

IN RE: PETITION FOR VARIANCE

W side of Dundalk Avenue, 20 feet N of
the c/l of Sunship Road
12th Election District
7th Councilmanic District
(2222 Dundalk Avenue)

McDonald's Corporation
Petitioner

* BEFORE THE
* DEPUTY ZONING
* COMMISSIONER
* FOR BALTIMORE COUNTY
* CASE NO. 2010-0099-A

* * * * *

FINDINGS OF FACT AND CONCLUSIONS OF LAW

This matter comes before this Deputy Zoning Commissioner for consideration of a Petition for Variance filed by Lee May, Area Construction Manager, for the legal owner of the subject property, McDonald's Corporation. Petitioner is requesting Variance relief as follows:

- From Section 450.4.5.A of the Baltimore County Zoning Regulations ("B.C.Z.R.") to allow 5 enterprise signs on the building facades in lieu of the allowed 3 signs; and
- From Section 450.4.3 of the B.C.Z.R. to allow canopy-type directional signs in lieu of the allowed wall-mounted or free-standing signs; and
- From Section 450.5.8.3.b of the B.C.Z.R. to allow erection of the sign above the face of the canopy in lieu of its erection on the face of the canopy; and
- From Section 409.6.A.2 of the B.C.Z.R. to allow 42 parking spaces in lieu of the required 69 spaces; and
- From Section 409.8.A(1) of the B.C.Z.R. to allow modifications to the landscape standards including:
 - Part II, Standard B.1 to allow landscape strip of 1.0 and 5.5 feet in lieu of the required 10 feet; and
 - Part III, Condition A, Standard #4 to allow landscape strip for commercial interior road adjacent to residential zone or uses of 5.5 feet in lieu of required 10 feet; and
 - Part III, Condition B, Standard #1(c)(2) to not provide the brick or split-face block wall for redevelopment in commercial corridors as an alternative where the minimum 10 foot landscape strip is not feasible; and
 - Part III, Condition B; Standard #2(c) to allow parking lot landscape island width of 5 feet in lieu of the required 9 feet; and

12-23-09

M

- Part III, Condition H, Standard #2 to allow placement of dumpster enclosure 0 and 5.5 feet from rights-of-way in lieu of the required 10 feet; and
- From Section 409.8.A of the B.C.Z.R. to allow parking spaces from public street right-of-way lines of 0 feet in lieu of the required 10 feet.

The subject property and requested relief are more particularly described on the exterior elevations, landscape plan, signage details, and the Plat to Accompany Zoning Petition ("site plan"), which were marked and accepted into evidence as Petitioner's Exhibits 4, 5, 6, 7, and 13, respectively.

Appearing at the requisite public hearing in support of the variance requests were Stanley S. Fine, Esquire, and Caroline L. Hecker, Esquire, attorneys for McDonald's; Christopher Mann, owner-operator of the existing McDonald's at the subject location; Lee May, Area Construction Manager for McDonald's Corporation; Iwona Rostek-Zarska and Walenty Zarski with Baltimore Land Design Group, Inc., the consulting engineers who prepared the site plan for this property; and George Wischhusen, President of the St. Helena Neighborhood Association. In addition, Christopher McCollum with the Baltimore County Department of Economic Development appeared in support of the Petition. No Protestants or other interested persons appeared at the hearing.

Testimony and evidence presented at the hearing revealed that the subject property is triangular-shaped and consists of approximately 37,341 square feet or 0.857 acre, more or less, zoned B.L. The property is located on the west side of Dundalk Avenue just south of that road's intersection with Willow Spring Road in the Dundalk area of Baltimore County. The property also has road frontage to the south on Sunship Road. As depicted in the Existing Conditions sheet that was marked and accepted into evidence as Petitioner's Exhibit 1 and a series of photographs that were marked and accepted into evidence as Petitioner's Exhibits 2A through 2M, the property is presently improved with an existing one-story building consisting of 3,826

square feet (including a 750 square foot basement) that comprises a McDonald's fast food restaurant. The existing structure opened for business in June of 1972. Having operated continuously since that time, the existing restaurant has become operationally inadequate and out-of-date. At this juncture, McDonald's proposes to demolish the existing restaurant and rebuild a new restaurant in its place. The proposed structure would be located in approximately the same location as the existing structure, which is shown on the Proposed Conditions Sheet that was marked and accepted into evidence as Petitioner's Exhibit 3, and would be a modern facility that would operate more efficiently than the current restaurant. Elevations illustrating the proposed structure were marked and accepted into evidence as Petitioner's Exhibits 4 and 5 and show McDonald's newer, modern appearance. Mr. May, Area Construction Manager for McDonald's Corporation, testified that the new structure would have a contemporary, upscale look, with a "café" style interior customer area decorated with tasteful colors and materials. The structure would have a brick exterior, and the mansard roof with the traditional white beams would be removed. The structure would also include a variety of "green building" features, including a high-efficiency HVAC system, a ThermoPlastic Olefin (TPO) reflective roof, awnings to reduce solar heat gain, masonry walls, and two-speed grill exhausts, among others. The new building would also be entirely ADA compliant.¹

Ms. Rostek-Zarska was accepted as an expert in site engineering, and testified that the small size and irregular shape of the lot are unique and impose restraints on the proposed new construction that would create a practical difficulty and prevent the construction of the new restaurant if strict application of the B.C.Z.R. were required. In fact, even if McDonald's

¹ The Americans with Disabilities Act of 1990 ("ADA") is a wide-ranging civil rights law that prohibits, under certain circumstances, discrimination based on disability. As part of its provisions, it requires that all "new construction" (construction, modification or alterations) after the effective date of the ADA (approximately July 1992) must be fully compliant with the Americans With Disabilities Act Accessibility Guidelines ("ADAAG") found in the Code of Federal Regulations at 28 C.F.R., Part 36, Appendix "A."

proposed to rebuild an identical building in the same location as the existing one, the same variances would be required because the requirements of the B.C.Z.R. have changed since 1972 when the existing building was constructed. The existing building includes a drive-thru lane that was added after the building was constructed. As a result, the stacking lane for the drive-thru extends into the parking area for the restaurant, creating interior circulation conflicts between vehicles that are in line for the drive-thru and those attempting to enter or leave parking spaces. The new building would therefore be situated in such a way that the stacking lane for the drive-thru will wrap around the building and remain clear of the parking area.

Ms. Rostek-Zarska also identified the loading area for the restaurant at the rear of the drive-thru lane and testified that loading operations will occur during off-peak hours to avoid interfering with the stacking spaces in the drive-thru lane. As a result, no variance is required for the restaurant's loading area. Finally, Ms. Rostek-Zarska testified that a pedestrian crosswalk would be provided between the tenth and eleventh stacking spaces in the drive-thru lane to provide access between the restaurant and the parking area along the Willow Spring Road side of the property.

Section 409.6.A.2 would require McDonald's to provide 69 parking spaces on the property to accommodate the fast-food restaurant use. McDonald's currently provides 55 spaces. In support of its request for a variance from the off-street parking requirements, McDonald's submitted a parking study conducted by Traffic Concepts, Inc., which was marked and accepted into evidence as Petitioner's Exhibit 9. This study examined the use of the existing McDonald's parking lot during its peak hours, and found that a maximum of 29 cars were parked in the parking lot at any one time. The study therefore concluded that adequate parking exists at this site to accommodate peak demand periods. In addition, this McDonald's currently does approximately 54% of its business at the drive-thru. Mr. Mann, owner-operator of the existing

McDonald's at this location, testified that with the more efficient new restaurant, he expects an increase in the amount of drive-thru business to approximately 65%. This increase in drive-thru business would lessen the demand for off-street parking. McDonald's also seeks a variance under Section 409.8.A of the B.C.Z.R. to permit parking spaces 0 feet from public street right-of-way lines in lieu of the required 10 feet, which would permit the maximum amount of parking to be constructed on site. Finally, McDonald's is working with Baltimore County to construct an additional nine (9) parking spaces on Willow Spring Road. These additional spaces, while not on the McDonald's site, would provide additional parking both for McDonald's patrons and the surrounding community.

Petitioner has also requested several variances to the landscape standards established under the Baltimore County Landscape Manual. In particular, McDonald's seeks variances under Section 409.8.A(1) of the B.C.Z.R. to permit modifications to the landscape standards as follows: Part II, Standard B.1 to allow landscaped strips of 1.0 and 5.5 feet in lieu of the required 10 feet; Part III, Condition A, Standard #4 to permit a landscaped strip for a commercial interior road adjacent to residential zones or uses of 5.5 feet in lieu of the required 10 feet; Part III, Condition B, Standard #1(c)(2) to not provide the brick or split-face block wall for redevelopment in commercial corridors as an alternative where the minimum 10-foot landscape strip is not feasible; Part III, Condition B, Standard #2(c) to allow a parking lot landscape island width of 3.5 feet in lieu of the required 9 feet; and Part III, Condition H, Standard #2 to allow placement of dumpster enclosure 0 and 5.5 feet from rights-of-way in lieu of the required 10 feet. Neither the existing restaurant nor the proposed new restaurant could meet these standards in light of the small size and irregular shape of the property.

Finally, Petitioner seeks variances from Section 450.4.5.A of the B.C.Z.R. to permit 5 enterprise signs on building facades in lieu of the permitted 3 signs; from Section 450.4.3 of the

B.C.Z.R. to permit a "canopy" style directional sign in lieu of the permitted wall-mounted or free-standing sign; and from Section 450.5.B.3.b of the B.C.Z.R. to permit the erection of the sign above the face of the canopy in lieu of its erection on the face of the canopy. These signs are McDonald's standard signage plan, and the restaurant at this location would deviate from the standard style of other McDonald's restaurants if the proposed signs were not permitted.

The Office of Planning issued a Zoning Advisory Committee ("ZAC") comment expressing several concerns relating to the Dundalk Avenue elevation of the proposed building, landscaping, and pedestrian access. In response to these comments, Petitioner has revised the Dundalk Avenue elevation to add two simulated windows made of spandrel glass, and has submitted a three dimensional elevation and landscape plan to the Office of Planning. These items were also submitted at the hearing and marked and accepted into evidence as Petitioner's Exhibits 5 and 6. In addition, Petitioner submitted letters of support from the Dundalk Renaissance Corporation, St. Helena Neighborhood Association, and Old Dundalk Neighborhood Association, which were marked and accepted into evidence as Petitioner's Exhibits 10, 11, and 12, respectively, indicating that they have reviewed the proposal and support the granting of the requested variances to permit the construction of the new restaurant. It appears that the revised elevations and landscape plan address the concerns raised in the ZAC comment, but Planning's recommendations shall still be incorporated as conditions in this Order.

Considering all the testimony and evidence presented, I am persuaded to grant the requested variance relief. I find special circumstances or conditions exist that are peculiar to the land or structure which is the subject of the variance requests. The property is unique by nature of its small size and irregular, triangular shape. The property also has frontage on three public roads. These different features of the property pinch the available building area and drive the need for variance relief, and I find that Petitioner has satisfied its burden at law. The constraints

imposed by these features would also create a practical difficulty and undue hardship for Petitioner if strict compliance with the B.C.Z.R. were required.

Finally, I find that the variance relief can be granted in strict harmony with the spirit and intent of said regulations, and in such manner as to grant relief without injury to the public health, safety and general welfare. Thus, I find that the variance requests can be granted in such a manner as to meet the requirements of Section 307.1 of the B.C.Z.R., as interpreted in *Cromwell v. Ward*, 102 Md.App. 691 (1995).

Pursuant to the advertisement, posting of the property, and public hearing on this petition held, and after considering the testimony and evidence offered by Petitioner, I find that Petitioner's variance requests should be granted.

THEREFORE, IT IS ORDERED this 23rd day of December, 2009 by this Deputy Zoning Commissioner, that Petitioner's Variance relief requests as follows:

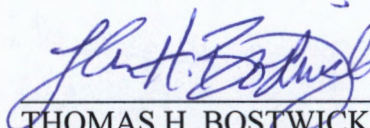
- From Section 450.4.5.A of the Baltimore County Zoning Regulations ("B.C.Z.R.") to allow 5 enterprise signs on the building facades in lieu of the allowed 3 signs; and
- From Section 450.4.3 of the B.C.Z.R. to allow canopy-type directional signs in lieu of the allowed wall-mounted or free-standing signs; and
- From Section 450.5.8.3.b of the B.C.Z.R. to allow erection of the sign above the face of the canopy in lieu of its erection on the face of the canopy; and
- From Section 409.6.A.2 of the B.C.Z.R. to allow 42 parking spaces in lieu of the required 69 spaces; and
- From Section 409.8.A(1) of the B.C.Z.R. to allow modifications to the landscape standards including:
 - Part II, Standard B.1 to allow landscape strip of 1.0 and 5.5 feet in lieu of the required 10 feet; and
 - Part III, Condition A, Standard #4 to allow landscape strip for commercial interior road adjacent to residential zone or uses of 5.5 feet in lieu of required 10 feet; and

- Part III, Condition B, Standard #1(c)(2) to not provide the brick or split-face block wall for redevelopment in commercial corridors as an alternative where the minimum 10 feet landscape strip is not feasible; and
- Part III, Condition B; Standard #2(c) to allow parking lot landscape island width of 5 feet in lieu of the required 9 feet; and
- Part III, Condition H, Standard #2 to allow placement of dumpster enclosure 0 and 5.5 feet from rights-of-way in lieu of the required 10 feet; and
- From Section 409.8.A of the B.C.Z.R. to allow parking spaces from public street right-of-way lines of 0 feet in lieu of the required 10 feet,

be and are hereby GRANTED. The relief granted herein shall be subject to the following:

1. Petitioner may apply for its building permits and be granted same upon receipt of this Order; however, Petitioner is hereby made aware that proceeding at this time is at its own risk until such time as the 30-day appellate process from this Order has expired. If, for whatever reason, this Order is reversed, Petitioner would be required to return, and be responsible for returning, said property to its original condition.
2. Elevation drawings shall be submitted to the Office of Planning for review and approval prior to the issuance of any building permit.
3. Petitioner shall provide landscaping to screen the parking and drive through lanes.
4. Pedestrian access shall be provided from both Dundalk Avenue and Willowspring Road.

Any appeal of this decision must be made within thirty (30) days of the date of this Order.


 THOMAS H. BOSTWICK
 Deputy Zoning Commissioner
 for Baltimore County

THB:pz



BALTIMORE COUNTY
M A R Y L A N D

JAMES T. SMITH, JR.
County Executive

THOMAS H. BOSTWICK
Deputy Zoning Commissioner

December 23, 2009

STANLEY S. FINE, ESQUIRE
CAROLINE L. HECKER, ESQUIRE
ROSENBERG MARTIN GREENBERG LLP
25 SOUTH CHARLES STREET, SUITE 2115
BALTIMORE MD 21201

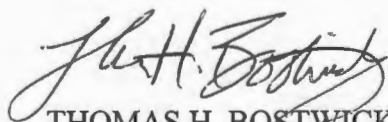
Re: Petition for Variance
Case No. 2010-0099-A
Property: 2222 Dundalk Avenue

Dear Mr. Fine and Ms. Hecker:

Enclosed please find the decision rendered in the above-captioned case.

In the event the decision rendered is unfavorable to any party, please be advised that any party may file an appeal within thirty (30) days from the date of the Order to the Department of Permits and Development Management. If you require additional information concerning filing an appeal, please feel free to contact our appeals clerk at 410-887-3391.

Very truly yours,


THOMAS H. BOSTWICK
Deputy Zoning Commissioner
for Baltimore County

Enclosure

- c: Lee May and Jeff Bell, McDonald's Corporation, 6903 Rockledge Drive, Suite 1100, Bethesda MD 20817
Christopher Mann, 2222 Dundalk Avenue, Baltimore MD 21222
Iwona Rostek-Zarska and Walenty Zarski, Baltimore Land Design Group, Inc., 222 Schilling Circle, Suite 105, Hunt Valley MD 21030
George Wischhusen, President, St. Helena Neighborhood Association, 210 St. Helena Avenue, Dundalk MD 21222
Christopher McCollum, Baltimore County Economic Development



Petition for Variance

to the Zoning Commissioner of Baltimore County for the property
located at 2222 Dundalk Avenue
which is presently zoned BL

Deed Reference: 05248 / 101 Tax Account # 1600005392

This Petition shall be filed with the Department of Permits and Development Management. The undersigned, legal owner(s) of the property situate in Baltimore County and which is described in the description and plat attached hereto and made a part hereof, hereby petition for a Variance from Section(s)

- 450.4.5.A to allow 5 enterprise signs on the building facades in lieu of the allowed 3 signs;
- 450.4.3 to allow "canopy"-type directional signs in lieu of the allowed wall-mounted or free-standing signs;
- 450.5.8.3.b to allow erection of the sign above the face of the canopy in lieu of its erection on the face of the canopy;
- 409.6.A.2 to allow 42 parking spaces in lieu of the required 69 spaces;
- 409.8.A(1) to allow modifications to the landscape standards, including:
 - Part II, Standard B.1 to allow landscape strip of 1.0 and 5.5 feet in lieu of the required 10 feet;
 - Part III, Condition A, Standard #4 to allow landscape strip for commercial interior road adjacent to residential zones or uses of 5.5 feet in lieu of required 10 feet;
 - Part III, Condition B, Standard #1(c)(2) to not provide the brick or split-face block wall for redevelopment in commercial corridors as an alternative where the minimum 10 feet landscape strip is not feasible;
 - Part III, Condition B, Standard #2(c) to allow parking lot landscape island width of 5 feet in lieu of the required 9 feet; and
 - Part III, Condition H, Standard #2 to allow placement of dumpster enclosure 0 and 5.5 feet from rights-of-way in lieu of the required 10 feet.
- 409.8.A to allow parking spaces from public street right-of-way lines of 0 feet in lieu of the required 10 feet.

of the zoning regulations of Baltimore County, to the zoning law of Baltimore County, for the following reasons: (indicate hardship or practical difficulty.)

Due to the irregular shape of the lot, the proposed restaurant could not be built without the requested variances.

Property is to be posted and advertised as prescribed by the zoning regulations.

I, or we, agree to pay expenses of above Variance, advertising, posting, etc. and further agree to and are to be bounded by the zoning regulations and restrictions of Baltimore County adopted pursuant to the zoning law for Baltimore County.

I/We do solemnly declare and affirm, under the penalties of perjury, that I/we are the legal owner(s) of the property which is the subject of this Petition.

Contract Purchaser/Lessee:

N/A
Name - Type or Print

Signature

Address Telephone No.

City State Zip Code

Attorney For Petitioner:

Stanley S. Fine, Esquire
Name - Type or Print

Stanley S. Fine
Signature

Rosenberg Martin Greenberg, LLP
Company
25 S. Charles St., Suite 2115 410-727-6600
Address Telephone No.
Baltimore, MD 21201
City State Zip Code

Legal Owner(s):

McDonald's Corporation
Name - Type or Print

Lee May
Signature

Lee May, Area Construction Manager
Name - Type or Print

Signature
646 Severn Road
Address Telephone No.
Severna Park, MD 21145
City State Zip Code

Representative to be Contacted:

Lee May, Area Construction Manager
Name
6903 Rockledge Drive, Suite 1100 301-651-9998
Address Telephone No.
Bethesda, MD 20817
City State Zip Code

Case No. 2010-0099-A

REV 8/20/07

Office Use Only

Estimated Length of Hearing
Unavailable For Hearing

Reviewed by K. J. J.

Date 9/18/09

**DESCRIPTION TO ACCOMPANY PETITION
FOR ZONING VARIANCES
2222 DUNDALK AVE
BALTIMORE COUNTY, MARYLAND
12TH ELECTION DISTRICT; 7TH COUNCILMANIC DISTRICT**

September 16, 2009

Beginning at the point, a rebar with cap, located on the west side of Dundalk Avenue which is 120' wide, said point being located northerly 20 feet, more or less, from the centerline of Sunship Road which is 40' wide, thence running the following courses and distances:

1. South 83° 17' 44" West 165.74 feet; thence,
2. North 04° 23' 24" West 167.26 feet; thence,
3. North 00° 28' 24" West 150.18 feet; thence,
4. North 84° 08' 46" East 65.30 feet; thence,
5. South 20° 29' 24" East 324.80 feet; more or less, to the point of beginning.

Containing 37,341 square feet or 0.857 acres of land, more or less.

This description is intended for zoning purposes only and shall not be used for conveyance of land.



Item #0099

**DEPARTMENT OF PERMITS AND DEVELOPMENT MANAGEMENT
ZONING REVIEW**

ADVERTISING REQUIREMENTS AND PROCEDURES FOR ZONING HEARINGS

The Baltimore County Zoning Regulations (BCZR) require that notice be given to the general public/neighbor property owners relative to property which is the subject of an upcoming zoning hearing. For those petitions which require a public hearing, this notice is accomplished by posting a sign on the property (responsibility of the petitioner) and placement of a notice in a newspaper of general circulation in the County, both at least fifteen (15) days before the hearing.

Zoning Review will ensure that the legal requirements for advertising are satisfied. However, the petitioner is responsible for the costs associated with these requirements. The newspaper will bill the person listed below for the advertising. This advertising is due upon receipt and should be remitted directly to the newspaper.

OPINIONS MAY NOT BE ISSUED UNTIL ALL ADVERTISING COSTS ARE PAID.

For Newspaper Advertising:

Item Number or Case Number: 2010-0099-A
Petitioner: McDONALD'S CORPORATION
Address or Location: 2222 DUNDALK AVENUE
BALTIMORE, MD, 21222

PLEASE FORWARD ADVERTISING BILL TO:

Name: STANLEY FINE (ROSENBERG, MARTIN, GREENBERG LLP)
Address: 25 SOUTH CHARLES STREET, SUITE 2112
BALTIMORE, MD, 21201

Telephone Number: 410-727-6600

BALTIMORE COUNTY, MARYLAND
OFFICE OF BUDGET AND FINANCE
MISCELLANEOUS CASH RECEIPT

No. 45743

Date: 9/10/13

Fund	Dept	Unit	Sub Unit	Rev	Sub	Dept	Obj	BS Acct	Amount
				Source/	Rev/				
				Obj	Sub Obj				

Total: 43.00

Rec
From: _____

For: _____

DISTRIBUTION

WHITE - CASHIER

PINK - AGENCY

YELLOW - CUSTOMER

GOLD - ACCOUNTING

PLEASE PRESS HARD!!!!

**CASHIER'S
 VALIDATION**

NOTICE OF ZONING HEARING

The Zoning Commissioner of Baltimore County, by authority of the Zoning Act and Regulations of Baltimore County will hold a public hearing in Towson, Maryland on the property identified herein as follows:

Case: # 2010-0099-A

2222 Dundalk Avenue

W/side of Dundalk Avenue, 20 feet north of the centerline of Sunship Road

12th Election District - 7th Councilmanic District

Legal Owner(s): McDonald's Corporation,

Lee May, Area construction Manager

Variance: to allow 5 enterprise signs on the building facades in lieu of the allowed 3 signs; to allow "canopy" type directional signs in lieu of the allowed wall-mounted or free-standing signs; to allow erection of the sign above the face of the canopy in lieu of its erection on the face of the canopy; to allow 42 parking spaces in lieu of the required 59 spaces; to allow modifications to the landscape standards, including: Part II, Standard B.1 to allow landscape strip of 0 and 5.5 feet in lieu of the required 10 feet; Part III, Condition A, Standard #4 to allow landscape strip for commercial interior road adjacent to residential zones or uses of 5.5 feet in lieu of the required 10 feet; Part III, Condition B, Standard #1 (c)(2) to not provide the brick or split-face block wall foredevelopment in commercial corridors as an alternative where the minimum 10 feet landscape strip is not feasible; Part III, Condition B, Standard #2(c) to allow parking lot landscape island width of 5 feet in lieu of the required 9 feet; and Part III, Condition H, Standard #2 to allow placement of dumpster enclosure 0 and 5.5 feet from right-of-way in lieu of the required 10 feet. To allow parking spaces from public street right-of-way lines of 0 feet in lieu of the required 0 feet.

Hearing: Thursday, December 3, 2009 at 11:00 a.m. in Room 106, County Office Building, 111 West Chesapeake Avenue, Towson 21204.

WILLIAM J. WISEMAN, III

Zoning Commissioner for Baltimore County

NOTES: (1) Hearings are Handicapped Accessible; for special accommodations Please Contact the Zoning Commissioner's Office at (410) 887-4386.

(2) For information concerning the File and/or Hearing Contact the Zoning Review Office at (410) 887-3391.

JT/11/816 Nov. 17

22155

CERTIFICATE OF PUBLICATION

11/19/2009

THIS IS TO CERTIFY, that the annexed advertisement was published in the following weekly newspaper published in Baltimore County, Md., once in each of 1 successive weeks, the first publication appearing on 11/17/2009.

- ☒ The Jeffersonian
- ☐ Arbutus Times
- ☐ Catonsville Times
- ☐ Towson Times
- ☐ Owings Mills Times
- ☐ NE Booster/Reporter
- ☐ North County News

S. Wilkinson

LEGAL ADVERTISING

Certificate of Posting

RE: Case NO. 2010-0099-A

Petitioner/Developer _____

McDonald's Corporation c/o Lee May

Date of Hearing/Closing 12/3/09

Baltimore County
Department of Permits and Development Managements
County Office Building – Room 111
111 W. Chesapeake Ave.
Towson, Md. 21204

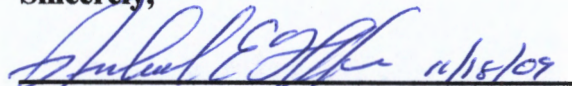
Attention:

This letter is to certify, under penalties of perjury, that the necessary sign(s) as required by law, were posted conspicuously on the property located at _____

2222 Dundalk Ave..

The sign(s) were posted on 11/18/09
(Month, Day, Year)

Sincerely,


(Signature of sign Poster and date)

Richard E. Hoffman
(Printed Name)

904 Dellwood Drive
(Address)

Fallston, Md. 21047
(City, State, Zip Code)

410-879-3122
(Telephone Number)

See Attached
Photograph

Certificate of Posting
Photograph Attachment

Re: 2010-0099-A

Petitioner/Developer: _____

Mc Donald's Corp. c/o Lee May

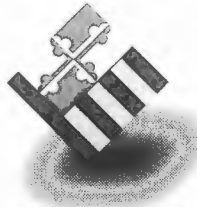
Date of Hearing/Closing: 12/3/09



2222 Dundalk Ave.

Posting Date: 11/18/09

(Signature and date of sign poster)



BALTIMORE COUNTY
MARYLAND

JAMES T. SMITH, JR.
County Executive

TIMOTHY M. KOTROCO, Director
Department of Permits and
~~November 4, 2009~~

CORRECTED NOTICE OF ZONING HEARING

The Zoning Commissioner of Baltimore County, by authority of the Zoning Act and Regulations of Baltimore County, will hold a public hearing in Towson, Maryland on the property identified herein as follows:

CASE NUMBER: 2010-0099-A

2222 Dundalk Avenue

W/side of Dundalk Avenue, 20 feet north of the centerline of Sunship Road

12th Election District – 7th Councilmanic District

Legal Owners: McDonald's Corporation, Lee May, Area Construction Manager

Variance to allow 5 enterprise signs on the building facades in lieu of the allowed 3 signs; to allow "canopy" type directional signs in lieu of the allowed wall-mounted or freestanding signs; to allow erection of the sign above the face of the canopy in lieu of its erection on the face of the canopy; to allow 42 parking spaces in lieu of the required 69 spaces; to allow modifications to the landscape standards, including : Part II. Standard B.1 to allow landscape strip of 1.0 and 5.5 feet in lieu of the required 10 feet; Part III, Condition A, Standard #4 to allow landscape strip for commercial interior road adjacent to residential zones or uses of 5.5 feet in lieu of the required 10 feet; Part III, Condition B, Standard #1(c)(2) to not provide the brick or split-face block wall for redevelopment in commercial corridors as an alternative where the minimum 10 feet landscape strip is not feasible; Part III, Condition B, Standard #2 (c) to allow parking lot landscape island width of 5 feet in lieu of the required 9 feet; and Part III, Condition H, Standard #2 to allow placement of dumpster enclosure 0 and 5.5 feet from right-of-way in lieu of the required 10 feet. To allow parking spaces from public street right-of-way lines of 0 feet in lieu of the required 10 feet.

Hearing: Thursday, December 3, 2009 at 11:00 a.m. in Room 106, County Office Building,
111 West Chesapeake Avenue, Towson 21204

Handwritten signature of Timothy Kotroco in black ink.

Timothy Kotroco
Director

TK:klm

C: Stanley Fine, 25 S. Charles Street, Ste. 2115, Baltimore 21201
Lee May, 6903 Rockledge Drive, Ste. 1100, Bethesda 20817

NOTES: (1) THE PETITIONER MUST HAVE THE ZONING NOTICE SIGN POSTED BY AN APPROVED POSTER ON THE PROPERTY BY WED, NOVEMBER 18, 2009.

- (2) HEARINGS ARE HANDICAPPED ACCESSIBLE; FOR SPECIAL ACCOMMODATIONS PLEASE CALL THE ZONING COMMISSIONER'S OFFICE AT 410-887-4386.
(3) FOR INFORMATION CONCERNING THE FILE AND/OR HEARING, CONTACT THE ZONING REVIEW OFFICE AT 410-887-3391.

TO: PATUXENT PUBLISHING COMPANY
Tuesday, November 17, 2009 Issue - Jeffersonian

Please forward billing to:

Stanely Fine
Rosenberg, Martin, Greenberg, LLP
25 South Charles Street, Ste. 2112
Baltimore, MD 21201

410-727-6600

CORRECTED NOTICE OF ZONING HEARING

The Zoning Commissioner of Baltimore County, by authority of the Zoning Act and Regulations of Baltimore County, will hold a public hearing in Towson, Maryland on the property identified herein as follows:

CASE NUMBER: 2010-0099-A

2222 Dundalk Avenue

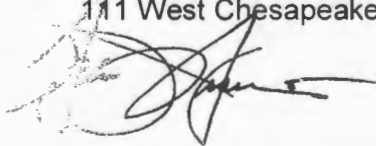
W/side of Dundalk Avenue, 20 feet north of the centerline of Sunship Road

12th Election District – 7th Councilmanic District

Legal Owners: McDonald's Corporation, Lee May, Area Construction Manager

Variance to allow 5 enterprise signs on the building facades in lieu of the allowed 3 signs; to allow "canopy" type directional signs in lieu of the allowed wall-mounted or freestanding signs; to allow erection of the sign above the face of the canopy in lieu of its erection on the face of the canopy; to allow 42 parking spaces in lieu of the required 69 spaces; to allow modifications to the landscape standards, including : Part II, Standard B.1 to allow landscape strip of 1.0 and 5.5 feet in lieu of the required 10 feet; Part III, Condition A, Standard #4 to allow landscape strip for commercial interior road adjacent to residential zones or uses of 5.5 feet in lieu of the required 10 feet; Part III, Condition B, Standard #1(c)(2) to not provide the brick or split-face block wall for redevelopment in commercial corridors as an alternative where the minimum 10 feet landscape strip is not feasible; Part III, Condition B, Standard #2 (c) to allow parking lot landscape island width of 5 feet in lieu of the required 9 feet; and Part III, Condition H, Standard #2 to allow placement of dumpster enclosure 0 and 5.5 feet from right-of-way in lieu of the required 10 feet. To allow parking spaces from public street right-of-way lines of 0 feet in lieu of the required 10 feet.

Hearing: Thursday, December 3, 2009 at 11:00 a.m. in Room 106, County Office Building,
111 West Chesapeake Avenue, Towson 21204



WILLIAM J. WISEMAN III
ZONING COMMISSIONER FOR BALTIMORE COUNTY

- NOTES: (1) HEARINGS ARE HANDICAPPED ACCESSIBLE; FOR SPECIAL ACCOMODATIONS, PLEASE CONTACT THE ZONING COMMISSIONER'S OFFICE AT 410-887-4386.
- (2) FOR INFORMATION CONCERNING THE FILE AND/OR HEARING, CONTACT THE ZONING REVIEW OFFICE AT 410-887-3391.



BALTIMORE COUNTY
M A R Y L A N D

JAMES T. SMITH, JR.
County Executive

TIMOTHY M. KOTROCO, *Director*
Department of Permits and
Development Management
October 21, 2009

NOTICE OF ZONING HEARING

The Zoning Commissioner of Baltimore County, by authority of the Zoning Act and Regulations of Baltimore County, will hold a public hearing in Towson, Maryland on the property identified herein as follows:

CASE NUMBER: 2010-0099-A

2222 Dundalk Avenue

W/side of Dundalk Avenue, 20 feet north of the centerline of Sunship Road

12th Election District – 7th Councilmanic District

Legal Owners: McDonald's Corporation, Lee May, Area Construction Manager

Variance to allow 5 enterprise signs on the building facades in lieu of the allowed 3 signs; to allow "canopy" type directional signs in lieu of the allowed wall-mounted or freestanding signs; to allow erection of the sign above the face of the canopy in lieu of its erection on the face of the canopy; to allow 42 parking spaces in lieu of the required 69 spaces; to allow modifications to the landscape standards, including : Part II, Standard B.1 to allow landscape strip of 1.0 and 5.5 feet in lieu of the required 10 feet; Part III, Condition A, Standard #4 to allow landscape strip for commercial interior road adjacent to residential zones or uses of 5.5 feet in lieu of the required 10 feet; Part III, Condition B, Standard #1(c)(2) to not provide the brick or split-face block wall for redevelopment in commercial corridors as an alternative where the minimum 10 feet landscape strip is not feasible; Part III, Condition B, Standard #2 (c) to allow parking lot landscape island width of 5 feet in lieu of the required 9 feet; and Part III, Condition H, Standard #2 to allow placement of dumpster enclosure 0 and 5.5 feet from right-of-way in lieu of the required 10 feet. To allow parking spaces from public street right-of-way lines of 0 feet in lieu of the required 10 feet.

Hearing: Tuesday, November 24, 2009 at 2:00 p.m. in Room 104, Jefferson Building,
105 West Chesapeake Avenue, Towson 21204

Handwritten signature of Timothy Kotroco in black ink.

Timothy Kotroco
Director

TK:klm

C: Stanley Fine, 25 S. Charles Street, Ste. 2115, Baltimore 21201
Lee May, 6903 Rockledge Drive, Ste. 1100, Bethesda 20817

- NOTES: (1) **THE PETITIONER MUST HAVE THE ZONING NOTICE SIGN POSTED BY AN APPROVED POSTER ON THE PROPERTY BY MONDAY, NOVEMBER 9, 2009.**
- (2) HEARINGS ARE HANDICAPPED ACCESSIBLE; FOR SPECIAL ACCOMMODATIONS PLEASE CALL THE ZONING COMMISSIONER'S OFFICE AT 410-887-4386.
- (3) FOR INFORMATION CONCERNING THE FILE AND/OR HEARING, CONTACT THE ZONING REVIEW OFFICE AT 410-887-3391.

Zoning Review | County Office Building

111 West Chesapeake Avenue, Room 111 | Towson, Maryland 21204 | Phone 410-887-3391 | Fax 410-887-3048

www.baltimorecountymd.gov

TO: PATUXENT PUBLISHING COMPANY
Tuesday, November 10, 2009 Issue - Jeffersonian

Please forward billing to:

Stanely Fine
Rosenberg, Martin, Greenberg, LLP
25 South Charles Street, Ste. 2112
Baltimore, MD 21201

410-727-6600

NOTICE OF ZONING HEARING

The Zoning Commissioner of Baltimore County, by authority of the Zoning Act and Regulations of Baltimore County, will hold a public hearing in Towson, Maryland on the property identified herein as follows:

CASE NUMBER: 2010-0099-A

2222 Dundalk Avenue

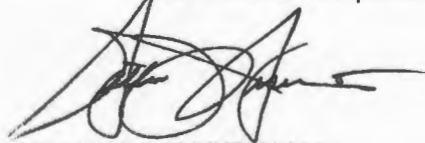
W/side of Dundalk Avenue, 20 feet north of the centerline of Sunship Road

12th Election District – 7th Councilmanic District

Legal Owners: McDonald's Corporation, Lee May, Area Construction Manager

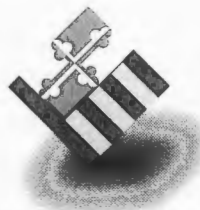
Variance to allow 5 enterprise signs on the building facades in lieu of the allowed 3 signs; to allow "canopy" type directional signs in lieu of the allowed wall-mounted or freestanding signs; to allow erection of the sign above the face of the canopy in lieu of its erection on the face of the canopy; to allow 42 parking spaces in lieu of the required 69 spaces; to allow modifications to the landscape standards, including : Part II, Standard B.1 to allow landscape strip of 1.0 and 5.5 feet in lieu of the required 10 feet; Part III, Condition A, Standard #4 to allow landscape strip for commercial interior road adjacent to residential zones or uses of 5.5 feet in lieu of the required 10 feet; Part III, Condition B, Standard #1(c)(2) to not provide the brick or split-face block wall for redevelopment in commercial corridors as an alternative where the minimum 10 feet landscape strip is not feasible; Part III, Condition B, Standard #2 (c) to allow parking lot landscape island width of 5 feet in lieu of the required 9 feet; and Part III, Condition H, Standard #2 to allow placement of dumpster enclosure 0 and 5.5 feet from right-of-way in lieu of the required 10 feet. To allow parking spaces from public street right-of-way lines of 0 feet in lieu of the required 10 feet.

Hearing: Tuesday, November 24, 2009 at 2:00 p.m. in Room 104, Jefferson Building,
105 West Chesapeake Avenue, Towson 21204



WILLIAM J. WISEMAN III
ZONING COMMISSIONER FOR BALTIMORE COUNTY

- NOTES: (1) HEARINGS ARE HANDICAPPED ACCESSIBLE; FOR SPECIAL ACCOMODATIONS, PLEASE CONTACT THE ZONING COMMISSIONER'S OFFICE AT 410-887-4386.
- (2) FOR INFORMATION CONCERNING THE FILE AND/OR HEARING, CONTACT THE ZONING REVIEW OFFICE AT 410-887-3391.



BALTIMORE COUNTY
MARYLAND

JAMES T. SMITH, JR.
County Executive

TIMOTHY M. KOTROCO, *Director*
Department of Permits and
Development Management

November 24, 2009

Stanley S. Fine
Rosenberg Martin Greenberg, LLP
25 S. Charles St Ste 2115
Baltimore, MD 21201

Dear: Stanley S. Fine

RE: Case Number 2010-0099-A, 2222 Dundalk Ave.

The above referenced petition was accepted for processing **ONLY** by the Bureau of Zoning Review, Department of Permits and Development Management (PDM) on September 18, 2009. This letter is not an approval, but only a **NOTIFICATION**.

The Zoning Advisory Committee (ZAC), which consists of representatives from several approval agencies, has reviewed the plans that were submitted with your petition. All comments submitted thus far from the members of the ZAC are attached. These comments are not intended to indicate the appropriateness of the zoning action requested, but to ensure that all parties (zoning commissioner, attorney, petitioner, etc.) are made aware of plans or problems with regard to the proposed improvements that may have a bearing on this case. All comments will be placed in the permanent case file.

If you need further information or have any questions, please do not hesitate to contact the commenting agency.

Very truly yours,

A handwritten signature in black ink that reads "W. Carl Richards, Jr.".

W. Carl Richards, Jr.
Supervisor, Zoning Review

WCR:lnw

Enclosures

c: People's Counsel
McDonalds's Corporation 646 Severn Rd.; Severn Park, MD 21145
Lee May; 6903 Rockledge Dr. Ste. 1100; Bethesda, MD 20817

BALTIMORE COUNTY, MARYLAND
INTEROFFICE CORRESPONDENCE

TO: Timothy M. Kotroco, Director
Department of Permits &
Development Management

DATE: October 9, 2009

FROM: Dennis A. Kennedy^{DAK}, Supervisor
Bureau of Development Plans
Review

SUBJECT: Zoning Advisory Committee Meeting
For October 19, 2009
Item Nos. 10-006, 034, 096, 097, 098, 099, 100, 101,
102, 103, 104, 105, 106, 107, 108, 109, 113 and 115

The Bureau of Development Plans Review has reviewed the subject-zoning items, and we have no comments.

DAK:CEN:kmt

cc: File

G:\DevPlanRev\ZAC -No Comments\ZAC-10192009.b -NO COMMENTS.doc

TB BW 4/24
1213
2pm
11am

BALTIMORE COUNTY, MARYLAND

INTER-OFFICE CORRESPONDENCE

TO: Timothy M. Kotroco, Director
Department of Permits and
Development Management

DATE: October 21, 2009

FROM: Arnold F. 'Pat' Keller, III
Director, Office of Planning

SUBJECT: 2222 Dundalk Avenue

RECEIVED

INFORMATION:

OCT 26 2009

Item Number: 10-099

Petitioner: Mc Donald's Corporation

ZONING COMMISSIONER

Zoning: BL

Requested Action: Variance

SUMMARY OF RECOMMENDATIONS:

The Office of Planning does not oppose additional signage and reduced parking, including on street parking as proposed on the site plan accompanying the subject petition for variance.

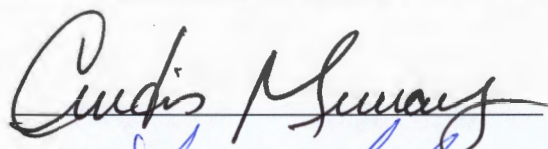
However, the elevation marked: 'side facing Dundalk Avenue', is setback and turned away from the street. It disconnects the subject use/building from pedestrians. It appears to be entirely suburban and automobile oriented. The side has long sections of windowless wall. The elevation shall be revised to include more of a visual connection to the street; more windows, doors and more architectural detail.

The building has not been specifically designed for the site; it is one of the many standardized plans. The necessity for the variances and modifications of standards are an illustration of this. The building should be redesigned to be more pedestrian friendly and visually appealing from the street.

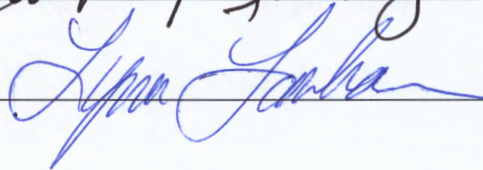
Provide landscaping to screen the parking and drive through lanes. Pedestrian access shall be provided from both Dundalk Avenue and Willowspring Road.

For further information concerning the matters stated here in, please contact John Alexander at 410-887-3480.

Prepared by:



Division Chief:
AFK/LL: CM



TB 12/3

11Am

BALTIMORE COUNTY, MARYLAND**Inter-Office Correspondence**

TO: Timothy M. Kotroco
FROM: Dave Lykens, DEPRM - Development Coordination
DATE: November 3, 2009
SUBJECT: Zoning Item # 10-099-A
Address 2222 Dundalk Avenue

Zoning Advisory Committee Meeting of October 5, 2009

X The Department of Environmental Protection and Resource Management has no comments on the above-referenced zoning item.

Reviewer: JWL

Date: 11/3/09

RECEIVED

NOV 04 2009

ZONING COMMISSIONER



BALTIMORE COUNTY
MARYLAND

JAMES T. SMITH, JR.
County Executive

JOHN J. HOHMAN, *Chief*
Fire Department

County Office Building, Room 111
Mail Stop #1105
111 West Chesapeake Avenue
Towson, Maryland 21204

October 8, 2009

ATTENTION: Zoning Review Planners

Distribution Meeting Of: October 5. 2009

ItemNumbers

0006,0034,0088,0096,0097,0098,0099,0100,0102,0103,0104,0106,0107,0108,0109,0111,0113 and 0115

Pursuant to your request, the referenced plan(s) have been reviewed by this Bureau and the comments below are applicable and required to be corrected or incorporated into the final plans for the property.

1. The Fire Marshal's Office has no comments at this time.

Lieutenant Roland P Bosley Jr.
Fire Marshal's Office
410-887-4881 (C) 443-829-2946
MS-1102F

cc: File



Martin O'Malley, Governor
Anthony G. Brown, Lt. Governor

Beverley K. Swaim-Staley, Secretary
Neil J. Pedersen, Administrator

MARYLAND DEPARTMENT OF TRANSPORTATION

Date: OCTOBER 7, 2009

Ms. Kristen Matthews
Baltimore County Office Of
Permits and Development Management
County Office Building, Room 109
Towson, Maryland 21204

RE: Baltimore County
Item No. 2010-0099-A
2222 DUNDALK AVENUE
MCDONALD'S CORPORATION
VARIANCE

Dear Ms. Matthews:

Thank you for the opportunity to review your referral request on the subject of the above captioned. We have determined that the subject property does not access a State roadway and is not affected by any State Highway Administration projects. Therefore, based upon available information this office has no objection to Baltimore County Zoning Advisory Committee approval of Item No. 2010-0099-A.

Should you have any questions regarding this matter, please contact Michael Bailey at 410-545-5593 or 1-800-876-4742 extension 5593. Also, you may E-mail him at (mbailey@sha.state.md.us).

Very truly yours,

For ¹ Steven D. Foster, Chief
Engineering Access Permits
Division

SDF/mb

My telephone number/toll-free number is _____

Maryland Relay Service for Impaired Hearing or Speech 1.800.735.2258 Statewide Toll Free

Street Address: 707 North Calvert Street • Baltimore, Maryland 21202 • Phone 410.545.0300 • www.sha.maryland.gov

RE: PETITION FOR VARIANCE * BEFORE THE
2222 Dundalk Avenue; W/S Dundalk Avenue, * ZONING COMMISSIONER
20' N c/line of Sunship Road *
12th Election & 7th Councilmanic Districts *
Legal Owner(s): McDonald's Corporation * FOR
Petitioner(s) *
BALTIMORE COUNTY
*
10-099-A

* * * * *

ENTRY OF APPEARANCE

Pursuant to Baltimore County Charter § 524.1, please enter the appearance of People's Counsel for Baltimore County as an interested party in the above-captioned matter. Notice should be sent of any hearing dates or other proceedings in this matter and the passage of any preliminary or final Order. All parties should copy People's Counsel on all correspondence sent and all documentation filed in the case.

RECEIVED

OCT 14 2009

.....

Peter Max Zimmerman

PETER MAX ZIMMERMAN
People's Counsel for Baltimore County

Carole S. Demilio

CAROLE S. DEMILIO
Deputy People's Counsel
Jefferson Building, Room 204
105 West Chesapeake Avenue
Towson, MD 21204
(410) 887-2188

CERTIFICATE OF SERVICE

I HEREBY CERTIFY that on this 14th day of October, 2009, a copy of the foregoing Entry of Appearance was mailed to Lee May, 6903 Rockledge Drive, Suite 1100, Bethesda, MD 20817 and Stanley Fine, Esquire, Rosenberg Martin Greenberg, LLP, 25 S. Charles Street, Suite 2115, Baltimore, MD 21201, Attorney for Petitioner(s).

Peter Max Zimmerman

PETER MAX ZIMMERMAN
People's Counsel for Baltimore County



ROSENBERG | MARTIN | GREENBERG, LLP

25 South Charles Street, Suite 2115 Baltimore, Maryland 21201-3305 T 410.727.6600 F 410 727 1115 rosenbergmartin.com

CAROLINE L. HECKER checker@rosenbergmartin.com

October 26, 2009

OK to postpone
JMK**VIA FACSIMILE (410) 887-3048**

Ms. Kristin Matthews
Baltimore County Zoning Review Office
County Office Building, Room 111
111 West Chesapeake Avenue
Towson, Maryland 21204

Re: 2222 Dundalk Avenue – Petition for Variance
Case No. 2010-0099-A

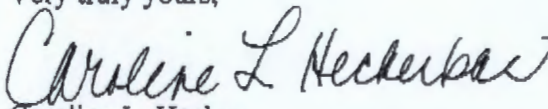
Dear Ms. Matthews:

Per our conversation on Friday, this firm represents McDonald's Corporation in connection with the Petition for Variance filed for the above-referenced property. We recently received notice that this matter has been scheduled for hearing on Tuesday, November 24, 2009 at 2:00 p.m. As this is the Tuesday before the Thanksgiving holiday, certain members of our development team will be out of town and unable to attend a hearing on that date. Accordingly, we request that the hearing be rescheduled to the following week. Specifically, our team is available on the following dates:

- Wednesday, December 2, 2009;
- Thursday, December 3, 2009; or
- Friday, December 4, 2009.

Please confirm that the hearing has been rescheduled and advise us as to the new date and time at your earliest convenience. Thank you for your prompt attention to this matter.

Very truly yours,


Caroline L. Hecker

cc: McDonald's Corporation (via electronic mail)
Baltimore Land Design Group, Inc. (via electronic mail)
Christopher D. Mann (via electronic mail)
Stanley S. Fine, Esq.

ND: 4812-0870-4773. v. 1

CASE NAME _____
CASE NUMBER 2010-0099-A
DATE 12-3-09

[illegible]

CASE NAME _____
CASE NUMBER 2010-0099-A
DATE 12-3-09

[illegible]

CASE NAME _____
CASE NUMBER 2010-0099-A
DATE 12-3-09

[illegible]



Maryland Department of Assessments and Taxation
BALTIMORE COUNTY
Real Property Data Search (2007 vw4.3d)

Go Back
View Map
New Search

Account Identifier: District - 12 Account Number - 1600005392

Owner Information

Owner Name: MCDONALDS CORPORATION **Use:** COMMERCIAL
Principal Residence: NO
Mailing Address: 646 SEVERN RD **Deed Reference:** 1) / 5248/ 101
 SEVERNA PARK MD 21146-3457 2)

Location & Structure Information

Premises Address **Legal Description**
 2222 DUNDALK AVE PT LT 1
 NW COR SUNSHIP RD
 DUNDALK MANOR

Map	Grid	Parcel	Sub District	Subdivision	Section	Block	Lot	Assessment Area	Plat No:
103	15	443				2		1	Plat Ref: 9/ 49

Special Tax Areas **Town**
Ad Valorem
Tax Class

Primary Structure Built	Enclosed Area	Property Land Area	County Use
1972	3,076 SF	37,339.00 SF	24

Stories	Basement	Type	Exterior

Value Information

	Base Value	Value	Phase-in Assessments	
		As Of	As Of	As Of
		01/01/2007	07/01/2009	07/01/2010
Land	373,300	373,300		
Improvements:	302,900	302,900		
Total:	676,200	676,200	676,200	NOT AVAIL
Preferential Land:	0	0	0	NOT AVAIL

Transfer Information

Seller: DUNDALK HOLDING CO	Date: 02/07/1972	Price: \$150,000
Type: IMPROVED ARMS-LENGTH	Deed1: / 5248/ 101	Deed2:
Seller:	Date:	Price:
Type:	Deed1:	Deed2:
Seller:	Date:	Price:
Type:	Deed1:	Deed2:

Exemption Information

Partial Exempt Assessments	Class	07/01/2009	07/01/2010
County	000	0	0
State	000	0	0
Municipal	000	0	0

Tax Exempt: NO
Exempt Class:

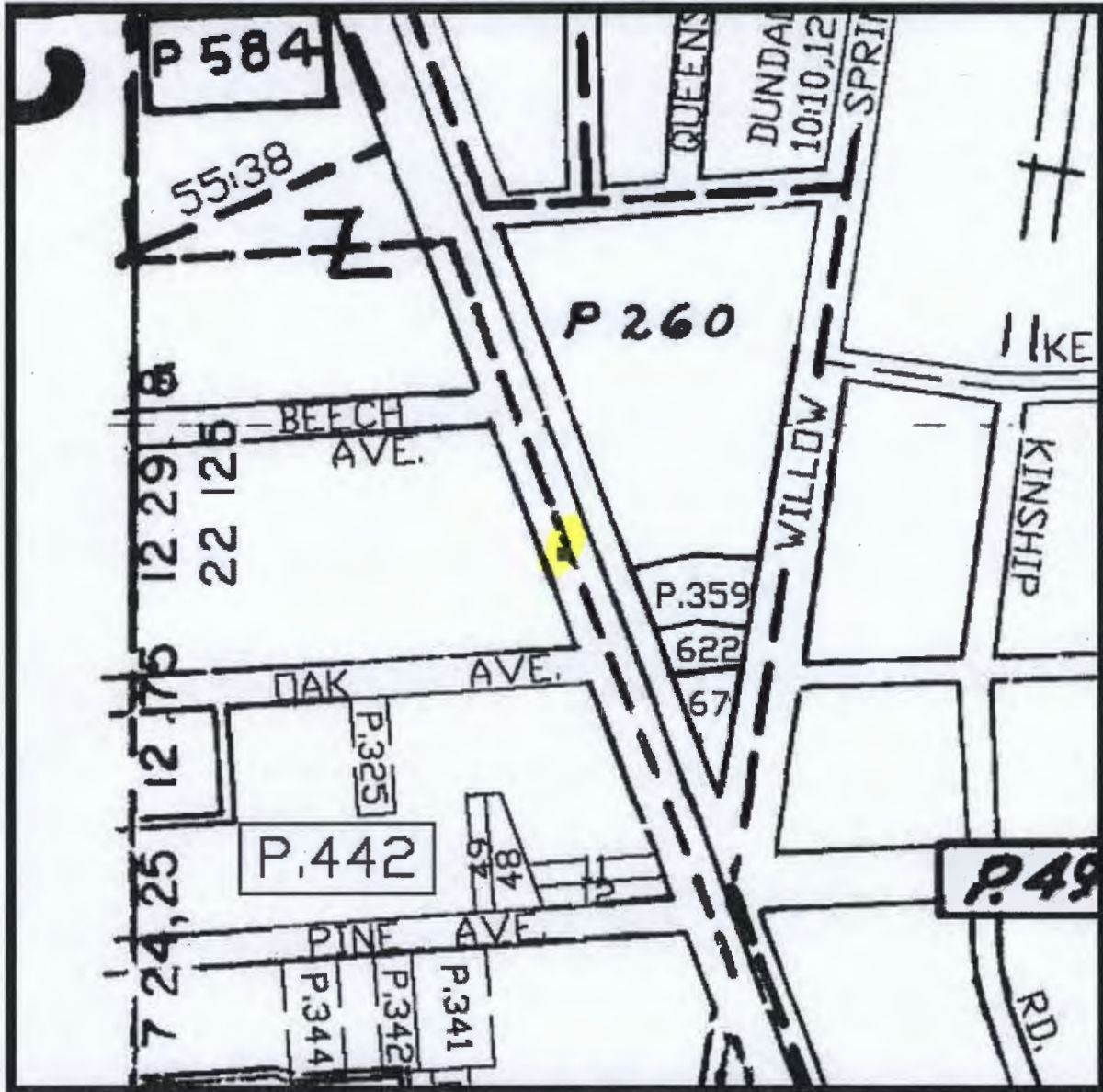
Special Tax Recapture:
 * NONE *



**Maryland Department of Assessments
and Taxation
BALTIMORE COUNTY
Real Property Data Search**

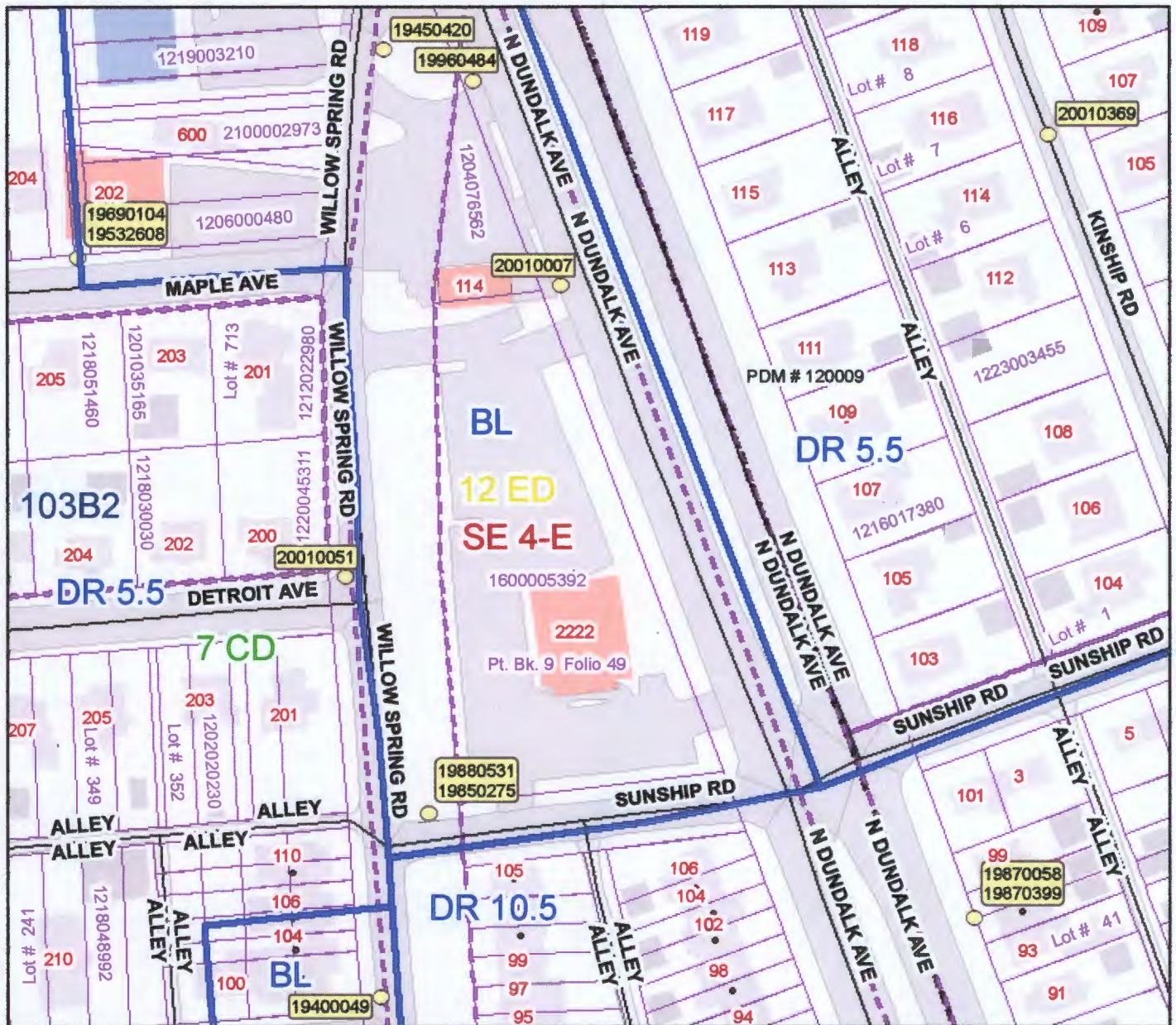
[Go Back](#)
[View Map](#)
[New Search](#)

District - 12 Account Number - 1600005392



Property maps provided courtesy of the Maryland Department of Planning ©2008.
For more information on electronic mapping applications, visit the Maryland Department
of Planning web site at www.mdp.state.md.us/webcom/index.html

2222 North Dundalk Avenue



DQ Map Notes

Publication Date: September 18, 2009
 Publication Agency: Department of Permits & Development Management
 Projection/Datum: Maryland State Plane,
 FIPS 1900, NAD 1983/91 HARN, US Foot



100 0 100
 Feet
 1 inch equals 100 feet

Item # 0099

Case No.: 2010-0099-A

Exhibit Sheet

Petitioner/Developer

Protestant

No. 1		
No. 2		
No. 3		
No. 4		
No. 5		
No. 6		
No. 7		
No. 8		
No. 9		
No. 10		
No. 11		
No. 12		



EXHIBIT

2A-M















FRONT ELEVATION

Faces EB Dundalk Avenue
& EB Willow Spring Road



REAR ELEVATION

Faces Sunship Road



NON DRIVE-THRU SIDE ELEVATION

Faces Willow Spring Road



DRIVE-THRU SIDE ELEVATION

Faces Dundalk Avenue



TRAFFIC CONCEPTS, INC.

Traffic Impact Studies • Feasibility • Traffic Signal Design • Traffic Counts • Expert Testimony

September 18, 2009

Mr. Valek Zarski
Baltimore Land Design Group, Inc.
222 Schilling Circle, Suite 105
Hunt Valley, Maryland 21030

Re: Parking Lot Occupancy Counts for McDonald's

Dear Mr. Zarski,

As requested, Traffic Concepts, Inc. conducted parking lot occupancy counts for the McDonald's parking lot, located on the corners of Dundalk Avenue and Sunship Road and Willow Spring Road, over a 3 day period.

The dates and times of these counts were as follows:

- Friday 9/11/09, 11 AM – 2 PM
- Saturday 9/12/09, 7 AM – 1 PM
- Tuesday 9/15/09, 11 AM -2 PM

We counted the number of occupied spaces every 15 minutes, for the time periods list above. In addition, observations were made regarding parking lot operation and the use of Dundalk Avenue for McDonald's patrons.

There are a total of 56 parking spaces available, according to the existing plan, but one of these spaces is occupied with a dumpster. Therefore, 55 spaces were used to determine the peak period parking utilization rate. Over the three day count period the peak hour utilization rate was below 53 percent. The lot was never filled to capacity during our observation periods.

Peak Period Parking Demand

DATE	Peak Hour Utilization	Actual Peak Period Parked Vehicles/spaces
Friday 9/11/09	52.7%	29/55
Saturday 9/12/09	49%	27/55
Tuesday 9/15/09	52.7%	29/55

Mr. Valek Zarski
September 18, 2009
Page -2-

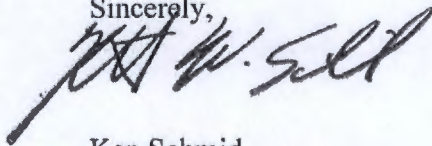
One of the most significant observations made was how the noontime vehicle queue for the drive-thru lane disrupted the internal traffic circulation and access to parking spaces. Once the queue extended to and beyond the dumpster area, little space is available for vehicles to maneuver in and out of the parking spaces on either side of the drive-thru lane. During our observations, we also noted that there was minimal space for vehicles to maneuver drive past the drive-thru line to access the additional parking spaces on the south side of the lot. Please see the existing plan attached with a diagram of the above scenario.

Additionally, we observed few vehicles parked along Dundalk Avenue. However, we noted that the majority of those who did park in this area were patrons of McDonald's. It appeared that the other parked vehicles were generated by the surrounding residential area.

We believe that with the proposed McDonald's expansion and with the reconfigured site layout, the on-site traffic circulation will be improved. This improvement will limit the drive thru-lane queue from blocking the internal drive isle and would provide greater access to the parking spaces. We have also shown with our parking counts that the site could support the peak period parking demand with fewer on-site parking spaces.

If you have question concerning this analysis, please do not hesitate to contact me.

Sincerely,



Ken Schmid
Vice President

Enclosures: (6) Lot Count Sheets
(1) Existing Lot Diagram

2537



DUNDALK RENAISSANCE CORPORATION

November 23, 2009

Board of Directors

Rhonda Crisp
President

Steve Dishon
Vice President

Janice Evans
Secretary

Stephanie Jameson
Treasurer

Janice Evans
Past President

Gayle Adams
Danielle Alderson

Myia Biggs

Rob Carfagno

Bob Crandell

Scott Halupka

Dennis McCartney

Renzellous "Wink" Ranson

Bob Rytter

Ron Schaeffer

Steve Sharon

Rick Sheckells

Courtney Speed

Joseph Stadler

H. Edward Parker
Emeritus

Office of the Zoning Commissioner
401 Bosley Avenue, Room 405
Towson, Maryland 21204

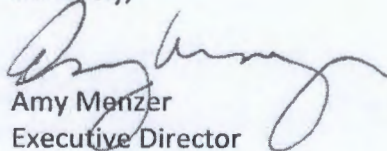
Re: Petition for Variance – 2222 Dundalk Avenue – McDonald's Case Number
2010-0099-A

Dear Commissioner:

On behalf of the Dundalk Renaissance Corporation, I am pleased to offer this letter in support of the application filed by McDonald's Corporation for certain variances in connection with the reconstruction of the existing McDonald's restaurant at 2222 Dundalk Avenue. Representatives of McDonald's have met with our organization's Board of Directors to discuss the new restaurant and the proposed variances, and we are supportive of their proposal.

If you have any questions, please do not hesitate to contact me.

Sincerely,


Amy Menzer
Executive Director

St. Helena Neighborhood Association Inc.



St. Helena Community Association, Inc.

November 23, 2009

Office of the Zoning Commissioner
401 Bosley Avenue, Room 405
Towson, Maryland 21204

Re: Petition for Variance – 2222 Dundalk Avenue – McDonald's
Case Number 2010-0099-A

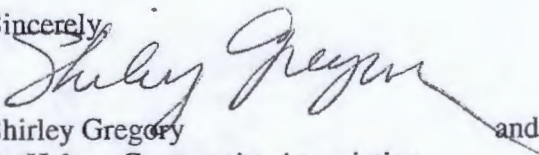
Dear Commissioner:

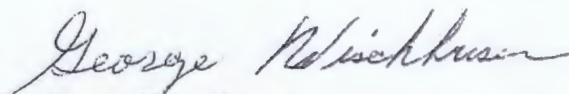
On behalf of the St. Helena Community Association and the St. Helena Neighborhood Association, we are pleased to offer this letter in support of the application filed by McDonald's Corporation for certain variances in connection with the reconstruction of the existing McDonald's restaurant at 2222 Dundalk Avenue.

Representatives of McDonald's have met with our Association's at our community meetings to discuss the new restaurant and the proposed variances, and we are supportive of their proposal.

If you have any questions, please do not hesitate to contact either George Wischhusen President of St. Helena Neighborhood Association or myself Shirley Gregory the President of the St. Helena Community Association. Both Association's are very excited about the new changes this is going to bring to our Neighborhood.

Sincerely,


Shirley Gregory
St. Helena Community Association
6512 St. Helena Avenue
Baltimore, MD 21222
410-633-6077


George Wischhusen
St. Helena Neighborhood Association
210 St. Helena Avenue
Baltimore, MD 21222
410-284-3183

EXHIBIT

11



Old
Dundalk
Neighborhood
Association

P.O. Box 4063 • Dundalk, MD 21222

December 1, 2009

Office of the Zoning Commissioner
401 Bosley Avenue, Room 405
Towson, MD 21204

RE: Case Number: 2010-0099-A
Petition for Variance
McDonald's
2222 Dundalk Avenue

Dear Commissioners:

On behalf of the members of the Old Dundalk Neighborhood Association, we are pleased to offer this letter of support for the application filed by McDonald's Corporation for certain variances in connection with the reconstruction of the existing *McDonald's* Restaurant at 2222 Dundalk Avenue. Representatives of *McDonald's* graciously met with our Association in September to discuss the new restaurant and the proposed variances, and we are supportive of the proposal.

If you have any questions or seek clarification, please do not hesitate to contact me.

Sincerely,

Marianne L. Thomas
President
Old Dundalk Neighborhood Association
410-284-7805

Glen Shaffer, Vice-President

Becky Terjung, Secretary

Debbie Martin, Treasurer

Karin Frye, Historian

PETITIONER'S

EXHIBIT NO. 12



BALTIMORE COUNTY ZONING HEARING OUTLINE

MCDONALD'S – 2222 DUNDALK AVENUE

December 3, 2009

LEE MAY – TESTIMONY

Name: Lee May

Address:

Employer, employer's address: McDonald's Corporation
6903 Rockledge Drive, Ste. 1100
Bethesda, MD 20817

Your job title and responsibilities at McDonalds: Area Construction Manager

Are you familiar with the petition before the Zoning Commissioner? Yes

What is the location that is the subject of the petition? 2222 Dundalk Avenue

What is your interest in the property? McDonald's Corp. owns the property.

What is at this location currently?

There is an existing McDonald's restaurant at this location.

How long has that McDonald's been operating at that location?

Since June 1972 (37.5 years).

What is McDonald's proposing to do at this location?

Demolish the existing restaurant and build a new McDonald's restaurant.

Describe existing conditions at the McDonalds.

EXHIBIT – EXISTING CONDITIONS /

(Explain access, parking, location of improvements, size and shape of property with specific emphasis on the interior circulation problems/conflict between parking spaces and drive-thru lane.)

Identify photographs of McDonald's at 2222 Dundalk Avenue.

PETITIONER'S

EXHIBIT NO.

14

EXHIBIT – PHOTOS 2A-2M

Describe the location of the existing McDonald's.

The existing restaurant is located in a commercial corridor of Dundalk Avenue, and is located adjacent to the St. Helena Community. The Old Dundalk Neighborhood is located across Dundalk Avenue from the site.

Why are you proposing a new McDonald's?

The existing structure is almost 40 years old and is operationally inadequate. The current layout of the site causes the drive-thru parking lane to function poorly and interferes with access to parking spaces. The proposed new restaurant will be a much more efficient building, both operationally and in terms of energy usage.

What is being proposed at this location?

EXHIBIT – PROPOSED CONDITIONS 3

We are proposing to demolish the existing McDonald's restaurant and rebuild a new McDonald's restaurant in the same location.

Show elevations of new McDonald's – highlight the features of the new building.

EXHIBIT – ORIGINAL ELEVATIONS 4

- Contemporary, upscale look – moving away from the bright, plastic look of the old McDonald's restaurants.
 - “Café”-type customer area - tasteful colors and materials; limited branding.
- Brick exterior (as opposed to painted red and white).
- Remove mansard roof with white beams.
- “Green building” features: (now standard for new McDonald's)
 - High-efficiency HVAC system
 - TPO reflective roof to reduce energy costs
 - Awnings – reduce solar heat gain
 - Masonry walls – thermal properties
 - Two-speed grill exhausts
 - Auto-sensor lavatory faucets
 - Fluorescent lighting
 - Cardboard recycling
- The new building will be entirely ADA-compliant.

Have you reviewed the Office of Planning's comments and recommendations regarding the proposed McDonald's?

Yes. The Office of Planning was primarily concerned with the elevation of the Dundalk Avenue side of the proposed building. We have submitted additional materials to the Office of Planning in response to these comments, including a three-dimensional elevation of the Dundalk Avenue side of the building, which provides greater clarity with respect to what is proposed for this side. The revised elevation also includes two additional windows for added detail on this side of the building in response to the Office of Planning's comments.

EXHIBIT – 3-D ELEVATION

5

We have also submitted a preliminary landscape plan to the Office of Planning, which shows pedestrian access from Dundalk Avenue. Please note that the pedestrian crosswalk from Dundalk Avenue will be slightly raised to encourage drivers to slow down for safety as they leave the drive-thru lane.

EXHIBIT – LANDSCAPE PLAN

6

Explain the sign package:

EXHIBIT – SIGNAGE PACKAGE

7

What is existing?

The existing McDonald's has one free-standing enterprise sign along Dundalk Avenue that is approximately 198 square feet.

What is proposed?

We are proposing to replace the existing non-conforming free-standing sign with a new one that complies with the Zoning Regulations.

We are also proposing 5 enterprise signs on the faces of the buildings: 2 signs on the front of the building; 2 signs on the drive-thru side of the building; and 1 sign on the non-drive-thru side of the building.

Additionally, we are proposing "canopy"-style directional signs on the front and non-drive-thru sides of the building. These signs, one on each side, will have the word "Welcome" above the face of the canopy, rather than printed directly on the face of the canopy.

Why?

This is McDonald's standard signage plan for new restaurants, and will bring this restaurant up-to-date and into conformity with other new McDonald's restaurants.

Describe how proposed construction will improve the operation.

The proposed construction will modernize the building and make it function better. The current building has a basement, which causes the operation of the restaurant to be less efficient than it could otherwise be. The basement also leaks because of the low water table in the area and is therefore not particularly functional for storage. In addition, the drive-thru lane for the new building will wrap around the building rather than running through the parking lot, allowing traffic to queue out of the way of other vehicles entering or leaving parking area. Finally, we are implementing as many "green building" items in our design as possible, which will make the new building much more energy efficient than the existing one.

How many parking spaces does the site currently have?

55 spaces

How many parking spaces are you proposing with the new structure?

42 spaces.

How many seats are there in the existing restaurant? 72

How many seats will there be in the proposed restaurant? Approximately 85-90.

EXHIBIT – INTERIOR LAYOUT 8

What is the amount of capital investment for this project?

Approximately \$2.35 million, all privately funded.

If the petitions are approved, what is the plan for implementation?

If the petitions are approved, we will apply for permits and begin demolition as soon as possible. We expect to begin construction in Spring 2010, which should take approximately 3.5 to 4 months to complete. We hope to open in late June 2010.



BALTIMORE COUNTY ZONING HEARING OUTLINE

MCDONALD'S – 2222 DUNDALK AVENUE

December 3, 2009

CHRISTOPHER MANN – TESTIMONY

Name: Christopher Mann

Address:

Employer, employer's address: McDonald's
2222 Dundalk Avenue
Dundalk, Maryland 21222

Your job title and responsibilities at McDonalds:

My family owns and operates 4 McDonald's restaurants, one of which is located at 2222 Dundalk Avenue.

How long have you owned and operated the McDonald's at 2222 Dundalk Avenue?

My family has owned and operated this McDonald's since it opened in June 1972.

Have any parking studies been completed relating to the existing McDonald's?

Yes.

EXHIBIT – PARKING STUDY

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When was this parking study conducted?

Friday, September 11, 2009 between 11 a.m. and 2 p.m.,
Saturday, September 12, 2009 between 7 a.m. and 1 p.m., and
Tuesday, September 15, 2009 between 11 a.m. and 2 p.m.

Why was the parking study conducted at those times?

These dates and times were chosen because this McDonald's has its busiest hours on Fridays at lunch time and on Saturday mornings. Additionally, we wanted to conduct the parking study while school was in session, because the restaurant

typically does less business in the summer months while many people are on vacation.

What did this parking study reveal?

The parking study, conducted by Traffic Concepts, Inc., indicated that there are 56 marked parking spaces on the property, one of which is occupied by a dumpster. As a result, 55 spaces were used to determine the peak period parking utilization rates.

Between the hours of 11:00 a.m. and 2:00 p.m. on Friday, no more than 29 of these spaces (52.7%) were occupied at any time.

Between 7:00 a.m. and 1:00 p.m. on Saturday, no more than 27 spaces (49%) were occupied at any one time.

Between 11:00 a.m. and 2:00 p.m. on Tuesday, no more than 29 spaces (52.7%) were occupied at any one time.

As a result Traffic Concepts, Inc. concluded that adequate parking exists on site to accommodate the peak parking demands.

Traffic Concepts, Inc. also noted that the noontime vehicle queue for the drive-thru lane disrupted internal traffic circulation and access to parking spaces, and opined that the reconfigured site layout will improve on-site circulation.

What percentage of your business is done at the drive-thru window?

54%

In your experience operating this McDonald's, have you ever encountered a problem relating to the amount of parking provided?

No.

Based on your experience operating this McDonald's, do you believe that the 42 parking spaces to be provided will adequately meet the parking demands of the restaurant?

Yes. Since we do a substantial amount of business at the drive-thru windows, the demands of this restaurant do not require as much parking as the Zoning Regulations would require. We expect that, with the new restaurant, our business at the drive-thru will increase to approximately 65%, which is in line with the national averages for McDonald's.

We also have a significant amount of customers walking to the site from the adjacent residential neighborhoods. In addition, people who live in the adjacent residential areas occasionally park on the McDonald's site. In connection with the redevelopment of the restaurant, 9 new parking spaces are proposed to be created along Willow Spring Road adjacent to the site, which residents of the neighborhood will be able to use rather than parking in the McDonald's parking lot.

Have you met with the neighboring community associations regarding this variance petition and the construction of the new restaurant?

Yes, we have met and shared our plans with the Old Dundalk Neighborhood Association, the St. Helena Community Association, and the Dundalk Renaissance Corporation.

EXHIBIT - LETTER OF SUPPORT (Dundalk Renaissance Corporation) 10

EXHIBIT - LETTER OF SUPPORT (St. Helena Neighborhood Associations, Inc.) 11

Exhibit - Letter of Support (Old Dundalk Neighborhood Ass) 12



BALTIMORE COUNTY ZONING HEARING OUTLINE

MCDONALD'S – 2222 DUNDALK AVENUE

December 3, 2009

IWONA ZARSKA – TESTIMONY

Name: Iwona Zarska

Address:

Employer, employer's address: Baltimore Land Design Group
222 Schilling Circle, Ste. 105
Hunt Valley, MD 21030

What is your job title?

Professional Civil Engineer - specialize in land development services

Please describe the nature of the services you provide.

Have you ever testified as an expert witness in the field of site engineering before the Zoning Commissioner of Baltimore County?

Yes.

Have you ever been accepted an approved as such an expert witness?

Yes.

I offer Ms. Zarska as an expert witness in site engineering.

Are you familiar with the petition before the Zoning Commissioner? Yes.

What has been your involvement with this project?

As a result of the Petitioner's application, what variances are being requested?

- 450.4.5.A to allow 5 enterprise signs on the building facades in lieu of the allowed 3 signs;
- 450.4.3 to allow "canopy"-type directional signs in lieu of the allowed wall-mounted or free-standing signs;
- 450.5.8.3.b to allow erection of the sign above the face of the canopy in lieu of its erection on the face of the canopy;
- 409.6.A.2 to allow 42 parking spaces in lieu of the required 69 spaces;

- 409.8.A(1) to allow modifications to the landscape standards, including:
 - Part II, Standard B.1 to allow landscape strip of 1.0 and 5.5 feet in lieu of the required 10 feet;
 - Part III, Condition A, Standard #4 to allow landscape strip for commercial interior road adjacent to residential zones or uses of 5.5 feet in lieu of required 10 feet;
 - Part III, Condition B, Standard #1(c)(2) to not provide the brick or split-face block wall for redevelopment in commercial corridors as an alternative where the minimum 10 feet landscape strip is not feasible;
 - Part III, Condition B, Standard #2(c) to allow parking lot landscape island width of 5 feet in lieu of the required 9 feet; and
 - Part III, Condition H, Standard #2 to allow placement of dumpster enclosure 0 and 5.5 feet from rights-of-way in lieu of the required 10 feet.
- 409.8.A to allow parking spaces from public street right-of-way lines of 0 feet in lieu of the required 10 feet.

Please identify the requested variances on the Plat to Accompany Zoning Petition.

EXHIBIT – PLAT TO ACCOMPANY ZONING PETITION 13

Is the subject property peculiar, unusual, or unique when compared to other properties in the neighborhood?

Yes. The subject property is improved with an existing structure, which McDonald's proposes to demolish and replace with a new restaurant in the same location as the existing one. However, the small size and irregular shape of the lot impose certain constraints on the proposed new construction.

Since you have indicated that the property is peculiar, unusual, or unique, would strict compliance with the Baltimore County Zoning Regulations result in a practical difficulty or unreasonable hardship to the Petitioner?

Yes.

Parking: The Zoning Regulations would require 69 parking spaces; however, the dimensions of the property only permit 42 off-street parking spaces. Without the parking variance, McDonald's would not be able to reconstruct a restaurant on this property.

Location of Parking Spaces: The Zoning Regulations require parking spaces to be located 10 feet from public street right-of-way lines. However, due to the irregular shape of the lot and our desire to provide as many parking spaces as possible, we are unable to provide 10 feet between all of the parking spaces and the adjacent public rights-of-way. Without this variance, the proposed restaurant could not be constructed.

Signs:

- The Zoning Regulations permit 3 enterprise signs on the building facades; McDonald's, however, is proposing 5 enterprise signs on the building facades.
- The Zoning Regulations permit wall-mounted or free-standing directional signs; McDonald's, however, proposes a "canopy"-type directional sign.
- The Zoning Regulations permit a sign to be erected on the face of a canopy; McDonald's, however, proposes to erect a sign above the face of the canopy.

The strict application of the Zoning Regulations would create practical difficulties for McDonald's, as this restaurant would deviate from the standard style of other McDonald's restaurants if the proposed signs were not permitted.

Landscape Standards:

The requested variances to the Baltimore County landscape standards are due to the irregular shape of the site and are the minimum variances necessary to permit the construction of the new McDonald's restaurant. Without these variances, the new restaurant could not be built.

- Part II, Standard B.1 to allow landscape strip of 1.0 and 5.5 feet in lieu of the required 10 feet;
- Part III, Condition A, Standard #4 to allow landscape strip for commercial interior road adjacent to residential zones or uses of 5.5 feet in lieu of required 10 feet;
- Part III, Condition B, Standard #2(c) to allow parking lot landscape island width of 5 feet in lieu of the required 9 feet;
- Part III, Condition H, Standard #2 to allow placement of dumpster enclosure 0 and 5.5 feet from rights-of-way in lieu of the required 10 feet;
- Part III, Condition B, Standard #1(c)(2) to not provide the brick or split-face block wall for redevelopment in commercial corridors as an alternative where the minimum 10 feet landscape strip is not feasible.

Pedestrian Access Through Drive-Thru Lane:

Please note that some pedestrians will cross the drive-thru lane when approaching the restaurant from the parking area. We will be providing a crosswalk between the 10th and 11th cars in the drive-thru lane for added safety for these pedestrians.

Loading Area:

Finally, the Zoning Regulations require adequate space for loading and unloading operations. McDonald's has not applied for a variance for this requirement because we believe the site as proposed has adequate space for loading and unloading. This loading/unloading area is located next to the stacking lane for the drive-thru, and the majority of loading and unloading operations will occur while the restaurant is closed or during non-peak hours so as to minimize the impact on the drive-thru lane. As a result, we do not believe a variance is necessary.

Would the granting of the variance be injurious to the use and enjoyment of the other property owners in the immediate vicinity, or substantially diminish and impair property values in the neighborhood?

The granting of the variance will likely improve property values in the neighborhood, as the new restaurant will be more modern and attractive than the existing one. As the requested variances will permit McDonald's to rebuild a new restaurant in the same location as the existing one, there will be no greater impact on the use and enjoyment of the neighboring properties than that created by the existing restaurant.

Would the granting of the variances impair an adequate supply of light and air to adjacent property, or overcrowd the land, or create an undue concentration of population, or substantially increase the congestion of the streets, or create hazardous traffic conditions, or increase the danger of fire, or otherwise endanger the public safety?

The granting of the variances will not impair the supply of light and air to the adjacent properties any more than the existing restaurant does, nor will these variances cause an overcrowding of the land. Similarly, the granting of the variances will have no affect on the concentration of population, congestion of the streets, traffic conditions, or the danger of fire, nor will they endanger the public safety in any manner.

Would the granting of the variances adversely affect transportation or unduly burden water, sewers, school, park, or other public facilities?

The granting of the variances will not have any impact on transportation, nor will they burden water, sewers, school, park, or other public facilities.

Would the granting of the variances be in strict harmony with the spirit and intent of the BCZR?

The granting of these variances is in harmony with the purpose of the Zoning Regulations, as they will promote the health, security, comfort, convenience, orderly development and other aspects of the general welfare of the community by permitting McDonald's to replace an outdated restaurant with a more modern, attractive one. This will improve the general welfare of the surrounding neighborhood.

Would the granting of the variances cause any injury to the public health, safety, or general welfare?

The granting of the variances will not cause any injury to the public health, safety, or general welfare.



BALTIMORE COUNTY ZONING HEARING OUTLINE

MCDONALD'S – 2222 DUNDALK AVENUE

December 3, 2009

CHRIS MCCOLLUM – TESTIMONY

Name: Chris McCollum

Address:

Current Employment: Department of Economic Development

Are you familiar with the subject property, the business and the proposal before the Zoning Commissioner? Yes.

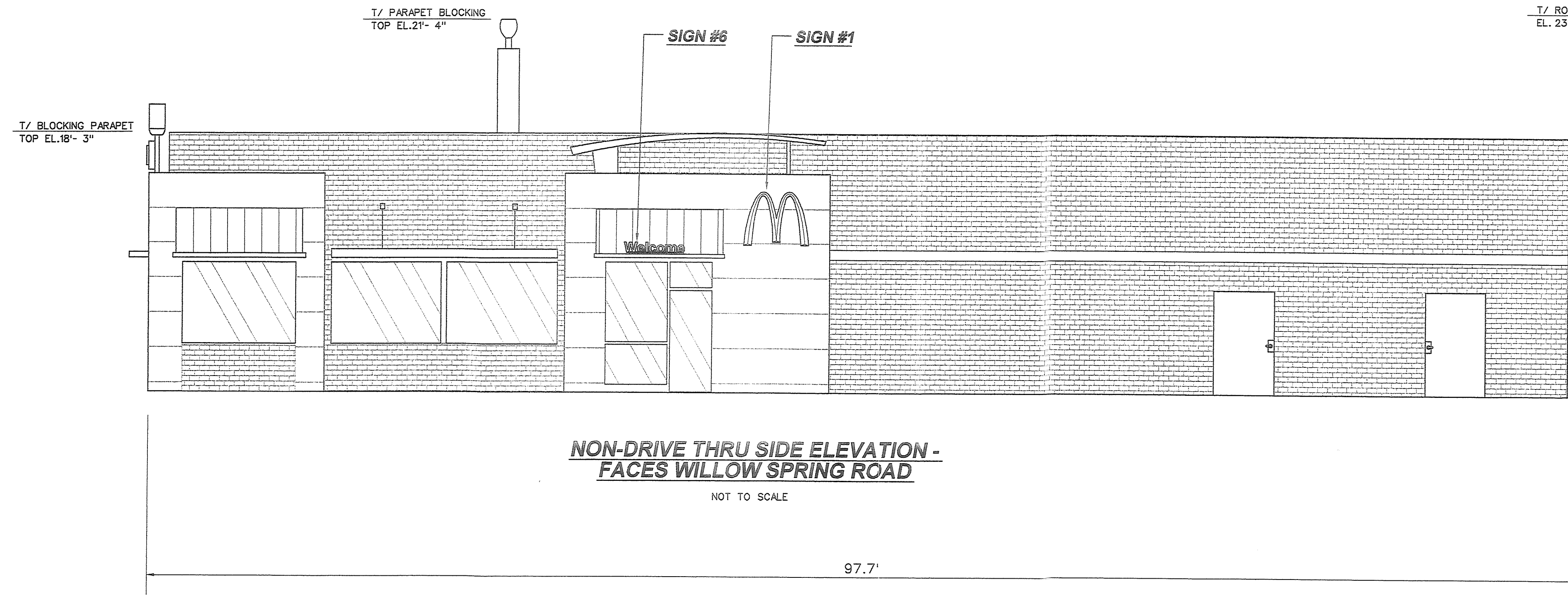
Have you visited and inspected the property? Yes.

Does the Baltimore County Department of Economic Development have a position on the Petition for Variance in front of the Zoning Commissioner today? Yes.

What is that position? We support McDonald's and the approval of the variances.

Why?

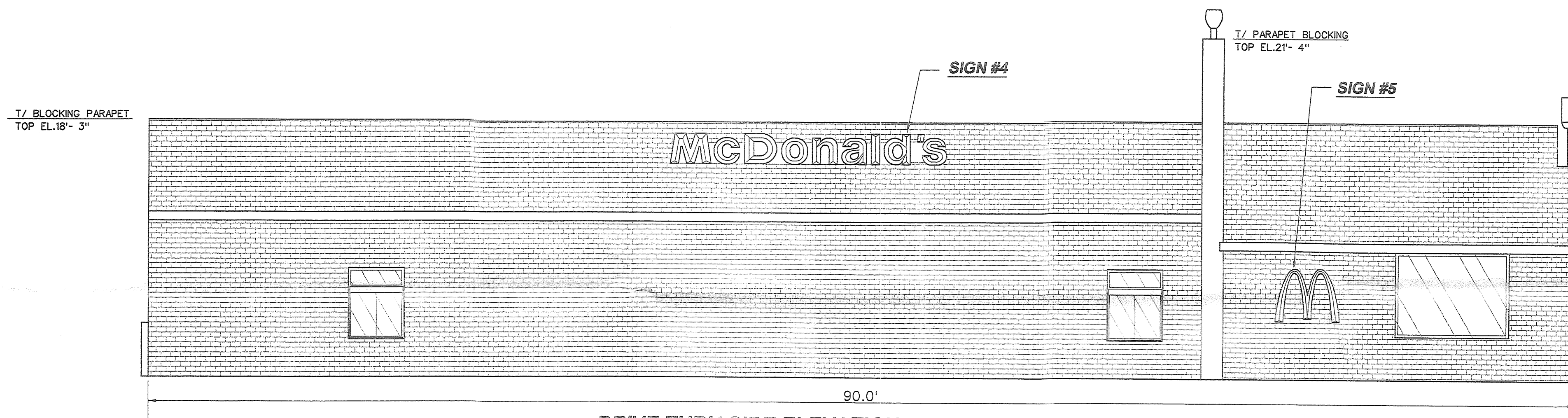
Item # 0099



NON-DRIVE THRU SIDE ELEVATION -
FACES WILLOW SPRING ROAD

NOT TO SCALE

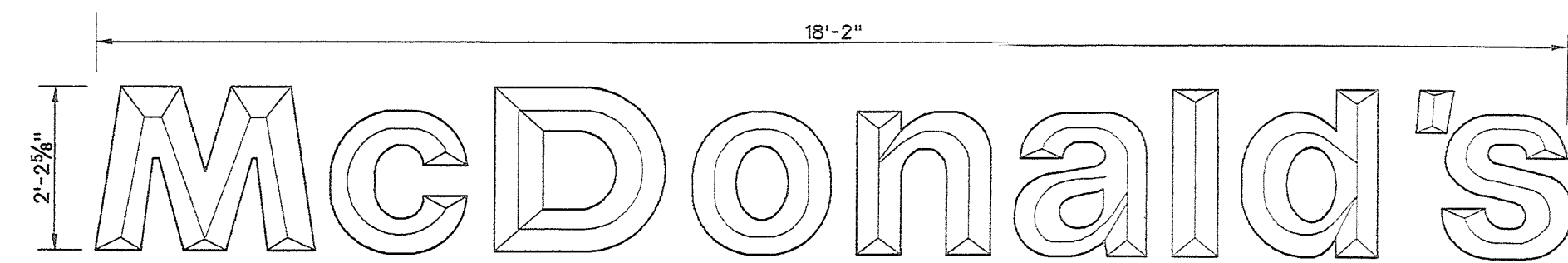
97.7'



DRIVE THRU SIDE ELEVATION -
FACES DUNDALK AVENUE

NOT TO SCALE

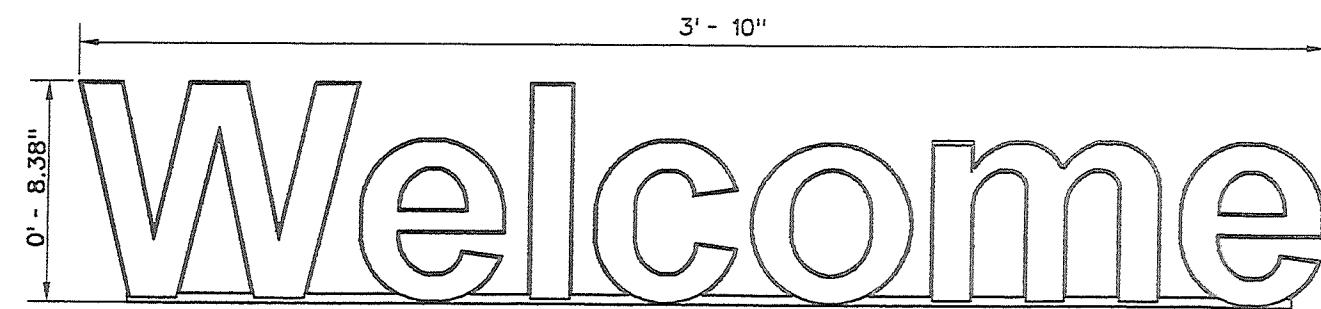
90.0'



SPECIFICATIONS
RACEWAY MOUNT FORMED KYDEX HOUSING
FORMED POLYCARBONATE FACES
H.O. FLUORESCENT ILLUMINATION
RACEWAY PAINTED GREY
40.28 SF

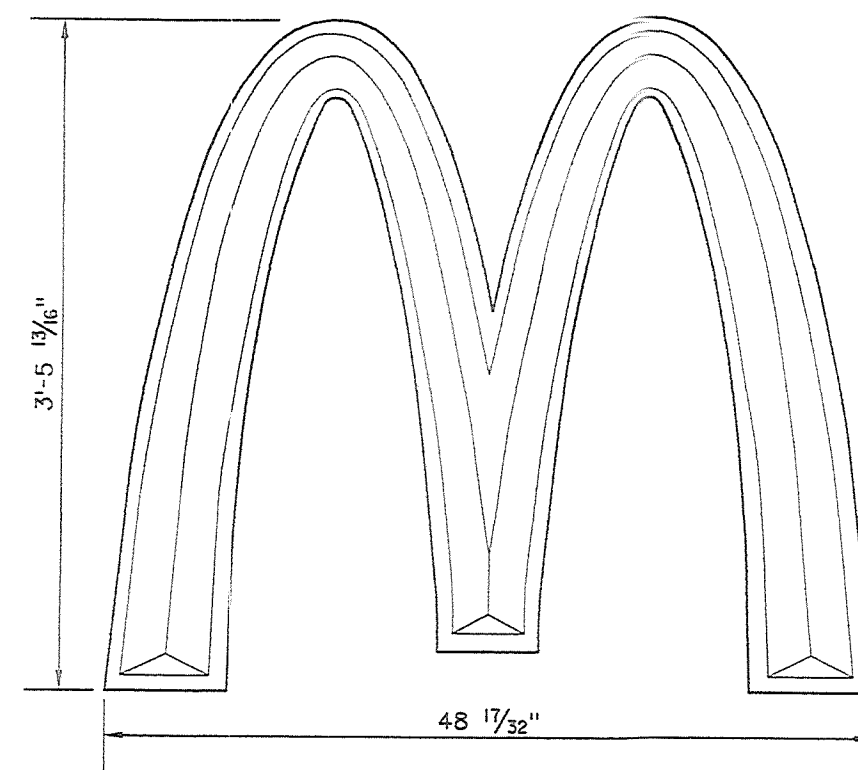
SIGN #2 & #4

NOT TO SCALE
UNIBODY ELEMENT
FRONT & DRIVE THRU ELEVATIONS
- ENTERPRISE SIGN
- WALL-MOUNTED



SIGN #6 & #7

NOT TO SCALE
NON-ILLUMINATED WELCOME LETTERS
2.79SF
- DIRECTIONAL SIGN
- MAX. ALL < 3 SF



SPECIFICATIONS
LAMPS: 13 MM NEON (WHITE)
TRANSFORMER: (1) FRANCE OETG 75/30
LOAD: 0.75 AMPS
CIRCUIT: (1) 20 AMP
SQ.FT.: BOXED 14.20

SIGN #1, SIGN #3 & SIGN #5

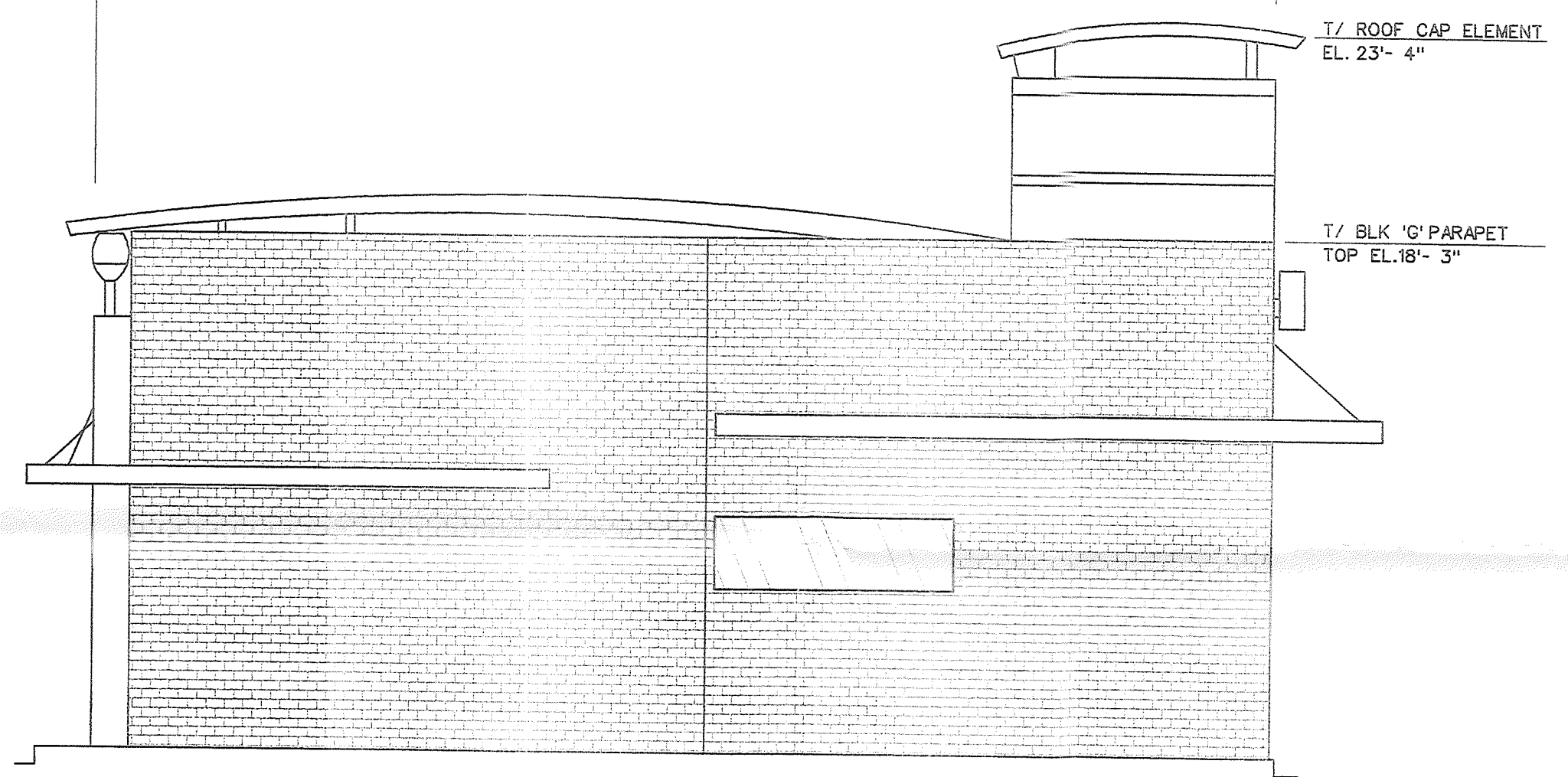
NOT TO SCALE
48" ILLUMINATED ARCH LOGO
- ENTERPRISE SIGN
- WALL-MOUNTED



FRONT ELEVATION -
FACES SE BOUND DUNDALK AVENUE

NOT TO SCALE

45.70'



REAR ELEVATION -
FACES SUNSHIP ROAD

NOT TO SCALE

SIGNAGE DATA

I. ENTERPRISE SIGN ON THE BUILDING FACADES

1. AREA / FACE OF THE ENTERPRISE SIGNS ON THE SINGLE FACADE:

- A. FRONT FACADE (LENGTH = 45.70')
MAXIMUM AREA / FACE ALLOWED: 2 x 45.70 = 91.40 SF
AREA / FACE PROPOSED:
SIGN #2 = 40.28 SF
SIGN #3 = 14.20 SF
TOTAL = 54.48 SF < 91.40 SF
- B. NON-DRIVE-THRU FACADE (LENGTH = 97.70')
MAXIMUM AREA / FACE ALLOWED: 2 x 97.70 = 195.40 SF
AREA / FACE PROPOSED:
SIGN #1 = 14.20 SF
TOTAL = 14.20 SF < 195.40 SF
- C. DRIVE-THRU FACADE (LENGTH = 90.00')
MAXIMUM AREA / FACE ALLOWED: 2 x 90.00 = 180.00 SF
AREA / FACE PROPOSED:
SIGN #4 = 40.28 SF
SIGN #5 = 14.20 SF
TOTAL = 54.48 SF < 180.00 SF

2. NUMBER OF ENTERPRISE SIGNS:

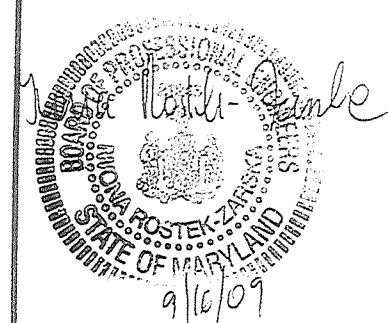
- A. NUMBER OF SIGNS PERMITTED:
THREE (3) ON PREMISES. NO MORE THAN TWO ON EACH FACADE.
- B. NUMBER OF ENTERPRISE SIGNS PROPOSED:
SIGNS ON FRONT FACADE: 2 (SIGNS #2 & #3)
SIGN ON NON-DRIVE-THRU FACADE: 1 (SIGN #1)
SIGNS ON DRIVE-THRU FACADE: 2 (SIGNS #4 & #5)
TOTAL NUMBER OF PROPOSED ENTERPRISE SIGNS: 5

II. DIRECTIONAL SIGNS ON THE BUILDING FACADES

1. MAX. AREA / FACE ALLOWED - 3 SF / SIGN
2. AREA / FACE PROPOSED:
SIGN #6 = 2.79 SF < 3 SF ALLOWED
SIGN #7 = 2.79 SF < 3 SF ALLOWED
3. STRUCTURAL TYPE ALLOWED: WALL-MOUNTED AND FREESTANDING
STRUCTURAL TYPE PROPOSED: CANOPY (SIGN #6 & #7)

BLDG
Baltimore Land Design Group Inc.
Consulting Engineers

222 SCHILLING CIRCLE SUITE 105 • HUNT VALLEY, MARYLAND 21080
PHONE: 410.229.9851 • FAX: 410.229.9865 • BLDG@BLDGINC.COM



PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21245, EXPIRATION DATE: JUNE 9, 2010.

OWNER
MCDONALDS CORPORATION
646 SEVERN ROAD
SEVERNA PARK, MARYLAND 21146-3457

DEVELOPER / APPLICANT
MCDONALD'S USA, LLC
BALTIMORE - WASHINGTON REGION
6903 ROCKLEDGE DRIVE, SUITE 1100
BETHESDA, MARYLAND 20817
PHONE (240) 497-3626

DATE	ITEM

PLAT TO ACCOMPANY ZONING PETITION
MCDONALD'S RESTAURANT

AT
DUNDALK MANOR
*2222 DUNDALK AVENUE
BALTIMORE, MARYLAND, 21222

BALTIMORE COUNTY, MARYLAND
SCALE: N.T.S.

ELECTION DISTRICT 12, C7
DATE: AUGUST, 2009

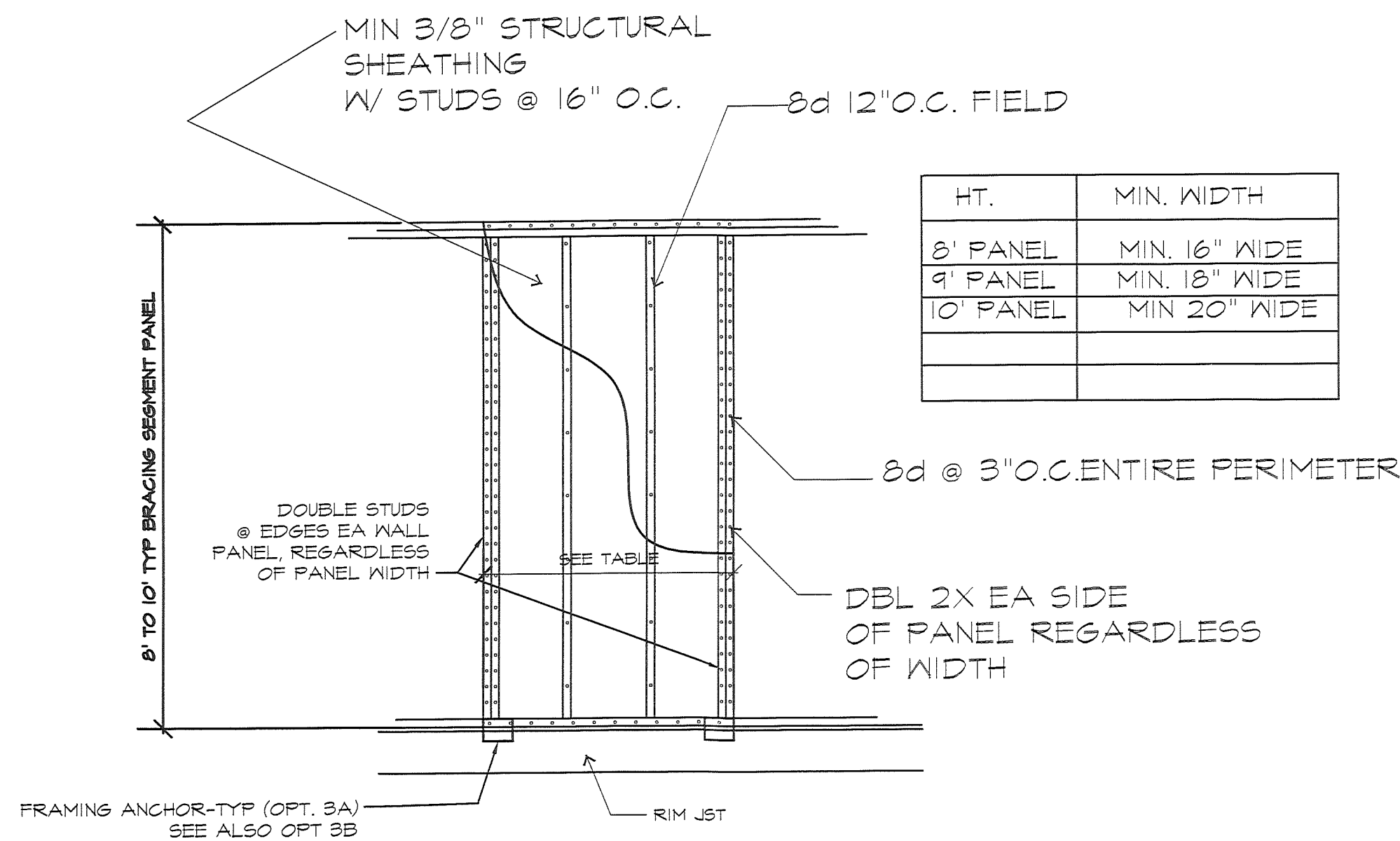
DESIGN & DRAWINGS ARE
BASED ON BALTIMORE
CITY COORDINATE SYSTEM

DRAWING NO.

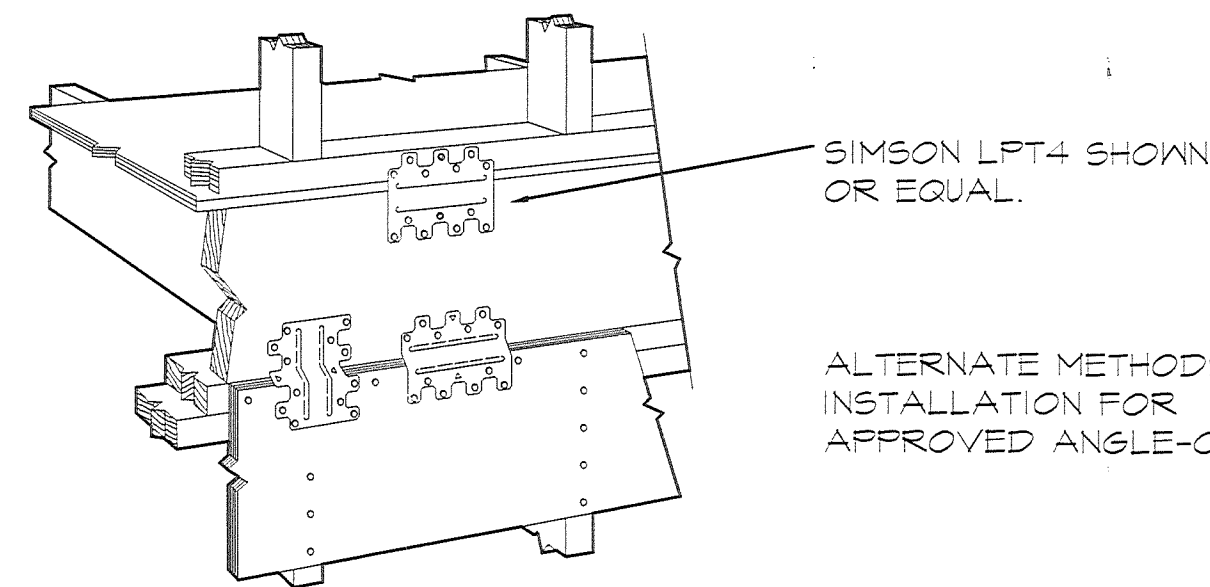
V-2

SHEET 2 OF 2

#2010-0099-A



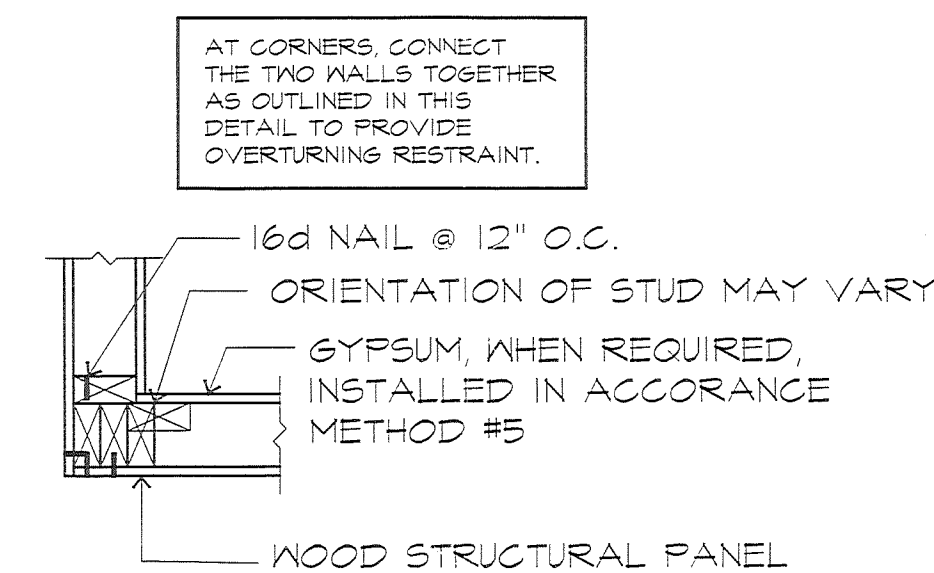
1 BRACED PANEL CONSTRUCTION (APA METHOD)
RAISED WOOD FLOOR OR 2ND FLOOR
SCALE: NOT TO SCALE



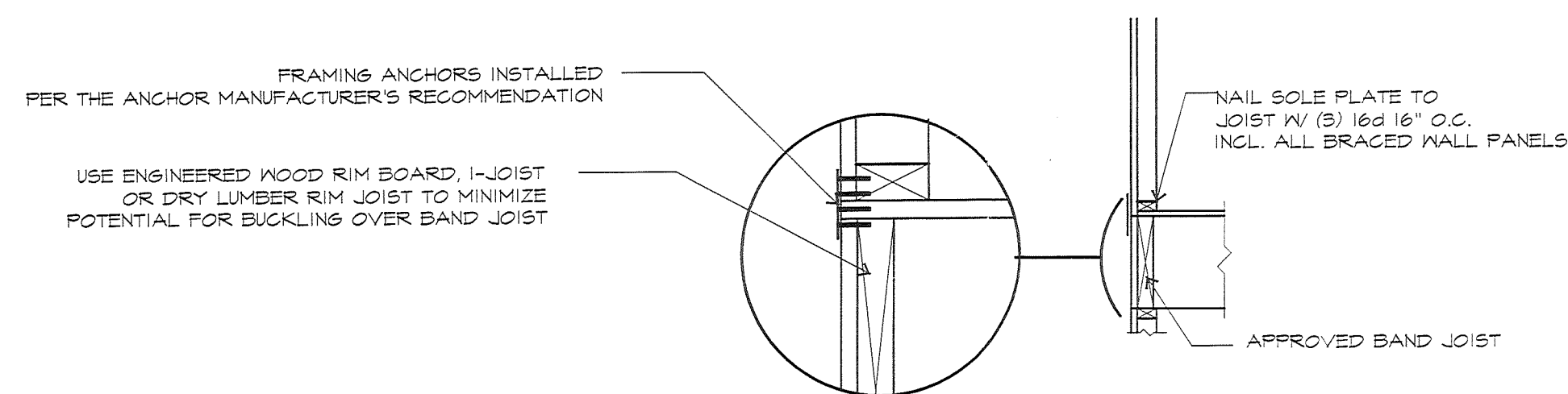
SIMSON LFT4 SHOWN OR EQUAL.

ALTERNATE METHODS OF INSTALLATION FOR APPROVED ANGLE-CLIP

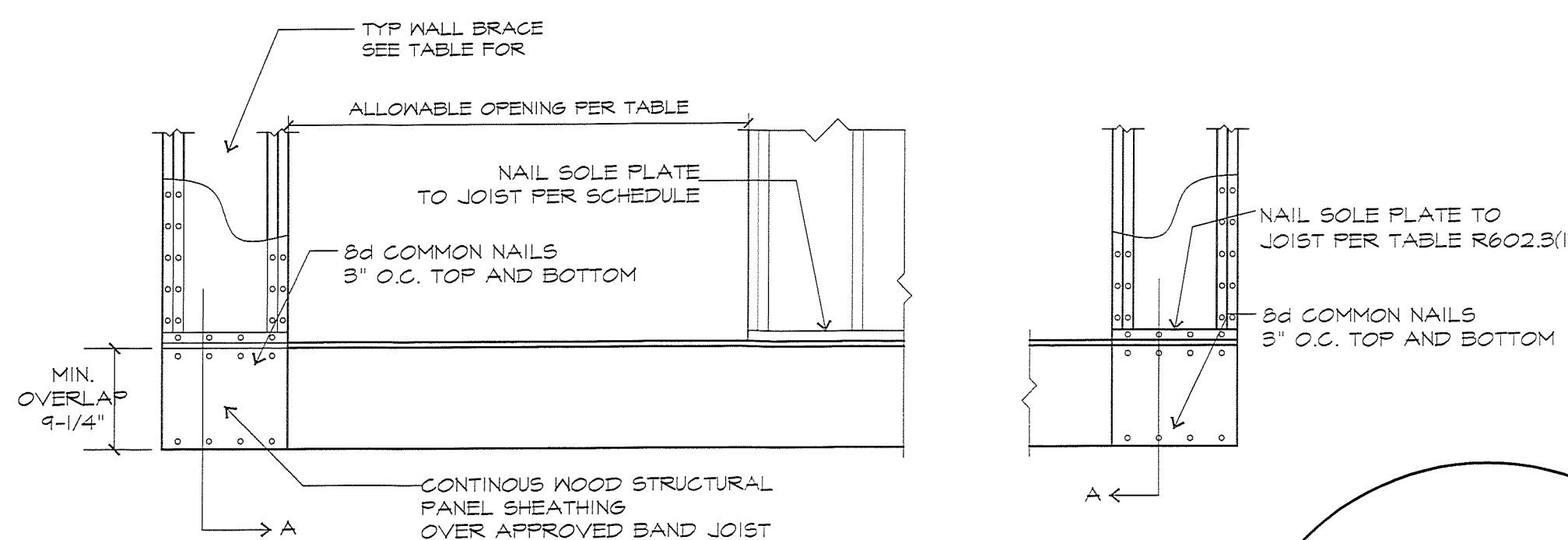
1A BRACED PANEL CONSTRUCTION (APA METHOD)
RAISED WOOD FLOOR OR 2ND FLOOR INSTALLATION
SCALE: NOT TO SCALE



2 OUTSIDE CORNER DETAIL
SCALE: NOT TO SCALE

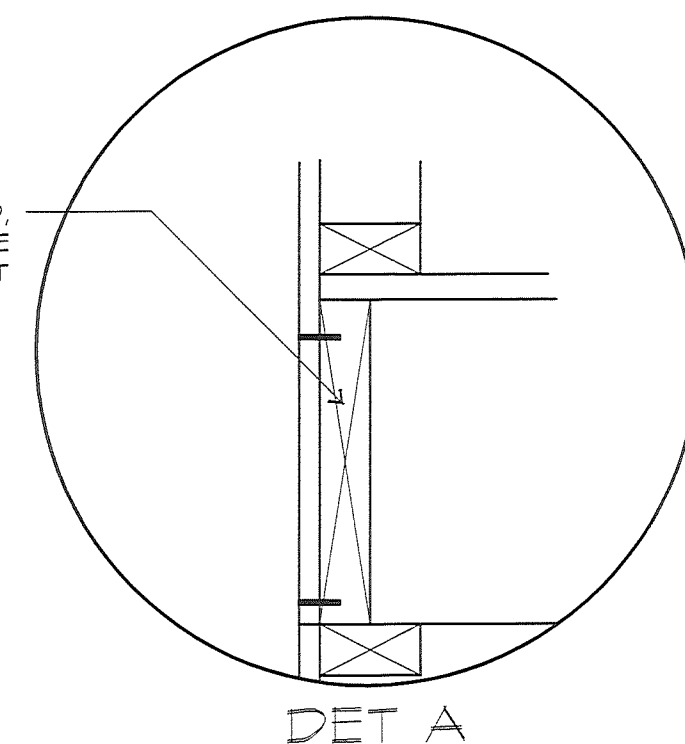


3A NARROW WALL OVER RAISED WOOD FLOOR
FRAMING ANCHOR OPTION (a)
SCALE: NOT TO SCALE

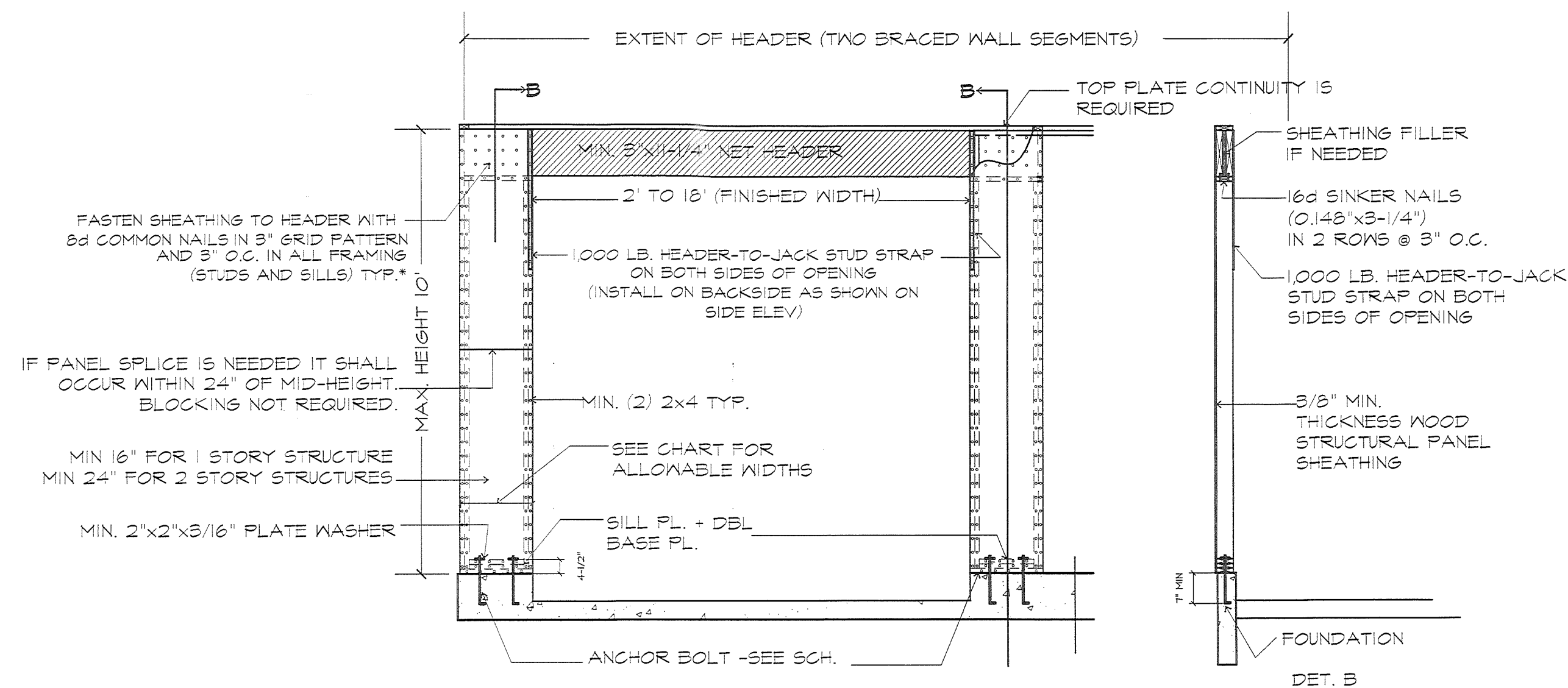


3B NARROW WALL OVER RAISED WOOD FLOOR
WOOD STRUCTURAL PANEL OVERLAP OPTION (b)
SCALE: NOT TO SCALE

GENERAL NOTE: ALL VERTICAL JOINTS OF PANEL SHEATHING SHALL OCCUR OVER AND BE FASTENED TO COMMON STUDS. BLOCKING IS NOT REQUIRED BEHIND HORIZONTAL JOINTS IN SEISMIC CATEGORIES A & B WHEN METHOD 3 IS USED.



DET. A



4 GARAGE PORTAL NARROW WALL OVER CONCRETE OR MASONRY BLOCK FOUNDATION
SCALE: NOT TO SCALE

BRACINGS CONSTRUCTION	MINIMUM WIDTH OF BRACED WALL PANEL FOR WALL HEIGHT OF:			MAX. OPENING HEIGHT NEXT TO BRACED WALL
	8'	9'	10'	
APA NARROW WALL (a) BRACING METHOD	16'	18'	20'	UP TO BOTTOM OF HEADER
IRC R602.10.5 (SEE IRC FOR LIMITATIONS)	48' 32' 24'	54' 36' 27'	60' 40' 30'	100% WALL HEIGHT 85% WALL HEIGHT 65% WALL HEIGHT

NOTE:
(a) THE MINIMUM WIDTH OF BRACED WALL SEGMENT FOR THE APA METHOD IS BASED ON THE HEIGHT FROM THE TOP OF HEADER TO BOTTOM OF SILL PLATE AS SHOWN IN DET. 1. FRAMING, SUCH AS A CRIPPLE WALL, MAY BE BUILT ON TOP OF THE HEADER, BUT IT DOES NOT AFFECT THE HEIGHT USED TO DETERMINE THE MINIMUM BRACED WALL SEGMENT WIDTH.

1. BRACED WALL PANEL CONSTRUCTION METHODS:
METHOD #3 & METHOD 5

METHOD #3: WOOD PANEL SHEATHING W/ MIN. THICKNESS OF 5/16" SHEATHING W/ STUDS @ 16" O.C. (3/8" W/ STUDS 24" O.C.)
BRACED WALL PANELS AT LEAST 25' O.C. & NOT LESS THAN 16% OF BRACED WALL LINE.
(1ST & 2ND STORY) OFFSETS NOT MORE THAN 4'
2. ENTIRE ADDITION IS SHEATHED W/ CONTINUOUS WOOD STRUCTURAL SHEATHING-MIN 5/16" THK
3. BRACED WALL PANELS SHALL BEGIN NO MORE THAN 12.5 FEET FROM EACH END OF A BRACED WALL LINE.

METHOD #5: MIN 1/2" GYPSUM BD INSTALLED ON INTERIOR WALLS EA SIDE, W/ 5d COOLER NAILS @ 7" O.C. OR W/ DRYNAIL SCREWS @ 16" O.C.

4. FASTENING SCHEDULE:

A. NOM. 5/16" WOOD STRUCTURAL WALL PANELS SHALL BE FASTENED TO STUDS W/ MIN 6d COMMON NAILS 6" O.C. EDGES, 12" O.C. @ INTERMEDIATE SUPPORTS. (TABLE R602.3(1) 2006 IRC

B. NOM 5/16" & 1/2" ROOF SHEATHING SHALL BE FASTENED W/ 8d COMMON NAILS @ 6" O.C. EDGES, 12" O.C. INTERMEDIATE MEMBERS. GABLE ENDS @ 6" O.C. BACK 48" FROM EDGES INCLUDING INTERMEDIATE MEMBERS.

C. SOLE PLATE TO JOIST OR BLOCKING, FACE NAIL W/ 16d @ 16" O.C.

D. 1/2" A.B. W/ MIN 7" IMBEDMENT SPACED 6' O.C. MAX MIN TWO BLTS/PLATE SECT. & WITHIN 12" OF END.

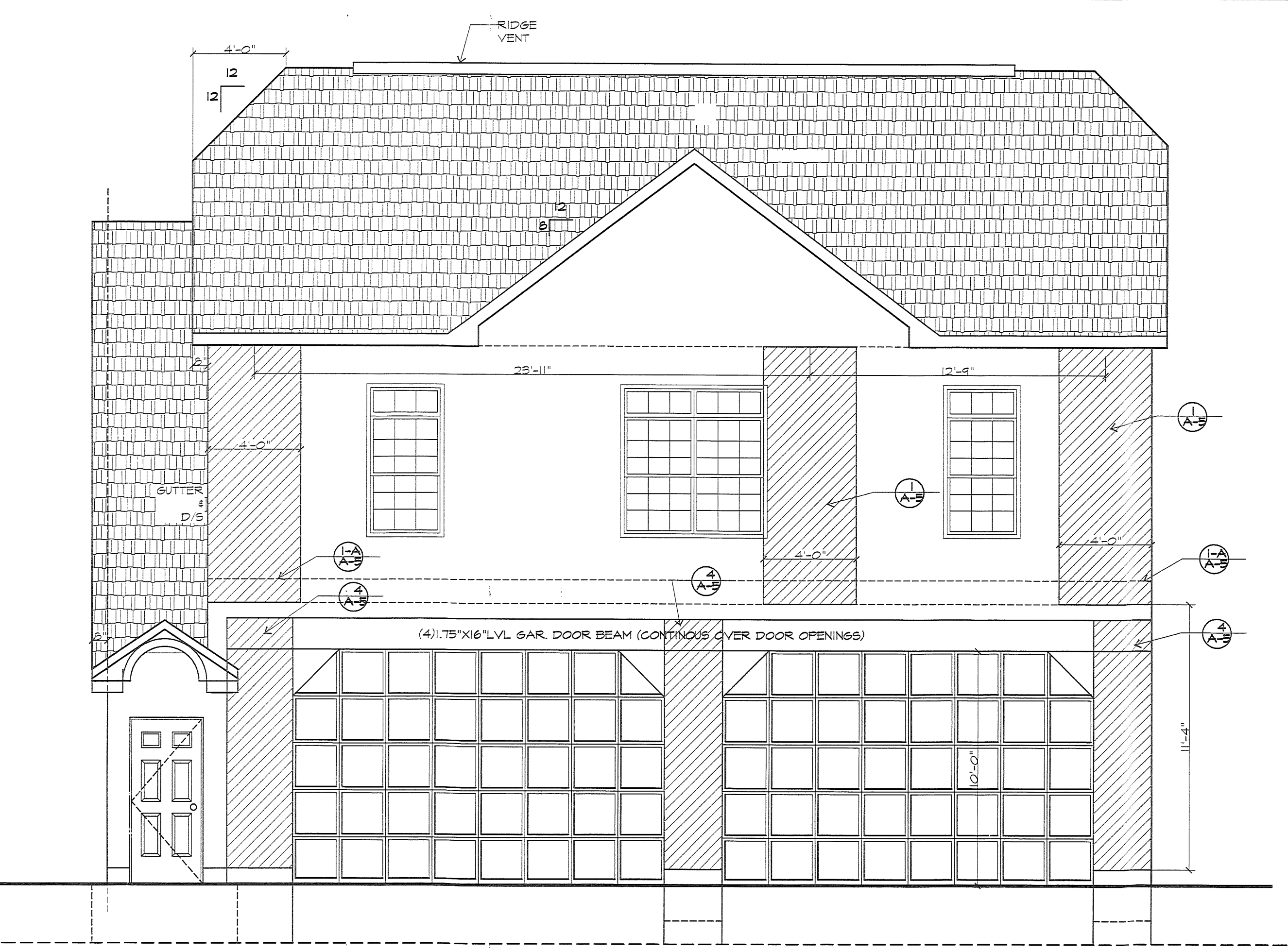
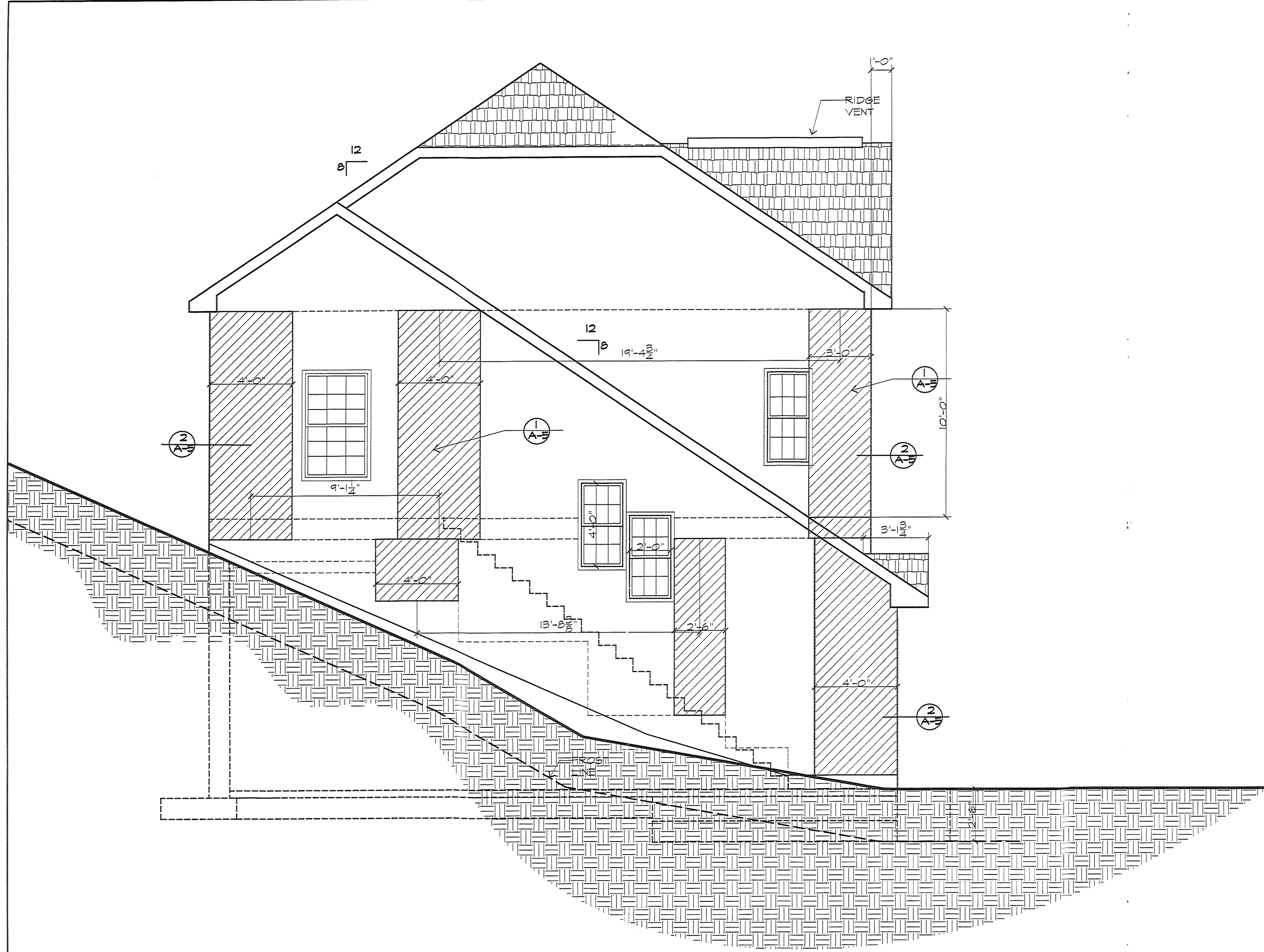
5. BRACED WALL SEGMENTS SHOULD BE SIZED & FASTENED ACCORDING TO THE ABOVE TABLE. PANELS MAY BE LOCATED NOT MORE THAN 12.5' FROM THE CORNER OF ANY WALL LINE, AND NOT MORE THAN 25' O.C. APART, AND NOT OFFSET IN EITHER DIRECTION FOR THE WALL LINE BY MORE THAN 4'.

6. REFERENCE: IRC & 2 FAM, 2006

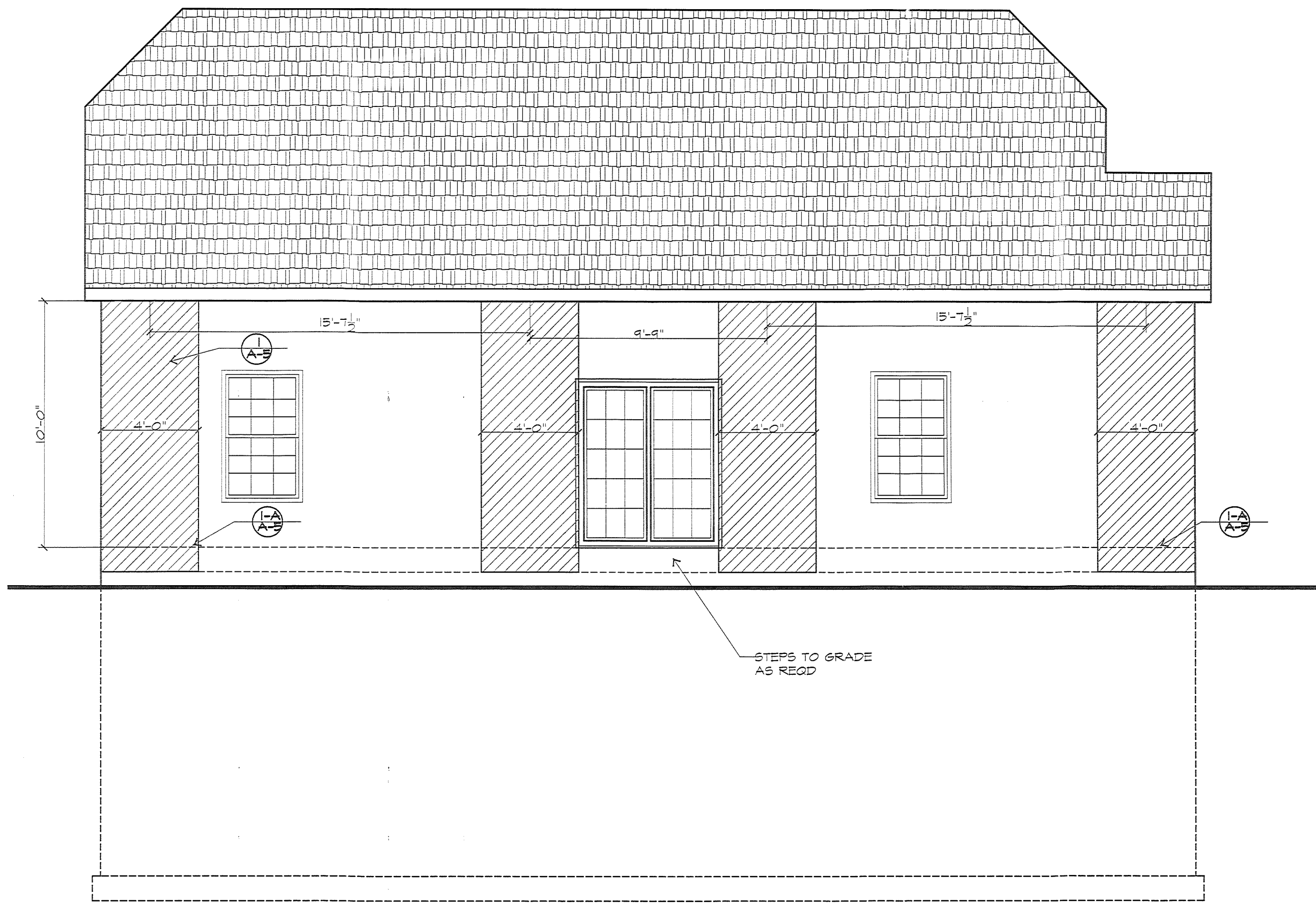
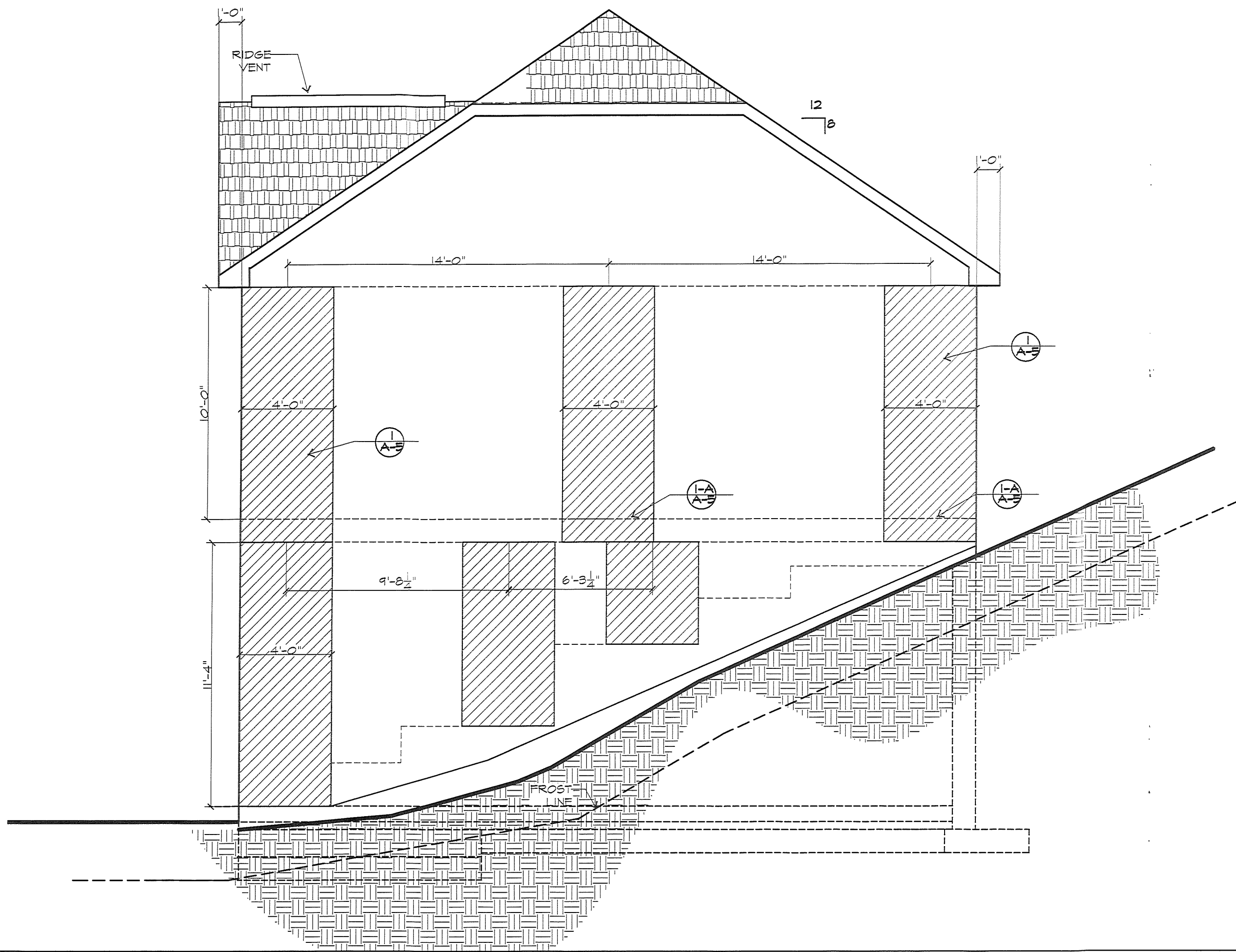
WALL BRACE DETAILS

SCALE: AS SHOWN
DATE: X
SHEET NO.: A-5

GBL CUSTOM HOME
DESIGN INC.
PO BOX 237 FINKSBURG, MD 21048
PHONE 410-833-8320



SHEAR PANEL DIAGRAM
SCALE: 1/4" = 1'-0"



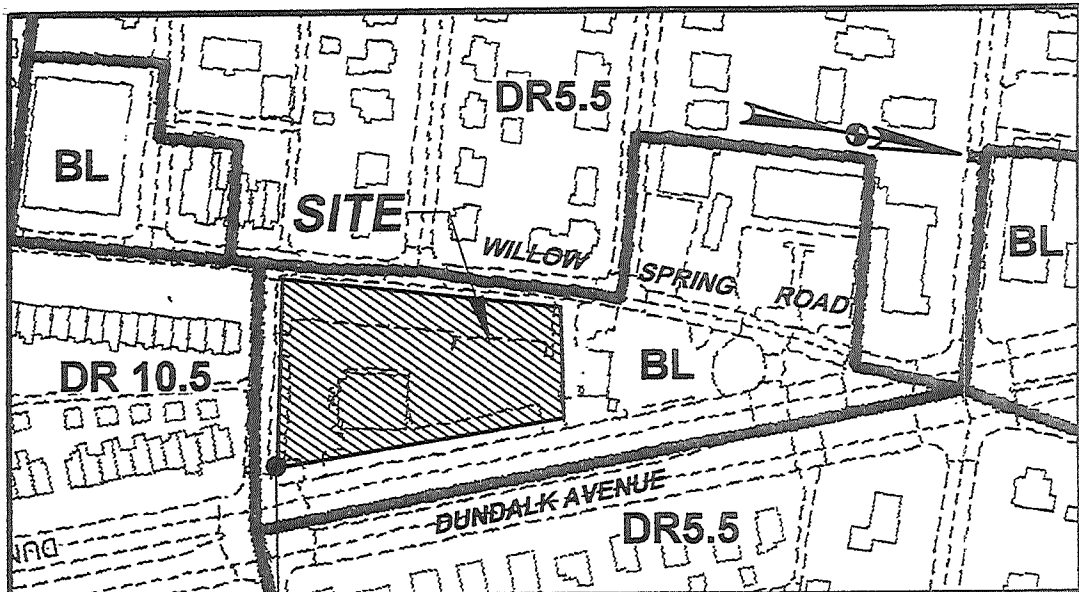
MARKAKIS RESIDENCE GARAGE
CROWLEY/WARNS CONTRACTORS

BALTIMORE COUNTY, MD.

A-1

SCALE: AS SHOWN
DATE: X
SHEET NO.:

**GBL CUSTOM HOME
DESIGN INC.**
PO BOX 237 FINKSBURG, MD 21048
PHONE 410-833-8320



POINT OF BEGINNING
ZONING MAP
SCALE: 1" = 200'
(MAP: 103 B2)

ZONING VARIANCES REQUEST

- VARIANCE FOR SIGN REQUIREMENT:
 - VARIANCE FROM SECTION 450.4.5.A OF THE BALTIMORE COUNTY ZONING REGULATIONS TO ALLOW FIVE (5) ENTERPRISE SIGNS ON THE BUILDING FACADES IN LIEU OF THE ALLOWED THREE (3) SIGNS. (SIGNS #1, #2, #3, #4, AND #5)
 - VARIANCE FROM SECTION 450.4.3 OF THE BALTIMORE COUNTY ZONING REGULATIONS TO ALLOW A "CANOPY" TYPE DIRECTIONAL SIGN IN LIEU OF THE ALLOWED WALL MOUNTED OR FREESTANDING SIGN. (SIGNS #6 & #7)
 - VARIANCE FROM SECTION 450.5.B.3.B OF THE BALTIMORE COUNTY ZONING REGULATIONS TO ALLOW ERECTION OF THE SIGN ABOVE FACE OF THE CANOPY IN LIEU OF ITS ERECTION ON THE FACE OF CANOPY. (SIGNS #6 & #7)
- VARIANCE FOR PARKING REQUIREMENT:
 - VARIANCE FROM SECTION 409.8.A.2 OF THE BALTIMORE COUNTY ZONING REGULATIONS TO ALLOW 42 SPACES IN LIEU OF THE REQUIRED 69 SPACES
 - VARIANCE FROM SECTION 409.8.A.1 OF THE BALTIMORE COUNTY ZONING REGULATIONS TO ALLOW MODIFICATIONS TO LANDSCAPE MANUAL STANDARDS OUTLINED BELOW
 - VARIANCE FROM SECTION 409.8.A.1 OF THE BALTIMORE COUNTY ZONING REGULATIONS TO ALLOW PARKING SPACES FROM PUBLIC STREET, RIGHT-OF-WAY LINES OF 0 FEET IN LIEU OF THE REQUIRED 10 FEET

MODIFICATIONS TO LANDSCAPE MANUAL STANDARDS REQUEST

- FROM PART II (GENERAL STANDARDS), STANDARD B.1 TO ALLOW LANDSCAPE STRIP OF 0, 10, AND 5.5 FEET IN LIEU OF THE REQUIRED 10 FEET
- FROM PART II (REQUIREMENTS FOR PROJECT CONDITIONS), CONDITION A (STREET FRONTAGE AND STREETScape), STANDARD #4 TO ALLOW LANDSCAPE STRIP FOR COMMERCIAL INTERIOR ROAD ADJACENT TO RESIDENTIAL ZONES OR USES OF 5.5 FEET IN LIEU OF THE REQUIRED 10 FEET
- FROM PART II (REQUIREMENTS FOR PROJECT CONDITIONS), CONDITION B (PARKING LOTS), STANDARD #10(2) TO ALLOW NOT PROVIDING THE BRICK OR SPLIT-FACE BLOCK WALL FOR REDEVELOPMENT IN COMMERCIAL CORRIDORS AS AN ALTERNATIVE WHERE THE MINIMUM 10 FEET LANDSCAPE STRIP IS NOT FEASIBLE
- FROM PART II (REQUIREMENTS FOR PROJECT CONDITIONS), CONDITION B (PARKING LOTS), STANDARD #10(2) TO ALLOW PARKING LOT LANDSCAPE ISLAND WIDTH OF 3.5 FEET IN LIEU OF THE REQUIRED 9 FEET
- FROM PART II (REQUIREMENTS FOR PROJECT CONDITIONS), CONDITION H (DUMPSTERS AND GROUND-MOUNTED HVAC), STANDARD #2 TO ALLOW PLACEMENT OF DUMPSTER ENCLOSURE FROM RIGHTS-OF-WAY OF 0 AND 5.5 FEET IN LIEU OF THE REQUIRED 10 FEET

ZONING HISTORY

- CASE #85-275-A:

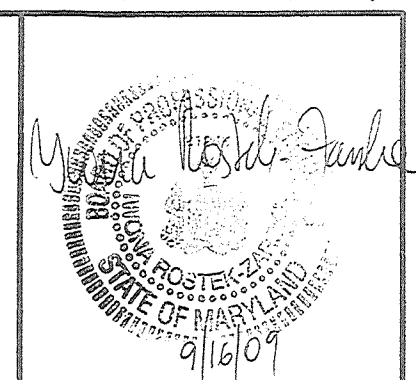
1. PETITION FOR ZONING VARIANCE FROM SECTION 413.2.F TO ALLOW TWO SIGNS WITH A TOTAL OF 143 SF INSTEAD OF THE PERMITTED 100 SF FOR AN EXISTING 108 SF SIGN AND THE CONSTRUCTION OF A 35 SF MENUBOARD WAS GRANTED ON APRIL 24, 1985 SUBJECT HOWEVER, TO THE FOLLOWING:

 - AT ANY SUCH TIME AS THE SITE CEASES TO BE UTILIZED AS MCDONALD'S RESTAURANT THE TOTAL SQUARE FEET OF SIGNAGE SHALL CONFORM TO THE REQUIREMENTS OF THE BALTIMORE COUNTY ZONING REGULATIONS.
- CASE #88-531-A:

1. PETITION FOR ZONING VARIANCE FROM SECTION 409.2.B.3 TO PERMIT 57 PARKING SPACES IN LIEU OF THE REQUIRED 66 SPACES WAS GRANTED ON AUGUST 25, 1988.

NOTE:
THIS PLAN IS INTENDED FOR ZONING PURPOSES ONLY
AND SHALL NOT BE USED FOR ANY OTHER PURPOSE.

BLDG
Baltimore Land Design Group Inc.
Consulting Engineers
222 SCHILLING CIRCLE SUITE 105 • HUNT VALLEY, MARYLAND 21030
PHONE: 410.229.9851 • FAX: 410.229.9865 • BLDG@BLDGINC.COM



PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21245, EXPIRATION DATE: JUNE 9, 2010.

OWNER
MCDONALDS CORPORATION
646 SEVERNA ROAD
SEVERNA PARK, MARYLAND 21146-3457

DEVELOPER / APPLICANT
MCDONALD'S USA, LLC
BALTIMORE - WASHINGTON REGION
6903 ROCKLEDGE DRIVE, SUITE 110
BETHESDA, MARYLAND 20817
PHONE (240) 497-3626

DATE	ITEM

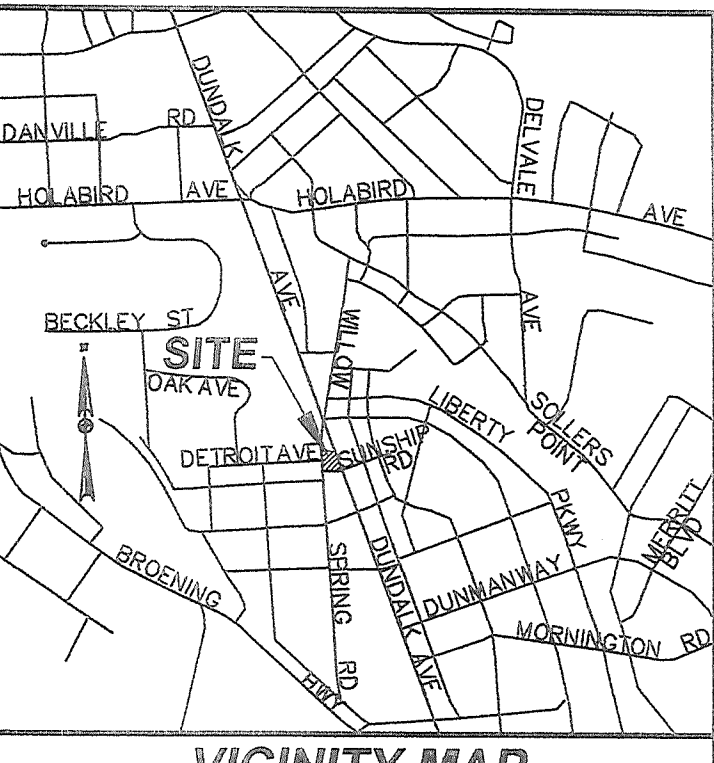
PLAT TO ACCOMPANY ZONING PETITION
MCDONALD'S RESTAURANT
AT
DUNDALK MANOR
2222 DUNDALK AVENUE
BALTIMORE, MARYLAND, 21222
BALTIMORE COUNTY, MARYLAND
SCALE: 1" = 20'
ELECTION DISTRICT 12, C7
DATE: AUGUST, 2009

DRAWING NO.
V-1
SHEET 1 OF 2

- PR. INDEX
CONTOURS
PR. INTERMEDIATE
CONTOURS
PR. CONC. CURB & GUTTER
PR. PARKING SPACE COUNT
REFERENCE NO. FOR MODIFICATIONS
TO LANDSCAPE MANUAL STANDARDS
- 180
182
PR. C&G
8
1

LEGEND

- RIGHT-OF-WAY LINE
PROPERTY LINE
EX. STORM DRAIN
EX. SANITARY SEWER,
MANHOLE & CLEANOUT
EX. WATER MAIN, VALVE
& FIRE HYDRANT
EX. TREE
EX. INDEX
CONTOURS
EX. INTERMEDIATE
CONTOURS
ZONING LINE
- EX. 18" D
EX. 8" S
EX. 8" W
180
182
DR 5.5
BL



BENCH MARK

COORDINATES & BEARINGS SHOWN ON THIS PLAT ARE REFERRED TO THE SYSTEM OF COORDINATES ESTABLISHED BY THE BALTIMORE COUNTY CONTROL SYSTEM, AND ARE BASED ON THE FOLLOWING MONUMENTS:
942 N 580,902.66 E 1,445,416.37 ELEV. 33.28
1249 N 578,946.46 E 1,446,440.04 ELEV. 29.99

SITE DATA

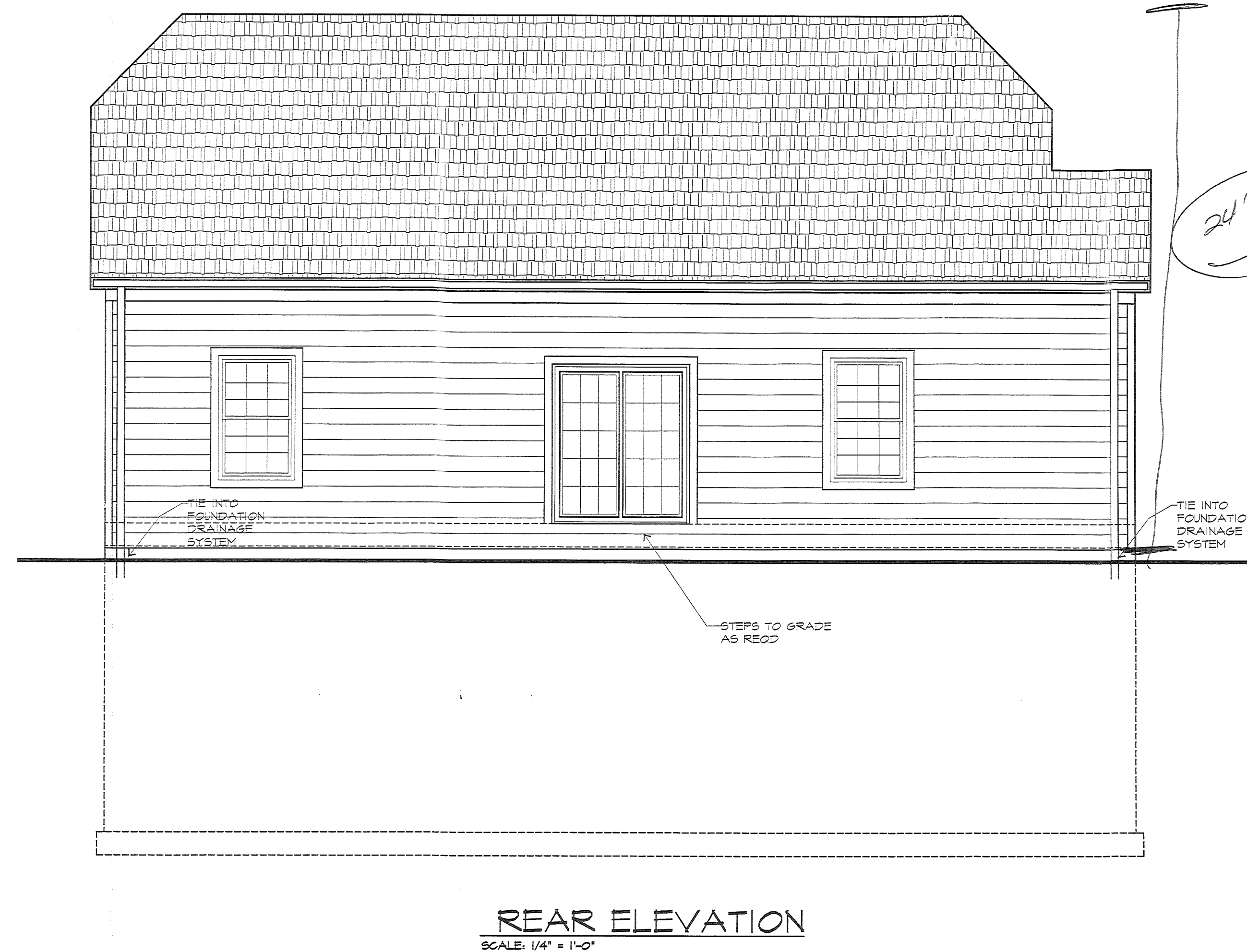
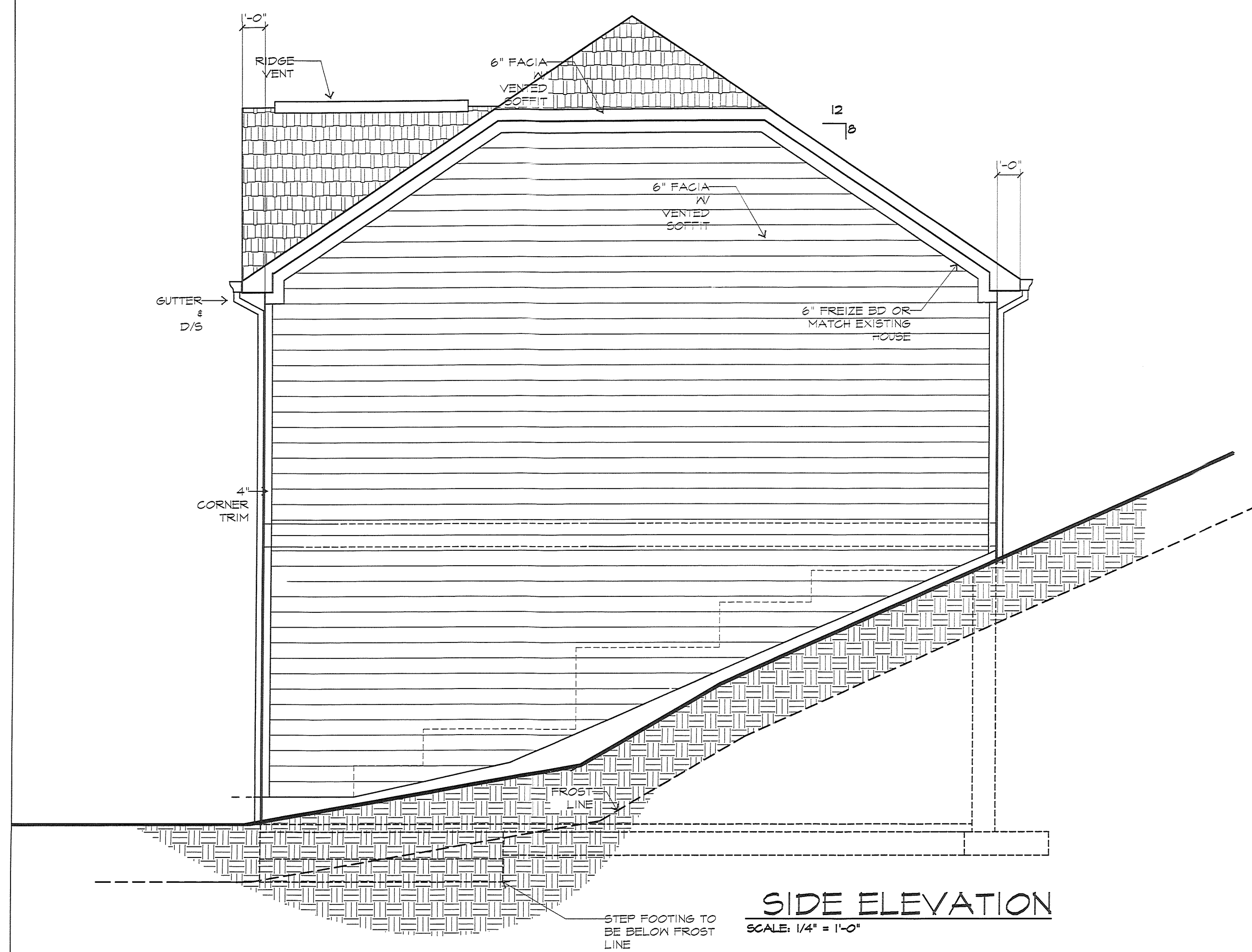
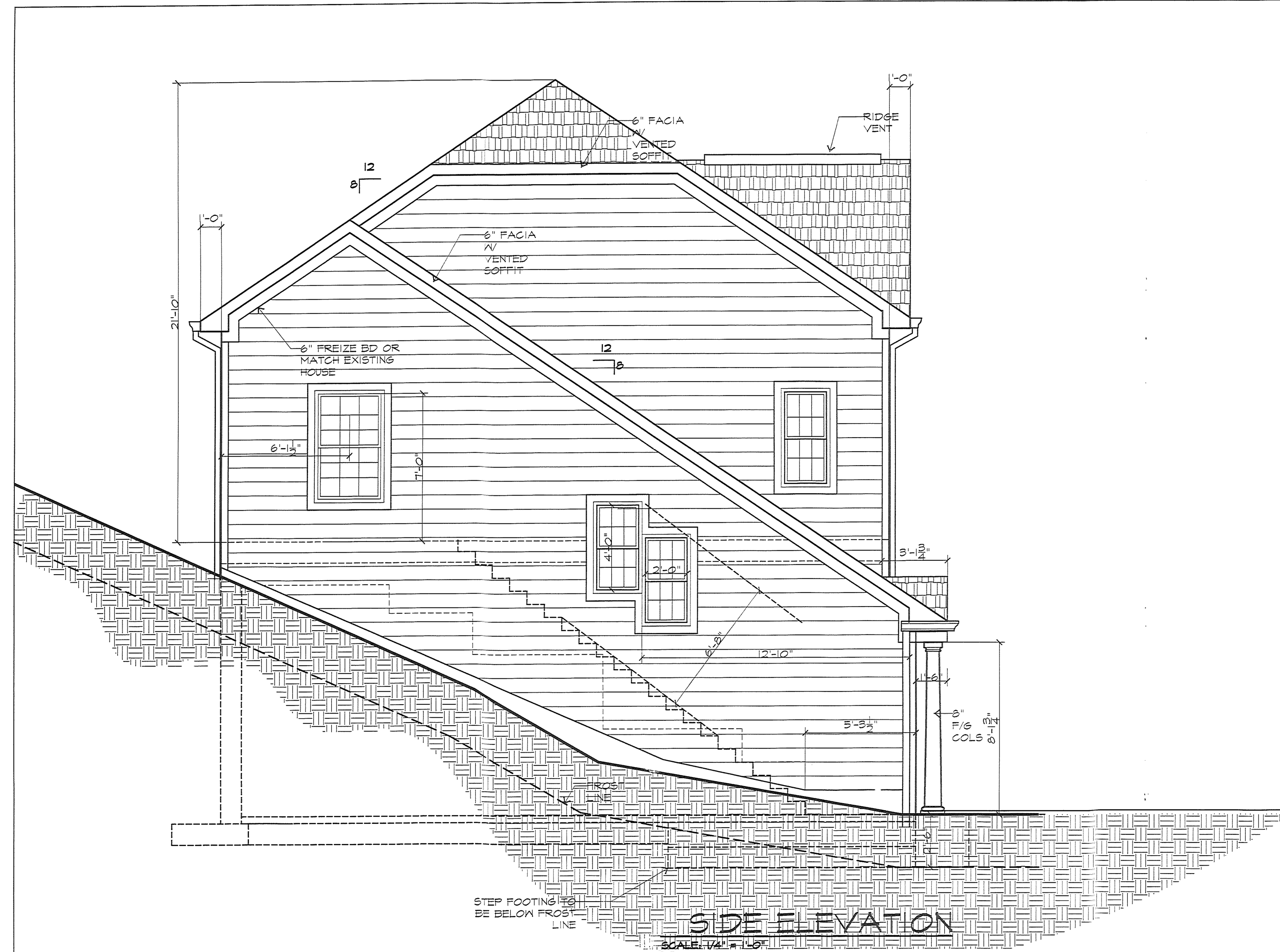
- SITE AREA = 37,341 SF OR 0.857 AC
GROSS SITE AREA = 59,923 SF OR 1.376 AC
- OWNER:
MCDONALD'S CORPORATION
646 SEVERNA ROAD
SEVERNA PARK, MD 21146
- TAX MAP REFERENCES:
TAX ACCT #1600005392
MAP: 103; GRID: 15; PARCEL: 443
DEED REFERENCES: L. 5248; F. 101
PLAT REFERENCES: PART OF LOT 1, BLOCK 2
DUNDALK MANOR, L. 91 F. 49
- ELECTION DISTRICT: 12; COUNCILMANIC DISTRICT: 7
- EXISTING ZONING: BL, MAP #103 B2
- EXISTING USE: MCDONALD'S RESTAURANT - TO BE RAZED
PROPOSED USE: NEW MCDONALD'S RESTAURANT
- CENSUS TRACT: 421000
WATER SERVICE AREA: FIRST ZONE
SEWER SHED: 48
TRANSPORTATION ZONE: 0748
ZIP CODE: 21222
WATER SHED: BALTIMORE HARBOR
- MINIMUM SETBACK REQUIREMENTS (BL ZONE):
FRONT: 10 FT
SIDE & REAR: 0 FT
- BUILDING HEIGHT:
PROPOSED: 20 FT
- FLOOR AREA RATIO:
MAX. PERMITTED: 3.0
PROPOSED: 4,259 SF / 59,923 SF = 0.07
- ADT:
(550 X 4,259 SF) / 1,000 = 2,343 DAILY TRIPS
- LANDSCAPE REQUIREMENTS:
LANDSCAPING WILL BE PROVIDED AS PER THE MOST RECENT BALTIMORE COUNTY LANDSCAPE MANUAL. MODIFICATIONS TO LANDSCAPE MANUAL STANDARDS ARE BEING REQUESTED.
- STORM WATER MANAGEMENT:
THIS SITE IS A RE-DEVELOPMENT. EXISTING IMPERVIOUS AREAS WITHIN THE LIMIT OF DISTURBANCE SHALL BE REDUCED BY 20% TO MEET THE WATER QUALITY POLICY (WQP) REQUIREMENTS. SINCE THE REDUCTION COULD NOT BE ACHIEVED FOR THE PROPOSED DEVELOPMENT, THE STORM WATER QUALITY STRUCTURES WILL PROVIDED (FILTRERRA BIORETENTION SYSTEMS OR EQUIVALENT).
- THERE ARE NO EXISTING OR PROPOSED WELL OR SEPTIC AREAS.
- PUBLIC WATER AND SANITARY SEWER FACILITIES EXIST.
- THERE ARE NO KNOWN WETLANDS REQUIRING REGULATION, CRITICAL AREAS, ARCHEOLOGICAL SITES, ENDANGERED SPECIES HABITATS, OR HAZARDOUS MATERIALS ON SITE.
- FOREST CONSERVATION REQUIREMENTS:
THE DEVELOPER HAS REQUESTED A WAIVER TO THE FOREST CONSERVATION REQUIREMENTS SINCE THE PROPOSED DISTURBANCE WILL OCCUR ENTIRELY ON EXISTING IMPERVIOUS SURFACE AND WILL NOT RESULT IN IMPACTS TO WETLANDS, STREAMS, FLOODPLAINS, OR FOREST BUFFERS. THE WAIVER REQUEST IS BASED UPON STANDARDS OUTLINED IN THE ANNOTATED CODE OF MARYLAND NATURAL RESOURCES ARTICLE 5-603.
- ANY SIGNS SHALL COMPLY WITH SECTION 450 OF THE B.C.Z.R. AND ALL SIGN POLICIES. ZONING VARIANCES ARE BEING REQUESTED.
- THERE ARE NO HISTORIC BUILDINGS ON THIS PROPERTY.
- FLOOD MAP INFORMATION:
PREMISES IS SHOWN ON NATIONAL FLOOD INSURANCE PROGRAM FLOOD INSURANCE RATE MAP, BALTIMORE COUNTY, MARYLAND, UNINCORPORATED AREAS, PANEL 20 OF 580" COMMUNITY PANEL NUMBER 240100420 F, MAP EFFECTIVE DATE SEPTEMBER 26, 2008 AND DESIGNATED AS ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN).
- THIS SITE IS NOT LOCATED WITHIN THE CHESAPEAKE BAY CRITICAL AREA.
- LIGHTING SHALL BE ERECTED AS NOT TO REFLECT INTO ANY ADJOINING RESIDENTIAL AREAS AND PUBLIC ROADS.
- THE BOUNDARY SHOWN HEREON WAS TAKEN FROM ALTA/ACSM LAND TITLE SURVEY PREPARED BY BOHLER ENGINEERING MD, DATED AUGUST 22, 2008.
- STORM DRAINS, GRADING AND STORM WATER MANAGEMENT LAYOUTS SHOWN HEREON ARE SCHEMATIC ONLY AND ARE SUBJECT TO CHANGE UPON FINAL DESIGN AND APPROVAL.

PARKING REQUIREMENTS

PARKING SPACES REQUIRED: 4259 SF @ 16 PS / 1000 SF = 69 PS
PARKING SPACES PROVIDED: 42 PS (INCL. 2 HDOP)
SEE "ZONING VARIANCES REQUEST" ON THIS SHEET

DESIGN & DRAWINGS ARE
BASED ON BALTIMORE
CITY COORDINATE SYSTEM

Rd
#2010-0099-A



MARKAKIS RESIDENCE GARAGE CROWLEY/WARNS CONTRACTORS BALTIMORE COUNTY, MD.

A-1

SCALE: AS SHOWN
DATE: X
SHEET NO.:

GBL CUSTOM HOME
DESIGN INC.
PO BOX 237 FINKSBURG, MD 21048
PHONE 410-833-8320

MARKAKIS RESIDENCE, GARAGE ADDITION
CROWLEY-WARNS, CONTRACTORS
BALTIMORE COUNTY, MARYLAND

GENERAL STRUCTURAL NOTES

1. GENERAL
- A. ALL CONSTRUCTION SHALL CONFORM WITH THE PROVISIONS OF THE 2006 INTERNATIONAL RESIDENTIAL CODE FOR ONE AND TWO TWO FAMILY DWELLINGS.
- B. DESIGN LIVE LOADS:
ROOF..... 30 PSF
FLOORS..... 40 PSF MIN.
- C. THE CONTRACTOR SHALL PROVIDE ALL SHORING AND BRACING AS REQUIRED TO SUPPORT THE EXISTING STRUCTURE. THE CONTRACTOR SHALL EXAMINE THE EXISTING STRUCTURE TO DETERMINE THE EXTENT OF NECESSARY SHORING AND BRACING, THE CAPACITY AND METHOD USED FOR SHORING AND BRACING SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
2. FOUNDATIONS
- A. FOOTINGS ARE DESIGNED FOR AN ALLOWABLE SOIL BEARING CAPACITY OF 2000 PSF. FOOTINGS SHALL BEAR ON NATURAL UNDISTURBED SOIL, 1'-0" BELOW ORIGINAL GRADE. THE BOTTOM OF EXTERIOR FOOTINGS SHALL BE A MINIMUM OF 2'-0" BELOW FINISHED GRADE. CONTRACTOR TO VERIFY THE ALLOWABLE SOIL PRESSURE IN THE FIELD. IF FOUND TO BE LESS THAN 2000 PSF, THE FOOTINGS WILL HAVE TO BE REDESIGNED.
3. CAST IN PLACE CONCRETE
- A. ALL CONCRETE WORK SHALL CONFORM TO THE LATEST APPROVED (BY LOCAL GOVERNMENT) EDITIONS OF THE FOLLOWING A.C.I. AND A.S.T.M. DOCUMENTS:
ACI-301 SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS
ACI-318 BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE
- B. ALL CONCRETE, EXCEPT AS NOTED, SHALL BE (Pc=3000 PSI) STONE AGGREGATE CONCRETE AT 28 DAYS. ALL CONCRETE EXPOSED TO THE WEATHER SHALL BE AIR ENTRAINED.
- C. SLABS ON GROUND SHALL BE 4" THICK CONCRETE REINFORCED WITH 6"x6" W/4XW/4 WVF OVER 6 MIL POLYETHYLENE VAPOR BARRIER AND 4" WASHED GRAVEL UNLESS OTHERWISE NOTED.
4. MASONRY
- A. ALL MASONRY CONSTRUCTION AND MATERIALS USED THEREIN (CONCRETE MASONRY, CLAY MASONRY, MORTAR, GROUT AND STEEL REINFORCEMENT) SHALL CONFORM TO 'BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES' (ACI 530-42/ASCE 5-42/TMS 402-42) AND 'SPECIFICATIONS FOR MASONRY STRUCTURES' (ACI 530-142/ASCE 6-42/TMS 602-42) IN ALL RESPECTS.
- B. MASONRY BEARING WALLS SHALL CONSIST OF STANDARD HOLLOW UNITS CONFORMING TO ASTM C 90 UNLESS OTHERWISE NOTED, WHERE SOLID UNITS ARE REQUIRED, PROVIDE UNITS CONFORMING TO ASTM C 145.
- C. ALL MORTAR SHALL CONFORM TO THE REQUIREMENTS FOR PROPORTIONS, MIXING, STRENGTH AND APPLICATION FOR PORTLAND CEMENT/LIME TYPE 'S' MORTAR AS DESCRIBED IN ACI 530-42.
- D. ALL GROUT FILL IN MASONRY WALLS SHALL CONFORM TO ASTM C 476, SLUMP RANGE 5-11". PLACE GROUT IN 5'-0" MAXIMUM FOUR HEIGHTS AND CONSOLIDATE BY MECHANICAL VIBRATION.
- E. PROVIDE 8" DEPTH OF 100% SOLID MASONRY BELOW ALL JOIST OR SLAB BEARING LINES. PROVIDE 16" HIGH X 16" LONG 100% SOLID MASONRY BELOW ALL LINTELS AND BEAMS UNLESS NOTED OTHERWISE.
- F. ALL MASONRY WALLS SHALL BE REINFORCED WITH NO. 9 GAGE TRUSS TYPE GALVANIZED DUR-O-WALL SPACED VERTICALLY AT 16" O.C. UNO. LAP ALL DUR-O-WALL 6" MINIMUM. PROVIDE CORNER AND TEE PIECES AT ALL INTERSECTIONS.
- G. LOOSE LINTELS FOR MASONRY WALLS SHALL BE FOR EACH 4" WIDTH OF MASONRY ONE STEEL ANGLE AS FOLLOWS:
0'-0" TO 3'-0" 3-1/2" X 3-1/2" X 5/16"
3'-1" TO 5'-0" 4" X 3-1/2" X 5/16"
5'-1" TO 6'-6" 5" X 3-1/2" X 3/8"
6'-7" TO 8'-0" 6" X 3-1/2" X 3/8"
- ALL ANGLES SHALL HAVE THEIR SHORT LEG OUTSTANDING AND 6" MINIMUM BEARINGS.

5. STRUCTURAL STEEL
- A. ALL STRUCTURAL STEEL SHALL CONFORM TO ASTM SPECIFICATION A-36 (LATEST LOCAL APPROVED). ALL STEEL SHALL BE DETAILED, FABRICATED, AND ERECTED IN ACCORDANCE WITH THE AISC MANUAL, AISC SPECIFICATION AND AISC CODE OF STANDARD PRACTICE.
- B. ALL WELDED CONNECTIONS SHALL BE DONE WITH E70XX ELECTRODES. SHOP AND FIELD WELDS SHALL BE MADE BY APPROVED CERTIFIED WELDERS AND SHALL CONFORM TO THE AMERICAN WELDING SOCIETY CODE FOR BUILDINGS AWS D11. WELDS SHALL DEVELOP THE FULL STRENGTH OF MATERIALS BEING WELDED UNLESS OTHERWISE NOTED.
6. ROOF
- A. STRUCTURAL SOLID ROOF RAFTERS, JOISTS, BEAMS AND STUDS SHALL BE HEM FIR #2 OR SPRUCE PINE FIR #2 SURFACED DRY AT A MAXIMUM OF 19 % MOISTURE CONTENT. ALL LUMBER EXPOSED TO WEATHER SHALL BE PRESSURE TREATED SOUTHERN PINE #2. ALL FABRICATION, ERECTION, OTHER PROCEDURES, AND MINIMUM UNIT STRESSES SHALL CONFORM TO THE CURRENT NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION.
- B. ROOF TRUSSES SHALL BE DESIGNED, FABRICATED AND ERECTED IN ACCORDANCE WITH THE NATIONAL DESIGN STANDARD FOR METAL PLATE CONNECTED WOOD TRUSS CONSTRUCTION (ANSI/TPI 1) AND COMMENTARY AND RECOMMENDATIONS FOR HANDLING, INSTALLING AND BRACING METAL PLATE CONNECTED WOOD TRUSSES (HIS-91) AS PUBLISHED BY THE TRUSS PLATE INSTITUTE AND IN ACCORDANCE WITH THE 1991 EDITION OF THE NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION.
- C. WOOD TRUSSES AND ENGINEERED FLOOR JOISTS ARE TO BE DESIGNED BY THE SUPPLIER. SHOP DRAWINGS SHALL BE SUBMITTED TO THE ENGINEER/ARCHITECT FOR REVIEW. ALL TRUSSES AND JOISTS SHALL BE DESIGNED TO LIMIT THE BEARING STRESS TO 425 PSI WHEN MEMBERS BEAR ON STUD WALLS. PROVIDE MEMBERS OF ADEQUATE WIDTH OR METAL CONNECTIONS TO LIMIT STRESSES TO THE SPECIFIED VALUE.
- D. ALL LAMINATED VENEER LUMBER (LVL) OR PARALLEL STRAND LUMBER (PSL) SHALL HAVE THE FOLLOWING MINIMUM PROPERTIES: Fm=2600psi, Fv=285psi, E=1,900,000psi, Fc=250psi(PARALLEL), Fc=150psi(PERPENDICULAR).
- E. ALL DOUBLE MEMBERS SHALL BE NAILED TOGETHER WITH 2 ROWS OF 16d NAILS SPACED AT 12" O.C. ALL TRIPLE MEMBERS SHALL BE NAILED TOGETHER WITH 3 ROWS OF 16d NAILS SPACED AT 12" O.C. NAILED FROM EACH SIDE.
- F. PROVIDE DOUBLE JOISTS AT PARALLEL PARTITIONS WHERE PARTITION LENGTH EXCEEDS 1/3 JOIST SPAN.
- G. ALL NAILS ARE TO BE COMMON WIRE NAILS. NAILING OF ALL FRAMING SHALL BE AS SPECIFIED IN THE CONTRACT DOCUMENTS BUT IN NO CASE SHALL BE LESS THAN THE RECOMMENDED NAILING SCHEDULE CONTAINED IN THE 2006 INTERNATIONAL RESIDENTIAL CODE. ALL MULTIPLE STUD POSTS ARE TO BE NAILED TOGETHER WITH 12d NAILS @ 6" O.C. STAGGERED.
- H. PROVIDE BRIDGINS SPACED AT 48" O.C. IN FIRST TWO JOIST, RAFTER OR TRUSS SPACES WHEN FRAMING IS PARALLEL TO EXTERIOR WALL. NAIL SHEATHING (FLOOR, CEILING OR ROOF) TO BRIDGINS AND NAIL BRIDGINS TO EXTERIOR WALL PLATE. PROVIDE ONE ROW OF BRIDGINS BETWEEN ALL FLOOR AND ROOF JOISTS FOR EACH 8'-0" OF SPAN. PROVIDE SOLID BLOCKING OR A CONTINUOUS RIM JOIST AT THE BEARING OF JOISTS, RAFTERS OR TRUSSES ON WOOD PLATES.
- I. PROVIDE THE FOLLOWING JAMB STUDS AT ALL BEARING WALL OPENINGS UNLESS NOTED OTHERWISE:
0'-3" OPENING 1 JACK STUD, 1 KING STUD
3'-1" - 6'-0" OPENING 2 JACK STUDS, 1 KING STUD
6'-1" - 9'-0" OPENING 2 JACK STUDS, 2 KING STUDS
- PROVIDE DOUBLE STUDS AT ALL CORNERS AND BENEATH ALL GIRDER TRUSSES AND WOOD BEAMS UNLESS NOTED OTHERWISE ON PLANS. WOOD BEAMS, GIRDER TRUSSES HAVE TH AND HEADERS SHALL BEAR THE FULL DEPTH OF POSTS AND JACK STUDS.
- J. ALL POSTS (MULTIPLE STUDS OR SOLID POST) SUPPORTING BEAMS, WALL HEADERS OR GIRDER TRUSSES, SHALL BE BLOCKED SOLID FOR THE FULL LENGTH AND WIDTH OF POSTS AT ALL INTERSECTIONS WITH FLOORS AS REQUIRED TO PROVIDE CONTINUOUS SUPPORT TO TOP OF FOUNDATION WALLS OR BEAMS. POSTS SHOWN ON UPPER LEVELS FLOORS SHALL ALSO BE INSTALLED ON THE LOWER LEVELS IN LINE WITH THE POST ABOVE DOWN TO FOUNDATION WALLS OR BEAMS.
- K. ALL FLUSH JOIST TO BEAM OR BEAM TO BEAM CONNECTIONS SHALL BE MADE WITH JOIST OR BEAM HANGERS TO SUPPORT THE LOAD CAPACITY INDICATED ON THE PLANS OR THE FULL CAPACITY OF THE JOIST OR BEAM. HANGERS SHALL BE PROVIDED BY SIMPSON STRONG TIE OR USP LUMBER CONNECTORS. THE SUPPLIER SHALL DESIGN ALL HANGERS FOR THE CAPACITY STATED. INSTALL ALL HANGERS IN STRICT CONFORMANCE TO THE MANUFACTURER'S INSTRUCTIONS. FILL ALL NAIL OR BOLT HOLES USING THE SPECIFIED NAILS AND BOLTS ONLY.

SQUARE FOOTAGE		DRAWING INDEX	
FIRST FLOOR (GARAGE)	1440 SQ. FT.	PAGE #	PAGE DESCRIPTION
SECOND FLOOR (WORK OUT)	1440 SQ. FT.	PAGE CS-1	GENERAL SPECS & INDEX
		PAGE A-1	ELEVATIONS
		PAGE A-2	FOUNDATION PLAN, FLOOR PLAN/GARAGE
		PAGE A-3	SECOND FLOOR PLAN/WORK OUT ROOM
		PAGE A-4	SHEAR PANEL DIAGRAMS.
		PAGE A-5	SHEAR PANEL DETAILS
TOTAL HEATED	1440 SQ. FT.		
TOTAL BASEMENT	NA		
GARAGE	1440 SQ. FT.		

	STONE VENEER
	ASPHALT/ FIBERGLASS SHINGLES
	BRICK VENEER
	HORIZONTAL SIDING
	HORIZONTAL SIDING
	CONCRETE
	GRAVEL BASE
	UNDISTURBED SOIL
	FIBERGLASS INSULATION

GROUND SNOW LOAD	WIND SPEED	SEISMIC DESIGN CATAGORY	SUBJECT TO WEATHERING	DAMAGE FROM:			WINTER DESIGN TEMP	FLOOD HAZARD
30	90	B	SEVERE	DEPTH OF FROST LINE	TERMITE	DECAY	13° F	N/A
				30"	MODERATE TO HEAVY	SLIGHT TO MODERATE		

MARKAKIS RESIDENCE GARAGE
CROWLEY/WARNS CONTRACTORS
BALTIMORE COUNTY, MD.

CS
GBL CUSTOM HOME
DESIGN INC.
PO BOX 237 FINKSBURG, MD 21048
PHONE 410-633-6320

Landscape Notes

A. STANDARDS:

1. ALL PLANT MATERIAL, CONSTRUCTION METHODS AND MATERIAL PLACEMENT SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF "AMERICAN STANDARD FOR NURSERY STOCK" AS PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC., THE "LANDSCAPE SPECIFICATION GUIDELINES FOR BALTIMORE-WASHINGTON METROPOLITAN AREAS."

2. ALL TREES SHALL BE DELIVERED TO THE SITE BALLED AND BURLAPPED. ALL SHRUBS SHALL BE BALLED AND BURLAPPED OR IN CONTAINERS. ALL GRASSES & PERENNIALS SHALL BE IN CONTAINERS.

B. MAINTENANCE:

1. AFTER THE PLANTING HAS BEEN APPROVED BY THE LANDSCAPE ARCHITECT AND THE OWNER, THE MAINTENANCE OF WATERING AND WEEDING OF SUCH PLANTS AND PLANTED AREAS SHALL BE PROVIDED BY THE OWNER, SINCE THE PLANTS ARE TO BE GUARANTEED BY THE CONTRACTOR, THE CONTRACTOR SHALL PERIODICALLY CHECK THE MAINTENANCE CONDUCTED BY THE OWNER. IF THE CONTRACTOR IS NOT SATISFIED WITH THE MAINTENANCE OF THE PLANTS, A WRITTEN REPORT, IN TRIPPLICATE, STATING APPROPRIATE CHANGES SHALL BE GIVEN IMMEDIATELY TO THE LANDSCAPE ARCHITECT. TWO COPIES WILL BE FORWARDED TO THE OWNER. BEGIN MAINTENANCE IMMEDIATELY AFTER PLANTING.

2. MAINTAIN TREES UNTIL FINAL ACCEPTANCE, BUT IN NO CASE, LESS THAN 60 DAYS AFTER FINAL ACCEPTANCE OF PLANTING. MAINTAIN ALL PLANTS BY PRUNING, CULTIVATING AND WEEDING AS REQUIRED FOR HEALTHY GROWTH. RESTORE PLANTING SAUCERS, TIGHTEN AND REPAIR STAKE AND GUY SUPPORTS AND RESET TREES TO PROPER GRADES OR VERTICAL POSITION, AS REQUIRED. RESTORE OR REPLACE DAMAGED WRAPPINGS, SPRAY AS REQUIRED TO KEEP ALL PLANTS FREE OF INSECTS AND DISEASE.

C. WATERING

1. IN THE ABSENCE OF ADEQUATE RAINFALL, WATERING SHALL BE PERFORMED DAILY OR AS OFTEN AS NECESSARY DURING THE FIRST WEEK AND IN SUFFICIENT QUANTITIES TO MAINTAIN MOIST SOIL TO A DEPTH OF 4 INCHES. WATERING SHALL NOT BE DONE DURING THE HEAT OF THE DAY. CONTRACTOR SHALL PROVIDE A SEPARATE LUMP SUM PRICE IN THE OVERALL LANDSCAPE BID FOR WATERING TO ALL NEW PLANTINGS DURING ONE GROWING SEASON.

D. EXCAVATION:

1. DEPTH AND WIDTH OF EXCAVATION FOR PLANTING OF ALL PLANTS SHALL BE TO TWICE THE DEPTH AND WIDTH OF ROOT BALL OR CONTAINER OF PLANT TO BE INSTALLED, EXCEPT AS NOTED ON DETAILS.

E. TOPSOIL, PLANTING MIX, FERTILIZER, MULCH AND SOIL AMENDMENTS:

1. ALL TOPSOIL SHALL BE WELL GRADED LOAM OF GOOD UNIFORM QUALITY AND SHALL BE A NATURAL FRIABLE SOIL FREE OF OBJECTS LARGER THAN ONE INCH IN ANY DIMENSION AND FREE OF TOXIC SUBSTANCES, WEEDS AND ANY MATERIAL OR SUBSTANCES THAT MAY BE HARMFUL TO PLANT GROWTH. TOPSOIL SHALL CONTAIN AT LEAST ORGANIC MATTER. IF SURFACE TOPSOIL IS NOT AVAILABLE ON THE SITE TO MEET THE DEPTH AS SPECIFIED HEREIN, THE CONTRACTOR SHALL FURNISH ADDITIONAL TOPSOIL PRIOR TO TOPSOIL DELIVERY. THE CONTRACTOR SHALL OBTAIN THE LANDSCAPE ARCHITECT'S APPROVAL OF THE SOURCE FROM WHICH TOPSOIL IS TO BE FURNISHED.

2. FOR PLANTING MIX, MIX THOROUGHLY 2/3 APPROVED TOPSOIL (SEE "TOPSOIL") AND 1/3 APPROVED ORGANIC MATTER.

3. FERTILIZER TABLETS OR SPIKES TO BE PLACED AT EACH TREE AND SHRUB AT A RATE OF 1 PER 2" OF TRUNK CALIPER OR GALLON OF ROOTBALL. TABLETS OR SPIKES SHALL NOT BE IN CONTACT WITH THE ROOTBALL.

4. MULCH MATERIAL SHALL BE OF UNIFORM SIZE, FINE SHREDDED TANBARK HARDWOOD MULCH OR APPROVED EQUAL. MULCH SHALL BE A REDDISH DARK BROWN COLOR AND SHALL BE Laid TO A UNIFORM MINIMUM DEPTH OF 2 INCHES MULCH AREAS AROUND TREES AT THE RATE OF 1" OF DIAMETER PER OF TRUNK CALIPER.

5. HYDROGEL ABSORBENT MATERIAL SHALL BE ADDED TO THE PLANTING HOLE FOR EACH TREE AND SHRUB AT THE RATE OF 4 OUNCES PER 2-1/2" CALIPER OR GALLON OF ROOTBALL. HYDROGEL MATERIAL SHALL BE VITERRA "GELSCAPE," "TERRASORB" OR APPROVED EQUAL.

F. SUBSTITUTIONS:

1. IF A PLANT IS FOUND NOT TO BE SUITABLE OR AVAILABLE, THE LANDSCAPE CONTRACTOR IS TO NOTIFY THE LANDSCAPE ARCHITECT BEFORE BIDDING. THE OWNER OR LANDSCAPE ARCHITECT WILL THEN SELECT A REASONABLE ALTERNATE OR INFORM ALL LANDSCAPE CONTRACTORS OF THE AVAILABILITY OF THE ORIGINAL PLANT.

G. PRUNING, CLEANUP, PROTECTION OF EXISTING MATERIALS AND RESTORATION:

1. THE CONTRACTOR SHALL PRUNE PLANT MATERIAL WITHIN TWO (2) DAYS OF INSTALLATION IN ACCORDANCE WITH THE DETAILS AND AS DIRECTED BY THE OWNER'S REPRESENTATIVE.

2. DURING COURSE OF PLANTING, EXCESS WASTE MATERIALS SHALL BE CONTINUALLY AND PROMPTLY REMOVED. LAWN AREAS KEPT CLEAR AND ALL REASONABLE PRECAUTIONS TAKEN TO AVOID DAMAGE TO EXISTING LAWNS, PAVING, ETC. NOT SCHEDULED FOR REMOVAL WHEN PLANTING IN AN AREA HAS BEEN COMPLETED, THE AREA SHALL BE CLEANED UP THOROUGHLY. DEBRIS, RUBBISH, SUBSISTANCE AND WASTE MATERIALS SHALL BE CLEANED UP AND REMOVED FROM THE PROPERTY. EXISTING GRASS AREAS WHICH HAVE BEEN INJURED BY THE WORK SHALL BE REGRADED AND SODED TO MATCH THE EXISTING LAWN. THE ENTIRE AREA SHALL BE NEAT AND CLEAN TO THE SATISFACTION OF THE LANDSCAPE ARCHITECT.

3. CONTRACTOR SHALL, AT ALL TIMES, PROTECT ALL PLANTS AND LAWNS FROM DAMAGE. THE MOVING OF HEAVY EQUIPMENT OR MATERIAL OVER THE LAWN AREAS SHALL BE DONE ON PLANKS OR PONTONS.

4. THE CONTRACTOR SHALL RESTORE TO THEIR ORIGINAL CONDITION ALL PAVEMENTS, SODED OR PLANTED AREAS, STRUCTURES OR SUBSTRUCTURES, NOT SCHEDULED FOR REMOVAL, WHICH ARE DISTURBED BY THE CONTRACTOR DURING PLANTING OPERATIONS. SUCH RESTORATION SHALL BE IN A MANNER SATISFACTORY TO THE LANDSCAPE ARCHITECT AND AT NO ADDITIONAL COST TO THE OWNER.

H. FINAL INSPECTION AND GUARANTEE:

1. AFTER PLANTING IS COMPLETED (INCLUDING MULCHING AND CLEANUP) THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IN WRITING TO REQUEST FINAL INSPECTION OF THE TOTAL PLANTING. THE LANDSCAPE ARCHITECT SHALL MAKE A FINAL INSPECTION VISIT AS SOON AS POSSIBLE. THE LANDSCAPE ARCHITECT SHALL NOTIFY THE LANDSCAPE CONTRACTOR, IN WRITING WHEN ALL WORK IS SATISFACTORILY COMPLETE. IF WORK IS NOT SATISFACTORILY COMPLETE, THE LANDSCAPE ARCHITECT WILL NOTIFY THE LANDSCAPE CONTRACTOR, IN WRITING, AS TO THE DEFICIENCIES IN THE WORK AND THE NECESSARY CORRECTIVE MEASURES. THE LANDSCAPE CONTRACTOR WILL BE GIVEN A REASONABLE AMOUNT OF TIME TO CORRECT THE DEFICIENCIES AND ANOTHER FINAL INSPECTION WILL BE SCHEDULED BY THE LANDSCAPE ARCHITECT.

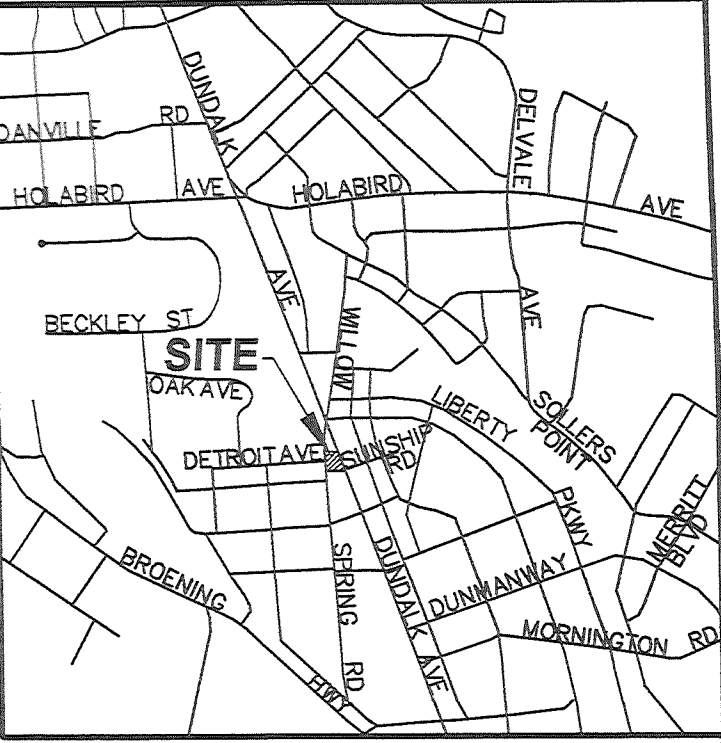
2. ALL PLANT MATERIAL AND LAWN AREAS SHALL BE GUARANTEED TO BE IN A VIGOROUS GROWING CONDITION ONE YEAR FROM THE DATE OF FINAL INSPECTION AND ACCEPTANCE. AT THE TERMINATION OF THIS PERIOD, THE CONTRACTOR SHALL HAVE COMPLETED THE PRECEDING MAINTENANCE SCHEDULE. ANY PLANTS INFECTED WITH DISEASE OR INSECTS WILL BE REMOVED OR TREATED. ALL DEAD OR UNACCEPTABLE PLANTS WILL BE REPLACED BY THE SAME PLANTS AND SIZES DESIGNATED ON THE PLANT LIST. THESE PLANTS SHALL BE PLANTED, MULCHED AND GUY AS SPECIFIED HEREIN AND WITHOUT EXTRA COMPENSATION TO THE CONTRACTOR. AT THE COMPLETION OF ALL SUCH WORK AND WITH THE APPROVAL OF THE LANDSCAPE ARCHITECT, THE CONTRACT WILL BE CONSIDERED COMPLETE.

NOTES

1. CONTRACTOR IS TO NOTIFY MISS UTILITY A MINIMUM OF 72 HOURS PRIOR TO DIGGING. TELEPHONE: 1-800-257-7777
2. THE LANDSCAPE ARCHITECT IS TO BE NOTIFIED 48 HOURS BEFORE PLANTING BEGINS. LOCATION OF ALL PLANT MATERIAL IS TO BE APPROVED IN THE FIELD BY THE LANDSCAPE ARCHITECT.
3. THIS PLAN IS FOR PLANTING ONLY.
4. NO TREE OR SHRUB PLANTING PITS ARE TO BE LEFT OPEN OR UNATTENDED.
5. SHRUBS AND TREES TO BE PROVIDED WITH MULCHED DEEP BEDS ARE TO BE PLANTED TO THE CENTER OF THE BEDS. MULCH IS TO BE REMOVED PRIOR TO MULCHING.
6. ANY EXISTING SOIL CONDITIONS THAT MAY POSE A THREAT TO THE LIFE AND HEALTH OF THE PLANT MATERIAL MUST BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT BY THE LANDSCAPE CONTRACTOR PRIOR TO THE INSTALLATION OF THE PLANT MATERIAL.

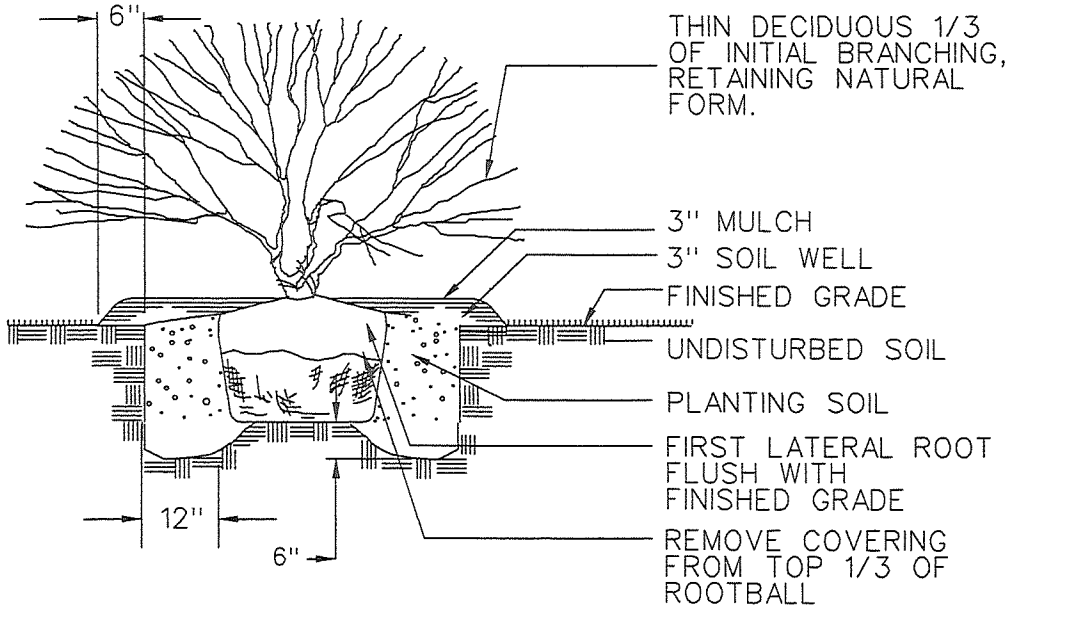
PLANT LIST

KEY	QUANTITY	BOTANICAL NAME COMMON NAME	SIZE	COND.	REMARKS
+	8	QUERCUS PALUSTRIS PIN OAK	2-2 1/2" CAL.	B & B	AS SHOWN
•	9	LILIA CORDATA 'CHANCELLOR' CHANCELLOR LITTLELEAF LINDEN	2-2 1/2" CAL.	B & B	AS SHOWN
⊗	5	LAGERSTROEMIA INDICA 'NATCHEZ' NATCHEZ GRAPEMYRTLE	8-10' HT.	B & B	AS SHOWN
⊕	21	THILIA X 'GIGANTEOIDES' 'GREEN GIANT' ARBORVITAE	6-7' HT.	B & B	SPACE 10' O.C.
BT	45	BERBERIS THUNBERGII ATRO. NANA CRIMSON PYGMY BARBERRY	18"-24" SPD	#3 CONT.	SPACE 3' O.C.
BG	17	BUXUS MICROPHYLLA JAP. 'GREEN VELVET' GREEN VELVET BOXWOOD	24-30" HT.	#7 CONT.	SPACE 4' O.C.
EK	26	EUONYMUS KIALTSCHOVICUS 'MANHATTAN' MANHATTAN EUONYMUS	2.5-3' HT.	#7 CONT.	SPACE 4' O.C.
HQ	13	HYDRANGEA QUERCIFOLIA 'SNOW QUEEN' SNOW QUEEN OAKLEAF HYDRANGEA	2.5-3' HT.	#7 CONT.	SPACE 5' O.C.
IM	38	ILEX MESERVEAE 'BLUE PRINCESS' BLUE PRINCESS HOLLY	2.5-3' HT.	#7 CONT.	SPACE 5' O.C.
IMM	8	ILEX MESERVEAE 'BLUE PRINCE' BLUE PRINCE HOLLY	2.5-3' HT.	#7 CONT.	SPACE 5' O.C.
JC	44	JUNIPERUS CHINENSIS SARGENTII SARGENT JUNIPER	18"-24" SPD	#3 CONT.	SPACE 3' O.C.
VP	17	VIBURNUM PRAGENSE PRAGUE VIBURNUM	3-4' HR.	B & B	SPACE 5' O.C.
HH	150	HEMEROCALLIS 'HAPPY RETURNS' HAPPY RETURNS DAYLILY	#1	CONT.	SPACE 18" O.C.
HP	40	HEUCHERA 'PALACE PURPLE' PALACE PURPLE CORAL BELLS	#1	CONT.	SPACE 18" O.C.
HG	7	HOSTA 'GOLD STANDARD' GOLD STANDARD HOSTA	#1	CONT.	SPACE 2.5' O.C.



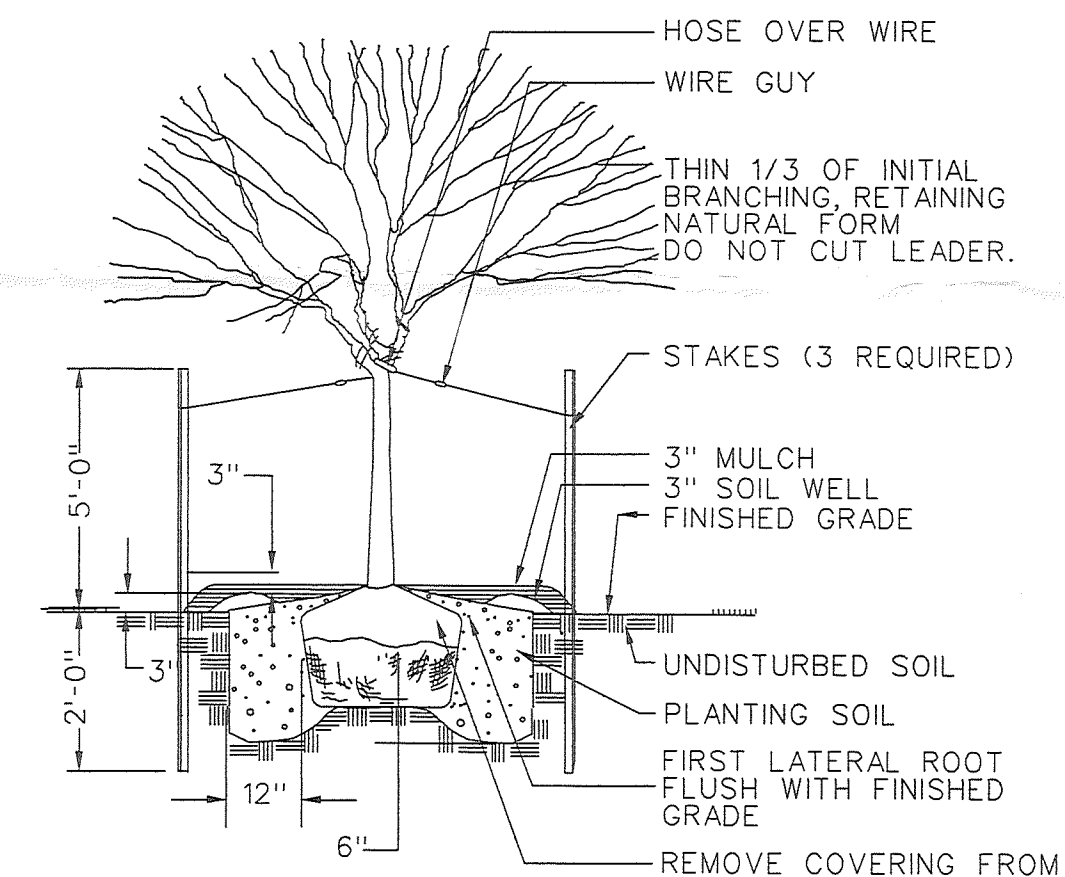
VICINITY MAP

SCALE: 1" = 200'



SHRUB PLANTING DETAIL

SCALE: N.T.S.



TREE PLANTING DETAIL

SCALE: N.T.S.

PLANTING CALCULATIONS

KEY	ELEMENT	RATE	LINEAR FEET	PLANTING UNITS (PU)
A	ADJACENT PUBLIC ROADWAY	1 PU / 40 LF	326 LF	8.2
B	ADJACENT PUBLIC ROADWAY	1 PU / 40 LF	319 LF	8
C	ADJACENT PUBLIC ROADWAY	1 PU / 40 LF	167 LF	4.2
D	INTERIOR ROADWAY	1 PU / 20 LF	123 LF	6.2
E	SERVICE LANE	1 PU / 15 LF	230 LF	15.3
F	PARKING LOT INTERIOR	1 PU / 12 SPACES	42 SPACES	3.5
G	PARKING ADJACENT TO A PUBLIC ROADWAY	1 PU / 20 LF	400 LF	20
H	SCREEN DUMPSTER	1 PU / 15 LF	68 LF	4.5
TOTAL REQUIRED / TOTAL PROPOSED			70 / 70 P.U.'S	

BALTIMORE COUNTY, MARYLAND
DEPARTMENT OF PERMITS DEVELOPMENT MANAGEMENT
Development Plans Review

OWNER'S SIGNATURE AND CERTIFICATION FORM

I certify that I have reviewed this Final Landscape Plan, that I am aware of the regulations presented in the Baltimore County Landscape Manual, and I agree to comply with these regulations and all applicable policy, guidelines and ordinances. I agree to certify the implementation of this approved Final Landscape Plan, upon completion of the landscape installation not later than one (1) year from the date of approval of this plan to the Department of Permits and Development Management, Development Plans Review, County Office Building, Room 211, Towson, MD 21204.

Owner's signature _____ Date _____

Owner's printed name _____ Tele.# _____

(Print) Mailing address-city-state-zip _____

PADM # _____ BUILDING PERMIT # _____

DESIGN & DRAWINGS ARE BASED ON BALTIMORE CITY COORDINATE SYSTEM

DRAWING NO.

L-1

SHEET 1 OF 1

BLDG

Baltimore Land Design Group Inc.

Consulting Engineers

222 SCHILLING CIRCLE SUITE 105 • HUNT VALLEY, MARYLAND 21030
PHONE: 410.229.9851 • FAX: 410.229.9865 • BLDG@BLDGC.COM



PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21245, EXPIRATION DATE: JUNE 9, 2010.

OWNER

MCDONALDS CORPORATION

646 SEVERN ROAD
SEVERNA PARK, MARYLAND 21146-3457

DEVELOPER / APPLICANT

MCDONALD'S USA, LLC

BALTIMORE - WASHINGTON REGION
6903 ROCKLEDGE DRIVE, SUITE 1100
BETHESDA, MARYLAND 20817
PHONE (240) 497-3626

DATE

ITEM

LANDSCAPE PLAN

MCDONALD'S RESTAURANT

AT
DUNDALK MANOR

*2222 DUNDALK AVENUE
BALTIMORE, MARYLAND, 21222

BALTIMORE COUNTY, MARYLAND
SCALE: 1" = 20'

ELECTION DISTRICT 12, C7
DATE: AUGUST, 2009