

IN RE: PETITION FOR ADMIN. VARIANCE

N side of Streamwood Drive; 107 feet E of
the c/l of Balmoral Circle
2nd Election District
2nd Councilmanic District
(8260 Streamwood Drive)

Angela and Henry Putty
Petitioners

* BEFORE THE
* DEPUTY ZONING
* COMMISSIONER
* FOR BALTIMORE COUNTY
* **Case No. 2009-0320-A**

* * * * *

FINDINGS OF FACT AND CONCLUSIONS OF LAW

This matter comes before this Deputy Zoning Commissioner as a Petition for Administrative Variance filed by the legal owners of the subject property, Angela and Henry Putty for property located at 8260 Streamwood Drive. The variance request is from Sections 208.3 and 301.1 (1955 to 1970) of the Baltimore County Zoning Regulations (B.C.Z.R.) to permit a 3 foot side yard setback in lieu of the required 7.5 feet for a proposed open patio with roof addition. The subject property and requested relief are more particularly described on Petitioners' Exhibit No. 1. Petitioners propose an open patio with roof addition (9' x 23') to be located on the existing paved area. This proposed addition would extend from the side of the home that faces Balmoral Circle. Petitioners indicated that this addition will ensure adequate seating and comfort as well as enhance beauty of area, however, could not be located elsewhere due to the internal layout of the house.

The Zoning Advisory Committee (ZAC) comments were received and are made part of the record of this case. Comments were received from the Bureau of Development Plans Review dated June 17, 2009 which indicates that Baltimore County has a drainage and utility easement (deed ref 5167/458) that runs parallel to the property line from which the setback variance is being requested. It is not shown on the Petitioner's plan. Since no permanent structure may be placed in the easement, the following options are available: 1) Reduce the size of the structure such that it

~~APPROVED FOR RECORD~~
7.27.09
pm

does not fall within the easement. In this case, the side yard setback would be 5 feet instead of 3 feet and the open deck and roof addition would be 7 feet by 23 feet. Or, 2) Petition the County to release the easement. Contact the Bureau of Land Acquisition at 410-887-3259 to get the cost and length of time for the release. The variance should not be granted until one of the above options is fully exercised.

On July 15, 2009, a letter was sent to the Petitioners transmitting the Bureau of Development Plans Review comments. The Petitioners were asked to review the matter and provide a response. On July 27, 2009, the Undersigned received a response from the Petitioners wherein they decided to reduce the size of the structure so that it does not fall within the County easement. The side yard setback will now be 5 feet instead of 3 feet, and the open deck and roof addition will be 7 feet x 23 feet in size.

The Petitioners having filed a Petition for Administrative Variance and the subject property having been posted on June 21, 2009 and there being no request for a public hearing, a decision shall be rendered based upon the documentation presented.

The Petitioners has filed the supporting affidavits as required by Section 32-3-303 of the Baltimore County Code. Based upon the information available, there is no evidence in the file to indicate that the requested variance would adversely affect the health, safety or general welfare of the public and should therefore be granted. In the opinion of the Deputy Zoning Commissioner, the information, photographs, and affidavits submitted provide sufficient facts that comply with the requirements of Section 307.1 of the B.C.Z.R. Furthermore, strict compliance with the B.C.Z.R. would result in practical difficulty and/or unreasonable hardship upon the Petitioner.

~~SECRET~~
7-27-09


Pursuant to the posting of the property and the provisions of both the Baltimore County Code and the Baltimore County Zoning Regulations, and for the reasons given above, the requested variance should be granted.

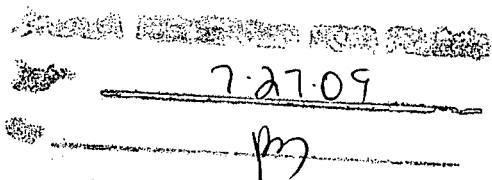
THEREFORE, IT IS ORDERED, by the Deputy Zoning Commissioner for Baltimore County, this 27th day of July, 2009 that a variance from Sections 208.3 and 301.1 (1955 to 1970) of the Baltimore County Zoning Regulations (B.C.Z.R.) to permit a 5 foot side yard setback in lieu of the required 7.5 feet for a proposed open patio with roof addition is hereby GRANTED, subject to the following:

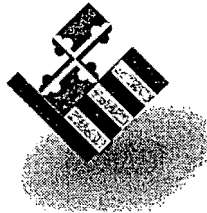
1. The Petitioners may apply for their building permit and be granted same upon receipt of this Order; however, Petitioners are hereby made aware that proceeding at this time is at their own risk until such time as the 30 day appellate process from this Order has expired. If, for whatever reason, this Order is reversed, the Petitioners would be required to return, and be responsible for returning, said property to its original condition.

Any appeal of this decision must be made within thirty (30) days of the date of this Order.


THOMAS H. BOSTWICK
Deputy Zoning Commissioner
for Baltimore County

THB:pz


7-27-09
m



BALTIMORE COUNTY
MARYLAND

JAMES T. SMITH, JR.
County Executive

THOMAS H. BOSTWICK
Deputy Zoning Commissioner

July 27, 2009

ANGELA AND HENRY PUTTY
8260 STREAMWOOD DRIVE
PIKESVILLE MD 21208

Re: Petition for Administrative Variance
Case No. 2009-0320-A
Property: 8260 Streamwood Drive

Dear Mr. and Mrs. Putty:

Enclosed please find the decision rendered in the above-captioned case.

In the event the decision rendered is unfavorable to any party, please be advised that any party may file an appeal within thirty (30) days from the date of the Order to the Department of Permits and Development Management. If you require additional information concerning filing an appeal, please feel free to contact our appeals clerk at 410-887-3391.

Very truly yours,

A handwritten signature in cursive script, reading "Thomas H. Bostwick".

THOMAS H. BOSTWICK
Deputy Zoning Commissioner
for Baltimore County

THB:pz
Enclosure



Petition for Administrative Variance

to the Zoning Commissioner of Baltimore County

for the property located at 8260 Streamwood Dr.
which is presently zoned DRS-5

This Petition shall be filed with the Department of Permits and Development Management. The undersigned, legal owner(s) of the property situate in Baltimore County and which is described in the description and plat attached hereto and made a part hereof, hereby petition for a Variance from Section(s) 2082 AND 3011; BCZR, (1955 to 1970 BCZR)

to PERMIT A 3.5 ft SIDEYARD SETBACK IN LIEU OF THE 7.5 ft REQUIRED FOR A PROPOSED OPEN PATIO WITH ROOF Addition

of the zoning regulations of Baltimore County, to the zoning law of Baltimore County, for the reasons indicated on the back of this petition form.

Property is to be posted and advertised as prescribed by the zoning regulations.

I, or we, agree to pay expenses of above Variance, advertising, posting, etc. and further agree to and are to be bounded by the zoning regulations and restrictions of Baltimore County adopted pursuant to the zoning law for Baltimore County.

I/We do solemnly declare and affirm, under the penalties of perjury, that I/we are the legal owner(s) of the property which is the subject of this Petition.

Contract Purchaser/Lessee:

Name - Type or Print

Signature

Address Telephone No.

City State Zip Code

Attorney For Petitioner:

Name - Type or Print

Signature

Company

Address Telephone No.

City State Zip Code

Legal Owner(s):

Name - Type or Print

Signature

Name - Type or Print

Signature

Address Telephone No.

City State Zip Code

Representative to be Contacted:

Name

Address

Telephone No.

City

State

Zip Code

A Public Hearing having been formally demanded and/or found to be required, it is ordered by the Zoning Commissioner of Baltimore County, this day of that the subject matter of this petition be set for a public hearing, advertised, as required by the zoning regulations of Baltimore County and that the property be reposted.

Zoning Commissioner of Baltimore County

CASE NO. 2009-0320-A

Reviewed By RTD

Date

6/10/09

REV 10/25/01

Estimated Posting Date

6/21/09

7-27-09

PM

Affidavit in Support of Administrative Variance

The undersigned hereby affirms under the penalties of perjury to the Zoning Commissioner of Baltimore County, as follows: That the information herein given is within the personal knowledge of the Affiant(s) and that Affiant(s) is/are competent to testify thereto in the event that a public hearing is scheduled in the future with regard thereto.

That the Affiant(s) does/do presently reside at

8260 Streamwood Drive
Address
Pikesville Md 21208
City State Zip Code

That based upon personal knowledge, the following are the facts upon which I/we base the request for an Administrative Variance at the above address (indicate hardship or practical difficulty):

Zoning regulations require a ^{15'} set back (side)
I am requesting a 2' set back to ensure adequate seating and comfort on existing paved area. In addition enhance beauty of Area and can not be located elsewhere due to internal layout of the house.

That the Affiant(s) acknowledge(s) that if a formal demand is filed, Affiant(s) will be required to pay a reposting and advertising fee and may be required to provide additional information.

Angela C. Davis Putty
Signature
Angela C. Davis Putty
Name - Type or Print

Henry D. Putty
Signature
Henry D. Putty
Name - Type or Print

STATE OF MARYLAND, COUNTY OF BALTIMORE, to wit:

I HEREBY CERTIFY, this 28th day of May, 2009, before me, a Notary Public of the State of Maryland, in and for the County aforesaid, personally appeared

Angela C Davis Putty/Henry D. Putty
the Affiant(s) herein, personally known or satisfactorily identified to me as such Affiant(s).

AS WITNESS my hand and Notarial Seal

Janice Tide
Notary Public

My Commission Expires 10-1-2009



Petition for Administrative Variance

to the Zoning Commissioner of Baltimore County

for the property located at 8260 Streamwood Dr. 21208
which is presently zoned DR5.5

This Petition shall be filed with the Department of Permits and Development Management. The undersigned, legal owner(s) of the property situate in Baltimore County and which is described in the description and plat attached hereto and made a part hereof, hereby petition for a Variance from Section(s) 1208.3 + 301.1, BC2R, to (1955 to 1970 BC2R,

To Permit a 13.5 foot side yard setback in lieu of the Required 17.5 ft. FOR A PROPOSED OPEN PATIO WITH ROOF ADDITION and a 5 ft. side yard setback in lieu of the Required 25 ft.

of the zoning regulations of Baltimore County, to the zoning law of Baltimore County, for the reasons indicated on the back of this petition form.

Property is to be posted and advertised as prescribed by the zoning regulations.

I, or we, agree to pay expenses of above Variance, advertising, posting, etc. and further agree to and are to be bounded by the zoning regulations and restrictions of Baltimore County adopted pursuant to the zoning law for Baltimore County.

I/We do solemnly declare and affirm, under the penalties of perjury, that I/we are the legal owner(s) of the property which is the subject of this Petition.

Contract Purchaser/Lessee:

Name - Type or Print

Signature

Address

Telephone No.

City

State

Zip Code

Attorney For Petitioner:

Name - Type or Print

Signature

Company

Address

Telephone No.

City

State

Zip Code

Legal Owner(s):

Angela C. Davis Putty
Name - Type or Print

Signature

Angela C. Davis Putty
Signature

Henry D. Putty
Name - Type or Print

Signature

Henry D. Putty
Signature

8260 Streamwood Dr. 410-496-3663
Address Telephone No.

Pikesville MD 21208
City State Zip Code

Representative to be Contacted:

Name

Address

Telephone No.

City

State

Zip Code

A Public Hearing having been formally demanded and/or found to be required, it is ordered by the Zoning Commissioner of Baltimore County, this 7.27.09 day of July that the subject matter of this petition be set for a public hearing, advertised, as required by the zoning regulations of Baltimore County and that the property be reposted.

Zoning Commissioner of Baltimore County

CASE NO. 2009-0320-A

Reviewed By RDD

Date

6/10/09

REV 10/25/01

Estimated Posting Date

6/21/09

7.27.09

B3

Affidavit in Support of Administrative Variance

The undersigned hereby affirms under the penalties of perjury to the Zoning Commissioner of Baltimore County, as follows: That the information herein given is within the personal knowledge of the Affiant(s) and that Affiant(s) is/are competent to testify thereto in the event that a public hearing is scheduled in the future with regard thereto.

That the Affiant(s) does/do presently reside at

8260 Streamwood Pike
Address
Pikesville MD 21208
City State Zip Code

That based upon personal knowledge, the following are the facts upon which I/we base the request for an Administrative Variance at the above address (indicate hardship or practical difficulty):

Zoning regulations require a 10' set back (side)
I am requesting a 3' set back to ensure adequate seating and comfort on existing paved area. In addition enhance beauty of area and car not be located elsewhere due to internal layout of the house.

That the Affiant(s) acknowledge(s) that if a formal demand is filed, Affiant(s) will be required to pay a reposting and advertising fee and may be required to provide additional information.

Angela C. Davis Putty
Signature

Angela C. Davis Putty
Name - Type or Print

Henry D. Putty
Signature

HENRY D. Putty
Name - Type or Print

STATE OF MARYLAND, COUNTY OF BALTIMORE, to wit:

I HEREBY CERTIFY, this 28th day of May, 2009, before me, a Notary Public of the State of Maryland, in and for the County aforesaid, personally appeared

Angela C. Davis Putty / Henry D. Putty
the Affiant(s) herein, personally known or satisfactorily identified to me as such Affiant(s).

AS WITNESS my hand and Notarial Seal

[Signature]
Notary Public

My Commission Expires 10-1-2009

ZONING DESCRIPTION FOR 8260 Streamwood Dr. Pikesville, MD 21208
(address)

Beginning at a point on the NORTH side of
(north, south, east or west)
Streamwood Drive which is 60 ft.
(name of street on which property fronts) (number of feet of right-of-way width)
wide at the distance of 107 ft ± EAST of the
(number of feet) (north, south, east or west)

centerline of the nearest improved intersecting street Calmaral Cir.
(name of street)
which is 50 ft. wide. *Being Lot # 13
(number of feet of right-of-way width)

Block L, Section # 1 in the subdivision of Willow Glen North
(name of subdivision)

as recorded in Baltimore County Plat Book # 34, Folio # 028

containing 8,680 SQ FT ±
0.192 ACRES Also known as 8260 STREAMWOOD DRIVE
(square feet or acres) (property address)

and located in the 2ND Election District, 2ND Councilmanic District.

Item # 0320

BALTIMORE COUNTY, MARYLAND
OFFICE OF BUDGET AND FINANCE
MISCELLANEOUS CASH RECEIPT

No. **39849**

Date: **6/1/09**

PAID RECEIPT

BS-0055 4742 106 004
 6/1/09 11:57 AM
 6/1/09 11:57 AM
 6/1/09 11:57 AM

Fund	Dept	Unit	Sub Unit	Rev	Sub	Dept	Obj	BS Acct	Amount
				Source/	Rev/				
001									

Total: _____

Rec
From:

For:

DISTRIBUTION

WHITE - CASHIER

PINK - AGENCY

YELLOW - CUSTOMER

GOLD - ACCOUNTING

PLEASE PRESS HARD!!!!

**CASHIER'S
 VALIDATION**

CERTIFICATE OF POSTING

Date: 6-21-09

RE: Case Number: 2009-0320-A

Petitioner/Developer: Angela Davis-Putty

Date of Hearing/Closing: 7-6-09

This is to certify under the penalties of perjury that the necessary sign(s) required by law were posted conspicuously on the property located at 8260 Streamwood Dr

The signs(s) were posted on 6-21-09
(Month, Day, Year)

J. Lawrence Pilson
(Signature of Sign Poster)

J. LAWRENCE PILSON
(Printed Name of Sign Poster)

ATTACH PHOTOGRAPH

1015 Old Barn Road
(Street Address of Sign Poster)

Parkton, MD 21120
(City, State, Zip Code of Sign Poster)

410-343-1443
(Telephone Number of Sign Poster)

2009-0320-A
Angela Davis-Putty

NOTICE

**ADMINISTRATIVE
VARIANCE**

CASE # 2009-0320-A
TO PERMIT A 3-FOOT SIDYARD
SEPARATION IN LIEU OF THE REQUIRED
10 FEET FOR A PROPOSED OPEN PATIO
WITH ROOF ADDITION

PUBLIC HEARING ?

PURSUANT TO SECTION 25-127(b)(1), BALTIMORE COUNTY CODE,
AN ELIGIBLE INDIVIDUAL OR GROUP MAY
REQUEST A PUBLIC HEARING CONCERNING
THE PROPOSED VARIANCE, PROVIDED IT
IS DONE IN THE ZONING OFFICE BEFORE
4:30 p.m. ON 7/15/09.
ADDITIONAL INFORMATION IS AVAILABLE
FROM THE ZONING ADMINISTRATION AND DEVELOPMENT
DEPARTMENT, 2100 E. CHESAPEAKE AVE.,
P.O. BOX 37, BALTIMORE, MD 21203.

7-15 Hand
deliv. by Pet. Mrs. Paffy
JES

ADMINISTRATIVE VARIANCE INFORMATION SHEET AND DATES

Case Number 2009- 0320 -A Address 8260 Streamwood Dr

Contact Person: David Duvall Phone Number: 410-887-3391
Planner, Please Print Your Name

Filing Date: 6/10/09 Posting Date: 6/21/09 Closing Date: 7/06/09

Any contact made with this office regarding the status of the administrative variance should be through the contact person (planner) using the case number.

1. **POSTING/COST:** The petitioner must use one of the sign posters on the approved list (on the reverse side of this form) and the petitioner is responsible for all printing/posting costs. Any reposting must be done only by one of the sign posters on the approved list and the petitioner is again responsible for all associated costs. The zoning notice sign must be visible on the property on or before the posting date noted above. It should remain there through the closing date.
2. **DEADLINE:** The closing date is the deadline for an occupant or owner within 1,000 feet to file a formal request for a public hearing. Please understand that even if there is no formal request for a public hearing, the process is not complete on the closing date.
3. **ORDER:** After the closing date, the file will be reviewed by the zoning or deputy zoning commissioner. He may: (a) grant the requested relief; (b) deny the requested relief; or (c) order that the matter be set in for a public hearing. You will receive written notification, usually within 10 days of the closing date if all County agencies' comments are received, as to whether the petition has been granted, denied, or will go to public hearing. The order will be mailed to you by First Class mail.
4. **POSSIBLE PUBLIC HEARING AND REPOSTING:** In cases that must go to a public hearing (whether due to a neighbor's formal request or by order of the zoning or deputy zoning commissioner), notification will be forwarded to you. The sign on the property must be changed giving notice of the hearing date, time and location. As when the sign was originally posted, certification of this change and a photograph of the altered sign must be forwarded to this office.

(Detach Along Dotted Line)

Petitioner: This Part of the Form is for the Sign Poster Only

USE THE ADMINISTRATIVE VARIANCE SIGN FORMAT

Case Number 2009- 0320 -A Address 8260 Streamwood Dr

Petitioner's Name Angela C Davis-Putty Telephone 410-496-3663

Posting Date: 6/21/09 Closing Date: 7/06/09

Wording for Sign: To Permit a 3-foot side yard setback in lieu of
the required 7 1/2 feet for a proposed open patio with
roof addition

WCR - Revised 7/7/08

DEPARTMENT OF PERMITS AND DEVELOPMENT MANAGEMENT
ZONING REVIEW

ADVERTISING REQUIREMENTS AND PROCEDURES FOR ZONING HEARINGS

The Baltimore County Zoning Regulations (BCZR) require that notice be given to the general public/neighboring property owners relative to property which is the subject of an upcoming zoning hearing. For those petitions which require a public hearing, this notice is accomplished by posting a sign on the property (responsibility of the petitioner) and placement of a notice in a newspaper of general circulation in the County, both at least fifteen (15) days before the hearing.

Zoning Review will ensure that the legal requirements for advertising are satisfied. However, the petitioner is responsible for the costs associated with these requirements. The newspaper will bill the person listed below for the advertising. This advertising is due upon receipt and should be remitted directly to the newspaper.

OPINIONS MAY NOT BE ISSUED UNTIL ALL ADVERTISING COSTS ARE PAID.

For Newspaper Advertising:

Item Number or Case Number: 2009-0320-A

Petitioner: Angela C. Davis-Putty

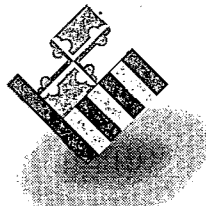
Address or Location: 8260 Streamwood Dr. Pikesville, MD 21208

PLEASE FORWARD ADVERTISING BILL TO:

Name: Angela C. Davis-Putty

Address: 8260 Streamwood Drive
Pikesville, MD 21208

Telephone Number: 410-496-3663



BALTIMORE COUNTY

M A R Y L A N D

JAMES T. SMITH, JR.
County Executive

TIMOTHY M. KOTROCO, *Director*
Department of Permits and
Development Management

July 14, 2009

Angela & Henry Putty
8260 Stream Wood Dr.
Pikesville, MD 21208

Dear: Angela & Henry Putty

RE: Case Number 2009-0320-A, 8260 Stream Wood Dr.

The above referenced petition was accepted for processing **ONLY** by the Bureau of Zoning Review, Department of Permits and Development Management (PDM) on June 10, 2009. This letter is not an approval, but only a **NOTIFICATION**.

The Zoning Advisory Committee (ZAC), which consists of representatives from several approval agencies, has reviewed the plans that were submitted with your petition. All comments submitted thus far from the members of the ZAC are attached. These comments are not intended to indicate the appropriateness of the zoning action requested, but to ensure that all parties (zoning commissioner, attorney, petitioner, etc.) are made aware of plans or problems with regard to the proposed improvements that may have a bearing on this case. All comments will be placed in the permanent case file.

If you need further information or have any questions, please do not hesitate to contact the commenting agency.

Very truly yours,

A handwritten signature in black ink, reading "W. Carl Richards, Jr." with a stylized flourish at the end.

W. Carl Richards, Jr.
Supervisor, Zoning Review

WCR:lnw

Enclosures

c: People's Counsel

AV

BALTIMORE COUNTY, MARYLAND

Inter-Office Correspondence



RECEIVED

JUL 14 2009

ZONING COMMISSIONER

TO: Timothy M. Kotroco

FROM: Dave Lykens, DEPRM - Development Coordination

DATE: July 13, 2009

SUBJECT: Zoning Item # 09-320-A
Address 8260 Streamwood Drive
(Putty Property)

Zoning Advisory Committee Meeting of June 15, 2009

 X The Department of Environmental Protection and Resource Management has no comments on the above-referenced zoning item.

Reviewer: JWL

Date: 7/13/09

BALTIMORE COUNTY, MARYLAND

INTER-OFFICE CORRESPONDENCE

TO: Timothy M. Kotroco, Director
Department of Permits and
Development Management

DATE: July 6, 2009

RECEIVED

JUL 07 2009

FROM: Arnold F. 'Pat' Keller, III
Director, Office of Planning

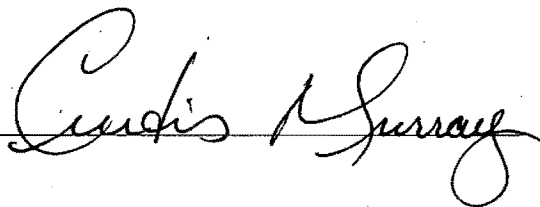
ZONING COMMISSIONER

SUBJECT: Zoning Advisory Petition(s): **Case(s) 09-320- Administrative Variance**

The Office of Planning has reviewed the above referenced case(s) and has no comments to offer.

For further questions or additional information concerning the matters stated herein, please contact Dennis Wertz in the Office of Planning at 410-887-3480.

Prepared By:
CM/LL



BALTIMORE COUNTY, MARYLAND

INTER-OFFICE CORRESPONDENCE

TO: Timothy M. Kotroco, Director
Department of Permits and
Development Management

DATE: July 6, 2009

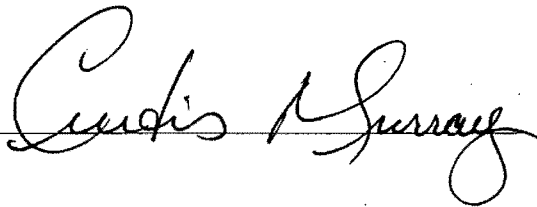
FROM: Arnold F. 'Pat' Keller, III
Director, Office of Planning

SUBJECT: Zoning Advisory Petition(s): **Case(s) 09-320- Administrative Variance**

The Office of Planning has reviewed the above referenced case(s) and has no comments to offer.

For further questions or additional information concerning the matters stated herein, please contact Dennis Wertz in the Office of Planning at 410-887-3480.

Prepared By:
CM/LL

A handwritten signature in cursive script, appearing to read "Curtis R. Murray", written over a horizontal line.

BALTIMORE COUNTY, MARYLAND
INTEROFFICE CORRESPONDENCE

TO: Timothy M. Kotroco, Director
Department of Permits & Development
Management

DATE: June 17, 2009

FROM: Dennis A. Kennedy, Supervisor
Bureau of Development Plans Review

SUBJECT: Zoning Advisory Committee Meeting
For June 22, 2009
Item No. 2009-320

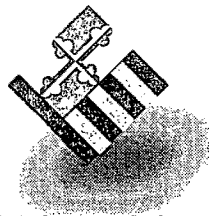
The Bureau of Development Plans Review has reviewed the subject zoning item and we have the following comment.

Baltimore County has a drainage and utility easement (deed ref. 5167/458) that runs parallel to the property line from which the setback variance is being requested. It is not shown on the petitioner's plan. Since no permanent structures may be placed in the easement, the following options are available.

1. Reduce the size of the structure such that it does not fall within the easement. In this case, the sideyard setback would be five feet instead of three and the open deck and roof addition would be 7 feet by 23 feet.
2. Petition the County to release the easement. Contact the Bureau of Land Acquisition at 410-887-3259 to get the cost and length of time for the release.

The variance should not be granted until one of the above options is fully exercised.

DAK:CEN:dak
cc: File
ZAC-ITEM NO 2009-307-06082009.doc



BALTIMORE COUNTY
M A R Y L A N D

JAMES T. SMITH, JR.
County Executive

JOHN-J. HOHMAN, *Chief*
Fire Department

County Office Building, Room 111
Mail Stop #1105
111 West Chesapeake Avenue
Towson, Maryland 21204

June 4, 2009

ATTENTION: Zoning Review Planners

Distribution Meeting Of: June 22.2009

Item Numbers 299,0315,0316,0317,0318,0319,0320

Pursuant to your request, the referenced plan(s) have been reviewed by this Bureau and the comments below are applicable and required to be corrected or incorporated into the final plans for the property.

1. The Fire Marshal's Office has no comments at this time.

Lieutenant Roland P Bosley Jr.
Fire Marshal's Office
410-887-4881 (C) 443-829-2946
MS-1102F

cc: File



Martin O'Malley, Governor
Anthony G. Brown, Lt. Governor

State Highway
Administration

Beverley K. Swaim-Staley, Acting Secretary
Neil J. Pedersen, Administrator

Maryland Department of Transportation

Date: JUNE 17, 2009

Ms. Kristen Matthews
Baltimore County Office of
Permits and Development Management
County Office Building, Room 109
Towson, Maryland 21204

RE: Baltimore County
Item No. 2009-0320-A
8260 STREAMWOOD DRIVE
PUTTY PROPERTY
ADMINISTRATIVE VARIANCE

Dear Ms. Matthews:

Thank you for the opportunity to review your referral request on the subject of the above captioned. We have determined that the subject property does not access a State roadway and is not affected by any State Highway Administration projects. Therefore, based upon available information this office has no objection to Baltimore County Zoning Advisory Committee approval of Item No. 2009-0320-A.

Should you have any questions regarding this matter, please contact Michael Bailey at 410-545-2803 or 1-800-876-4742 extension 5593. Also, you may E-mail him at (mbailey@sha.state.md.us).

Very truly yours,

For¹ Steven D. Foster, Chief
Engineering Access Permits
Division

SDF/MB

My telephone number/toll-free number is _____

Maryland Relay Service for Impaired Hearing or Speech 1.800.735.2258 Statewide Toll Free

Street Address: 707 North Calvert Street • Baltimore, Maryland 21202 • Phone 410 545 0300 • www.marylandroads.com

July 22, 2009

Thomas H. Bostwick
Deputy Zoning Commissioner
for Baltimore County
Jefferson Bldg
105 West Chesapeake Ave.
Suite 103
Towson, MD 21204

RECEIVED

JUL 27 2009

ZONING COMMISSIONER

Angela C. Davis Putty
8260 Streamwood Dr
Pikesville, MD 21208
410-496-3663

Petition for Administrative Variance
Case No. 2009-0320-A
8260 Streamwood Drive

Dear Mr. Bostwick:

On July 20, 2009 I received your letter dated July 15, 2009 indicating that the County's Bureau of Development Plans Review raised a comment concerning a drainage and utility easement (deed ref. 5167/458) that runs parallel to the property line from which the setback variance is being requested. Two (2) options were offered. Number 1 suggested to reduce the size of the structure such that it does not fall within the easement. This would provide

(2)

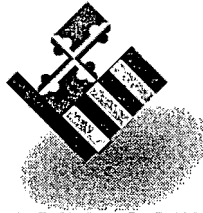
a side yard setback of (5) five feet instead of the (3) three and the open deck and roof addition would be (7) seven feet by (23) twenty-three feet.

I would like to take advantage of option (1) one as noted above.

Please advise on further instructions.

I thank you.

Respectfully Submitted
Angela C. Davis Pitty



BALTIMORE COUNTY
M A R Y L A N D

JAMES T. SMITH, JR.
County Executive

July 15, 2009

THOMAS H. BOSTWICK
Deputy Zoning Commissioner

Angela C. Davis-Putty
Henry D. Putty
8260 Streamwood Drive
Pikesville, Maryland 21208

Re: Petition for Administrative Variance
Case No. 2009-0320-A
Property: 8260 Streamwood Drive

Dear Mr. and Mrs. Putty:

This Office is in receipt of the file concerning your above-referenced Administrative Variance request wherein you desire an open patio with roof addition and are in need of variance relief from the side yard setback requirements.

In evaluating your request, the undersigned has received a comment from the County's Bureau of Development Plans Review dated June 17, 2009. This agency is part of the County's "Zoning Advisory Committee," which provides input and comments on all zoning relief requests such as yours. In their comment, Dennis Kennedy, a Supervisor with that agency, states the following: "Baltimore County has a drainage and utility easement (deed ref. 5167/458) that runs parallel to the property line from which the setback variance is being requested. It is not shown on the petitioner's plan. Since no permanent structures may be placed in the easement, the following options are available. (1) Reduce the size of the structure such that it does not fall within the easement. In this case, the side yard setback would be five feet instead of three and the open deck and roof addition would be 7 feet by 23 feet. (2) Petition the County to release the easement. Contact the Bureau of Land Acquisition at 410-887-3259 to get the cost and length of time for the release. The variance should not be granted until one of the above options is fully exercised." A copy of this comment is attached for your reference.

In light of the above, please review this matter and provide a written response to this matter within the next fifteen (15) days. If I do not hear from you within that time period, I will decide this matter based on the information and documentation contained within the case file.

Very truly yours,

Handwritten signature of Thomas H. Bostwick in black ink.

THOMAS H. BOSTWICK
Deputy Zoning Commissioner
for Baltimore County

THB:dlw
Attachment

BALTIMORE COUNTY, MARYLAND
INTEROFFICE CORRESPONDENCE

TO: Timothy M. Kotroco, Director
Department of Permits & Development
Management

FROM: Dennis A. Kennedy^{DAK}, Supervisor
Bureau of Development Plans Review

SUBJECT: Zoning Advisory Committee Meeting
For June 22, 2009
Item No. 2009-320

DATE: June 17, 2009

The Bureau of Development Plans Review has reviewed the subject zoning item and we have the following comment.

Baltimore County has a drainage and utility easement (deed ref. 5167/458) that runs parallel to the property line from which the setback variance is being requested. It is not shown on the petitioner's plan. Since no permanent structures may be placed in the easement, the following options are available.

1. Reduce the size of the structure such that it does not fall within the easement. In this case, the sideyard setback would be five feet instead of three and the open deck and roof addition would be 7 feet by 23 feet.
2. Petition the County to release the easement. Contact the Bureau of Land Acquisition at 410-887-3259 to get the cost and length of time for the release.

The variance should not be granted until one of the above options is fully exercised.

DAK:CEN:dak
cc: File
ZAC-ITEM NO 2009-307-06082009.doc

7/22/09
Revised Plat

PLAT TO ACCOMPANY PETITION FOR ZONING ☒ VARIANCE ☐ SPECIAL HEARING

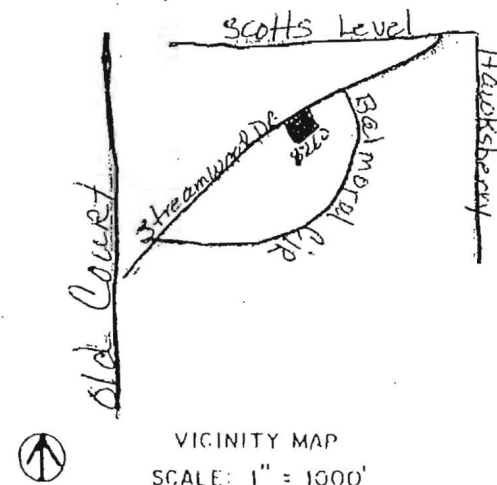
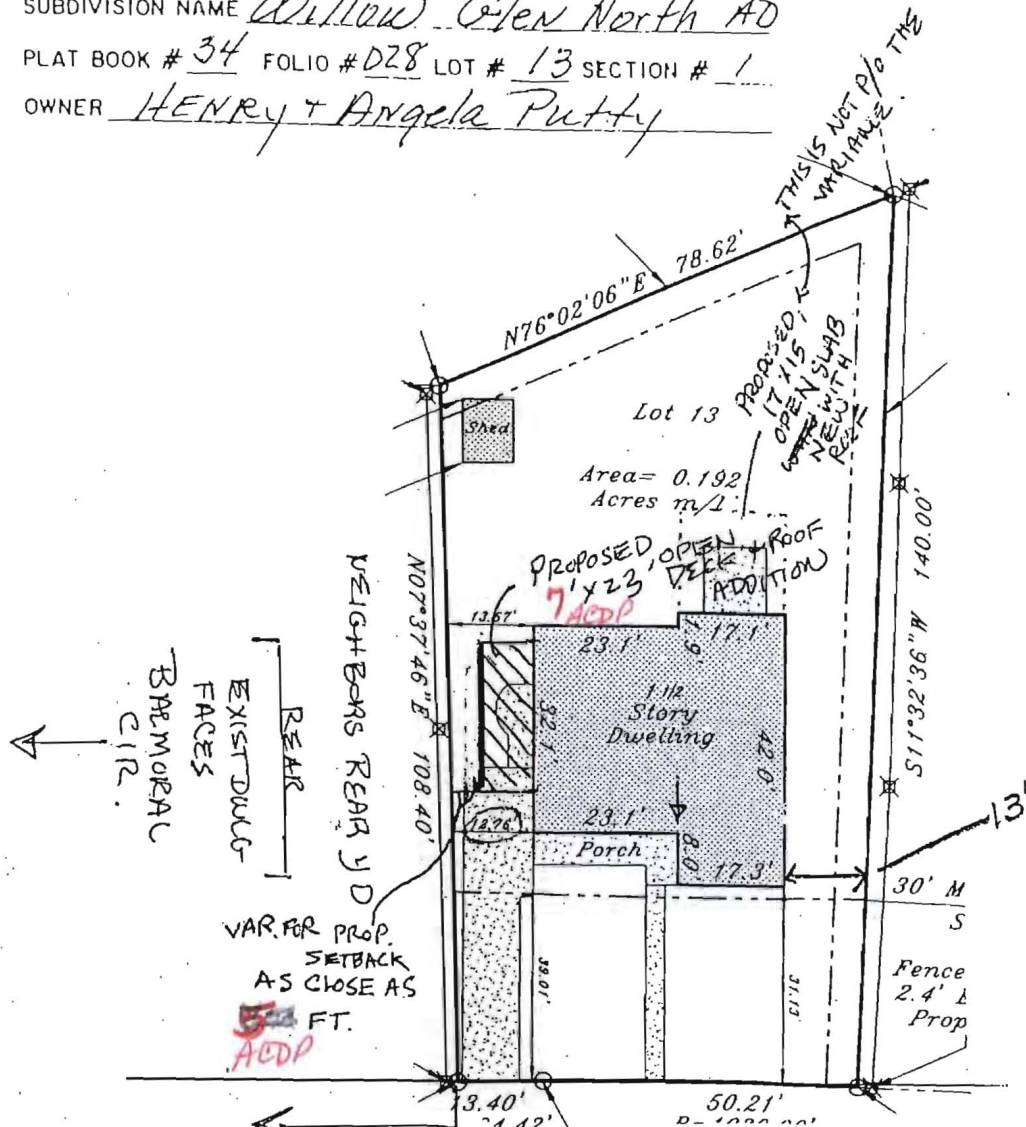
PROPERTY ADDRESS 8260 Streamwood DR

SEE PAGES 5 & 6 OF THE CHECKLIST FOR ADDITIONAL REQUIRED INFORMATION

SUBDIVISION NAME Willow Glen North AD

PLAT BOOK # 34 FOLIO # D28 LOT # 13 SECTION # 1

OWNER HENRY + Angela Putty



LOCATION INFORMATION

ELECTION DISTRICT 02

COUNCILMANIC DISTRICT 2

1" = 200' SCALE MAP # 077C1

ZONING DR3.5

LOT SIZE 8680.00
ACREAGE SQUARE FEET

	PUBLIC	PRIVATE
SEWER	☒	☐
WATER	☒	☐

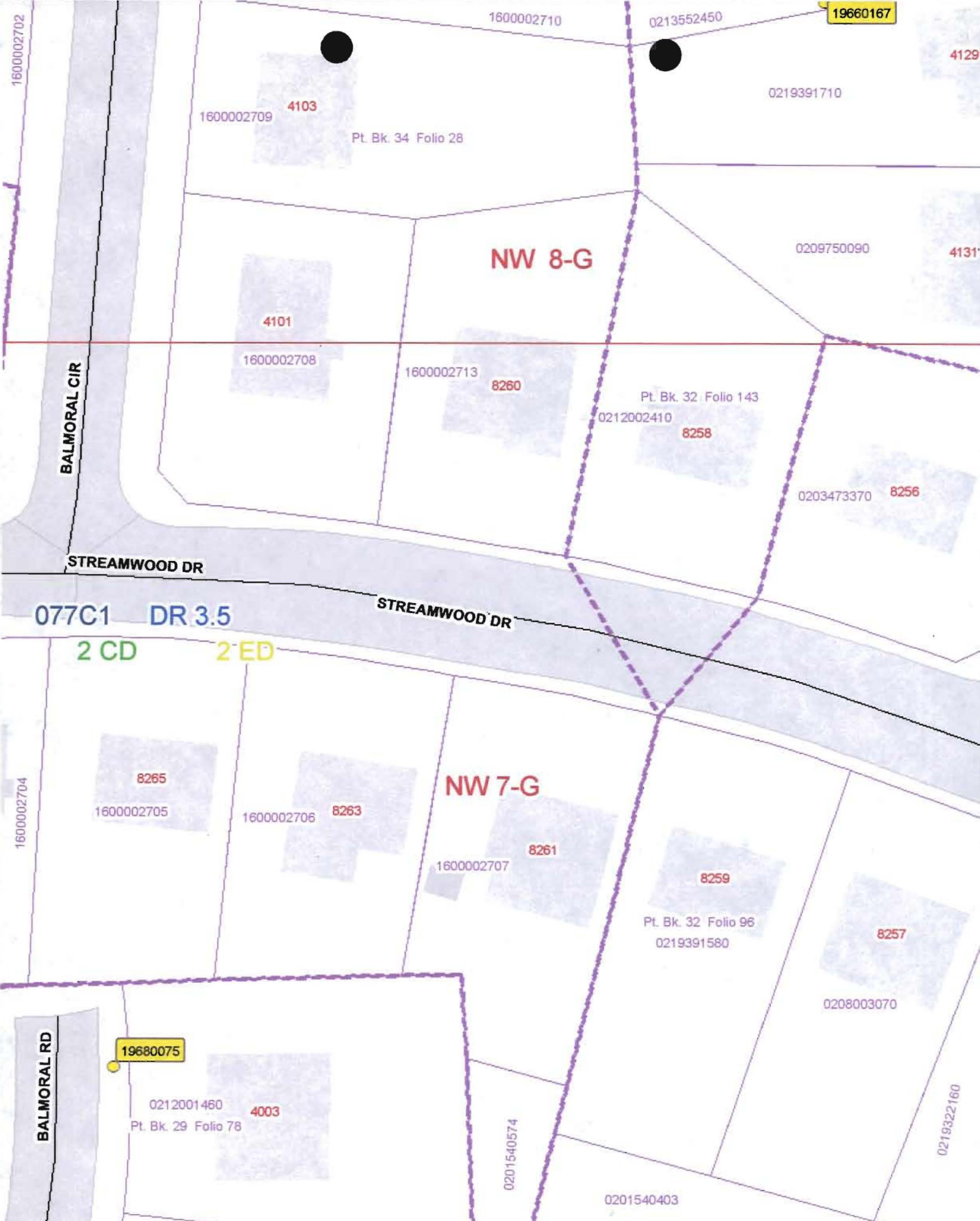
	YES	NO
CHESAPEAKE BAY CRITICAL AREA	☐	☒
100 YEAR FLOOD PLAIN	☐	☒
HISTORIC PROPERTY/ BUILDING	☐	☒
PRIOR ZONING HEARING		

ZONING OFFICE USE ONLY
REVIEWED BY ITEM # CASE #

2009-
0320-A

PREPARED BY ACDP

SCALE OF DRAWING: 1" = 30' scale



Item #0320

Proposed
Roof overhang
to go

1.



proposed
roof
Side
view of
8260
Streamwood
Dr
Showing
where



Another
side
view

Item #0320

2.



side
view
showing
neighbor
fence
+ house



view
of
side
from
kitchen
door
showing
neighbors
fence +
house
approx 25
to 30 ft
fence

Item #0320



side view where roof overhang
to be attached

3.



Proposed fire
outcome place



Item # 0320

Magazine photo (9x23'
↓ wide
showing proposed ← roof →
layout near fire place