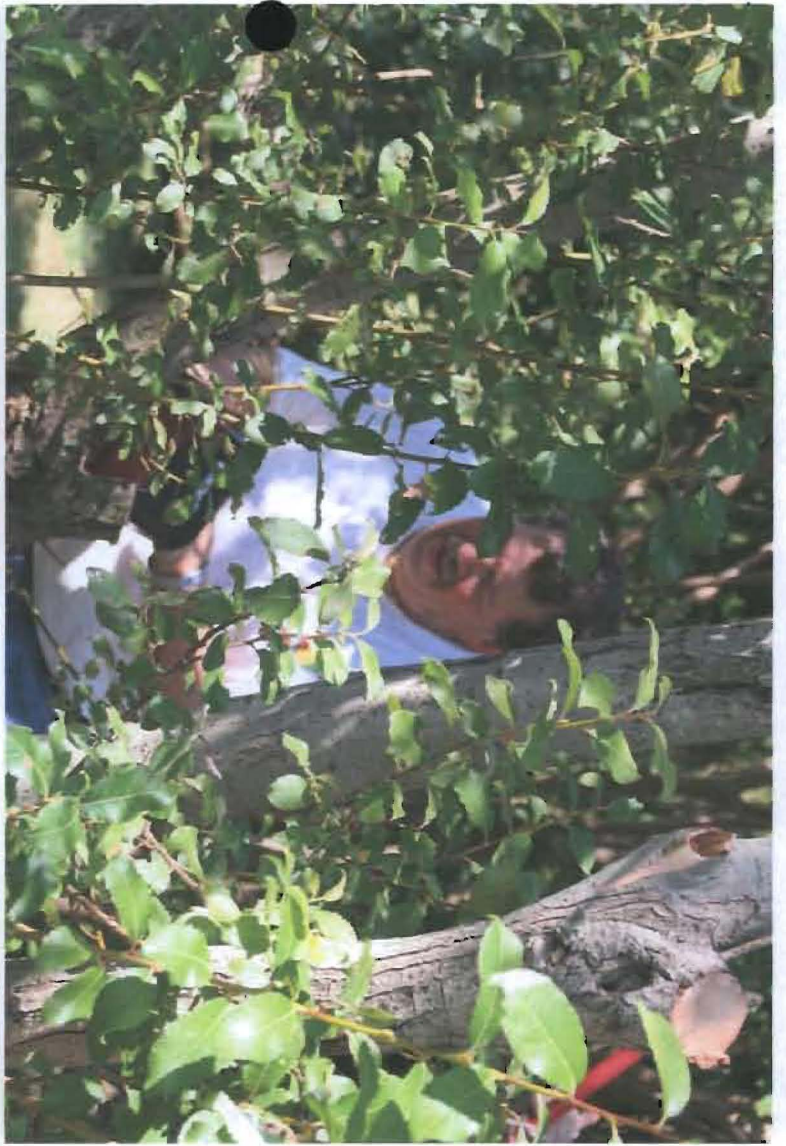
PETITIONER'S

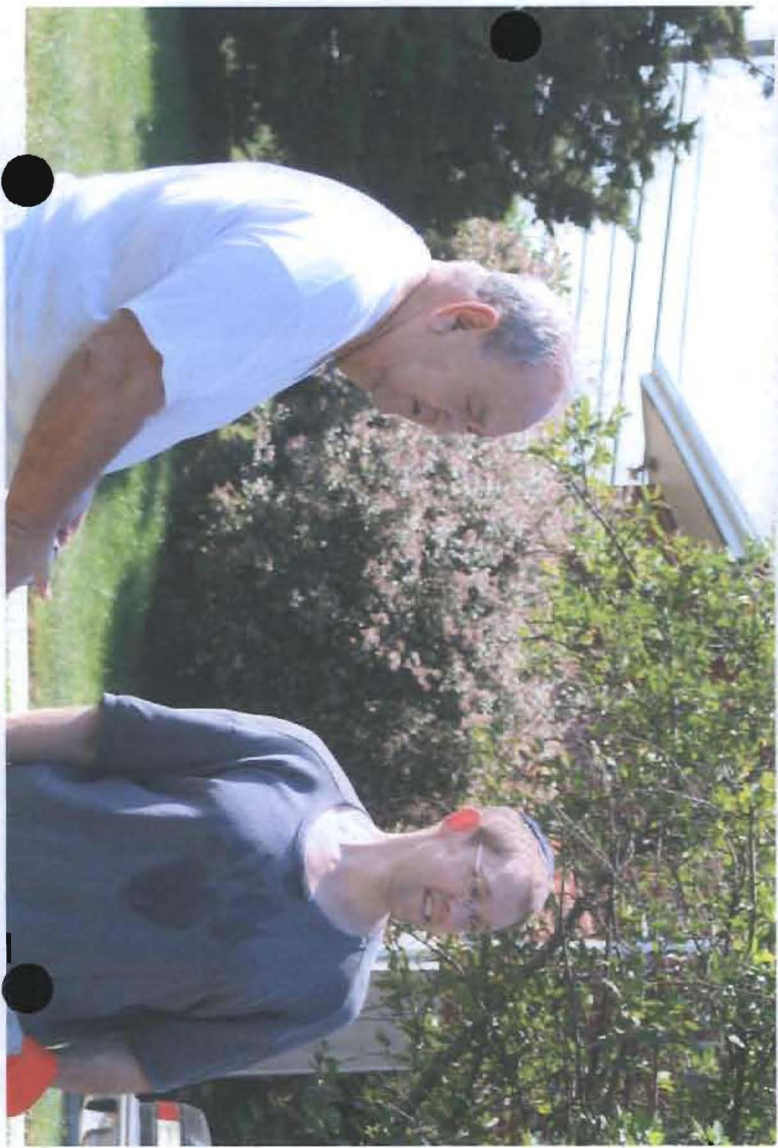
EXHIBIT NO.

8
17th & Ks















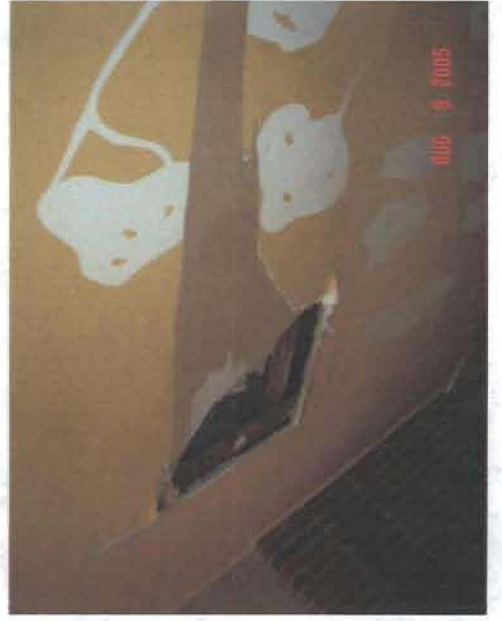


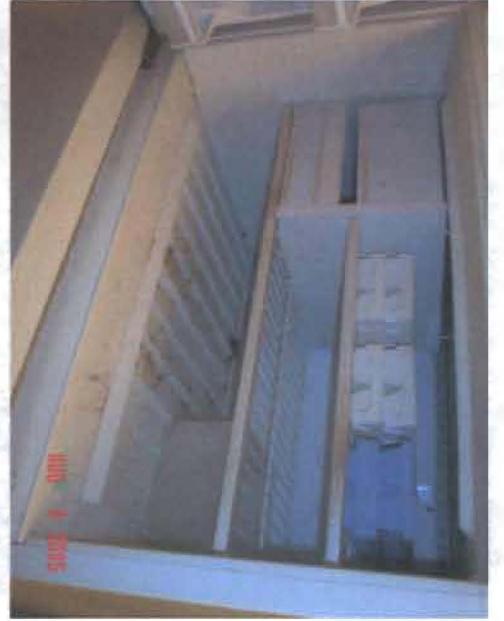
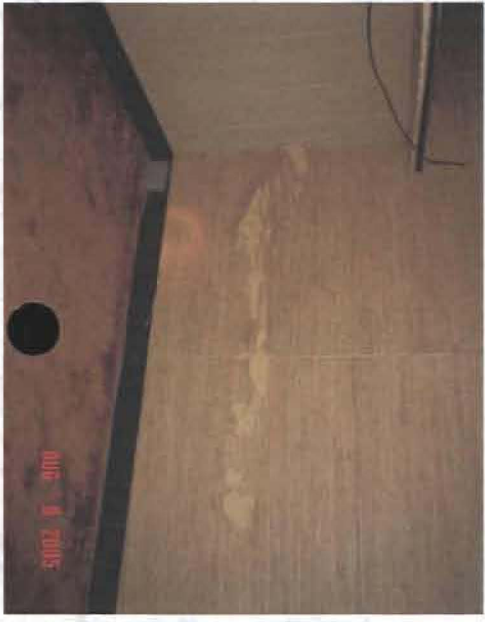
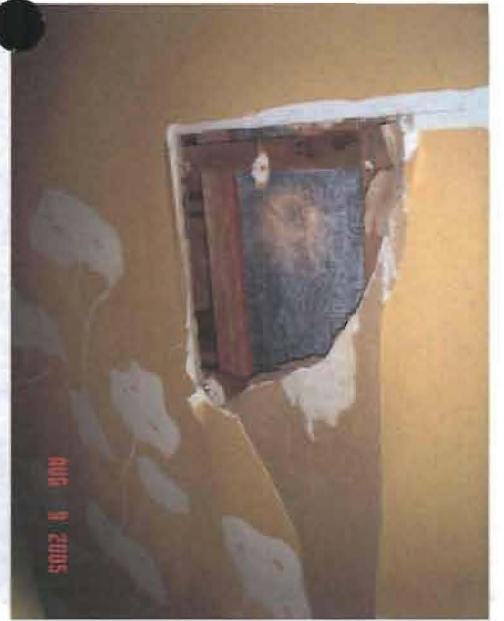


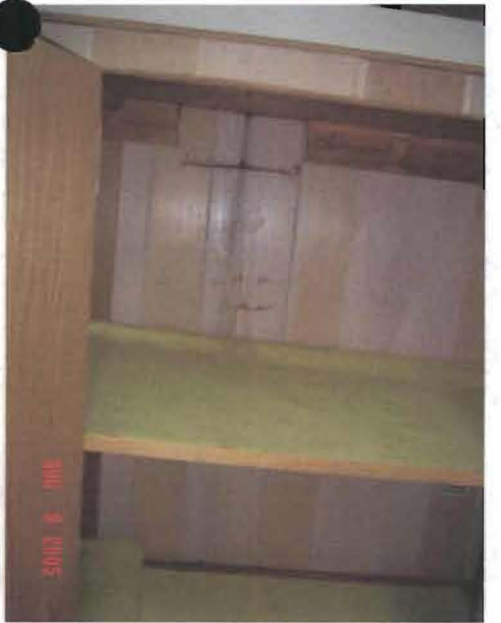
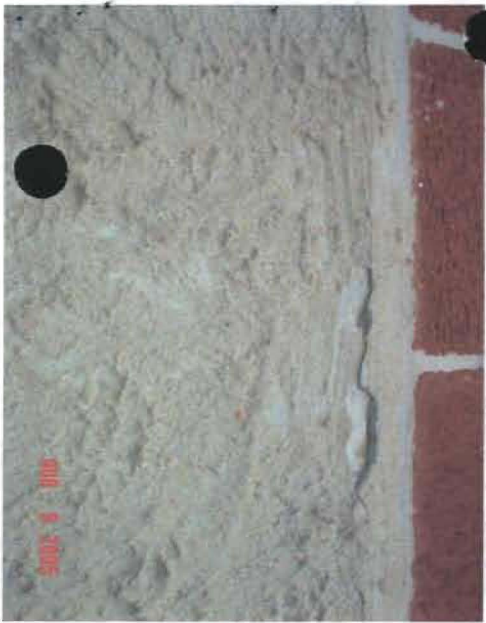


PETITIONER' S

EXHIBIT NO. 9
1 THRU 4







BALTIMORE COUNTY PUBLIC SCHOOLS
APPLICATION FOR USE OF SCHOOL FACILITIES

INSTRUCTIONS

1. Read carefully the Rules and Regulations on the reverse side.
2. Type or print neatly and firmly with ballpoint pen so that final copy is legible.

APPLICATION (For Applicant Use Only)

GROUP/ORGANIZATION <i>Netivot Shalom Congregation</i>	SCHOOL REQUESTED <i>Pikesville Sr. H.S.</i>
DESCRIPTION OF ACTIVITY <i>Use of Parking Lot</i>	DATE(S) OF ACTIVITY (Mo./Day/Yr.) On: <i>Weekends</i> From: <i>5/30/06</i> To: <i>5/30/07</i>
GROUP REPRESENTATIVE/LEADER <i>Alan Rosenblatt</i>	ADDRESS <i>7602 Lanesville Rd</i>
	ESTIMATED ATTENDANCE <i>12</i>
	TELEPHONE # <i>410-486-3122</i>

TIME REQUIRED						FACILITIES REQUIRED						
Day Of Week	Open	Close	No. Of Weeks	Approx. Hrs. Daily	Total Hrs.	No. Of Class-Rooms	Aud.	Gym	Cafe	Multi-Purpose Or Special Room	Grounds (Specify)	Other (Specify)
MONDAY												
TUESDAY												
WEDNESDAY												
THURSDAY												
FRIDAY												
SATURDAY											<i>12 Parking Spaces</i>	
SUNDAY											<i>12 Parking Spaces</i>	

PETITIONER'S
EXHIBIT NO. 10

TOTAL HOURS REQUIRED >

FOR USE OF KITCHEN APPLY THROUGH CAFETERIA MANAGER

OTHER SERVICES REQUESTED AIR CONDITIONING AUDIO LIGHTING OTHER

AFFIRMATION

We, the undersigned, being duly authorized representatives of the above organization, have read and agreed to the rules, regulations and guidelines governing use of school facilities and will abide by and enforce same.

SIGNED:

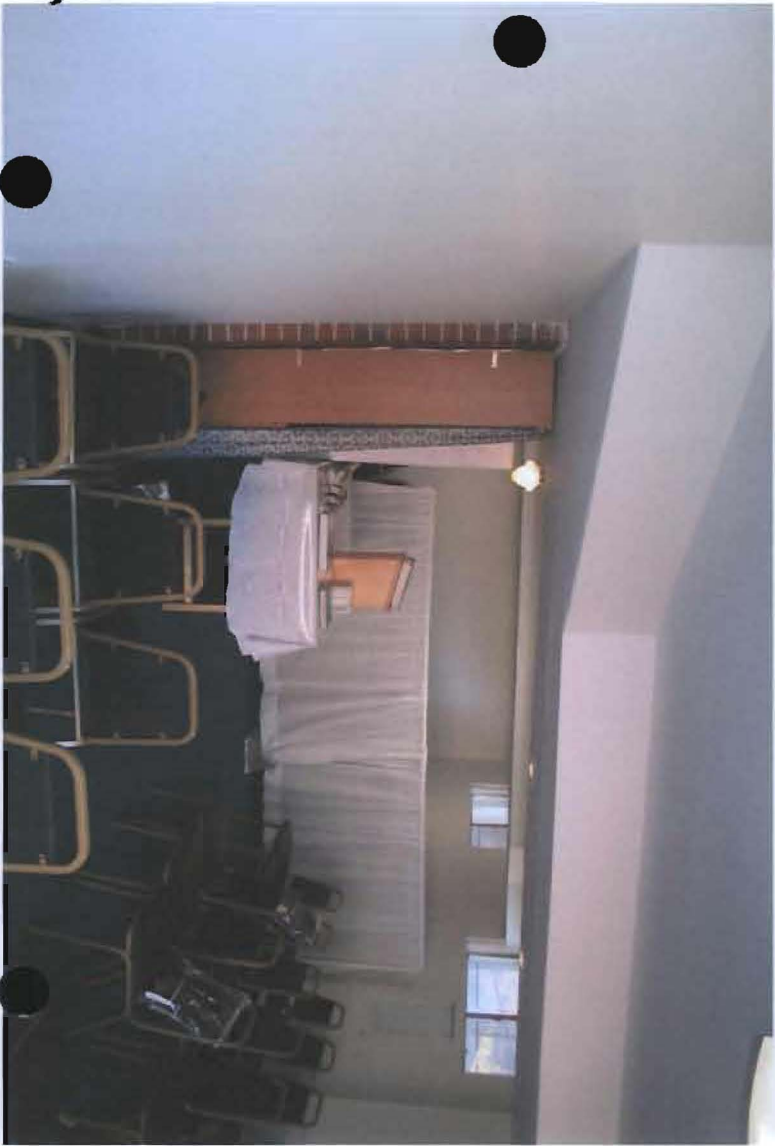
1. <i>Alan Rosenblatt</i>	<i>3110 Harnae Rd</i>	<i>410-486-3122</i>	<i>5/30/06</i>
	ADDRESS	TELEPHONE NO.	DATE
2. _____	ADDRESS	TELEPHONE NO.	DATE
3. _____	ADDRESS	TELEPHONE NO.	DATE

PERMIT (For School Use Only)

The following action has been taken regarding the request specified above:
 Approved Disapproved **TOTAL AMOUNT CHARGED \$ _____**

COMMENTS: *use of parking lot contingent on needs of the high school for any Saturday/Sunday events for the Balto. County Public Schools*

Signature of BCPS Administrator: *Doris E. Hall* Date: *5/31/06*



PETITIONER'S
EXHIBIT NO. 122



PETITIONERS
12

August 2, 2009

The Honorable William J. Wiseman, III
Zoning Commissioner for Baltimore County
105 Chesapeake Avenue
Towson, Maryland 21204

Re: Case No. 2009-0317-SPHA
Congregation Netivot Shalom
7602 Labyrinth Road

Dear Mr. Wiseman:

We live at 3214 Midfield Road, in the Greater Midfield neighborhood. Representatives of the synagogue have contacted us and shared with us the plans for the synagogue that are the subject of the zoning case.


We have no objection to the use of the property at 7602 Labyrinth Road by Congregation Netivot Shalom as a synagogue or to the zoning approvals requested by the Congregation. We understand that parking for the synagogue will be on the Pikesville Senior High School property, and that there are no proposed changes to the residential appearance of the property.

Yours truly,

Joshua Gurewitsch



Hilary Gurewitsch



July 20, 2009

The Honorable William J. Wiseman, III
Zoning Commissioner for Baltimore County
105 Chesapeake Avenue
Towson, Maryland 21204

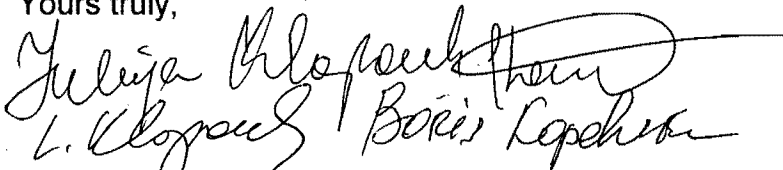
Re: Case No. 2009-0317-SPHA
Congregation Netivot Shalom
7602 Labyrinth Road

Dear Mr. Wiseman:

We live at 2722 Lightfoot Dr., in the Greater Midfield neighborhood. Representatives of the synagogue have contacted us and shared with us the plans for the synagogue that are the subject of the zoning case.

We have no objection to the use of the property at 7602 Labyrinth Road by Congregation Netivot Shalom as a synagogue or to the zoning approvals requested by the Congregation. We understand that parking for the synagogue will be on the Pikesville Senior High School property, and that there are no proposed changes to the residential appearance of the property.

Yours truly,

Handwritten signatures of Yulia and Lenny Klopouh. The signature of Yulia is on the left and Lenny's is on the right, both written in cursive.

Yulia and Lenny Klopouh
2720 Lightfoot Dr.
Baltimore, MD 21209

July 20, 2009

The Honorable William J. Wiseman, III
Zoning Commissioner for Baltimore County
105 Chesapeake Avenue
Towson, Maryland 21204

Re: Case No. 2009-0317-SPHA
Congregation Netivot Shalom
7602 Labyrinth Road

Dear Mr. Wiseman:

We live at 2720 Lightfoot Dr., in the Greater Midfield neighborhood. Representatives of the synagogue have contacted us and shared with us the plans for the synagogue that are the subject of the zoning case.

We have no objection to the use of the property at 7602 Labyrinth Road by Congregation Netivot Shalom as a synagogue or to the zoning approvals requested by the Congregation. We understand that parking for the synagogue will be on the Pikesville Senior High School property, and that there are no proposed changes to the residential appearance of the property.

Yours truly,



Cheryl Caplan Zalis
2720 Lightfoot Dr.
Baltimore, MD 21209

July 20, 2009

The Honorable William J. Wiseman, III
Zoning Commissioner for Baltimore County
105 Chesapeake Avenue
Towson, Maryland 21204

Re: Case No. 2009-0317-SPHA
Congregation Netivot Shalom (the "Synagogue")
7602 Labyrinth Road

Dear Commissioner Wiseman:

I live at 2716 Lightfoot Drive, Baltimore, MD 21209, in the Greater Midfield neighborhood, and I am the current President of the Woodstream Community at Quarry Lake Homeowner's Association. Representatives of the Synagogue have contacted me and shared with me the plans for the Synagogue that are the subject of the zoning case.

I have no objection to the use of the property at 7602 Labyrinth Road by Congregation Netivot Shalom as a synagogue or to the zoning approvals requested by the Synagogue. I understand that parking for the Synagogue will be on the Pikesville Senior High School property, and that there are no proposed changes to the residential appearance of the property.

Yours truly,

A handwritten signature in black ink, appearing to read 'Gary H. Leibowitz', with a long horizontal flourish extending to the right.

Gary H. Leibowitz, Esquire

August 4, 2009

The Honorable William J. Wiseman, III
Zoning Commissioner for Baltimore County
105 Chesapeake Avenue
Towson, Maryland 21204

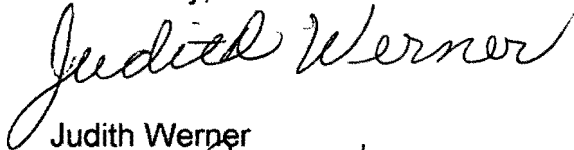
Re: Case No. 2009-0317-SPHA
Congregation Netivot Shalom
7602 Labyrinth Road

Dear Mr. Wiseman:

We live at 7615 Carla Road, in the Greater Midfield neighborhood. Representatives of the synagogue have contacted us and shared with us the plans for the synagogue that are the subject of the zoning case.

We have no objection to the use of the property at 7602 Labyrinth Road by Congregation Netivot Shalom as a synagogue or to the zoning approvals requested by the Congregation. We understand that parking for the synagogue will be on the Pikesville Senior High School property, and that there are no proposed changes to the residential appearance of the property.

Yours truly,



Judith Werner



Carl Werner

August 9, 2009

The Honorable William J. Wiseman, III
Zoning Commissioner for Baltimore County
105 Chesapeake Avenue
Towson, Maryland 21204

Re: Case No. 2009-0317-SPHA
Congregation Netivot Shalom
7602 Labyrinth Road

Dear Mr. Wiseman:

We live at 3214 Smith Avenue, in the Greater Midfield neighborhood and adjoining 7602 Labyrinth Road.

On July 20, I signed a letter of support for the zoning approval requested by Congregation Netivot Shalom, located at 7602 Labyrinth Road. Later, I was approached by another resident of the neighborhood, who told me (incorrectly) that the Congregation was not seeking a variance merely to be able to maintain a sign in front of the building. Rather, I was told, the real reason for the zoning application was a plan to enlarge the Congregation's building. This person, whose name I do not recall, presented me with a letter of opposition, which I signed.


I have thought better of this decision, and wish to revoke my opposition and reinstate the letter of support that I previously signed. I now understand that if the Congregation desires in the future to enlarge its building, the Congregation will be required to seek additional zoning approval. I understand that in the event that occurs, I will be able to express my opinion at that time.

Thank you.

Yours truly,

Amin Pajouhesh

SHANLA-MAHGEREETE


Shanla Margerete

July 20, 2009

The Honorable William J. Wiseman, III
Zoning Commissioner for Baltimore County
105 Chesapeake Avenue
Towson, Maryland 21204

Re: Case No. 2009-0317-SPHA
Congregation Netivot Shalom
7602 Labyrinth Road

Dear Mr. Wiseman:

We live at 3214 Smith Avenue, adjoining the above captioned property. Representatives of the synagogue have contacted us and shared with us the plans for the synagogue that are the subject of the zoning case.


We have no objection to the use of the property at 7602 Labyrinth Road by Congregation Netivot Shalom as a synagogue or to the zoning approvals requested by the Congregation. We understand that parking for the synagogue will be on the Pikesville Senior High School property, and that there are no proposed changes to the residential appearance of the property.

Yours truly,

Amin Pajouhesh



Shahla Pajouhesh



August 2, 2009

The Honorable William J. Wiseman, III
Zoning Commissioner for Baltimore County
105 Chesapeake Avenue
Towson, Maryland 21204

Re: Case No. 2009-0317-SPHA
Congregation Netivot Shalom
7602 Labyrinth Road

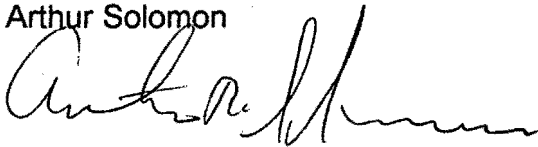
Dear Mr. Wiseman:

We live at 7604 Labyrinth Road, adjoining the above captioned property. Representatives of the synagogue have contacted us and shared with us the plans for the synagogue that are the subject of the zoning case.

We have no objection to the use of the property at 7602 Labyrinth Road by Congregation Netivot Shalom as a synagogue or to the zoning approvals requested by the Congregation. We understand that parking for the synagogue will be on the Pikesville Senior High School property, and that there are no proposed changes to the residential appearance of the property.

Yours truly,

Dr. Arthur Solomon



Dr. Anne Solomon



The synagogue has been a very nice neighbor!

- quiet
- friendly
- well kept lawn / property
- lovely children
- never a hint of a problem w/ cars / parking

July 20, 2009

The Honorable William J. Wiseman, III
Zoning Commissioner for Baltimore County
105 Chesapeake Avenue
Towson, Maryland 21204

Re: Case No. 2009-0317-SPHA
Congregation Netivot Shalom
7602 Labyrinth Road

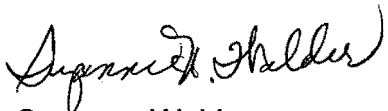
Dear Mr. Wiseman:

We live at 3216 Smith Avenue, adjoining the above captioned property. Representatives of the synagogue have contacted us and shared with us the plans for the synagogue that are the subject of the zoning case.

We have no objection to the use of the property at 7602 Labyrinth Road by Congregation Netivot Shalom as a synagogue or to the zoning approvals requested by the Congregation. We understand that parking for the synagogue will be on the Pikesville Senior High School property, and that there are no proposed changes to the residential appearance of the property.

Yours truly,

Charles Walder



Suzanne Walder

July 20, 2009

The Honorable William J. Wiseman, III
Zoning Commissioner for Baltimore County
105 Chesapeake Avenue
Towson, Maryland 21204

Re: Case No. 2009-0317-SPHA
Congregation Netivot Shalom
7602 Labyrinth Road

Dear Mr. Wiseman:

We live at 3218 Smith Avenue, adjoining the above captioned property. Representatives of the synagogue have contacted us and shared with us the plans for the synagogue that are the subject of the zoning case.

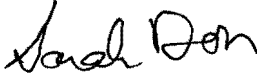
We have no objection to the use of the property at 7602 Labyrinth Road by Congregation Netivot Shalom as a synagogue or to the zoning approvals requested by the Congregation. We understand that parking for the synagogue will be on the Pikesville Senior High School property, and that there are no proposed changes to the residential appearance of the property.

Yours truly,

Michael Don



Sarah Don



August 4, 2009

The Honorable William J. Wiseman, III
Zoning Commissioner for Baltimore County
105 Chesapeake Avenue
Towson, Maryland 21204

Re: Case No. 2009-0317-SPHA
Congregation Netivot Shalom
7602 Labyrinth Road

Dear Mr. Wiseman:

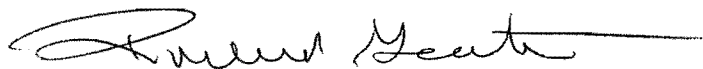
We live at 3220 Smith Avenue, adjoining the above captioned property. Representatives of the synagogue have contacted us and shared with us the plans for the synagogue that are the subject of the zoning case.

We have no objection to the use of the property at 7602 Labyrinth Road by Congregation Netivot Shalom as a synagogue or to the zoning approvals requested by the Congregation. We understand that parking for the synagogue will be on the Pikesville Senior High School property, and that there are no proposed changes to the residential appearance of the property.

Yours truly,



Rochelle Goldstein



Richard Goldstein

July 20, 2009

The Honorable William J. Wiseman, III
Zoning Commissioner for Baltimore County
105 Chesapeake Avenue
Towson, Maryland 21204

Re: Case No. 2009-0317-SPHA
Congregation Netivot Shalom
7602 Labyrinth Road

Dear Mr. Wiseman:

We live at 2710 Lightfoot Dr., in the Greater Midfield neighborhood. Representatives of the synagogue have contacted us and shared with us the plans for the synagogue that are the subject of the zoning case.

We have no objection to the use of the property at 7602 Labyrinth Road by Congregation Netivot Shalom as a synagogue or to the zoning approvals requested by the Congregation. We understand that parking for the synagogue will be on the Pikesville Senior High School property, and that there are no proposed changes to the residential appearance of the property.

Yours truly,

The image shows two handwritten signatures in black ink. The first signature on the left is 'Ronda' and the second signature on the right is 'Dan Arking'. Both are written in a cursive, flowing style.

Ronda and Dan Arking
2710 Lightfoot Dr.
Baltimore, MD 21209

July 20, 2009

The Honorable William J. Wiseman, III
Zoning Commissioner for Baltimore County
105 Chesapeake Avenue
Towson, Maryland 21204

RECEIVED

AUG 11 2009

ZONING COMMISSIONER

Re: Case No. 2009-0317-SPHA
Congregation Netivot Shalom
7602 Labyrinth Road

Dear Mr. Wiseman:

We live at 3300 Lee Court. Representatives of the synagogue have contacted us and shared with us the plans for the synagogue that are the subject of the zoning case.

We have no objection to the use of the property at 7602 Labyrinth Road by Congregation Netivot Shalom as a synagogue or to the zoning approvals requested by the Congregation. We understand that parking for the synagogue will be on the Pikesville Senior High School property, and that there are no proposed changes to the residential appearance of the property.

Yours truly,



Rita Bayuk



Seymour Bayuk

July 20, 2009

The Honorable William J. Wiseman, III
Zoning Commissioner for Baltimore County
105 Chesapeake Avenue
Towson, Maryland 21204

Re: Case No. 2009-0317-SPHA
Congregation Netivot Shalom
7602 Labyrinth Road

Dear Mr. Wiseman:

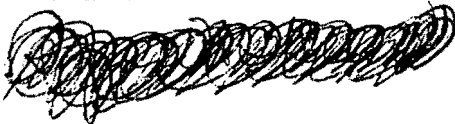
We live at 3216 Smith Avenue, adjoining the above captioned property. Representatives of the synagogue have contacted us and shared with us the plans for the synagogue that are the subject of the zoning case.

We have no objection to the use of the property at 7602 Labyrinth Road by Congregation Netivot Shalom as a synagogue or to the zoning approvals requested by the Congregation. We understand that parking for the synagogue will be on the Pikesville Senior High School property, and that there are no proposed changes to the residential appearance of the property.

Yours truly,

Charles Walder

Suzanne Walder

A handwritten signature in black ink, appearing to be "Suzanne Walder", written over a horizontal line.



PETITIONERS # 13



TB 8/10
9am

Charles & Suzanne Walder
3216 Smith Avenue
Pikesville, Maryland 21208
August 5, 2009

Honorable William Wiseman, III
Zoning Commissioner for Baltimore County
Jefferson Building
105 Chesapeake Avenue
Towson, Maryland 21204

RECEIVED

AUG 06 2009

RE: Case# 2009-0317-SPHA
Congregation Netivot Shalom
7602 Labyrinth Road

ZONING COMMISSIONER


Dear Judge Wiseman:

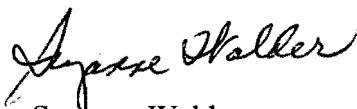
We are against the variance to permit a front non-residential building setback in a DR-5.5 zone of 38 feet in lieu of the forty (40) feet required, and side non-residential building setbacks in a DR-5.5 zone of eight (8) and ten (10) feet in lieu of twenty (20) feet required. We feel that the property at 7602 Labyrinth Road should continue to be a house instead of designated as a synagogue.

We are afraid of an eventual change in appearance in the building as well as an expansion of a building which would change the uniformity of our residential neighborhood. When we look out over our backyard we have a beautiful view of open land which resembles being in the country. No fences are allowed to be built behind us. We would like to keep this view.

We have no problem with the property at 7602 Labyrinth Road being used as a place for people to pray and in fact we have no objection to the sign which has been erected with says "Congregation Netivot Shalom." We also have no problem with the proposed modified parking plan in Pikesville High School's parking lot.

Thank you for your consideration,


Charles Walder


Suzanne Walder

PROTESTANT'S
EXHIBIT NO. 1

Addendum;

A few weeks ago, a representative of Netivot Shalom came by my house and asked that I sign the enclosed letter. I signed the letter but I am now changing my mind. I am concerned that this would be a first step in a possible expansion of the property at 7602 Labyrinth Road that would not be consistent with existing residential zoning.

A handwritten signature in cursive script that reads "Suzanne Walder".

Suzanne Walder

TB 8-10
9am



Pikesville-Greenspring Community Coalition, Inc.
Mical Wilmoth Carton, Executive Director
3004 Old Court Rd., Pikesville, MD 21208
410 486-6420 Phone / 410 484-8184 Fax / PGCC Inc@aol.com
http://pgccinc.org

09-0317-SPHA

RECEIVED

AUG 04 2009

ZONING COMMISSIONER

July
June 29, 2009

William J. Wiseman, III, Zoning Commissioner
Thomas H. Bostwick, Deputy Zoning Commissioner
111 West Chesapeake Avenue, Room 111
Towson, Maryland 21204

Dear Commissioner Wiseman and Commissioner Bostwick:

At a meeting of the Board of Directors of the Pikesville-Greenspring Community Coalition, Inc. (PGCC) held on July 27, 2009, at which 15 Coalition voting members (of the Coalition's 18 voting members) were present, it was voted to oppose the requested sign variance submitted by Netivot Shalom by a vote of 14 members against the variance with one abstention.

A copy of this letter has been provided to Ruth Goldstein, the President of the Greater Midfield Association to present at the scheduled Zoning Hearing on this matter.

Sincerely,

Barry Holt Blank, Vice President
Pikesville-Greenspring Community Coalition, Inc.

PROTESTANT'S

EXHIBIT NO.

2

PGCC Inc. Member Associations

- Brookstone Condominium Association • Dumbarton-Stevenson Civic & Improvement Assn., Inc. • Falls Garden Condo Assn. •
- Greengate Community Association • Greenspring East HOA • Helmsley Court HOA, Inc. • Jones Valley Community Assn. •
- Midfield Assn., Inc. • Old Court-Greenspring Improvement Assn., Inc. • Quarry Lake at Greenspring •
- Stevenson Commons Condominium • Stevenson Crossing HOA • Stevenson Post HOA • Stevenson Ridge-Halcyon Assn. •
- Stevenson Village Condominium Assn., Inc. • Summit Chase HOA. • The Parke at Mt. Washington •

7606 Labyrinth Rd
Baltimore, MD 21208
Aug. 10, 2009

Honorable William Wiseman,
Zoning Commissioner for Baltimore County

Re: Case# 2009-0317-SPHA
Congregation Netivot Shalom
7602 Labyrinth Rd

PROTESTANT'S

EXHIBIT NO.

3

Dear Judge Wiseman -

I am against a variance that allows the house at 7602 Labyrinth Rd to change its use or future uses; however, I do not know if the sign in front is affected, as no one from the zoning office has returned my call. I am against any sign that needs a variance to permit it. I am most opposed to any additional sign placements, as at one point there were 3 signs on the front lawn, one quite enormous. If the current sign is permitted without a variance being granted, I would not oppose it. I would like the house to maintain a residential appearance!

Thank you for your consideration,

Ann Halpern

(2 doors from the property at issue)

Subject: Fwd: [Pgccrep] Request for support

Date: Wednesday, June 24, 2009 10:45 PM

From: PGCCInc@aol.com <PGCCInc@aol.com>

To: Edward R. Goldstein RuthGoldstein@comcast.net, Barry Blank bblank@yesevents.com

Cc: Phyllis Friedman pfriedman@fandf-law.com, Ruth Bukatman rnbukatman@verizon.net, Barbara A Friedman moosepip@comcast.net, Alegra Best alegrabest@comcast.net, Neville Jacobs nevilleed@aol.com, Larry Carton LaurenzoC@aol.com, Rosalind Asch rosalind.asch@comcast.net, Elliot Lewis elliotnlewis@comcast.net, Elaine O'Mansky eomansky@comcast.net, John Denick john@denicklaw.com, Arthur Putzel aputzel@troutdaniel.com, Arnold Potler arnoldpotler@comcast.net

Category: Ruthie-Look at!

This request just came in from Ron Diener, president of the Old Court-Greenspring Improvement Assn. I'm sending it along for your consideration.

Mical

Mical Wilmoth Carton, Executive Director
Pikesville-Greenspring Community Coalition, Inc.
PGCCInc@aol.com
<http://pgccinc.org>
410 486-6420 phone

PROTESTANT' S

EXHIBIT NO. 4

Begin forwarded message:

From: rld321@aol.com

Date: June 24, 2009 10:06:38 PM EDT

To: PGCCInc@aol.com

Subject: Re: [Pgccrep] Request for support

If they get the zoning relief will they be able to enlarge the house to to be able to have a larger congregation.

and therefore change the appearance of the house and the neighborhood? There are several homes on Greenspring Ave. where this appears to have already happened. I personally would not be in favor of writing the zoning commissioner

Subject: RE: send Rabbi Seidemann the zoning information letter

Date: Wednesday, June 24, 2009 11:17 AM

From: Barry Blank <bblank@yesevents.com>

To: John Denick john@denicklaw.com, PGCCInc@aol.com PGCCInc@aol.com

I pass this address often. The property appears to be well maintained and except for the sign, appears indistinguishable from the homes on either side. It is located in the middle of the newly expanded Greater Midfield Association. It would therefore seem appropriate to let that organization take the lead.

BHB

Subject: signs

Date: Friday, July 24, 2009 11:39 AM

From: Amy Peck <amyhpeck@hotmail.com>

To: Edward R. Goldstein RuthGoldstein@comcast.net

Hello, Ruth,

I am writing to respond to the question of the size of the congregational signs. I concur that they need to be limited in size, and that the congregations need to respect the nature and appearance of the neighborhoods in which they meet.

Amy Peck

7606 Labyrinth Road
Pikesville, Maryland 21208
August 2, 2009

Honorable William Wiseman, III
Zoning Commissioner for Baltimore County
105 Chesapeake Avenue
Towson, Maryland 21204

RECEIVED

AUG 07 2009

RE: Case# 2009-0317-SPHA
Congregation Netivot Shalom
7602 Labyrinth Road

ZONING COMMISSIONER

Dear Judge Wiseman:

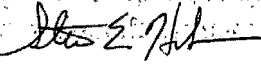
We are writing regarding the zoning notice posted on the property of 7602 Labyrinth Road, and the zoning hearing scheduled for August 10, 2009. We live two houses from the affected property. We believe the language on the zoning notice indicates that the homeowners may be seeking setback variances to comply with zoning laws in order to establish a synagogue. We also understand that the homeowners may be seeking variances to obtain additional parking across the street at the Pikesville High School parking lot.

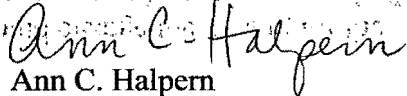
We object to the granting of zoning variances that would change the zoning for the current residential lot. We do not object to the homeowners conducting services in their home or trying to obtain parking across the street at Pikesville High School; however we do object to any variances or zoning changes that might allow the property owners to make changes in the property's appearance that would be inconsistent with that of the community. The lots are relatively long and narrow. There is little space between houses on the sides. The unfenced back yards provide what privacy there is for adjoining homeowners and encourage wildlife activity. We want to maintain this appearance as well as the uniformity of the homes themselves.

We do not object to the homeowners discreetly using the property as a house of worship, but do object to any variance or zoning change that might permit other uses or structural changes in the future that the current residential zoning category does not permit.

Unfortunately, we are unable to attend the zoning hearing due to the nature of our schedules and obligations, but wish to have our viewpoint considered in the zoning decision. Additionally, please be aware that we tried to contact the county zoning office last week; however, at this time, no one has returned our call.

Respectfully,


Steven E. Halpern


Ann C. Halpern

COMMUNITY

EXHIBIT NO. 1

Amin Pajouhesh
Shalah Mahgerefteh
3214 Smith Avenue
Pikesville, Maryland 21208
August 6, 2009

The Honorable William Wiseman, III
Zoning Commissioner for Baltimore County
Jefferson Building
105 Chesapeake Avenue
Towson, Maryland 21204

RECEIVED

AUG 07 2009

ZONING COMMISSIONER

RE: Case# 2009-0317-SPHA
Congregation Netivot Shalom
7602 Labyrinth Road
Pikesville, Maryland 21208

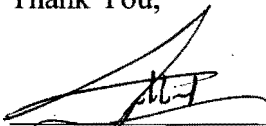
Dear Judge Wiseman:

We live at 3214 Smith Avenue next to Congregation Netivot Shalom. We signed a letter which their representative showed us, however, we were really not aware of what we were signing. We thought it only had to do with the congregation being able to keep their sign and having more parking. Please disregard any previous letter which we have signed.

We would like Netivot Shalom to be able to keep their sign which is in front and we would also like them to have more parking on the Pikesville High School parking lot. We enjoy having the congregation as neighbors and want them to continue to be able to pray their every day and every week.

We are not for the variance which would permit Netivot Shalom to be zoned as a synagogue. We want them to continue to be zoned as a residence. We do not want Netivot Shalom to expand or change the look of their property as we continue to want to see a house behind us with a large yard.

Thank You,



Amin Pajouhesh

Shalah Mahgerefteh
Shalah Mahgerefteh

COMMUNITY

EXHIBIT NO. 2

7604 LABYRINTH RD.
ARTHUR & ANNE SOLOMON
PARCEL 559 LOT 5
PLAT 26/129
L. 27346 F. 365
SF DWELLING

10' DRAINAGE AND
UTILITY EASEMENT
PLAT 26/129

S 72°48'36" W

232.57'
EXIST.

CONC. PAD

34.5'
#7602

EXISTING 1 STORY
MASONRY BUILDING
w/ BASEMENT

HOLLY

38'±

SILVER
MAPLE

SHRUBS

WHITE
PINE



EX. LAWN
SHRUBS &
PERENNIALS
EX. SIGN

PETITIONER'S

EXHIBIT NO. 7

SILVER
MAPLE

LILAC

36.2'

EX. PORCH

EX. SCREENED
PORCH

ARBORVITAE

N 80°41'40" E

WHITE
PINE

NORWAY
SPRUCE

CRABE
MYRTLE

EX. STEPS

EX. MACADAM DRIVEWAY

10' DRAINAGE AND
UTILITY EASEMENT
PLAT. 26/129
P.O.B. 165' TO Q.
OF SMITH AVE.

SF DWELLING
3218 SMITH AVE.
MICHAEL & SARAH DON
PARCEL 559 LOT 1

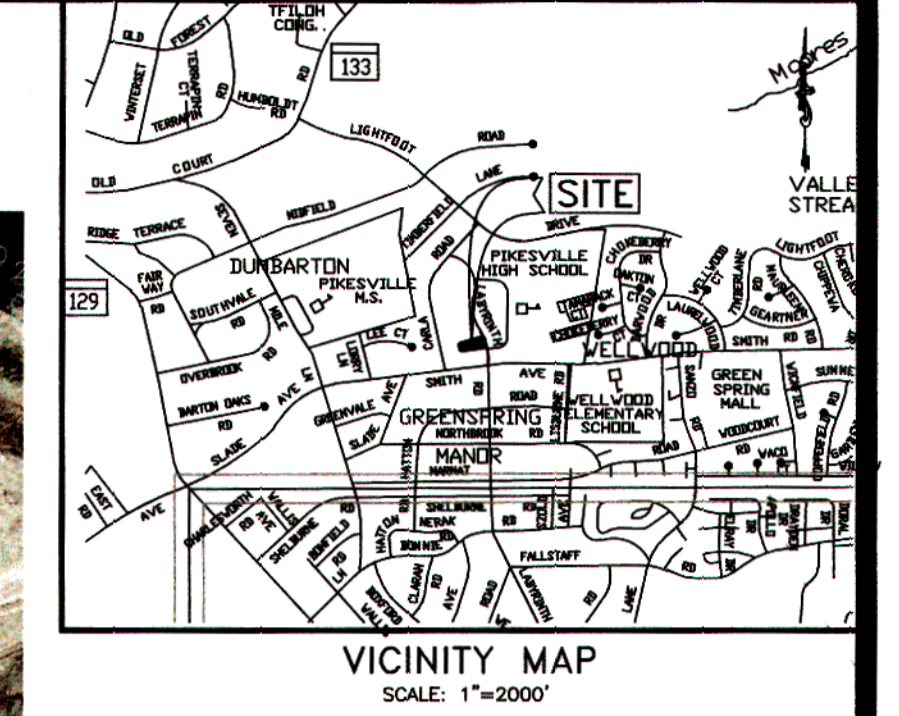
SF DWELLING
3216 SMITH AVE.
CHARLES & SUZANNE WALDER
PARCEL 559 LOT 2

SF DWELLING
3214 SMITH AVE.
AMIN & SHAHLA PAJOUHESHI
PARCEL 559 LOT 3

EXISTING LANDSCAPING
7602 LABYRINTH RD.
8-9-09

LABYRINTH
50' WIDE PLAT REI

PIKESVILLE HI
7621 LABYRINTH RD.
BALTIMORE
BOARD OF E
TAX ACCT. #0



AERIAL PHOTO EXHIBIT
NETIVOT SHALOM
7602 LABYRINTH ROAD
 3rd ELECTION DISTRICT 2nd COUNCILMANIC DISTRICT
 BALTIMORE COUNTY, MARYLAND
 GRAPHIC SCALE

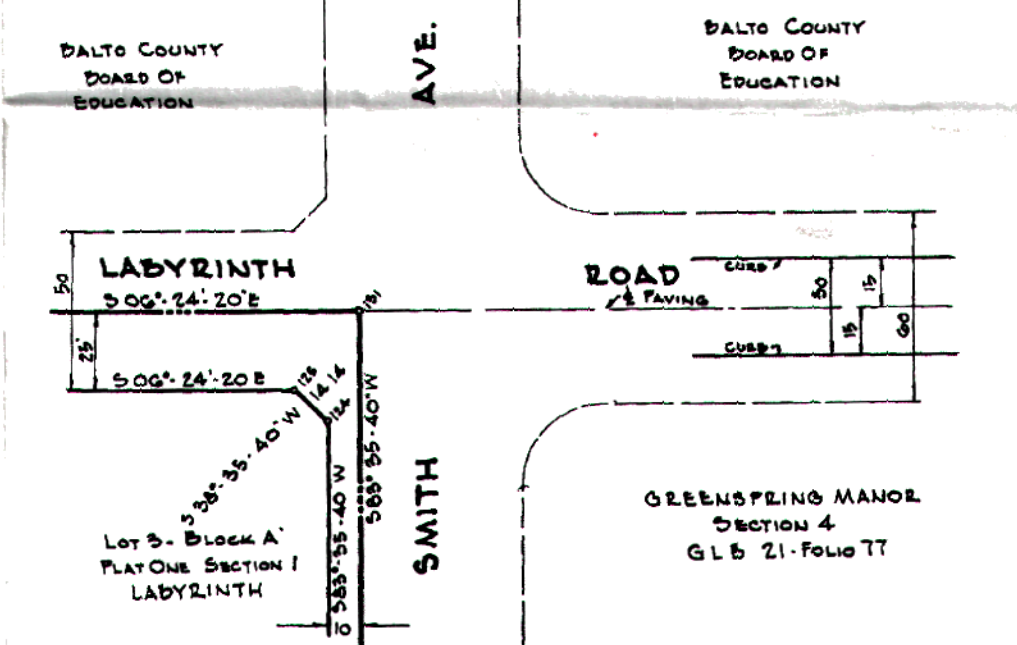
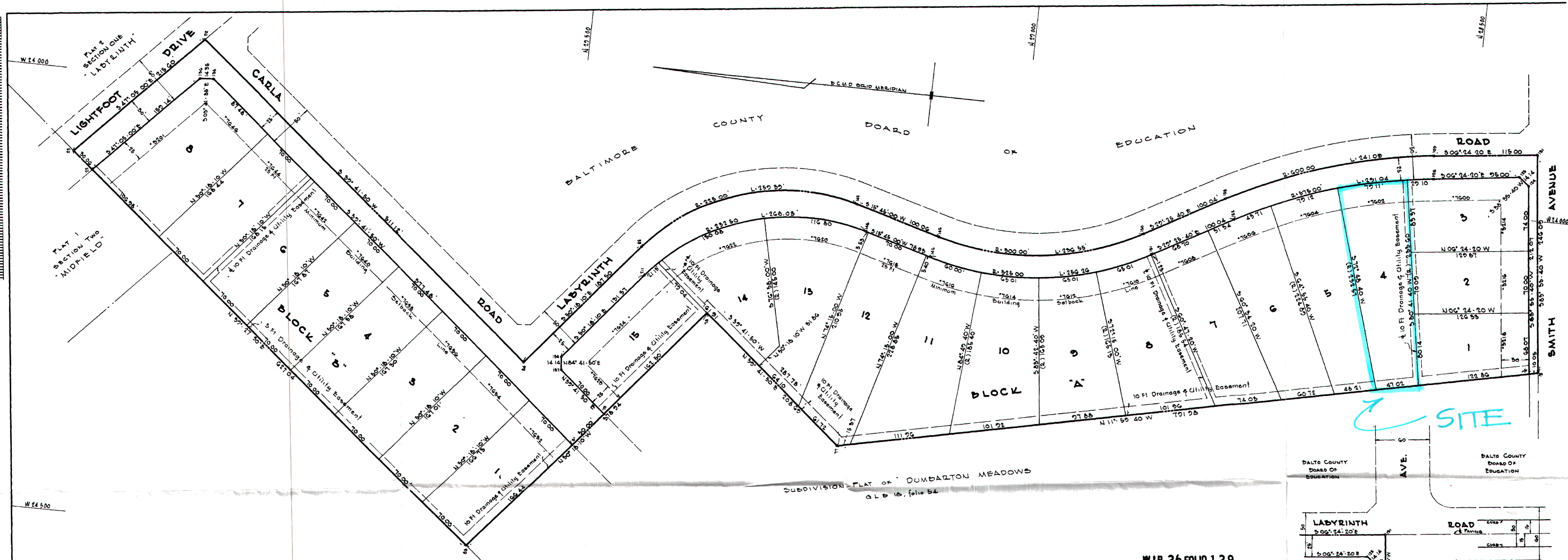
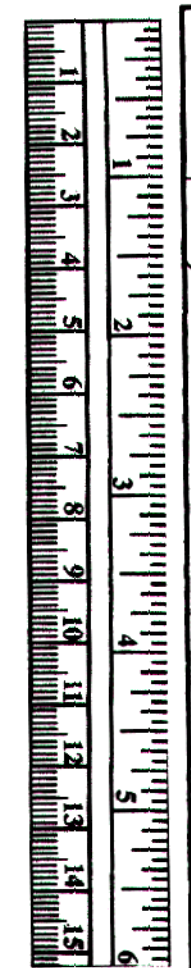
(IN FEET)
 1 inch = 200 ft.

PETITIONER'S
 EXHIBIT NO. **2**

Colbert Matz Rosenfelt, Inc.
 Engineers * Surveyors * Planners
 2835 Smith Avenue, Suite G
 Baltimore, Maryland 21209
 Telephone: (410) 653-3838
 Facsimile: (410) 653-7953

SCALE: 1"= 200'
 DATE: AUG. 5, 2009
 JOB NO.: 2006-150
 DESIGNED: CMR
 DRAWN: AKC/KJC
 CHECKED: CMR
 FILE: 2006150 AERIAL EXHIBIT.dwg
 DRAWING
 NUMBER: PHOTO-1

NO.	DATE	REVISIONS:	BY	SHEET	OF
				1	1



COORDINATED

No	WEST	NORTH	No	WEST	NORTH
22	24 115 07	20 056 00	129	25 251 24	25 540 44
23	24 025 27	20 060 10	131	25 255 11	25 425 13
75	24 127 66	25 255 20	135	25 275 59	25 214 05
76	24 171 75	25 405 55	136	25 276 55	25 228 55
77	24 354 25	25 175 20	151	24 251 21	25 421 62
78	24 100 24	25 255 27	155	24 267 19	25 422 25
79	24 225 25	25 457 76	142	24 061 04	25 180 56
81	24 364 45	25 462 70	145	24 085 20	25 084 26
83	24 422 52	25 576 01	146	24 112 26	25 021 04
84	24 278 15	25 554 52	148	24 020 84	25 167 01
85	24 135 88	25 414 76	150	24 060 76	25 555 45
92	25 251 67	25 227 79	151	24 082 25	25 549 14
124	25 251 00	25 482 12	152	24 055 35	25 756 01
125	25 252 15	25 445 24	153	24 011 61	25 768 50
126	25 262 78	25 531 65	211	24 166 10	25 402 02

CURVES

FROM	TO	R	L	Δ	TD	CHORD
88	142	225 00	250 20	66° 05' 10"	142 26	5 17° 10' 55" E 245 20
145	150	300 00	236 55	45° 10' 40"	124 21	5 06° 50' 20" E 230 47
146	151	225 00	256 25	45° 10' 40"	125 21	5 06° 50' 20" E 240 68
152	126	575 00	251 04	25° 01' 20"	117 19	5 17° 55' 00" E 222 55
153	129	600 00	241 09	25° 01' 20"	122 22	5 17° 55' 00" E 239 55
154	145	252 50	268 08	66° 05' 10"	151 14	5 17° 16' 55" E 259 44

W.J.R. 26 FOLIO 129

RECEIVED for 1 c. A.M.
 JAN 25 1960 at
 same day recorded in liber
 W.J.R. No. folio
 One of the Records of
 Baltimore County and ex-
 amined, per

**SECTION ONE
 LABYRINTH**

ELECTION DIST. 3 BALTIMORE CO., MD.
 SCALE: 1"=50' NOV. 5, 1959

OWNER:
GORN BROTHERS, INC.
 3700 SMITH AVE.
 BALTIMORE 15, MD.

PETITIONER'S
 EXHIBIT NO. **3**

FWA Certificate 30702 MEA
 Final Plat Checked
 Prepared
 Engineered
 Date

APPROVED DATE 1/21/60 COUNTY BOARD ENGINEER	NOTE Streets and/or roads shown hereon, and mention thereof in deeds are for the purpose of description only and the same are not intended to be dedicated for public use, the fee simple title to the beds thereof is expressly reserved in the grantors of the deed to which this plat is attached, their heirs and assigns	NOTE Coordinates and bearings shown on this plat are referred to the system of coordinates established in The Baltimore County Metropolitan District and are based on the following traverse stations: *1095 W 22 278 25 N 25 402 07 *1094 W 22 216 25 N 25 426 00	OWNERS CERTIFICATE The requirements of Section 72 D Article 17 of the Annotated Code of Maryland (Folck 1947 Supplement) as far as they relate to the preparation of this plat have been complied with - GORN BROTHERS, INC. - Samuel Worn Bros. 1/21/60 OWNER DATE	SURVEYORS CERTIFICATE I NORMAN FRANCIS HERRMANN, a Registered Land Surveyor of the State of Maryland, do hereby certify that the land shown hereon has been laid out, and the plat thereof prepared in accordance with the provisions of the law relating to the subdivision of land known as House Bill 459 Chapter 101G of the Acts of 1945 and subsequent acts amendatory thereof Norman Francis Herrmann 11/10/59 REGISTERED LAND SURVEYOR #2826 DATE	MATZ, CHILDS & ASSOCIATES 2129 N. CHARLES ST. BALTIMORE 16, MD.
APPROVED BALTIMORE COUNTY PLANNING BOARD DATE Jan. 18, 1960 DIRECTOR	APPROVED DATE 1/21/60 DEPUTY STATE & COUNTY HEALTH OFFICER				



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②



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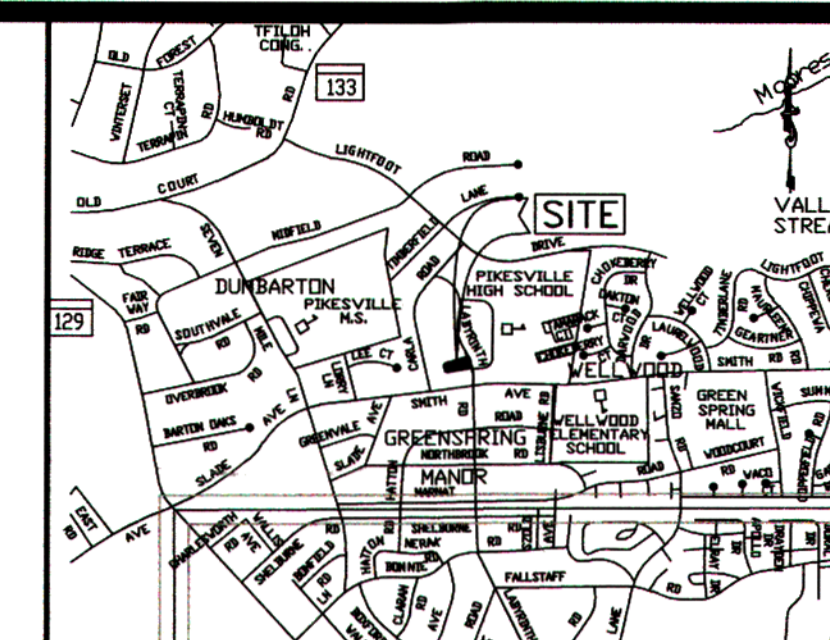
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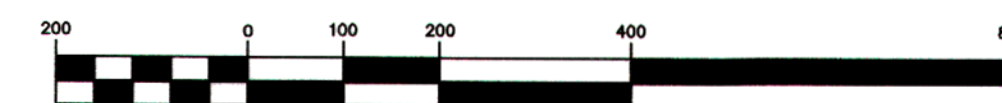


VICINITY MAP
SCALE: 1"=200'

PHOTO EXHIBIT

NETIVOT SHALOM
7602 LABYRINTH ROAD

3rd ELECTION DISTRICT 2nd COUNCILMANIC DISTRICT
BALTIMORE COUNTY, MARYLAND
GRAPHIC SCALE



(IN FEET)
1 inch = 200 ft.

Colbert Matz Rosenfelt, Inc.

Engineers * Surveyors * Planners
2835 Smith Avenue, Suite G
Baltimore, Maryland 21209
Telephone: (410) 653-3838
Facsimile: (410) 653-7953

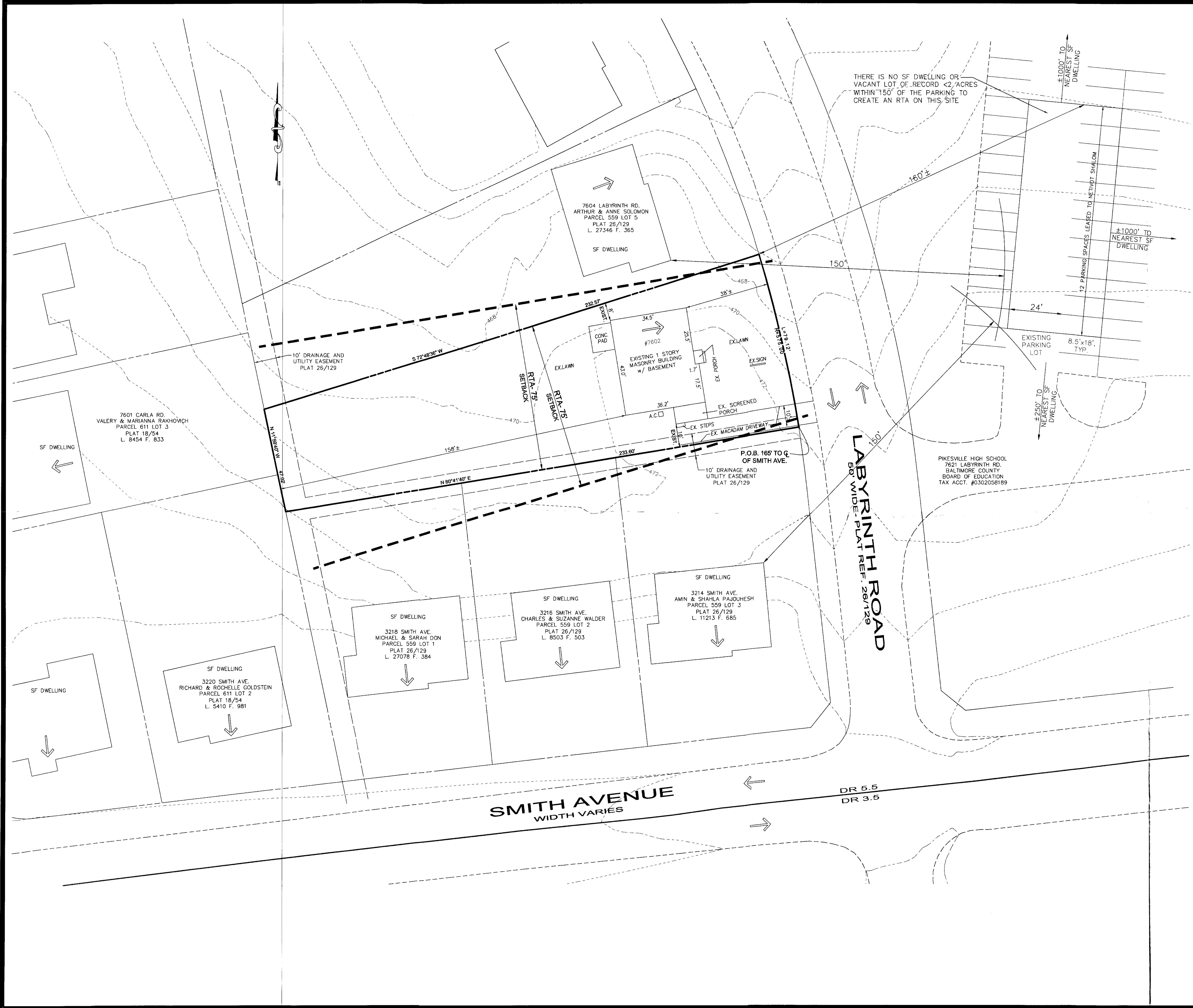


PETITIONER'S
EXHIBIT NO. **4**

SCALE: 1"= 200'
DATE: AUG. 5, 2009
JOB NO.: 2006-150
DESIGNED: CMR
DRAWN: AKC/KJC
CHECKED: CMR

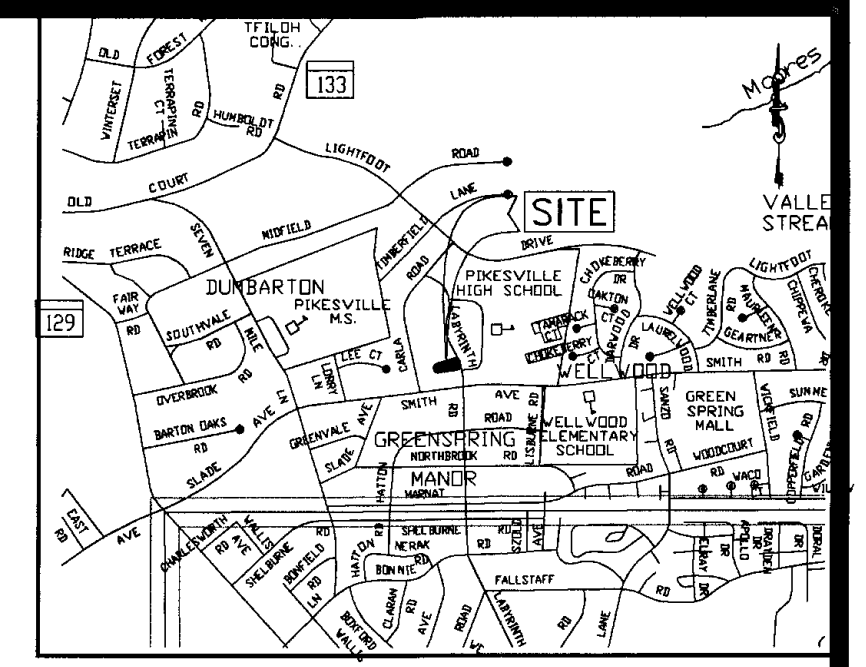
FILE: 2006150 AERIAL EXHIBIT.dwg
DRAWING
NUMBER: PHOTO-2

NO.	DATE	REVISIONS:	BY	SHEET	2 OF 2



THERE IS NO SF DWELLING OR VACANT LOT OF RECORD <2 ACRES WITHIN 150' OF THE PARKING TO CREATE AN RTA ON THIS SITE

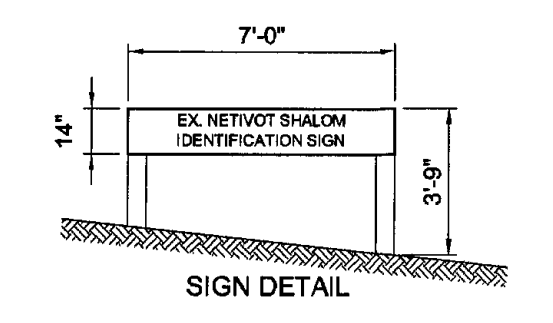
LEGEND
 PROPERTY LINE ———
 STREET LINE - - - - -
 EX. CONTOURS - - - - -
 EX. EASEMENT - - - - -
 DENOTES FRONT OF BUILDING →



VICINITY MAP
SCALE: 1"=2000'

GENERAL NOTES

- OWNER/DEVELOPER: NETIVOT SHALOM THE NEW SHUL OF BALTIMORE
7602 LABYRINTH ROAD
BALTIMORE, MD. 21208
PHONE NO. 443-630-8620
- TAX ACCOUNT NO. 0304038880
DEED REFERENCE 22537770
PLAT REFERENCE 26/129
TAX MAP NO. 78, PARCEL 559
SITE AREA 14,670 SQ. FT.
- EX. USE - DWELLING
PROP. USE - SYNAGOGUE - 48 SANCTUARY SEATS
- ZONED DR-5.5 ZONING MAP NO. 78C1
THERE IS NO ZONING HISTORY FOR THIS SITE.
- THIS SITE IS SERVED BY PUBLIC WATER AND SEWER
- THIS SITE IS NOT IN THE CHESAPEAKE BAY CRITICAL AREA OR A 100-YEAR FLOODPLAIN.
- THERE ARE NO HISTORIC BUILDINGS ON THIS SITE.
- OFF-STREET PARKING:
REQUIRED: 12 SPACES
PROPOSED: 12 SPACES
12 SPACES PROVIDED BY AGREEMENT WITH PIKESVILLE HIGH SCHOOL ON SCHOOL PARKING LOT. ALL PARKING IS DURABLE, DISTLESS AND PERMANENTLY STRIPPED.
- ALL SIGNS WILL MEET THE REQUIREMENTS OF SEC. 450, BCZR.
- SETBACKS: REQUIRED PROPOSED (EXISTING)
FRONT 40 FT. 38 FT.
INTERIOR SIDE 20 FT. 8 FT./10 FT.
REAR 30 FT. 158 FT.
- RTA REQUIREMENTS:
BUILDING SETBACK
REQUIRED 75 FT.
PROPOSED (EXISTING) 38 FT.
FRONT 38 FT.
SIDE 8 FT./10 FT.
REAR 158 FT.
- BUFFER
REQUIRED 50 FT.
PROPOSED (EXISTING) 0 FT.
FRONT 0 FT.
SIDE 0 FT.
REAR 0 FT.
- PARKING SETBACK
REQUIRED 75 FT.
PROPOSED (EXISTING) 0 FT.
FRONT 0 FT.
REAR 0 FT. BUFFER
- PREVIOUS COMMERCIAL PERMITS: NONE



RTA SETBACK EXHIBIT

**NETIVOT SHALOM
7602 LABYRINTH ROAD**

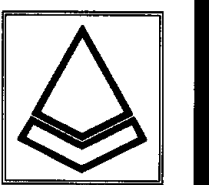
3rd ELECTION DISTRICT 2nd COUNCILMANIC DISTRICT
BALTIMORE COUNTY, MARYLAND
GRAPHIC SCALE



PETITIONER'S
EXHIBIT NO. **5**

Colbert Matz Rosenfelt, Inc.

Engineers * Surveyors * Planners
2835 Smith Avenue, Suite G
Baltimore, Maryland 21209
Telephone: (410) 653-3838
Facsimile: (410) 653-7953



Professional Certification		SCALE: 1"= 20'	
I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.		DATE: June 1, 2009	JOB NO.: 2006-150
License No. _____	Expiration Date: _____	DESIGNED: CMR	DRAWN: AKC/KJC
		CHECKED: CMR	FILE: 2006150 BASE2.dwg
		DRAWING NUMBER: SET-1	
NO.	DATE	REVISIONS:	BY SHEET 1 OF 1