

IN RE: PETITION FOR ADMIN. VARIANCE

W side of Hal Circle; 300 feet S of the
c/l of Shelrice Place
3rd Election District
2nd Councilmanic District
(2406 Hal Circle)

Chaim Steinberg
Petitioner

* BEFORE THE
* DEPUTY ZONING
* COMMISSIONER
* FOR BALTIMORE COUNTY
* **Case No. 2011-0050-A**

* * * * *

FINDINGS OF FACT AND CONCLUSIONS OF LAW

This matter comes before this Deputy Zoning Commissioner as a Petition for Administrative Variance filed by the legal owner of the subject property, Chaim Steinberg for property located at 2406 Hal Circle. The variance request is from Section 1B02.3.B of the Baltimore County Zoning Regulations ("B.C.Z.R.") to permit a side yard setback of 2 feet and a rear yard setback of 20 feet in lieu of the required 8 feet and 30 feet respectively for two proposed additions. The subject property and requested relief are more particularly described on Petitioner's Exhibit No. 1. Petitioners need to increase the living area of their dwelling to accommodate the growing family. Due to the layout of the home and placement of the dwelling on the lot, it is impossible to construct the additions anywhere else on the lot. Petitioners propose a rear addition measuring 18 feet x 25 feet, a new deck measuring 11 feet x 28 feet and a new dining area measuring 6 feet x 25 feet. Petitioners are also remodeling certain portions of the dwelling to update their 1959 split level brick and siding dwelling. These improvements include remodeling the bathrooms and laundry rooms, an enlarged kitchen dinette area and dining room, kitchen redesign and new bedrooms. Elevation drawings were submitted with the Petition and clearly illustrate that the new vinyl siding and brick veneer are to match the existing exterior treatments. The most affected

ORDER RECEIVED FOR FILING

Date 9.2.10

By [Signature]

property owner residing at 2404 Hal Circle, did not express any concern about the proposed variance request.

The Zoning Advisory Committee (ZAC) comments were received and are made part of the record of this case. Comments were received from the Office of Planning dated August 16, 2010 which indicates that if the variances are granted building materials for the additions should be consistent with those used for the existing dwelling.

The Petitioner having filed a Petition for Administrative Variance and the subject property having been posted on August 15, 2010 and there being no request for a public hearing, a decision shall be rendered based upon the documentation presented.

The Petitioner has filed the supporting affidavits as required by Section 32-3-303 of the Baltimore County Code. Based upon the information available, there is no evidence in the file to indicate that the requested variance would adversely affect the health, safety or general welfare of the public and should therefore be granted. In the opinion of the Deputy Zoning Commissioner, the information, photographs, and affidavits submitted provide sufficient facts that comply with the requirements of Section 307.1 of the B.C.Z.R. Furthermore, strict compliance with the B.C.Z.R. would result in practical difficulty and/or unreasonable hardship upon the Petitioner.

Pursuant to the posting of the property and the provisions of both the Baltimore County Code and the Baltimore County Zoning Regulations, and for the reasons given above, the requested variance should be granted.

THEREFORE, IT IS ORDERED, by the Deputy Zoning Commissioner for Baltimore County, this 2nd day of September, 2010 that a variance from Section 1B02.3.B of the Baltimore County Zoning Regulations ("B.C.Z.R.") to permit a side yard setback of 2 feet and a rear yard

ORDER RECEIVED FOR FILING

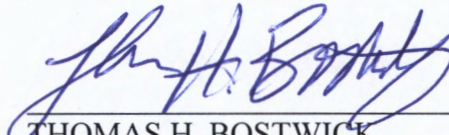
Date 9.2.10

By ps

setback of 20 feet in lieu of the required 8 feet and 30 feet respectively for two proposed additions is hereby GRANTED, subject to the following:

1. The Petitioner may apply for his building permit and be granted same upon receipt of this Order; however, Petitioner is hereby made aware that proceeding at this time is at his own risk until such time as the 30 day appellate process from this Order has expired. If, for whatever reason, this Order is reversed, the Petitioner would be required to return, and be responsible for returning, said property to its original condition.
2. Building materials for the dwelling additions shall be consistent with those of the existing dwelling.

Any appeal of this decision must be made within thirty (30) days of the date of this Order.


THOMAS H. BOSTWICK
Deputy Zoning Commissioner
for Baltimore County

THB:pz

ORDER RECEIVED FOR FILING

Date 9-2-10

By Bj



BALTIMORE COUNTY
M A R Y L A N D

JAMES T. SMITH, JR.
County Executive

THOMAS H. BOSTWICK
Deputy Zoning Commissioner

September 2, 2010

CHAIM STEINBERG
2406 HAL CIRCLE
BALTIMORE MD 21209

Re: Petition for Administrative Variance
Case No. 2011-0050-A
Property: 2406 Hal Circle

Dear Mr. Steinberg:

Enclosed please find the decision rendered in the above-captioned case.

In the event the decision rendered is unfavorable to any party, please be advised that any party may file an appeal within thirty (30) days from the date of the Order to the Department of Permits and Development Management. If you require additional information concerning filing an appeal, please feel free to contact our appeals clerk at 410-887-3391.

Sincerely,

A handwritten signature in black ink, appearing to read "Thomas H. Bostwick".

THOMAS H. BOSTWICK
Deputy Zoning Commissioner
for Baltimore County

THB:pz

Enclosure



Petition for Administrative Variance

to the Zoning Commissioner of Baltimore County

for the property located at 2406 HAL Circle
which is presently zoned DR5.5

This Petition shall be filed with the Department of Permits and Development Management. The undersigned, legal owner(s) of the property situate in Baltimore County and which is described in the description and plat attached hereto and made a part hereof, hereby petition for a Variance from Section(s)

see attached

of the zoning regulations of Baltimore County, to the zoning law of Baltimore County, for the reasons indicated on the back of this petition form.

Property is to be posted and advertised as prescribed by the zoning regulations.

I, or we, agree to pay expenses of above Variance, advertising, posting, etc. and further agree to and are to be bounded by the zoning regulations and restrictions of Baltimore County adopted pursuant to the zoning law for Baltimore County.

I/We do solemnly declare and affirm, under the penalties of perjury, that I/we are the legal owner(s) of the property which is the subject of this Petition.

Contract Purchaser/Lessee:

Name - Type or Print

Signature

Address Telephone No.

City State Zip Code

Attorney For Petitioner:

Name - Type or Print

Signature

Company

Address Telephone No.

City State Zip Code

Legal Owner(s):

Name - Type or Print

Signature

Name - Type or Print

Signature

Address

City

State

Zip Code

Representative to be Contacted:

Name

Address

City

State

Zip Code

A Public Hearing having been formally demanded and/or found to be required, it is ordered by the Zoning Commissioner of Baltimore County, this 9-2-10 day of September that the subject matter of this petition be set for a public hearing, advertised, as required by the zoning regulations of Baltimore County and that the property be reposted.

Zoning Commissioner of Baltimore County

CASE NO. 2011-0050-A

REV 10/25/01

Reviewed By BR Date 8/2/10

Estimated Posting Date 8/15/10

1B02.3.B to permit a side yard setback of 2 ft. and a rear yard setback of 20 ft. in lieu of the required 8 ft. and 30 ft., respectively for two proposed additions.

Affidavit in Support of Administrative Variance

The undersigned hereby affirms under the penalties of perjury to the Zoning Commissioner of Baltimore County, as follows: That the information herein given is within the personal knowledge of the Affiant(s) and that Affiant(s) is/are competent to testify thereto in the event that a public hearing is scheduled in the future with regard thereto.

That the Affiant(s) does/do presently reside at

2406 Hal Circle
Address
Baltimore MD 21209
City State Zip Code

That based upon personal knowledge, the following are the facts upon which I/we base the request for an Administrative Variance at the above address (indicate hardship or practical difficulty):

We would like to increase our living space due to the size of our family. It would be impossible to place the addition anywhere else on the lot.

That the Affiant(s) acknowledge(s) that if a formal demand is filed, Affiant(s) will be required to pay a reposting and advertising fee and may be required to provide additional information.

Chaim Steinberg
Signature
Chaim Steinberg
Name - Type or Print

Signature

Name - Type or Print

STATE OF MARYLAND, COUNTY OF BALTIMORE, to wit:

I HEREBY CERTIFY, this 9th day of July, 2010, before me, a Notary Public of the State of Maryland, in and for the County aforesaid, personally appeared

Chaim Steinberg
the Affiant(s) herein, personally known or satisfactorily identified to me as such Affiant(s).

AS WITNESS my hand and Notarial Seal

Dele a Little
Notary Public

My Commission Expires _____

ZONING DESCRIPTION FOR 2406 HAL CIRCLE

Beginning at a point on the West Side of Hal Circle which is 30' wide at the distance of 300' South of the centerline of the nearest improved intersecting street ~~Shelrick~~ ^{Shelrick} Place which is 30' wide. Being Lot# 7, Block B, Section # 3 in the Subdivision of Meadowood as recorded in the Baltimore County Plat Book 26, Folio 63 containing 7340 SF. Also known as 2406 Hal Circle Baltimore, MD 21209. and located in the 3rd Election District 2nd Councilmanic District.

ADMINISTRATIVE VARIANCE INFORMATION SHEET AND DATES

Case Number 20¹¹~~09~~- 0050 -A Address 2406 Hal Circle

Contact Person: Bruno Rudaitis Phone Number: 410-887-3391
Planner, Please Print Your Name

Filing Date: 8/2/10 Posting Date: 8/15/10 Closing Date: 8/30/10

Any contact made with this office regarding the status of the administrative variance should be through the contact person (planner) using the case number.

1. **POSTING/COST:** The petitioner must use one of the sign posters on the approved list (on the reverse side of this form) and the petitioner is responsible for all printing/posting costs. Any reposting must be done only by one of the sign posters on the approved list and the petitioner is again responsible for all associated costs. The zoning notice sign must be visible on the property on or before the posting date noted above. It should remain there through the closing date.
2. **DEADLINE:** The closing date is the deadline for an occupant or owner within 1,000 feet to file a formal request for a public hearing. Please understand that even if there is no formal request for a public hearing, the process is not complete on the closing date.
3. **ORDER:** After the closing date, the file will be reviewed by the zoning or deputy zoning commissioner. He may: (a) grant the requested relief; (b) deny the requested relief; or (c) order that the matter be set in for a public hearing. You will receive written notification, usually within 10 days of the closing date if all County agencies' comments are received, as to whether the petition has been granted, denied, or will go to public hearing. The order will be mailed to you by First Class mail.
4. **POSSIBLE PUBLIC HEARING AND REPOSTING:** In cases that must go to a public hearing (whether due to a neighbor's formal request or by order of the zoning or deputy zoning commissioner), notification will be forwarded to you. The sign on the property must be changed giving notice of the hearing date, time and location. As when the sign was originally posted, certification of this change and a photograph of the altered sign must be forwarded to this office.

(Detach Along Dotted Line)

Petitioner: This Part of the Form is for the Sign Poster Only

USE THE ADMINISTRATIVE VARIANCE SIGN FORMAT

Case Number 20¹¹~~09~~- 0050 -A Address 2406 Hal Circle

Petitioner's Name Chaim Steinberg Telephone 410-833-8320

Posting Date: 8/15/10 Closing Date: 8/30/10

Wording for Sign: To Permit a side yard setback of 2 ft. and a rear yard setback of 20 ft. in lieu of the required 8 ft. and 30 ft., respectively for two additions.

WCR - Revised 7/7/08

**DEPARTMENT OF PERMITS AND DEVELOPMENT MANAGEMENT
ZONING REVIEW**

ADVERTISING REQUIREMENTS AND PROCEDURES FOR ZONING HEARINGS

The Baltimore County Zoning Regulations (BCZR) require that notice be given to the general public/neighboring property owners relative to property which is the subject of an upcoming zoning hearing. For those petitions which require a public hearing, this notice is accomplished by posting a sign on the property (responsibility of the petitioner) and placement of a notice in a newspaper of general circulation in the County, both at least fifteen (15) days before the hearing.

Zoning Review will ensure that the legal requirements for advertising are satisfied. However, the petitioner is responsible for the costs associated with these requirements. The newspaper will bill the person listed below for the advertising. This advertising is due upon receipt and should be remitted directly to the newspaper.

OPINIONS MAY NOT BE ISSUED UNTIL ALL ADVERTISING COSTS ARE PAID.

For Newspaper Advertising:

Item Number or Case Number: 2011- 0050 - A

Petitioner: Chaim Steinberg

Address or Location: 3406 HAL Circle Baltimore, MD
21209

PLEASE FORWARD ADVERTISING BILL TO:

Name: Chaim Steinberg

Address: 3406 HAL Circle
Baltimore, MD 21209

Telephone Number: 410-833-8320

BALTIMORE COUNTY, MARYLAND
OFFICE OF BUDGET AND FINANCE
MISCELLANEOUS CASH RECEIPT

No. **58669**

Date: **8/2/10**

PAID RECEIPT

BUSINESS ACTUAL TIME
 8/02/2010 8/02/2010 10:51:31

REG MSN WALKIN JRIC JHR
 > RECEIPT # 466915 8/02/2010 OFLA

Dept 5 528 ZONING VERIFICATION
 CR NO. 058669

Recpt Tot \$65.00
 165.00 CR \$1.00 CA
 Baltimore County, Maryland

Fund	Dept	Unit	Sub Unit	Rev Source/Obj	Sub Rev/Obj	Dept	Obj	BS Acct	Amount
001	206	0000		6130					\$ 65.00

Total: **\$ 65.00**

Rec From: **Bow Truss**

For: **Administrative Use**

**CASHIER'S
 VALIDATION**

DISTRIBUTION

WHITE - CASHIER PINK - AGENCY YELLOW - CUSTOMER GOLD - ACCOUNTING

PLEASE PRESS HARD!!!!

J. Truss # 0050

CERTIFICATE OF POSTING

Date: 8-15-10

RE: Case Number: 2011-0050-A

Petitioner/Developer: Chaim Steinberg

Date of Hearing/Closing: 8-30-10

This is to certify under the penalties of perjury that the necessary sign(s) required by law were posted conspicuously on the property located at 2406 Hal Circle

The signs(s) were posted on 8-15-10

(Month, Day, Year)

J. Lawrence Pilson
(Signature of Sign Poster)

J. LAWRENCE PILSON

(Printed Name of Sign Poster)

ATTACH PHOTOGRAPH

1015 Old Barn Road

(Street Address of Sign Poster)

Parkton, MD 21120

(City, State, Zip Code of Sign Poster)

410-343-1443

(Telephone Number of Sign Poster)

ADMINISTRATIVE VARIANCE

CASE # 2011-0050-A
TO PERMIT A SIDEYARD SET-
BACK OF 2 FT. AND A REAR YARD
SETBACK OF 20 FT. IN LIEU OF THE
REQUIRED 8 FT. AND 30 FT. RESPECTIVELY
FOR TWO ADDITIONS

PUBLIC HEARING ?

PURSUANT TO SECTION 26-127(b)(1), BALTIMORE COUNTY CODE,
AN ELIGIBLE INDIVIDUAL OR GROUP MAY
REQUEST A PUBLIC HEARING CONCERNING
THE PROPOSED VARIANCE, PROVIDED THE REQUEST IS
RECEIVED IN THE ZONING REVIEW BUREAU BEFORE

5:00 P.M. ON 8-30-10

ADDITIONAL INFO. ☐ IS AVAILABLE AT THE DEPARTMENT OF
PERMITS AND DEVELOPMENT MANAGEMENT, COUNTY OFFICE BUILDING,
BALTIMORE, MD 21204 (410) 887-3391



BALTIMORE COUNTY
MARYLAND

JAMES T. SMITH, JR.
County Executive

TIMOTHY M. KOTROCO, *Director*
Department of Permits and
Development Management

August 31, 2010

Chaim Steinberg
2406 Hal Cir.
Baltimore, MD 21209

Dear: 2406 Hal Cir.

RE: Case Number 2011-0050-A, 2406 Hal Cir.

The above referenced petition was accepted for processing **ONLY** by the Bureau of Zoning Review, Department of Permits and Development Management (PDM) on August 02, 2010. This letter is not an approval, but only a **NOTIFICATION**.

The Zoning Advisory Committee (ZAC), which consists of representatives from several approval agencies, has reviewed the plans that were submitted with your petition. All comments submitted thus far from the members of the ZAC are attached. These comments are not intended to indicate the appropriateness of the zoning action requested, but to ensure that all parties (zoning commissioner, attorney, petitioner, etc.) are made aware of plans or problems with regard to the proposed improvements that may have a bearing on this case. All comments will be placed in the permanent case file.

If you need further information or have any questions, please do not hesitate to contact the commenting agency.

Very truly yours,

W. Carl Richards, Jr.
Supervisor, Zoning Review

WCR:lnw

Enclosures

c: People's Counsel

BALTIMORE COUNTY, MARYLAND

INTER-OFFICE CORRESPONDENCE

TO: Timothy M. Kotroco, Director
Department of Permits and
Development Management

DATE: August 16, 2010
RECEIVED

AUG 17 2010

FROM: Arnold F. 'Pat' Keller, III
Director, Office of Planning

ZONING COMMISSIONER

SUBJECT: Zoning Advisory Petition(s): **Case(s) 11-050- Administrative Variance**

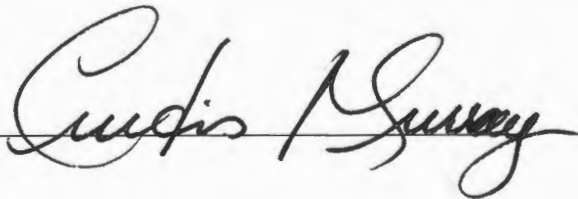
The petitioner requests an administrative variance in order to allow a rear yard setback of 20 feet in lieu of 30 feet and a side yard setback of 2 feet in lieu of the required 8 feet in order to update this 1959 split level brick and siding dwelling.

SUMMARY OF RECOMMENDATIONS:

If the variances are granted, building materials for the addition should be consistent with those used for the existing dwelling.

For further questions or additional information concerning the matters stated herein, please contact Diana Itter in the Office of Planning at 410-887-3480.

Prepared By:
CM/LL



BALTIMORE COUNTY, MARYLAND
INTEROFFICE CORRESPONDENCE

TO: Timothy M. Kotroco, Director
Department of Permits &
Development Management

DATE: August 10, 2010

FROM: ^{DAK} Dennis A. Kennedy, Supervisor
Bureau of Development Plans
Review

SUBJECT: Zoning Advisory Committee Meeting
For August 23, 2010
Item Nos. 2011- 026, 028, 032, 047,
048, 049, 050, 051, 052, 053, 054,
055, 056 and 057

The Bureau of Development Plans Review has reviewed the subject-zoning items, and we have no comments.

DAK:CEN:cab

cc: File

G:\DevPlanRev\ZAC -No Comments\ZAC-08232010 -NO COMMENTS.doc



BALTIMORE COUNTY
MARYLAND

JAMES T. SMITH, JR.
County Executive

JOHN J. HOHMAN, *Chief*
Fire Department

August 12, 2010

County Office Building, Room 111
Mail Stop #1105
111 West Chesapeake Avenue
Towson, Maryland 21204

ATTENTION: Zoning Review

Distribution Meeting of: August 9, 2010

Item No.: **Variance:** 2011-0028SPHA, 2011-0032A, 2011-0047A – 0049A, 2011-0026SPHXA

Administrative Variance: 2011- 0050A, 2011-0052 - 0053A, 2011-0055A – 0056A.

Special Hearing: 2011-0028SPHA, 2011-0051SPH, 2011-0057SPH, 2011-026SPHXA

Special Exception: 2011-0026SPHXA

Pursuant to your request, the referenced plans have been reviewed by the **Baltimore County Fire Marshal's Office** and the comment below is applicable for the above listed properties.

Comments:

The Fire Marshal's Office has no comments at this time.

Don W. Muddiman, Acting Lieutenant
Baltimore County Fire Marshal's Office
700 E. Joppa Road, 3RD Floor
Towson, Maryland 21286
410-887-4880
Mail Stop: 1102

cc: File



Martin O'Malley, Governor
Anthony G. Brown, Lt. Governor

State Highway
Administration

Beverley K. Swaim-Staley, Secretary
Neil J. Pedersen, Administrator

MARYLAND DEPARTMENT OF TRANSPORTATION

Date: August 18, 2010

Ms. Kristen Matthews
Baltimore County Office Of
Permits and Development Management
County Office Building, Room 109
Towson, Maryland 21204

RE: Baltimore County
Item No. 2011-0030-A
2406 HAL CIRCLE
STEINBERG PROPERTY
ADMIN. VARIANCE -

Dear Ms. Matthews:

Thank you for the opportunity to review your referral request on the subject of the above captioned. We have determined that the subject property does not access a State roadway and is not affected by any State Highway Administration projects. Therefore, based upon available information this office has no objection to Baltimore County Zoning Advisory Committee approval of Item No. 2011-0030-A.

Should you have any questions regarding this matter, please contact Michael Bailey at 410-545-5593 or 1-800-876-4742 extension 5593. Also, you may E-mail him at (mbailey@sha.state.md.us).

Very truly yours,

For Steven D. Foster, Chief
Engineering Access Permits
Division

SDF/mb

My telephone number/toll-free number is _____

Maryland Relay Service for Impaired Hearing or Speech 1.800.735.2258 Statewide Toll Free

Street Address: 707 North Calvert Street • Baltimore, Maryland 21202 • Phone 410.545.0300 • www.sha.maryland.gov

AV 8/30

BALTIMORE COUNTY, MARYLAND

Inter-Office Correspondence

RECEIVED



SEP 08 2010

ZONING COMMISSIONER

TO: Timothy M. Kotroco
FROM: Dave Lykens, DEPRM - Development Coordination
DATE: September 8, 2010
SUBJECT: Zoning Item # 11-050-A
Address 2406 Hal Circle
(Steinberg Property)

Zoning Advisory Committee Meeting of August 9, 2010

X The Department of Environmental Protection and Resource Management has no comments on the above-referenced zoning item.

Reviewer: JWL Date: 9/8/10

2011-0050-A



Maryland Department of Assessments and Taxation
BALTIMORE COUNTY
Real Property Data Search (2007 vw5.1d)

[Go Back](#)
[View Map](#)
[New Search](#)
[GroundRent](#)
[Registration](#)

Account Identifier: District - 03 Account Number - 0301050210

Owner Information

Owner Name:	STEINBERG CHAIM	Use:	RESIDENTIAL
	STEINBERG BETH	Principal Residence:	YES
Mailing Address:	2406 HAL CIRCLE	Deed Reference:	1) /14115/ 47
	BALTIMORE MD 21209-2620		2)

Location & Structure Information

Premises Address	Legal Description
2406 HAL CIR	2406 HAL CIRCLE
	MEADOWOOD

Map	Grid	Parcel	Sub District	Subdivision	Section	Block	Lot	Assessment Area	Plat No:
79	7	187			3	B	7	2	Plat Ref: 26/ 63

Special Tax Areas

Town
Ad Valorem

Tax Class

Primary Structure Built	Enclosed Area	Property Land Area	County Use
1959	2,540 SF	7,340.00 SF	04

Stories	Basement	Type	Exterior
2	NO	SPLIT LEVEL	1/2 BRICK FRAME

Value Information

	Base Value	Value	Phase-in Assessments	
		As Of	As Of	As Of
		01/01/2008	07/01/2010	07/01/2011
Land	119,340	119,340		
Improvements:	291,000	291,000		
Total:	410,340	410,340	410,340	NOT AVAIL
Preferential Land:	0	0	0	NOT AVAIL

Transfer Information

Seller: SHAPIRO BETTY R	Date: 10/27/1999	Price: \$162,500
Type: NOT ARMS-LENGTH	Deed1: /14115/ 47	Deed2:
Seller: SHAPIRO JEROME H	Date: 05/09/1995	Price: \$0
Type: NOT ARMS-LENGTH	Deed1: /11036/ 425	Deed2:
Seller: AMSTER LEO	Date: 12/05/1979	Price: \$84,500
Type: IMPROVED ARMS-LENGTH	Deed1: / 6111/ 698	Deed2:

Exemption Information

Partial Exempt Assessments	Class	07/01/2010	07/01/2011
County	000	0	0
State	000	0	0
Municipal	000	0	0

Tax Exempt: NO

Exempt Class:

Special Tax Recapture:

* NONE *

CHECKLIST

<u>Comment Received</u>	<u>Department</u>	<u>Support/Oppose/ Conditions/ No Comment</u>
<u>8-10-10</u>	DEVELOPMENT PLANS REVIEW	<u>nc</u>
_____	DEPRM (if not received, date e-mail sent _____)	_____
<u>8-12-10</u>	FIRE DEPARTMENT	<u>nc</u>
<u>8-16-10</u>	PLANNING (if not received, date e-mail sent _____)	<u>condition</u>
<u>8-18-10</u>	STATE HIGHWAY ADMINISTRATION	<u>nc</u>
_____	TRAFFIC ENGINEERING	_____
_____	COMMUNITY ASSOCIATION	<u>-</u>
_____	ADJACENT PROPERTY OWNERS	<u>-</u>
ZONING VIOLATION	(Case No. <u>-</u>)	
PRIOR ZONING	(Case No. <u>-</u>)	
NEWSPAPER ADVERTISEMENT	Date: _____	
SIGN POSTING	Date: <u>8-15-10</u> <u>Pelton</u>	
PEOPLE'S COUNSEL APPEARANCE	Yes ☐ No ☒	
PEOPLE'S COUNSEL COMMENT LETTER	Yes ☐ No ☒	

Comments, if any: elevation drawings confirm
bdg materials to match existing dwelling

2406 Hal Circle- Front View



Front View



2522 #

Right Side from Front



Left side from rear view



Area of Change for proposed deck & Addition



#0050

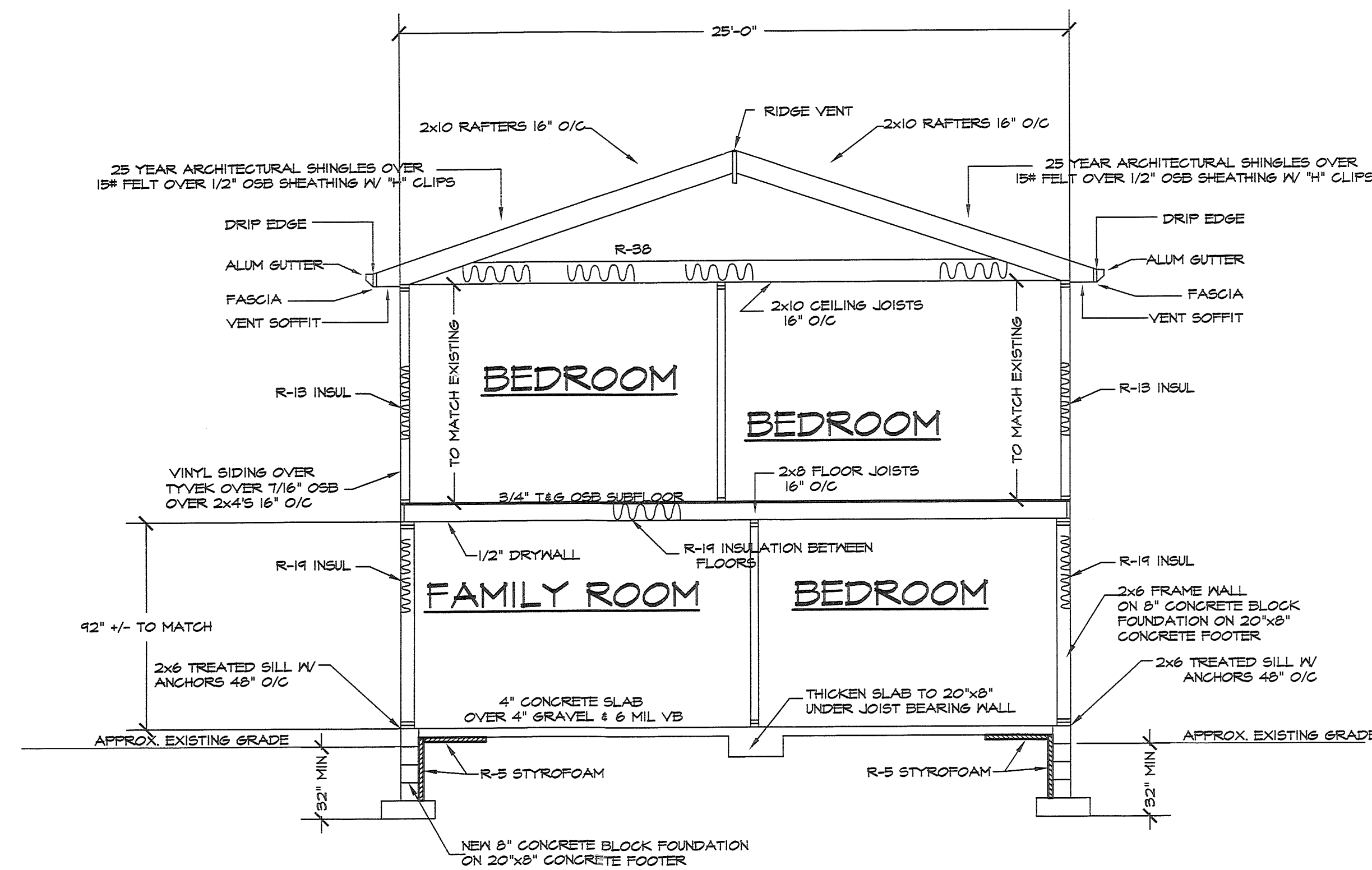
View from rear of house to neighbor behind



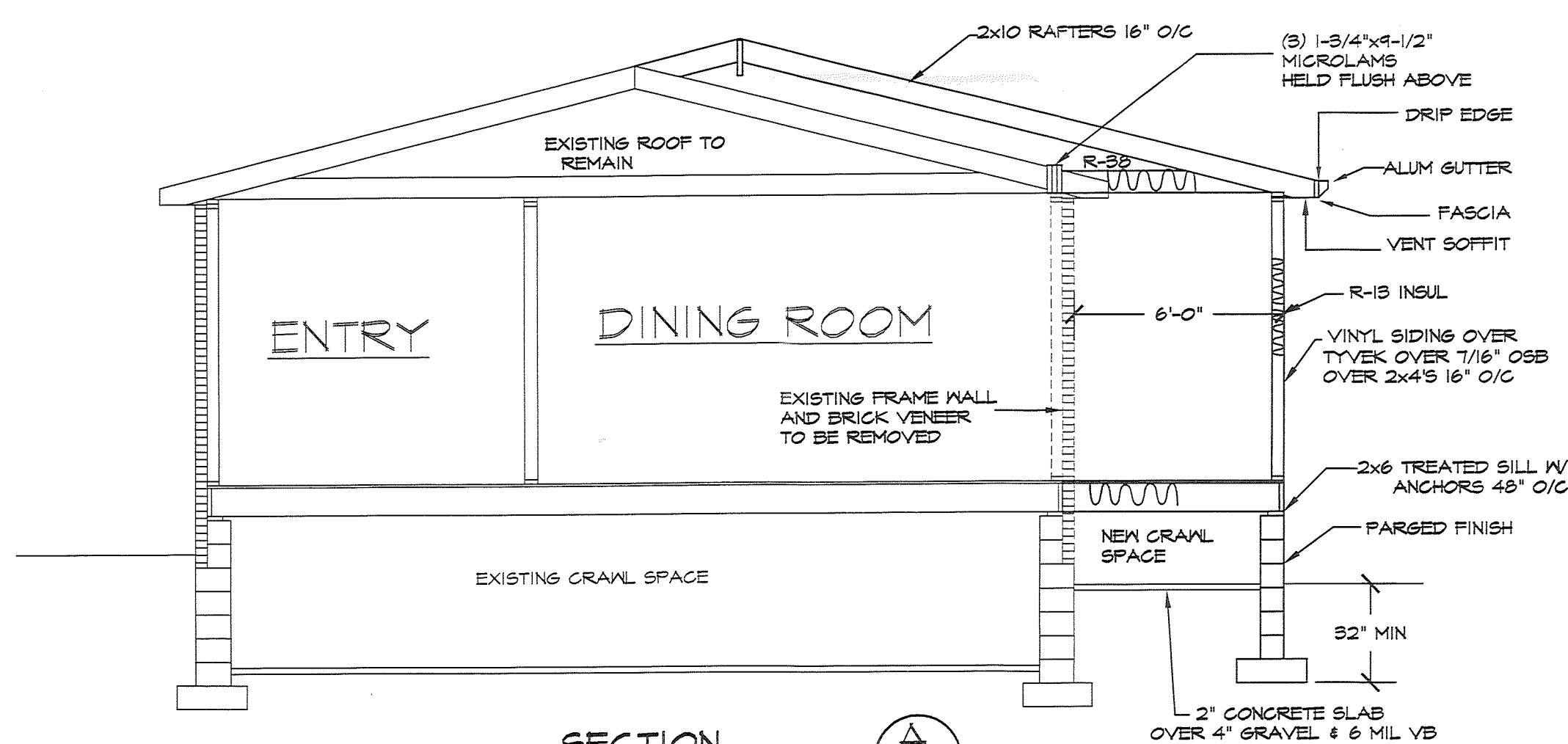
View from front looking left



View of 2406 Hal Circle from street



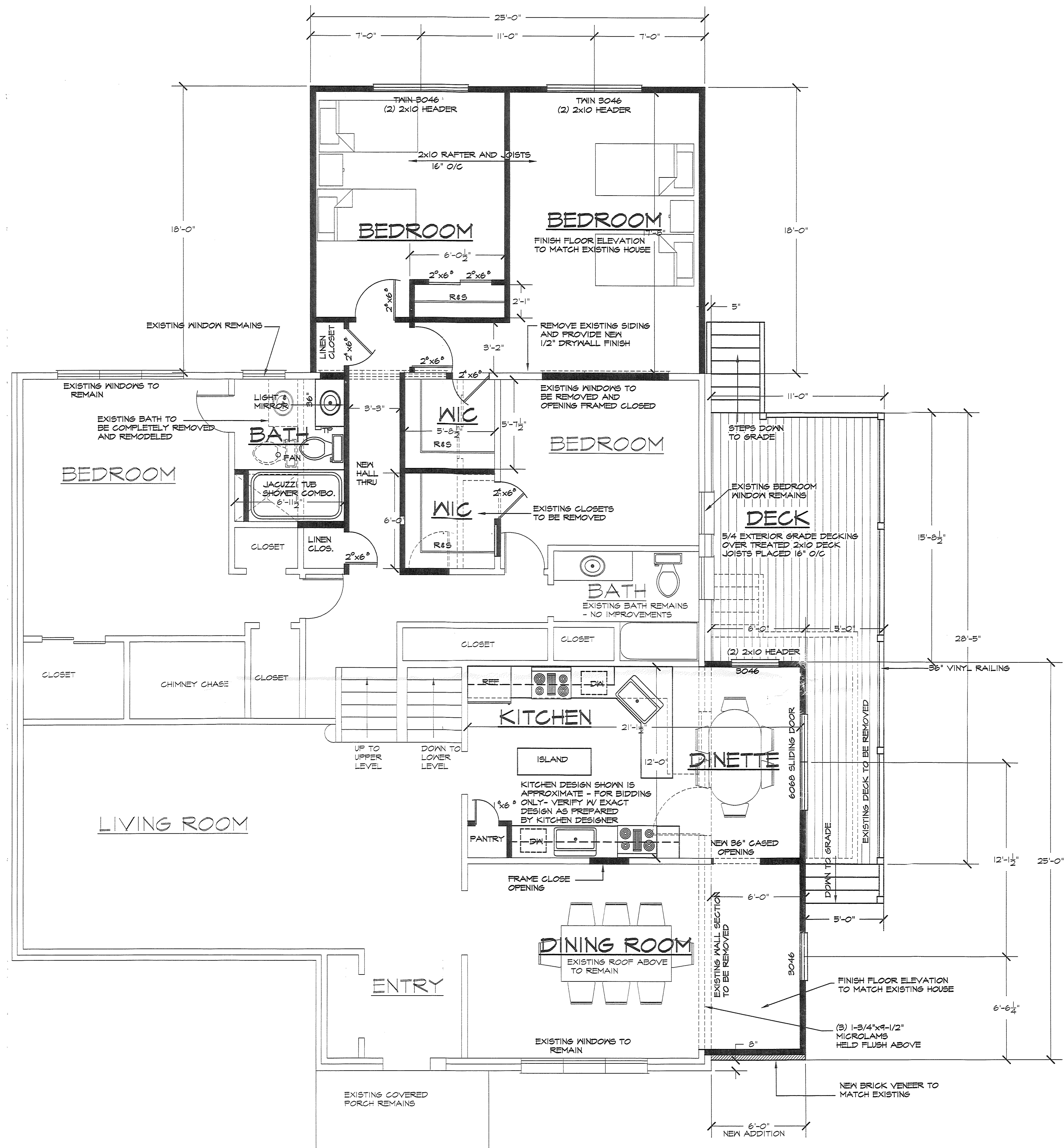
SECTION B-2
SCALE: 1/4" = 1'-0"



SECTION A-2
SCALE: 1/4" = 1'-0"

GENERAL NOTES:

1. PROVIDE NEW PAINT GRADE CASING AND BASE MOULDING THRU-OUT ALL REMODELED AREAS.
2. EXISTING SIDING, FASCIA, SOFFIT, GUTTER, AND DOWNSPOUTS TO BE REMOVED AND REPLACE THRU-OUT REMODELED AREA.
3. CONTRACTOR TO SECURE AND BRACE EXISTING HOUSE PRIOR TO EXCAVATING ADJACENT ADDITION.
4. FIELD LOCATE NEW DOWNSPOUTS AND PROVIDE SPLASH BLOCKS AS REQUIRED.
5. THE CONTRACTOR SHALL INSPECT EXISTING ELECTRICAL SERVICE AND UPGRADE FOR NEW ADDITION AS REQUIRED.
6. FINISH FLOOR HEIGHTS TO BE FIELD VERIFIED.
7. WINDOWS SHOWN- ANDERSEN 400 SERIES OR EQUAL.
8. EXISTING AND FINAL GRADE SHOWN HEREON IS BASED ON ACTUAL FIELD INSPECTION, HOWEVER IT IS STRICTLY APPROXIMATE. CONTRACTOR TO FIELD VERIFY.
9. PROVIDE SMOKE DETECTORS W/ BATTERY BACK-UP AS CODE REQUIRES.
10. REPAIR AND REFINISH ALL DAMAGED INTERIOR DRYWALL AND PAINT PER OWNER.
11. CASE WINDOW INTERIORS TO MATCH EXISTING HOUSE- FIELD VERIFY



FIRST & UPPER FLOORS ADDITION / REMODEL PLAN

SCALE: 1/4" = 1'-0"

EXISTING WALL TO REMAIN
EXISTING WALL TO BE REMOVED
NEW FRAME WALL

FILE: STEINBERG ADDITION

PROJECT ADDRESS:
2406 HAL CIRCLE
BALTIMORE MD 21204

SCALE: 1/4" = 1'-0"
DATE: 6/2010
SHEET NO.: 2 OF 4

GBL CUSTOM HOME
DESIGN INC.
PO BOX 237 FINKSBURG, MD 21048
PHONE 410-833-8320

REMODELING AND ADDITIONS
TO THE STEINBERG RESIDENCE

GENERAL STRUCTURAL NOTES

I. GENERAL

A. ALL CONSTRUCTION SHALL CONFORM WITH THE PROVISIONS OF THE 2006 INTERNATIONAL RESIDENTIAL CODE FOR ONE AND TWO FAMILY DWELLINGS.

B. DESIGN LIVE LOADS:

ROOF..... 30 PSF
FLOORS..... 40 PSF
SLEEPING AREAS..... 30 PSF

C. THE CONTRACTOR SHALL PROVIDE ALL SHORING AND BRACING AS REQUIRED TO SUPPORT THE EXISTING STRUCTURE. THE CONTRACTOR SHALL EXAMINE THE EXISTING STRUCTURE TO DETERMINE THE EXTENT OF NECESSARY SHORING AND BRACING. THE CAPACITY AND METHOD USED FOR SHORING AND BRACING SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

2. FOUNDATIONS

A. FOOTINGS ARE DESIGNED FOR AN ALLOWABLE SOIL BEARING CAPACITY OF 2000 PSF. FOOTINGS SHALL BEAR ON NATURAL UNDISTURBED SOIL, 1'-0" BELOW ORIGINAL GRADE. THE BOTTOM OF EXISTING FOOTINGS SHALL BE A MINIMUM OF 2'-6" BELOW FINISHED GRADE. CONTRACTOR TO VERIFY THE ALLOWABLE SOIL PRESSURE IN THE FIELD. IF FOUND TO BE LESS THAN 2000 PSF, THE FOOTINGS WILL HAVE TO BE REDESIGNED.

3. CAST IN PLACE CONCRETE

A. ALL CONCRETE WORK SHALL CONFORM TO THE LATEST APPROVED (BY LOCAL GOVERNMENT) EDITIONS OF THE FOLLOWING A.C.I. AND A.S.T.M. DOCUMENTS:

ACI-301 SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS
ACI-318 BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE

B. ALL CONCRETE, EXCEPT AS NOTED, SHALL BE (1½=3,000 PSI) STONE AGGREGATE CONCRETE AT 28 DAYS. ALL CONCRETE EXPOSED TO THE WEATHER SHALL BE AIR ENTRAINED.

C. SLABS ON GROUND SHALL BE 4" THICK CONCRETE REINFORCED WITH 6"x6" #14XMI.4 W/F OVER 6 MIL POLYETHYLENE VAPOR BARRIER AND 4" MASHED GRAVEL UNLESS OTHERWISE NOTED.

4. MASONRY

A. ALL MASONRY CONSTRUCTION AND MATERIALS USED THEREIN (CONCRETE MASONRY, CLAY MASONRY, MORTAR, GROUT AND STEEL REINFORCEMENT) SHALL CONFORM TO "BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES" (ACI 530-1-42/ASCE 5-42/TMS 402-42) AND "SPECIFICATIONS FOR MASONRY STRUCTURES" (ACI 530.1-42/ASCE 6-42/TMS 602-42) IN ALL RESPECTS.

B. MASONRY BEARING WALLS SHALL CONSIST OF STANDARD HOLLOW UNITS CONFORMING TO ASTM C 90 UNLESS OTHERWISE NOTED. WHERE SOLID UNITS ARE REQUIRED, PROVIDE UNITS CONFORMING TO ASTM C 145.

C. ALL MORTAR SHALL CONFORM TO THE REQUIREMENTS FOR PROPORTIONS, MIXING, STRENGTH AND APPLICATION FOR PORTLAND CEMENT/LIME TYPE "S" MORTAR AS DESCRIBED IN ACI 530-42.

D. ALL GROUT FILL IN MASONRY WALLS SHALL CONFORM TO ASTM C 476. SLUMP RANGE 8-11". PLACE GROUT IN 5'-0" MAXIMUM FOUR HEIGHTS AND CONSOLIDATE BY MECHANICAL VIBRATION.

E. PROVIDE 8" DEPTH OF 100% SOLID MASONRY BELOW ALL JOIST OR SLAB BEARING LINES. PROVIDE 16" HIGH X 16" LONG 100% SOLID MASONRY BELOW ALL LINTELS AND BEAMS UNLESS NOTED OTHERWISE.

F. ALL MASONRY WALLS SHALL BE REINFORCED WITH NO. 9 GAGE TRUSS TYPE GALVANIZED DUR-O-WALL, SPACED VERTICALLY AT 16" O.C. UNO, LAP ALL DUR-O-WALL 6" MINIMUM. PROVIDE CORNER AND TEE PIECES AT ALL INTERSECTIONS.

G. LOOSE LINTELS FOR MASONRY WALLS SHALL BE FOR EACH 4" WIDTH OF MASONRY ONE STEEL ANGLE AS FOLLOWS:

0'-0" TO 3'-0" 3'-1/2" X 3'-1/2" X 5/16"
3'-1" TO 5'-0" 4" X 3'-1/2" X 5/16"
5'-1" TO 6'-6" 5" X 3'-1/2" X 3/8"
6'-1" TO 8'-0" 6" X 3'-1/2" X 3/8" A

ALL ANGLES SHALL HAVE THEIR SHORT LEGS OUTSTANDING AND 6" MINIMUM BEARING.

5. STRUCTURAL STEEL

A. ALL STRUCTURAL STEEL SHALL CONFORM TO ASTM SPECIFICATION A-36 (LATEST LOCAL APPROVED). ALL STEEL SHALL BE DETAILED, FABRICATED, AND ERECTED IN ACCORDANCE WITH THE AISC MANUAL, AISC SPECIFICATION AND AISC CODE OF STANDARD PRACTICE.

B. ALL WELDED CONNECTIONS SHALL BE DONE WITH E70XX ELECTRODES. SHOP AND FIELD WELDS SHALL BE MADE BY APPROVED CERTIFIED WELDERS AND SHALL CONFORM TO THE AMERICAN WELDING SOCIETY CODE FOR BUILDINGS AND S.J.I. WELDS SHALL DEVELOP THE FULL STRENGTH OF MATERIALS BEING WELDED UNLESS OTHERWISE NOTED.

6. WOOD

A. STRUCTURAL SOLID WOOD RAFTERS, JOISTS, BEAMS AND STUDS SHALL BE HEM FIR #2 OR SPRUCE PINE FIR #2 SURFACED DRY AT A MAXIMUM OF 14% MOISTURE CONTENT. ALL LUMBER EXPOSED TO WEATHER SHALL BE PRESSURE TREATED SOUTHERN PINE #2. ALL FABRICATION, ERECTION, OTHER PROCEDURES, AND MINIMUM UNIT STRESSES SHALL CONFORM TO THE CURRENT NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION.

B. WOOD TRUSSES SHALL BE DESIGNED, FABRICATED AND ERECTED IN ACCORDANCE WITH THE NATIONAL DESIGN STANDARD FOR METAL PLATE CONNECTED WOOD TRUSS CONSTRUCTION (ANSI/TPI 1) AND COMMENTARY AND RECOMMENDATIONS FOR HANDLING, INSTALLATION AND BRACING OF METAL PLATE CONNECTED WOOD TRUSSES (HB-11) AS PUBLISHED BY THE TRUSS PLATE INSTITUTE AND IN ACCORDANCE WITH THE 1991 EDITION OF THE NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION.

C. WOOD TRUSSES AND ENGINEERED FLOOR JOISTS ARE TO BE DESIGNED BY THE SUPPLIER. SHOP DRAWINGS SHALL BE SUBMITTED TO THE ENGINEER/ARCHITECT FOR REVIEW. ALL TRUSSES AND JOISTS SHALL BE DESIGNED TO LIMIT THE BEARING STRESS TO 425 psi WHEN MEMBERS BEAR ON STUD WALLS. PROVIDE MEMBERS OF ADEQUATE WIDTH OR METAL CONNECTIONS TO LIMIT STRESSES TO THE SPECIFIED VALUE.

D. ALL LAMINATED VENEER LUMBER (LVL) OR PARALLEL STRAND LUMBER (PSL) SHALL HAVE THE FOLLOWING MINIMUM PROPERTIES: Fb=2600psi, Fv=285psi, E=1,900,000psi, Fc=2310psi(PARALLEL), Fc=150psi(PERPENDICULAR).

E. ALL DOUBLE MEMBERS SHALL BE NAILED TOGETHER WITH 2 ROWS OF 16d NAILS SPACED AT 12" O.C. ALL TRIPLE MEMBERS SHALL BE NAILED TOGETHER WITH 3 ROWS OF 16d NAILS SPACED AT 12" O.C. NAILED FROM EACH SIDE.

F. PROVIDE DOUBLE JOISTS AT PARALLEL PARTITIONS WHERE PARTITION LENGTH EXCEEDS 1/3 JOIST SPAN.

G. ALL NAILS ARE TO BE COMMON WIRE NAILS. NAILING OF ALL FRAMING SHALL BE AS SPECIFIED IN THE CONTRACT DOCUMENTS BUT IN NO CASE SHALL BE LESS THAN THE RECOMMENDED NAILING SCHEDULE CONTAINED IN THE 2000 INTERNATIONAL RESIDENTIAL CODE. ALL MULTIPLE STUD POSTS ARE TO BE NAILED TOGETHER WITH 12d NAILS @ 6" O.C. STAGGERED.

H. PROVIDE BRIDGINGS SPACED AT 48" O.C. IN FIRST TWO JOIST, RAFTER OR TRUSS SPACES WHEN FRAMING IS PARALLEL TO EXTERIOR WALL. NAIL SHEATHING (FLOOR, CEILING OR ROOF) TO BRIDGINGS AND NAIL BRIDGINGS TO EXTERIOR WALL PLATE. PROVIDE ONE ROW OF BRIDGINGS BETWEEN ALL FLOOR AND ROOF JOISTS FOR EACH 8'-0" OF SPAN. PROVIDE SOLID BLOCKING OR A CONTINUOUS RIM JOIST AT THE BEARING OF JOISTS, RAFTERS OR TRUSSES ON WOOD PLATES.

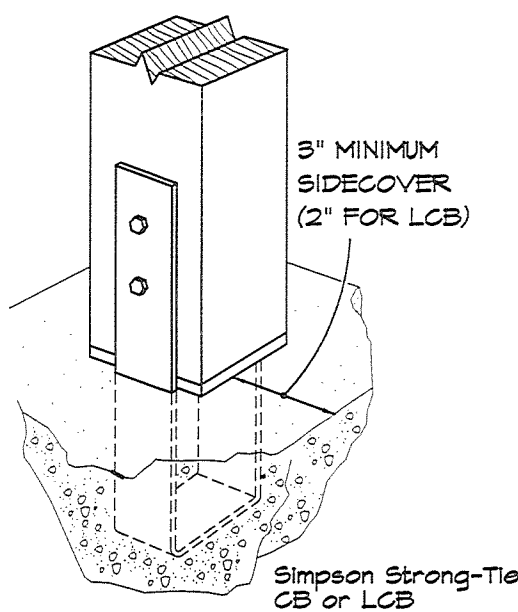
I. PROVIDE THE FOLLOWING JAMB STUDS AT ALL BEARING WALL OPENINGS UNLESS NOTED OTHERWISE:

0-3' OPENING 1 JACK STUD, 1 KING STUD
3'-1" - 6'-0" OPENING 2 JACK STUDS, 1 KING STUD
6'-1" - 9'-0" OPENING 2 JACK STUDS, 2 KING STUDS

PROVIDE DOUBLE STUDS AT ALL CORNERS AND BENEATH ALL GIRDER TRUSSES AND WOOD BEAMS UNLESS NOTED OTHERWISE ON PLANS. WOOD BEAMS, GIRDER TRUSSES HAVE TH AND HEADERS SHALL BEAR THE FULL DEPTH OF POSTS AND JACK STUDS.

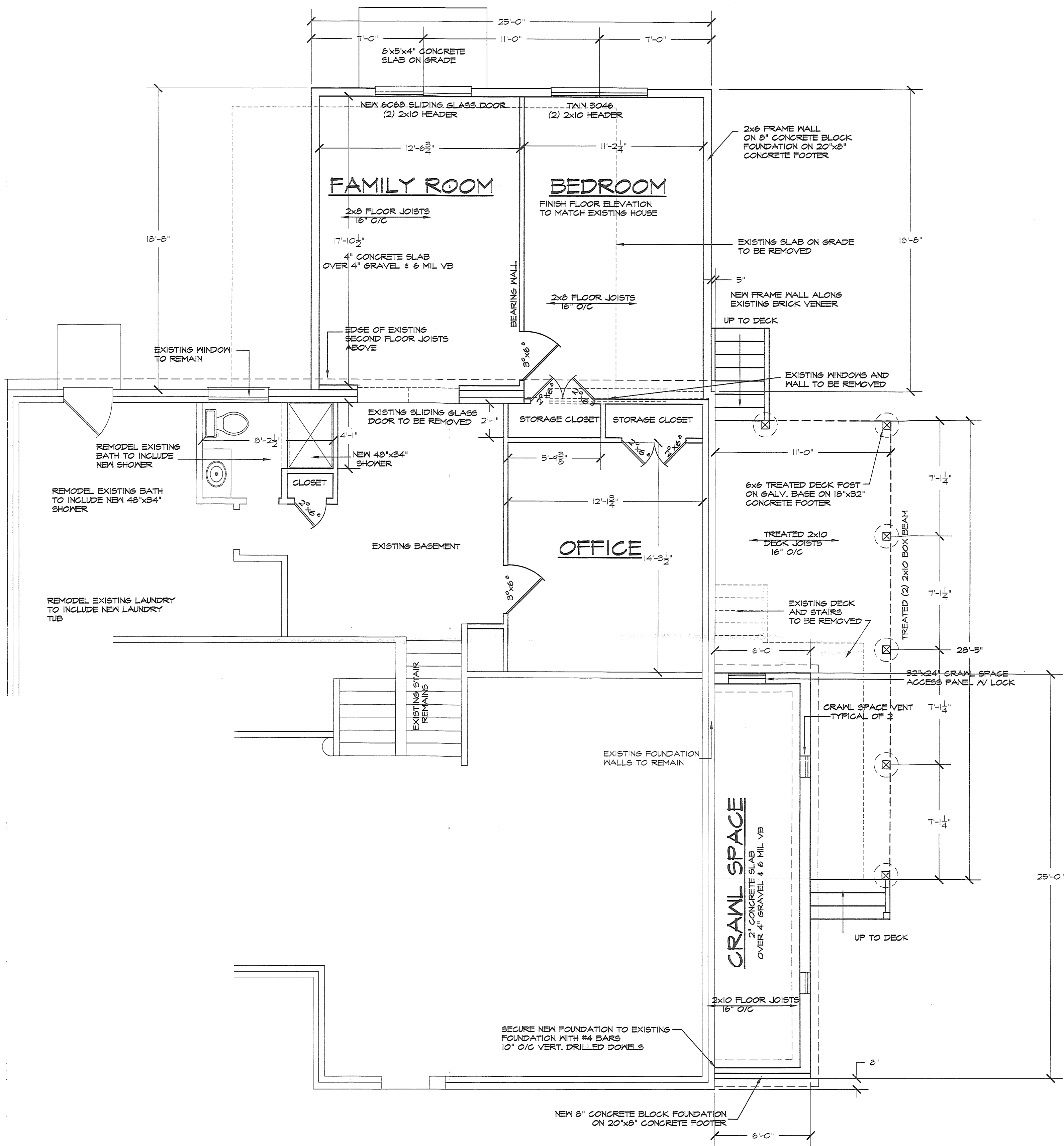
J. ALL POSTS (MULTIPLE STUDS OR SOLID POST) SUPPORTING BEAMS, WALL HEADERS OR GIRDER TRUSSES, SHALL BE BLOCKED SOLID FOR THE FULL LENGTH AND WIDTH OF POSTS AT ALL INTERSECTIONS WITH FLOORS AS REQUIRED TO PROVIDE CONTINUOUS SUPPORT TO TOP OF FOUNDATION WALLS OR BEAMS. POSTS SHOWN ON UPPER LEVELS FLOORS SHALL ALSO BE INSTALLED ON THE LOWER LEVELS IN LINE WITH THE POST ABOVE DOWN TO FOUNDATION WALLS OR BEAMS.

K. ALL FLUSH JOIST TO BEAM OR BEAM TO BEAM CONNECTIONS SHALL BE MADE WITH JOIST OR BEAM HANGERS TO SUPPORT THE LOAD CAPACITY INDICATED ON THE PLANS OR THE FULL CAPACITY OF THE JOIST OR BEAM. HANGERS SHALL BE PROVIDED BY SIMPSON STRONG TIE OR USP LUMBER CONNECTORS. THE SUPPLIER SHALL DESIGN ALL HANGERS FOR THE CAPACITY STATED. INSTALL ALL HANGERS IN STRICT CONFORMANCE TO THE MANUFACTURER'S INSTRUCTIONS. FILL ALL NAIL OR BOLT HOLES USING THE SPECIFIED NAILS AND BOLTS ONLY.



POST TO FOOTER
CONNECTION DETAIL

NOT TO SCALE



LOWER LEVEL / FOUNDATION PLAN

SCALE: 1/4" = 1'-0"

FILE: STEINBERG ADDITION

SCALE: 1/4" = 1'-0"

DATE: 6/20/10

SHEET NO.: 3 OF 4

GBL CUSTOM HOME
DESIGN INC.

PO BOX 237 FINKSBURG, MD 21048

PHONE 410-833-8320

PROJECT ADDRESS:
2406 HAL CIRCLE
BALTIMORE MD 21204

REMODELING AND ADDITIONS
TO THE STEINBERG RESIDENCE

REMODELING AND ADDITIONS
TO THE STEINBERG RESIDENCE

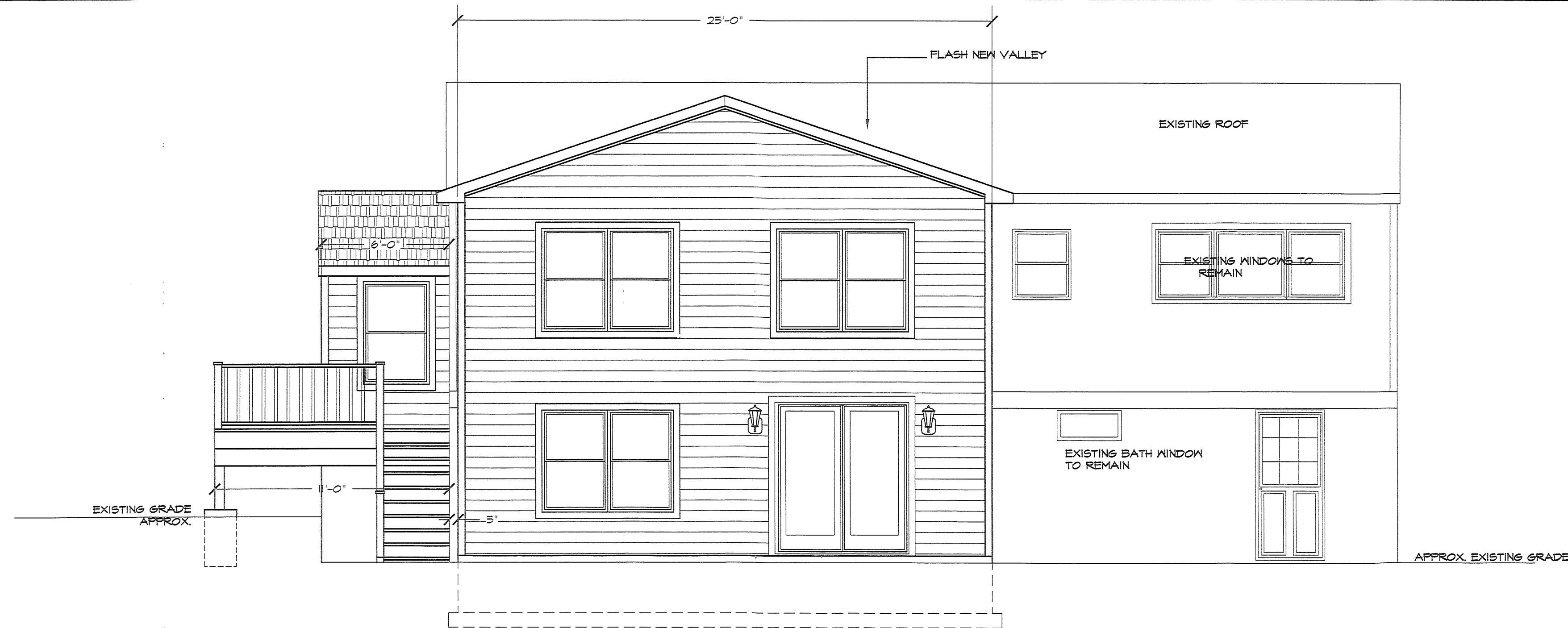
PROJECT ADDRESS:
2406 HAL CIRCLE
BALTIMORE MD 21204

FILE: STEINBERG ADDITION

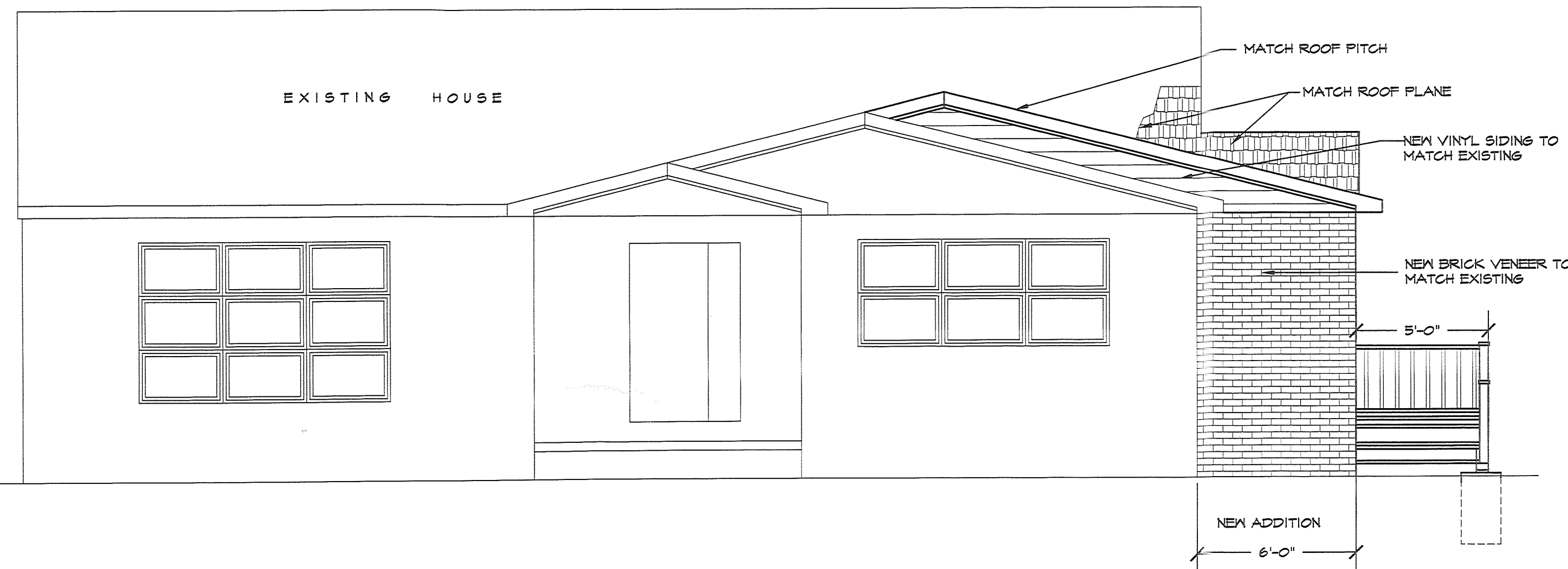
SCALE:
DATE: 6/2010

SHEET NO.: 4 OF 4

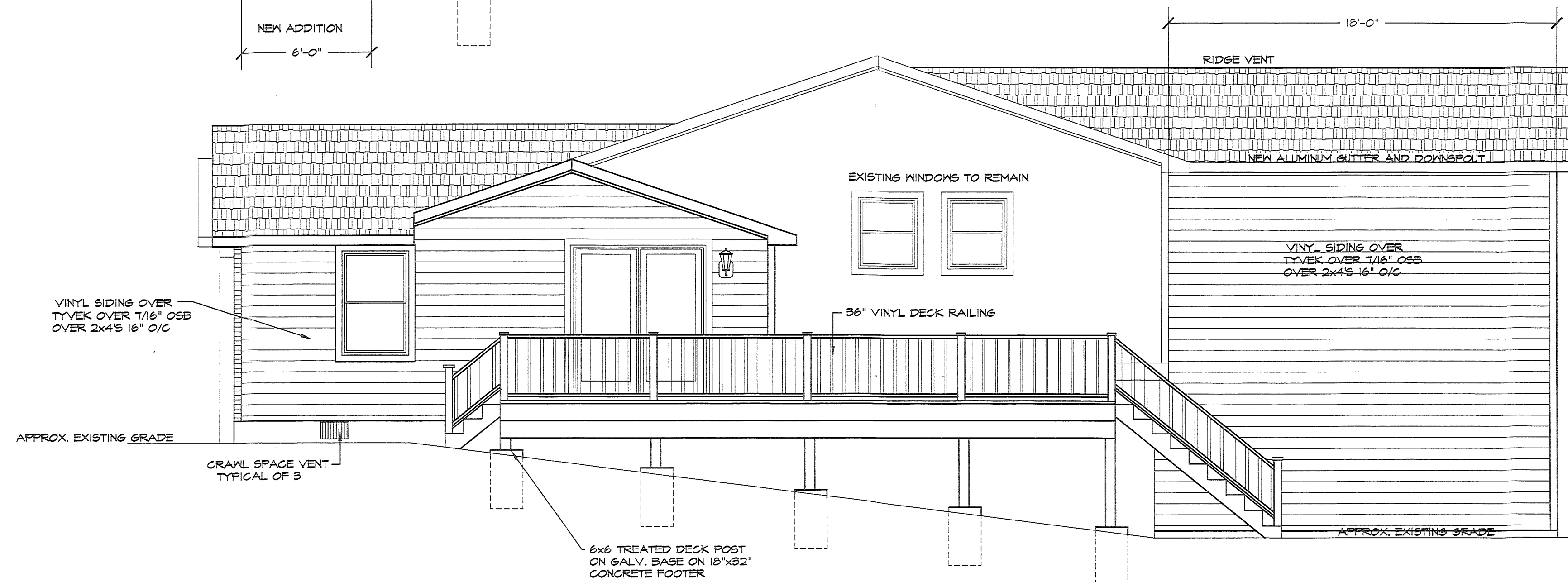
GBL CUSTOM HOME
DESIGN INC.
PO BOX 237 FINKSBURG, MD 21048
PHONE 410-833-8320



REAR ELEVATION
SCALE: 1/4"=1'-0"

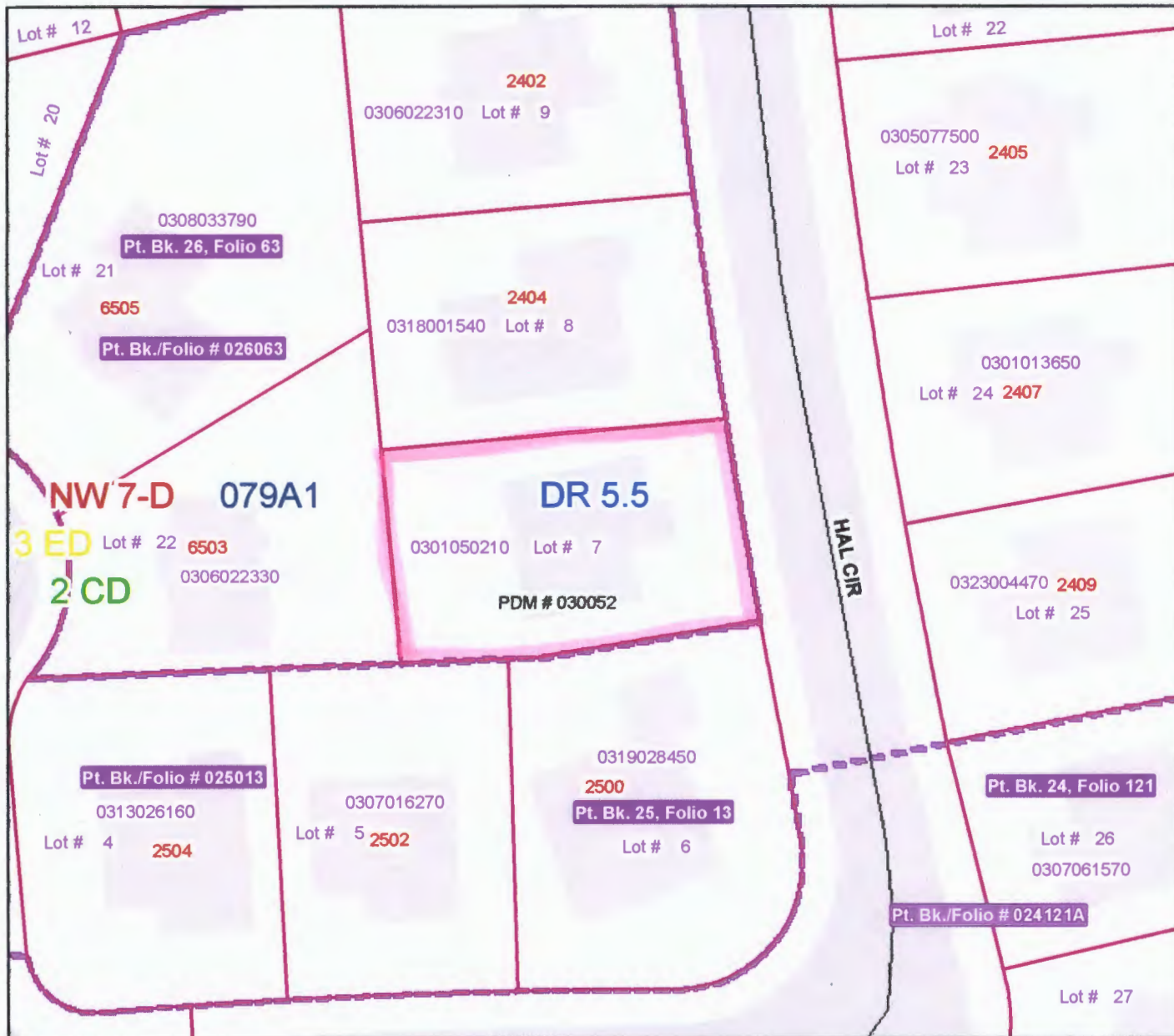


FRONT ELEVATION
SCALE: 1/4"=1'-0"



LEFT SIDE ELEVATION
SCALE: 1/4"=1'-0"

2406 Hal Circle



Publication Date: July 15, 2010
Publication Agency: Department of Permits & Development Management
Projection/Datum: Maryland State Plane,
FIPS 1900, NAD 1983/91 HARN, US Foot

DQ Map Notes



A horizontal scale bar with markings at 0, 50, and 100 feet. The bar is divided into segments, with the first segment from 0 to 50 feet being white and the subsequent segments being black.

1 inch = 50 feet

0050



SITE PLAN
SCALE: 1" = 10'

EXISTING SITE CONDITIONS
PROVIDED BY:
MANK & KUNST
408 YORK ROAD
TOWSON, MARYLAND 21204

2406 HAL CIRCLE
BALTIMORE COUNTY, MARYLAND
LOT 7, BLOCK 'B', PLAT F, SECTION 8
MEADOWOOD, PLAT BOOK N.J.R., NO. 26, FOLIO 63

FILE: STEINBERG ADDITION

SCALE:

DATE: 11/2009

SHEET NO.: 1 OF 4

**GBL CUSTOM HOME
DESIGN INC.**

PO BOX 237 FINKSBURG, MD 21048
PHONE 410-833-8320

PROJECT ADDRESS:
2406 HAL CIRCLE
BALTIMORE MD 21204

REMODELING AND ADDITIONS TO THE STEINBERG RESIDENCE

#0050

PLAT TO ACCOMPANY PETITION FOR ZONING ☒ VARIANCE ☐ SPECIAL HEARING

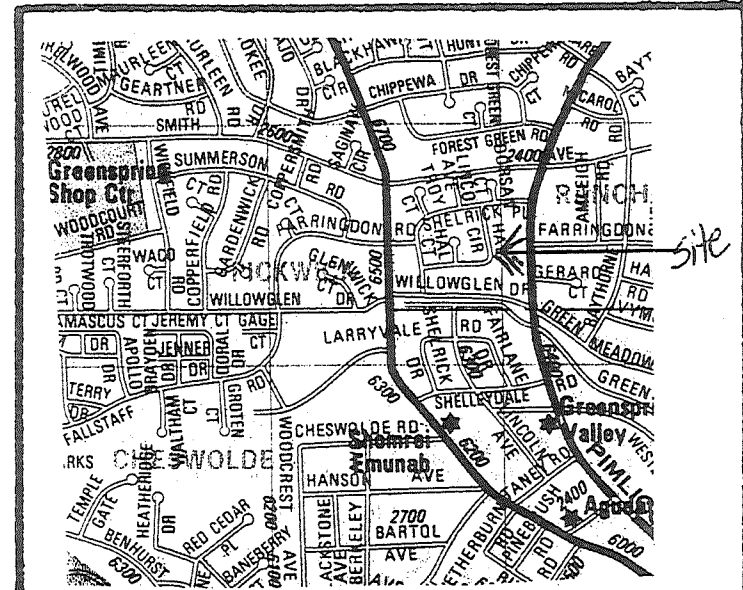
PROPERTY ADDRESS 2406 HAL Circle

SEE PAGES 5 & 6 OF THE CHECKLIST FOR ADDITIONAL REQUIRED INFORMATION

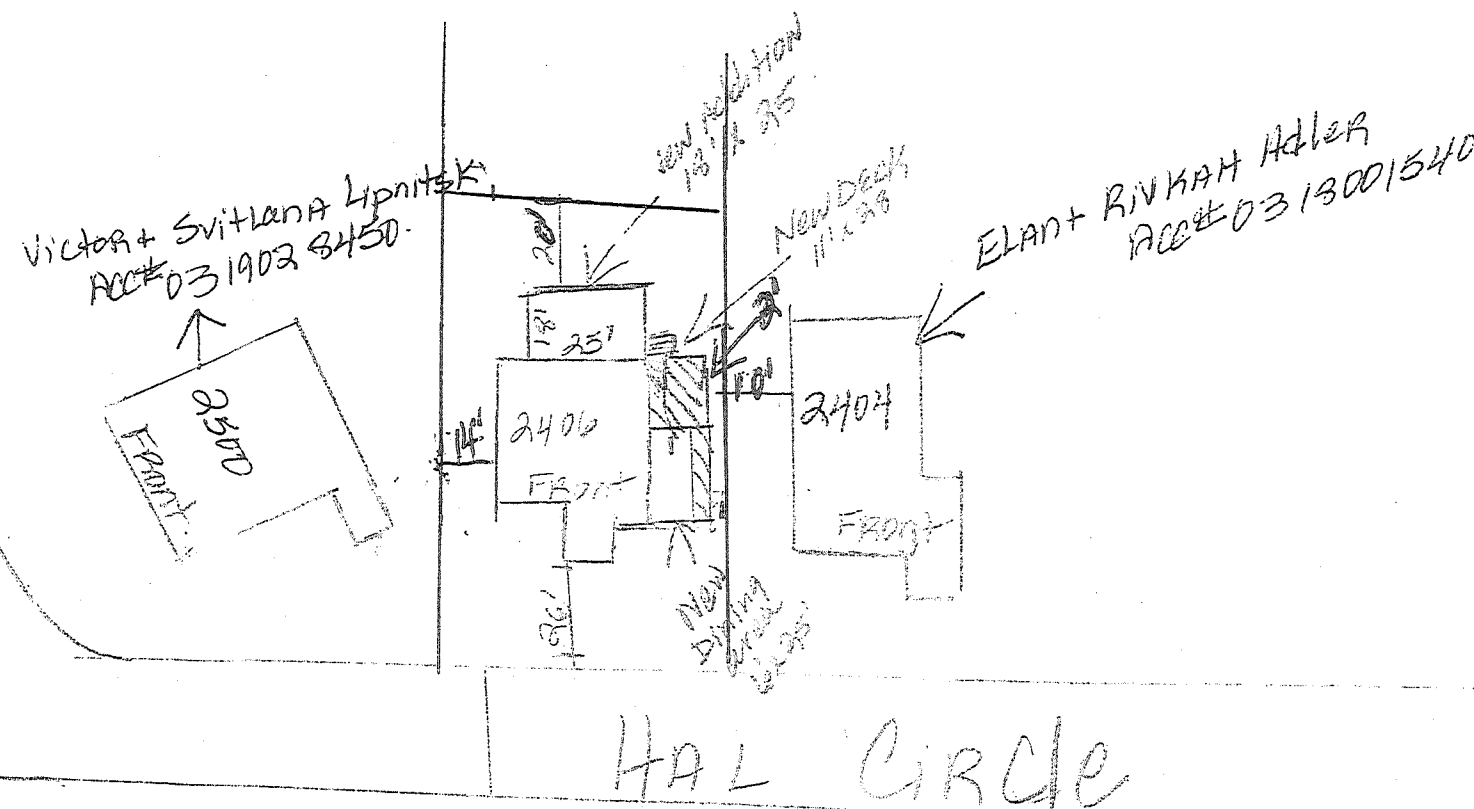
SUBDIVISION NAME MEADOWOOD

PLAT BOOK # 24 FOLIO # 43 LOT # 7 SECTION # 3

OWNER Chaim Steinberg



VICINITY MAP
SCALE: 1" = 1000'



LOCATION INFORMATION

ELECTION DISTRICT 3

COUNCILMANIC DISTRICT 2

1" = 200' SCALE MAP # 079A1

ZONING - DR5.5

LOT SIZE 7340 SF

ACREAGE SQUARE FEET

	PUBLIC	PRIVATE
SEWER	☒	☐
WATER	☒	☐

	YES	NO
CHESAPEAKE BAY CRITICAL AREA	☐	☒
100 YEAR FLOOD PLAIN	☐	☒
HISTORIC PROPERTY/ BUILDING	☐	☒

PRIOR ZONING HEARING

ZONING OFFICE USE ONLY
REVIEWED BY ITEM # CASE #

BIL

0050

201-0050-A



NORTH

PREPARED BY BEV TRUE

SCALE OF DRAWING: 1" = 50'