

IN RE: PETITION FOR ADMIN. VARIANCE	*	BEFORE THE
SE side of Woodvalley Drive at the		
SE corner of Harrow Court	*	OFFICE OF
3 rd Election District		
2 nd Council District	*	ADMINISTRATIVE HEARINGS
(3213 Woodvalley Drive)		
	*	FOR BALTIMORE COUNTY
Val Gorodisky		
<i>Petitioner</i>	*	CASE NO. 2012-0148A

* * * * *

ORDER AND OPINION

This matter comes before the Administrative Law Judge as a Petition for Administrative Variance filed by the legal owner of the property, Val Gorodisky. The Petitioner is requesting Variance relief pursuant to Section 1B02.3.C.1 of the Baltimore County Zoning Regulations ("B.C.Z.R.") to permit a garage addition with a rear yard setback of 29 feet in lieu of the required 50 feet. The subject property and requested relief is more fully depicted on the site plan that was marked and accepted into evidence as Petitioner's Exhibit 1. Petitioner desires to construct a garage attached to the dwelling. Due to the landscaping and layout of the dwelling, it would be difficult to construct the garage addition anywhere else on the property.

The Zoning Advisory Committee (ZAC) comments were received and are made part of the record of this case. Comments were received from the Bureau of Development Plans Review dated January 4, 2012 which states:

"We strongly recommend that the existing driveway onto Woodvalley Drive be eliminated and that the new driveway onto Harrow Court be widened to provide parking. Our reason for this is that Woodvalley Drive is heavily traveled and removing an access point reduces the potential for accidents."

ORDER RECEIVED FOR FILING

Date 1-23-12

By 

The Petitioner having filed a Petition for Administrative Variance and the subject property having been posted on December 24, 2011, and there being no request for a public hearing, a decision shall be rendered based upon the documentation presented.

The Petitioner has filed the supporting affidavits as required by Section 32-3-303 of the Baltimore County Code. Based upon the information available, there is no evidence in the file to indicate that the requested variance would adversely affect the health, safety or general welfare of the public and should therefore be granted. In the opinion of the Administrative Law Judge, the information, photographs, and affidavits submitted provide sufficient facts that comply with the requirements of Section 307.1 of the B.C.Z.R. Furthermore, strict compliance with the B.C.Z.R. would result in practical difficulty and/or unreasonable hardship upon the Petitioners.

Pursuant to the posting of the property and the provisions of both the Baltimore County Code and the Baltimore County Zoning Regulations, and for the reasons given above, the requested variance should be granted.

THEREFORE, IT IS ORDERED, this 23rd day of January, 2012 by the Administrative Law Judge for Baltimore County, that the Petition for Variance seeking relief from Section 1B02.3.C.1 of the Baltimore County Zoning Regulations ("B.C.Z.R.") to permit a garage addition with a rear yard setback of 29 feet in lieu of the required 50 feet, be and is hereby GRANTED.

The relief granted herein shall be subject to the following:

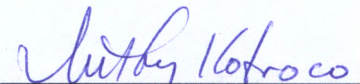
1. Petitioner may apply for its building permit and be granted same upon receipt of this Order; however, Petitioner is hereby made aware that proceeding at this time is at its own risk until such time as the 30-day appellate process from this Order has expired. If, for whatever reason, this Order is reversed, Petitioner would be required to return, and be responsible for returning, said property to its original condition.

ORDER RECEIVED FOR FILING

Date 1-23-12

By [Signature]

2. Compliance with the ZAC comments made by the Bureau of Development Plans Review dated January 4, 2012, a copy of which is attached hereto and made a part hereof.



TIMOTHY M. KOTROCO
Administrative Law Judge for
Baltimore County

TMK:pz

ORDER RECEIVED FOR FILING

Date 1-23-12

By PM

BALTIMORE COUNTY, MARYLAND

INTEROFFICE CORRESPONDENCE

Closing
1/9/12

TO: Arnold Jablon, Director
Department of Permits, Approvals
And Inspections

FROM: ^{DAK} Dennis A. Kennedy, Supervisor
Bureau of Development Plans Review

SUBJECT: Zoning Advisory Committee Meeting
For January 9, 2012
Item No. 2012-0148

DATE: January 4, 2012

John
1/11/12
mm

The Bureau of Development Plans Review has reviewed the subject zoning item and we have the following comment.

We strongly recommend that the existing driveway onto Woodvalley Drive be eliminated and that the new driveway onto Harrow court be widened to provide parking. Our reason for this is that Woodvalley Drive is heavily travelled and removing an access point reduces the potential for accidents.

DAK:CEN
cc:file

ZAC-ITEM NO 12-0148-01092012.doc

ORDER RECEIVED FOR FILING

Date 1-23-12

By *CD*



KEVIN KAMENETZ
County Executive

LAWRENCE M. STAHL
Managing Administrative Law Judge
JOHN E. BEVERUNGEN
TIMOTHY M. KOTROCO
Administrative Law Judges

January 23, 2012

VAL GORODISKY
3213 WOODVALLEY DRIVE
BALTIMORE MD 21208

Re: Petition for Administrative Variance
Case No. 2012-0148-A
Property: 3213 Woodvalley Drive

Dear Mr. Gorodisky:

Enclosed please find the decision rendered in the above-captioned case. The petition for Administrative Variance has been granted in accordance with the enclosed Order.'

In the event the decision rendered is unfavorable to any party, please be advised that any party may file with the Department of Permits, Approvals and Inspections an appeal within thirty (30) days from the date of this Order. For further information on filing an appeal, please contact the Office of Administrative Hearings at 410-887-3868.

Sincerely,

A handwritten signature in cursive script, reading "Timothy M. Kotroco".

TIMOTHY M. KOTROCO
Administrative Law Judge
for Baltimore County

TMK:pz

Enclosure

c: Beverly True, 3920 London Bridge Road, Sykesville MD 21784



ADMINISTRATIVE ZONING PETITION

FOR ADMINISTRATIVE VARIANCE – OR – ADMINISTRATIVE SPECIAL HEARING

To be filed with the Department of Permits, Approvals and Inspections

To the Office of Administrative Law of Baltimore County for the property located at:

Address 3313 Wood Valley Drive

which is presently zoned DB 1

Deed Reference 31315/00409

10 Digit Tax Account # 0303060171

Property Owner(s) Printed Name(s) VAL GORODISKY

(SELECT THE HEARING(S) BY MARKING **X** AT THE APPROPRIATE SELECTION(S) AND ADDING THE PETITION REQUEST)

Administrative Variances require that the Affidavit on the reverse of this Petition Form be completed / notarized.

The undersigned legal owner(s) of the property situate in Baltimore County and which is described in the description and plat attached hereto and made a part hereof, hereby petition for a

1. **X** **ADMINISTRATIVE VARIANCE** from section(s) 1802.3.C.1

To permit a garage addition with a rear yard setback of 29 feet in lieu of the required 50 feet.

of the zoning regulations of Baltimore County, to the zoning law of Baltimore County.

2. **ADMINISTRATIVE SPECIAL HEARING** to approve a waiver pursuant to Sections 32-4-107(b), 32-4-223.(8), and Section 32-4-416(a)(2): (indicate type of work in this space to raze, alter or construct addition to building)

of the zoning regulations of Baltimore County, to the zoning law of Baltimore County.

Property is to be posted and advertised as prescribed by the zoning regulations.

I, or we, agree to pay expenses of above petition(s), advertising, posting, etc. and further agree to and are to be bounded by the zoning regulations and restrictions of Baltimore County adopted pursuant to the zoning law for Baltimore County.

Legal Owner(s) Affirmation: I / we do so solemnly declare and affirm, under the penalties of perjury, that I / We are the legal owner(s) of the property which is the subject of this / these Petition(s).

Contract Purchaser/Lessee:

Name- Type or Print

Signature

Mailing Address

City

State

Zip Code

Telephone #

Email Address

Attorney for Petitioner:

Name- Type or Print

Signature

Date

Mailing Address

City

State

Zip Code

Telephone #

Email Address

Legal Owners:

Name #1 – Type or Print

Name #2 – Type or Print

Signature #1

Signature #2

Mailing Address

City

State

Zip Code

Telephone #

Email Address

Representative to be contacted:

Name – Type or Print

Signature

Mailing Address

City

State

Zip Code

Telephone #

Email Address

A PUBLIC HEARING having formally demanded and/or found to be required, it is ordered by the Office of Administrative Law, of Baltimore County, this _____ day of _____, that the subject matter of this petition be set for a public hearing, advertised, as required by the zoning regulations of Baltimore County and that the property be reposted.

MA Commission Expires 12/14/2013

Administrative Law Judge of Baltimore County

CASE NUMBER

2012-0148-A

Filing Date

12/15/2012

Estimated Posting Date

12/25/2012

Reviewer

Zu

Affidavit in Support of Administrative Variance

(THIS AFFIDAVIT IS NOT REQUIRED FOR AN HISTORIC ADMINISTRATIVE SPECIAL HEARING)

The undersigned hereby affirms under the penalties of perjury to the Administrative Law Judge of Baltimore County, the following: That the information herein given is within the personal knowledge of the Affiant(s) and that the Affiant(s) is/are competent to testify thereto in the event that a public hearing is scheduled in the future with regard thereto.

That the property is not under an active zoning violation citation and Affiant(s) is/are the resident home owner(s) of this residential lot, or is/are the contract purchaser(s) of this residential lot, who will, upon purchase, reside at the existing dwelling on said property located at:

Address: 3313 Wood Valley Drive Baltimore MD 21208
Print or Type Address of property City State Zip Code

Based upon personal knowledge, the following are the facts which I/we base the request for an Administrative Variance at the above address. (Clearly state practical difficulty or hardship here)

I would like to construct a attached garage to my existing home. Due to the landscaping and layout of my home it would be difficult to place it anywhere else on the lot. This would allow me to keep my vehicle out of the elements from the weather.

(If additional space for the petition request or the above statement is needed, label and attach it to this Form)

V. Cereschi
Signature of Affiant

VAL Goroditsky
Name- Print or Type

Signature of Affiant

Name- Print or Type

The following information is to be completed by a Notary Public of the State of Maryland

STATE OF MARYLAND, COUNTY OF BALTIMORE, to wit:

I HEREBY CERTIFY, this 12th day of December, 2011, before me a Notary of Maryland, in and for the County aforesaid, personally appeared

VAL Goroditsky
the Affiant(s) herein, personally known or satisfactorily identified to me as such Affiant(s) (Print name(s) here)

AS WITNESS my hand and Notaries Seal

Dee A. Little
Notary Public

My Commission Expires 5/14/2012

My Commission Expires

ZONING DESCRIPTION FOR 3213 WOOD VALLEY DRIVE

Beginning at a point on the South East Side of Wood Valley Drive which is 60' wide at the distance of 101' South of the centerline of the nearest improved intersecting street Harrow CT which is 50' wide. Being Lot# 6 Block C in the Subdivision of Halcyn Gate as recorded in the Baltimore County Plat Book 28, Folio 101 containing 1.1 Acres. and located in the 3rd Election District 2nd Council District.

2012-0148-A

BALTIMORE COUNTY, MARYLAND
OFFICE OF BUDGET AND FINANCE
MISCELLANEOUS CASH RECEIPT

No. 73618

Date: 12/15/11

Fund	Dept	Unit	Sub Unit	Rev Source/ Obj	Sub Rev/ Sub Obj	Dept Obj	BS Acct	Amount
001	800	0000		6150				75.00

Total: 75.00

Rec From: Precision Buck Keeping Inc

For: 3213 Wood Valley Dr

212080

2012-0148-A

DISTRIBUTION

CASHIER'S
VALIDATION

CERTIFICATE OF POSTING

Date: 12-24-11

RE: Case Number: 2012-0148-A

Petitioner/Developer: Val Gorodisky

Date of Hearing/Closing: 1-9-12

This is to certify under the penalties of perjury that the necessary sign(s) required by law were posted conspicuously on the property located at 3213 Woodvalley Dr

The signs(s) were posted on 12-24-11
(Month, Day, Year)

J. Lawrence Pilson
(Signature of Sign Poster)

J. LAWRENCE PILSON

ZONING NOTICE

ADMINISTRATIVE VARIANCE

CASE # 2012-0148-A
TO PERMIT A GARAGE ADDITION
WITH A REAR YARD SETBACK OF 29 FEET
IN LIEU OF THE REQUIRED 50 FEET

PUBLIC HEARING ?

PURSUANT TO SECTION 26-127(b)(1), BALTIMORE COUNTY CODE,
AN ELIGIBLE INDIVIDUAL OR GROUP MAY
REQUEST A PUBLIC HEARING CONCERNING
THE PROPOSED VARIANCE, PROVIDED THE REQUEST IS
RECEIVED IN THE ZONING REVIEW BUREAU BEFORE
5:00 P.M. ON 1/11/12

ADDITIONAL INFORMATION IS AVAILABLE AT THE DEPARTMENT OF
PERMITS AND DEVELOPMENT MANAGEMENT, COUNTY OFFICE BUILDING,
100 CHESAPEAKE AVE., TOWSON, MD 21204, (410) 887-3331
AND POST UNTIL AFTER ABOVE DATE, UNDER PENALTY OF LAW
AND POST UNTIL AFTER ABOVE DATE, UNDER PENALTY OF LAW
AND POST UNTIL AFTER ABOVE DATE, UNDER PENALTY OF LAW

ADMINISTRATIVE VARIANCE INFORMATION SHEET AND DATES

Case Number 2012- 0148 -A Address 3213 Wood Valley Drive
Contact Person: LEONARD W. PSILEWSKI Phone Number: 410-887-3391
Planner, Please Print Your Name

Filing Date: 12/15/11 Posting Date: 12/25/11 Closing Date: 1/9/12

Any contact made with this office regarding the status of the administrative variance should be through the contact person (planner) using the case number.

- POSTING/COST:** The petitioner must use one of the sign posters on the approved list (on the reverse side of this form) and the petitioner is responsible for all printing/posting costs. Any reposting must be done only by one of the sign posters on the approved list and the petitioner is again responsible for all associated costs. The zoning notice sign must be visible on the property on or before the posting date noted above. It should remain there through the closing date.
- DEADLINE:** The closing date is the deadline for an occupant or owner within 1,000 feet to file a formal request for a public hearing. Please understand that even if there is no formal request for a public hearing, the process is not complete on the closing date.
- ORDER:** After the closing date, the file will be reviewed by the zoning or deputy zoning commissioner. He may: (a) grant the requested relief; (b) deny the requested relief; or (c) order that the matter be set in for a public hearing. You will receive written notification, usually within 10 days of the closing date if all County agencies' comments are received, as to whether the petition has been granted; denied, or will go to public hearing. The order will be mailed to you by First Class mail.
- POSSIBLE PUBLIC HEARING AND REPOSTING:** In cases that must go to a public hearing (whether due to a neighbor's formal request or by order of the zoning or deputy zoning commissioner), notification will be forwarded to you. The sign on the property must be changed giving notice of the hearing date, time and location. As when the sign was originally posted, certification of this change and a photograph of the altered sign must be forwarded to this office.

(Detach Along Dotted Line)

Petitioner: This Part of the Form is for the Sign Poster Only

USE THE ADMINISTRATIVE VARIANCE SIGN FORMAT

Case Number 2012- 0148 -A Address 3213 Wood Valley Drive
Petitioner's Name Val Gorodisky Telephone 410-746-4763
Posting Date: 12/25/11 Closing Date: 1/9/12

Wording for Sign: _____

To permit a garage addition with a rear yard setback of 29 feet in lieu of the required 50 feet.

Revised 7/06/11

Case No.: 2012-0148-A

Exhibit Sheet

1/23/12
BO

2/23/12
RW

Petitioner/Developer

Protestant

No. 1	site plan	
No. 2		
No. 3		
No. 4		
No. 5		
No. 6		
No. 7		
No. 8		
No. 9		
No. 10		
No. 11		
No. 12		

M E M O R A N D U M

DATE: February 23, 2012
TO: Zoning Review Office
FROM: Office of Administrative Hearings
RE: Case No. 2012-0148-A - Appeal Period Expired

The appeal period for the above-referenced case expired on February 22, 2012. There being no appeal filed, the subject file is ready for return to the Zoning Review Office and is placed in the 'pick up box.'

c: Case File
Office of Administrative Hearings

MODE = MEMORY TRANSMISSION

START=JAN-23 14:00

END=JAN-23 14:02

FILE NO.=510

STN NO.	COMM.	ONE-TOUCH/ ABBR NO.	STATION NAME/TEL NO.	PAGES	DURATION
001	OK	2	94107954845	005/005	00:00:45

-ZONING COMMISSIONER OFF M-

- ***** -

410 887 3468- *****



KEVIN KAMENETZ
County Executive

LAWRENCE M. STAHL
Managing Administrative Law Judge
JOHN E. BEVERUNGEN
TIMOTHY M. KOTROCO
Administrative Law Judges

January 23, 2012

VAL GORODISKY
3213 WOODVALLEY DRIVE
BALTIMORE MD 21208

Re: Petition for Administrative Variance
Case No. 2012-0148-A
Property: 3213 Woodvalley Drive

Dear Mr. Gorodisky:

Enclosed please find the decision rendered in the above-captioned case. The petition for Administrative Variance has been granted in accordance with the enclosed Order.

In the event the decision rendered is unfavorable to any party, please be advised that any party may file with the Department of Permits, Approvals and Inspections an appeal within thirty (30) days from the date of this Order. For further information on filing an appeal, please contact the Office of Administrative Hearings at 410-887-3868.

Sincerely,

A handwritten signature in cursive script, appearing to read "Timothy M. Kotroco".

TIMOTHY M. KOTROCO
Administrative Law Judge
for Baltimore County

TMK:pz

Enclosure

c: Beverly True, 3920 London Bridge Road, Sykesville MD 21784

BALTIMORE COUNTY, MARYLAND

INTEROFFICE CORRESPONDENCE

Closing
1/9/12

TO: Arnold Jablon, Director
Department of Permits, Approvals
And Inspections

FROM: ^{DAK}Dennis A. Kennedy, Supervisor
Bureau of Development Plans Review

SUBJECT: Zoning Advisory Committee Meeting
For January 9, 2012
Item No. 2012-0148

DATE: January 4, 2012

Lopez
1/11/12
mn

The Bureau of Development Plans Review has reviewed the subject zoning item and we have the following comment.

We strongly recommend that the existing driveway onto Woodvalley Drive be eliminated and that the new driveway onto Harrow court be widened to provide parking. Our reason for this is that Woodvalley Drive is heavily travelled and removing an access point reduces the potential for accidents.

DAK:CEN
cc:file

CHECKLIST

<u>Comment Received</u>	<u>Department</u>	<u>Support/Oppose/ Conditions/ Comments/ No Comment</u>
<u>1-4</u>	DEVELOPMENT PLANS REVIEW (if not received, date e-mail sent _____)	<u>Comments</u>
_____	DEPS (if not received, date e-mail sent _____)	_____
_____	FIRE DEPARTMENT	_____
_____	PLANNING (if not received, date e-mail sent _____)	_____
<u>12-28</u>	STATE HIGHWAY ADMINISTRATION	<u>nc</u>
_____	TRAFFIC ENGINEERING	_____
_____	COMMUNITY ASSOCIATION	_____
_____	ADJACENT PROPERTY OWNERS	_____
ZONING VIOLATION	(Case No. _____)	
PRIOR ZONING	(Case No. _____)	
NEWSPAPER ADVERTISEMENT	Date: _____	
SIGN POSTING	Date: <u>12-24</u>	by <u>Pelton</u>
PEOPLE'S COUNSEL APPEARANCE	Yes ☐ No ☐	
PEOPLE'S COUNSEL COMMENT LETTER	Yes ☐ No ☐	

Comments, if any: _____

2012-0148-A

Maryland Department of Assessments and Taxation
Real Property Data Search (vw1.1A)
BALTIMORE COUNTY

[Go Back](#)
[View Map](#)
[New Search](#)
[GroundRent Redemption](#)
[GroundRent Registration](#)

Account Identifier:

District - 03 Account Number - 0302060171

Owner Information

Owner Name:	GORODISKY VAL, TRUSTEE GORODISKY IZABELLA, TRUSTEE	Use:	RESIDENTIAL
Mailing Address:	3213 WOODVALLEY DR BALTIMORE MD 21208-	Principal Residence:	YES
		Deed Reference:	1) /31413/ 00410 2)

Location & Structure Information**Premises Address**

3213 WOODVALLEY DR
0-0000

Legal Description

3214 WOODVALLEY DR
HALCYON GATE

Map	Grid	Parcel	Sub District	Subdivision	Section	Block	Lot	Assessment Area	Plat No:	2
0068	0011	0211		0000		C	6	2	Plat Ref:	0028/ 0101

Town NONE**Special Tax Areas**

Ad Valorem
Tax Class

Primary Structure Built	Enclosed Area	Property Land Area	County Use
1963	3,156 SF	1.1100 AC	04

Stories	Basement	Type	Exterior
1.000000	NO	STANDARD UNIT BRICK	

Value Information

	Base Value	Value	Phase-in Assessments	
		As Of	As Of	As Of
		01/01/2011	07/01/2011	07/01/2012
Land	181,980	161,700		
Improvements:	333,340	277,900		
Total:	515,320	439,600	439,600	439,600
Preferential Land:	0			0

Transfer Information

Seller:	GORODISKY VAL	Date:	11/18/2011	Price:	\$0
Type:	NON-ARMS LENGTH OTHER	Deed1:	/31413/ 00410	Deed2:	
Seller:	BOLTANSKY NAOMI(DEC)	Date:	10/11/2011	Price:	\$460,000
Type:	ARMS LENGTH IMPROVED	Deed1:	/31265/ 00469	Deed2:	
Seller:	BOLTANSKY SAMUEL	Date:	04/01/2004	Price:	\$0
Type:	NON-ARMS LENGTH OTHER	Deed1:	/19822/ 00691	Deed2:	

Exemption Information

Partial Exempt Assessments	Class	07/01/2011	07/01/2012
County	000	0.00	
State	000	0.00	
Municipal	000	0.00	0.00

Tax Exempt:
Exempt Class:

Special Tax Recapture:

BALTIMORE COUNTY, MARYLAND**INTEROFFICE CORRESPONDENCE***Closing*
1/9/12

TO: Arnold Jablon, Director
Department of Permits, Approvals
And Inspections

FROM: ^{DAK}Dennis A. Kennedy, Supervisor
Bureau of Development Plans Review

SUBJECT: Zoning Advisory Committee Meeting
For January 9, 2012
Item No. 2012-0148

DATE: January 4, 2012

The Bureau of Development Plans Review has reviewed the subject zoning item and we have the following comment.

We strongly recommend that the existing driveway onto Woodvalley Drive be eliminated and that the new driveway onto Harrow court be widened to provide parking. Our reason for this is that Woodvalley Drive is heavily travelled and removing an access point reduces the potential for accidents.

RECEIVED**JAN 11 2011****OFFICE OF ADMINISTRATIVE HEARINGS**

DAK:CEN
cc:file



Proposed Garage addition to right of existing house



Front view



Proposed garage addition



View from Hallow Ct

2012-0148-A



3213 Wood Valley Drive
Front



Proposed area for new garage with side entrance



Front



Area of change to the right of existing house

2012-0148-A



KEVIN KAMENETZ
County Executive

ARNOLD JABLON
*Deputy Administrative Officer
Director, Department of Permits,
Approvals & Inspections*

December 30, 2011

Val Gorodisky
3213 Wood Valley Drive
Baltimore, MD 21208

RE: Case Number 2012-0148-A, 3213 Wood Valley Drive

Dear Mr. Gorodisky,

The above referenced petition was accepted for processing **ONLY** by the Bureau of Zoning Review, Department of Permits and Development Management (PDM) on December 15, 2011. This letter is not an approval, but only a **NOTIFICATION**.

The Zoning Advisory Committee (ZAC), which consists of representatives from several approval agencies, has reviewed the plans that were submitted with your petition. All comments submitted thus far from the members of the ZAC are attached. These comments are not intended to indicate the appropriateness of the zoning action requested, but to ensure that all parties (zoning commissioner, attorney, petitioner, etc.) are made aware of plans or problems with regard to the proposed improvements that may have a bearing on this case. All comments will be placed in the permanent case file.

If you need further information or have any questions, please do not hesitate to contact the commenting agency.

Very truly yours,

A handwritten signature in black ink, reading "W. Carl Richards, Jr." in a cursive style.

W. Carl Richards, Jr.
Supervisor, Zoning Review

WCR:mcn

Enclosures

c: People's Counsel
Beverly True, 3920 London Bridge Road, Sykesville, MD 21784

Martin O'Malley, Governor
Anthony G. Brown, Lt. Governor



Beverley K. Swaim-Staley, Secretary
Darrell B. Mobley, Acting Administrator

MARYLAND DEPARTMENT OF TRANSPORTATION

Date: 12-28-2012

Ms. Kristen Matthews
Baltimore County Department of
Permits, Approvals and Inspections
County Office Building, Room 109
Towson, Maryland 21204

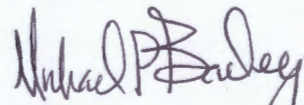
RE: Baltimore County
Item No. 2012-0148-A
3213 WOODVALLEY DRIVE
GORODISKY PROPERTY
ADMIN. VARIANCE

Dear Ms. Matthews:

Thank you for the opportunity to review your referral request on the subject of the above captioned. We have determined that the subject property does not access a State roadway and is not affected by any State Highway Administration projects. Therefore, based upon available information this office has no objection to Baltimore County Zoning Advisory Committee approval of Item No. 2012-0148-A.

Should you have any questions regarding this matter, please contact Richard Zeller at 410-545-5598 or 1-800-876-4742 extension 5598. Also, you may E-mail him at (rzeller@sha.state.md.us). Thank you for your cooperation.

Sincerely,


For Steven D. Foster, Chief
Access Management Division

SDF/rz

My telephone number/toll-free number is _____

Maryland Relay Service for Impaired Hearing or Speech 1.800.735.2258 Statewide Toll Free

Street Address: 707 North Calvert Street • Baltimore, Maryland 21202 • Phone 410.545.0300 • www.roads.maryland.gov

GENERAL STRUCTURAL NOTES

1. GENERAL

A. ALL CONSTRUCTION SHALL CONFORM WITH THE PROVISIONS OF THE 2009 INTERNATIONAL RESIDENTIAL CODE FOR ONE AND TWO FAMILY DWELLINGS.

B. DESIGN LIVE LOADS:

ROOF..... 30 PSF
FLOORS..... 40 PSF
SLEEPING AREAS..... 30 PSF

2. FOUNDATIONS

A. FOOTINGS ARE DESIGNED FOR AN ALLOWABLE SOIL BEARING CAPACITY OF 2000 PSF. FOOTINGS SHALL BEAR ON NATURAL UNDISTURBED SOIL, 1'-0" BELOW ORIGINAL GRADE. THE BOTTOM OF EXTERIOR FOOTINGS SHALL BE A MINIMUM OF 2'-6" BELOW FINISHED GRADE. CONTRACTOR TO VERIFY THE ALLOWABLE SOIL PRESSURE IN THE FIELD. IF FOUND TO BE LESS THAN 2000 PSF, THE FOOTINGS WILL HAVE TO BE REDESIGNED.

3. CAST IN PLACE CONCRETE

A. ALL CONCRETE WORK SHALL CONFORM TO THE LATEST APPROVED (BY LOCAL GOVERNMENT) EDITIONS OF THE FOLLOWING A.C.I. AND A.S.T.M. DOCUMENTS:

ACI-301 SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS
ACI-318 BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE

B. ALL CONCRETE, EXCEPT AS NOTED, SHALL BE (F_c=3,000 PSI) STONE AGGREGATE CONCRETE AT 28 DAYS. ALL CONCRETE EXPOSED TO THE WEATHER SHALL BE AIR ENTRAINED.

C. SLABS ON GROUND SHALL BE 4" THICK CONCRETE REINFORCED WITH 6"x6" #1.4X#1.4 WAF OVER 6 MIL POLYETHYLENE VAPOR BARRIER AND 4" WASHED GRAVEL UNLESS OTHERWISE NOTED.

4. MASONRY

A. ALL MASONRY CONSTRUCTION AND MATERIALS USED THEREIN (CONCRETE MASONRY, CLAY MASONRY, MORTAR, GROUT AND STEEL REINFORCEMENT) SHALL CONFORM TO 'BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES' (ACI 530-12/ASCE 5-12/TMS 402-12) AND 'SPECIFICATIONS FOR MASONRY STRUCTURES' (ACI 530.1-12/ASCE 6-12/TMS 602-12) IN ALL RESPECTS.

B. MASONRY BEARING WALLS SHALL CONSIST OF STANDARD HOLLOW UNITS CONFORMING TO ASTM C 90 UNLESS OTHERWISE NOTED. WHERE SOLID UNITS ARE REQUIRED, PROVIDE UNITS CONFORMING TO ASTM C 145.

C. ALL MORTAR SHALL CONFORM TO THE REQUIREMENTS FOR PROPORTIONS, MIXING, STRENGTH AND APPLICATION FOR PORTLAND CEMENT/LIME TYPE 'S' MORTAR AS DESCRIBED IN ACI 530-12.

D. ALL GROUT FILL IN MASONRY WALLS SHALL CONFORM TO ASTM C 476. SLUMP RANGE 8-11". PLACE GROUT IN 5'-0" MAXIMUM POUR HEIGHTS AND CONSOLIDATE BY MECHANICAL VIBRATION.

E. PROVIDE 5" DEPTH OF 110 % SOLID MASONRY BELOW ALL JOIST OR SLAB BEARING LINES. PROVIDE 16" HIGH X 16" LONG 100 % SOLID MASONRY BELOW ALL LINTELS AND BEAMS UNLESS NOTED OTHERWISE.

F. ALL MASONRY WALLS SHALL BE REINFORCED WITH NO. 9 GAGE TRUSS TYPE GALVANIZED DUR-O-WALL SPACED VERTICALLY AT 16" O.C. U.N.O. LAP ALL DUR-O-WALL 6" MINIMUM. PROVIDE CORNER AND TEE PIECES AT ALL INTERSECTIONS.

G. LOOSE LINTELS FOR MASONRY WALLS SHALL BE FOR EACH 4" WIDTH OF MASONRY ONE STEEL ANGLE AS FOLLOWS:

0'-0" TO 3'-0" 3-1/2" X 3-1/2" X 5/16"
3'-1" TO 5'-0" 4" X 3-1/2" X 5/16"
5'-1" TO 6'-6" 5" X 3-1/2" X 3/8"
6'-7" TO 8'-0" 6" X 3-1/2" X 3/8"

ALL ANGLES SHALL HAVE THEIR SHORT LEGS OUTSTANDING AND 6" MINIMUM BEARINGS.

5. STRUCTURAL STEEL

A. ALL STRUCTURAL STEEL SHALL CONFORM TO ASTM SPECIFICATION A-36 (LATEST LOCAL APPROVED). ALL STEEL SHALL BE DETAILED, FABRICATED, AND ERECTED IN ACCORDANCE WITH THE AISI MANUAL, AISI SPECIFICATION AND AISI CODE OF STANDARD PRACTICE.

B. ALL WELDED CONNECTIONS SHALL BE DONE WITH E70XX ELECTRODES. SHOP AND FIELD WELDS SHALL BE MADE BY APPROVED CERTIFIED WELDERS AND SHALL CONFORM TO THE AMERICAN WELDING SOCIETY CODE FOR BUILDINGS AWS D1.1. WELDS SHALL DEVELOP THE FULL STRENGTH OF MATERIALS BEING WELDED UNLESS OTHERWISE NOTED.

6. WOOD

A. STRUCTURAL SOLID WOOD RAFTERS, JOISTS, BEAMS AND STUDS SHALL BE HEM FIR #2 OR SPRUCE PINE FIR #2 SURFACED DRY AT A MAXIMUM OF 19 % MOISTURE CONTENT. ALL LUMBER EXPOSED TO WEATHER SHALL BE PRESSURE TREATED SOUTHERN PINE #2. ALL FABRICATION, ERECTION, OTHER PROCEDURES, AND MINIMUM UNIT STRESSES SHALL CONFORM TO THE CURRENT NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION.

B. WOOD TRUSSES SHALL BE DESIGNED, FABRICATED AND ERECTED IN ACCORDANCE WITH THE NATIONAL DESIGN STANDARD FOR METAL PLATE CONNECTED WOOD TRUSS CONSTRUCTION (ANSI/TPI 1) AND COMMENTARY AND RECOMMENDATIONS FOR HANDLING, INSTALLING AND BRACING METAL PLATE CONNECTED WOOD TRUSSES (HIB-91) AS PUBLISHED BY THE TRUSS PLATE INSTITUTE AND IN ACCORDANCE WITH THE 1991 EDITION OF THE NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION.

C. WOOD TRUSSES AND ENGINEERED FLOOR JOISTS ARE TO BE DESIGNED BY THE SUPPLIER. SHOP DRAWINGS SHALL BE SUBMITTED TO THE ENGINEER/ARCHITECT FOR REVIEW. ALL TRUSSES AND JOISTS SHALL BE DESIGNED TO LIMIT THE BEARING STRESS TO 425 PSI WHEN MEMBERS BEAR ON STUD WALLS. PROVIDE MEMBERS OF ADEQUATE WIDTH OR METAL CONNECTIONS TO LIMIT STRESSES TO THE SPECIFIED VALUE.

D. ALL LAMINATED VENEER LUMBER (LVL) OR PARALLEL STRAND LUMBER (PSL) SHALL HAVE THE FOLLOWING MINIMUM PROPERTIES: F_b=2600psi, F_v=285psi, E=1,400,000psi, F_c=2510psi(PARALLEL), F_c=150psi(PERPENDICULAR).

E. ALL DOUBLE MEMBERS SHALL BE NAILED TOGETHER WITH 2 ROWS OF 16d NAILS SPACED AT 12" O.C. ALL TRIPLE MEMBERS SHALL BE NAILED TOGETHER WITH 3 ROWS OF 16d NAILS SPACED AT 12" O.C. NAILED FROM EACH SIDE.

F. PROVIDE DOUBLE JOISTS AT PARALLEL PARTITIONS WHERE PARTITION LENGTH EXCEEDS 1/3 JOIST SPAN.

G. ALL NAILS ARE TO BE COMMON WIRE NAILS. NAILING OF ALL FRAMING SHALL BE AS SPECIFIED IN THE CONTRACT DOCUMENTS BUT IN NO CASE SHALL BE LESS THAN THE RECOMMENDED NAILING SCHEDULE CONTAINED IN THE 2000 INTERNATIONAL RESIDENTIAL CODE. ALL MULTIPLE STUD POSTS ARE TO BE NAILED TOGETHER WITH 12d NAILS @ 6" O.C. STAGGERED.

H. PROVIDE BRIDGING SPACED AT 48" O.C. IN FIRST TWO JOIST, RAFTER OR TRUSS SPACES WHEN FRAMING IS PARALLEL TO EXTERIOR WALL. NAIL SHEATHING (FLOOR, CEILING OR ROOF) TO BRIDGING AND NAIL BRIDGING TO EXTERIOR WALL PLATE. PROVIDE ONE ROW OF BRIDGING BETWEEN ALL FLOOR AND ROOF JOISTS FOR EACH 8'-0" OF SPAN. PROVIDE SOLID BLOCKING OR A CONTINUOUS RM JOIST AT THE BEARING OF JOISTS, RAFTERS OR TRUSSES ON WOOD PLATES.

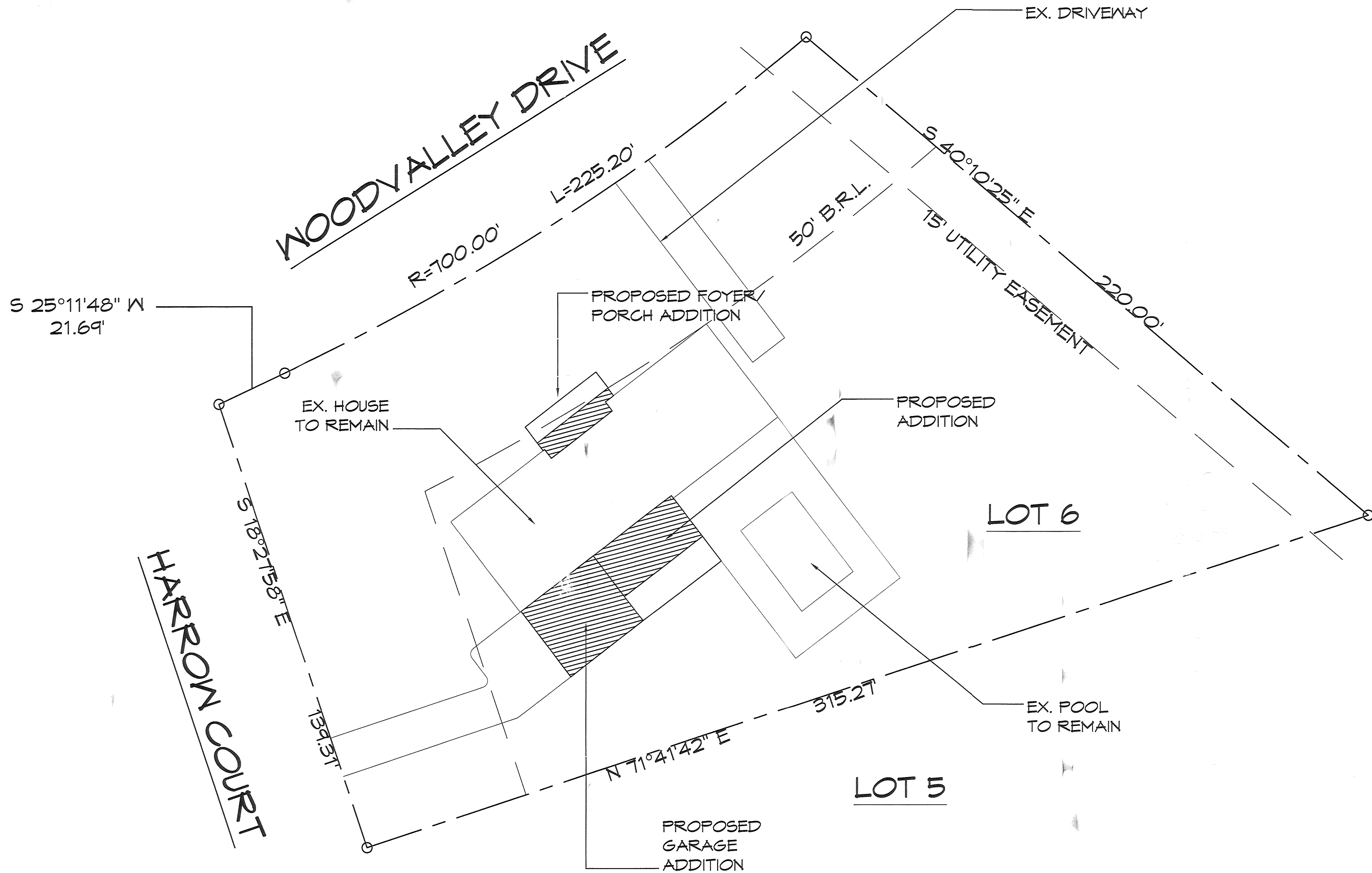
I. PROVIDE THE FOLLOWING JAMB STUDS AT ALL BEARING WALL OPENINGS UNLESS NOTED OTHERWISE.

0'-3" OPENING 1 JACK STUD, 1 KING STUD
3'-1" - 6'-0" OPENING 2 JACK STUDS, 1 KING STUD
6'-1" - 9'-0" OPENING 2 JACK STUDS, 2 KING STUDS

PROVIDE DOUBLE STUDS AT ALL CORNERS AND BENEATH ALL GIRDER TRUSSES AND WOOD BEAMS UNLESS NOTED OTHERWISE ON PLANS. WOOD BEAMS, GIRDER TRUSSES AND HEADERS SHALL BEAR THE FULL DEPTH OF POSTS AND JACK STUDS.

J. ALL POSTS (MULTIPLE STUDS OR SOLID POST) SUPPORTING BEAMS, WALL HEADERS OR GIRDER TRUSSES, SHALL BE BLOCKED SOLID FOR THE FULL LENGTH AND WIDTH OF POSTS AT ALL INTERSECTIONS WITH FLOORS AS REQUIRED TO PROVIDE CONTINUOUS SUPPORT TO TOP OF FOUNDATION WALLS OR BEAMS. POSTS SHOWN ON UPPER LEVELS FLOORS SHALL ALSO BE INSTALLED ON THE LOWER LEVELS IN LINE WITH THE POST ABOVE DOWN TO FOUNDATION WALLS OR BEAMS.

K. ALL FLUSH JOIST TO BEAM OR BEAM TO BEAM CONNECTIONS SHALL BE MADE WITH JOIST OR BEAM HANGERS TO SUPPORT THE LOAD CAPACITY INDICATED ON THE PLANS OR THE FULL CAPACITY OF THE JOIST OR BEAM. HANGERS SHALL BE PROVIDED BY SIMPSON STRONG TIE OR USP LUMBER CONNECTORS. THE SUPPLIER SHALL DESIGN ALL HANGERS FOR THE CAPACITY STATED. INSTALL ALL HANGERS IN STRICT CONFORMANCE TO THE MANUFACTURER'S INSTRUCTIONS. FILL ALL NAIL OR BOLT HOLES USING THE SPECIFIED NAILS AND BOLTS ONLY.



SITE PLAN

SCALE: 1"=20'-0"

REMODELING & ADDITIONS TO
THE GORODISKY RESIDENCE

PROJECT ADDRESS:
3213 WOODVALLEY DRIVE
PIKESVILLE, MD 21208

REVISED 10/18/2011
REVISED 10/17/2011
REVISED 10/14/2011

THE GORODISKY RESIDENCE

SCALE: NOTED

DATE: 10/20/11

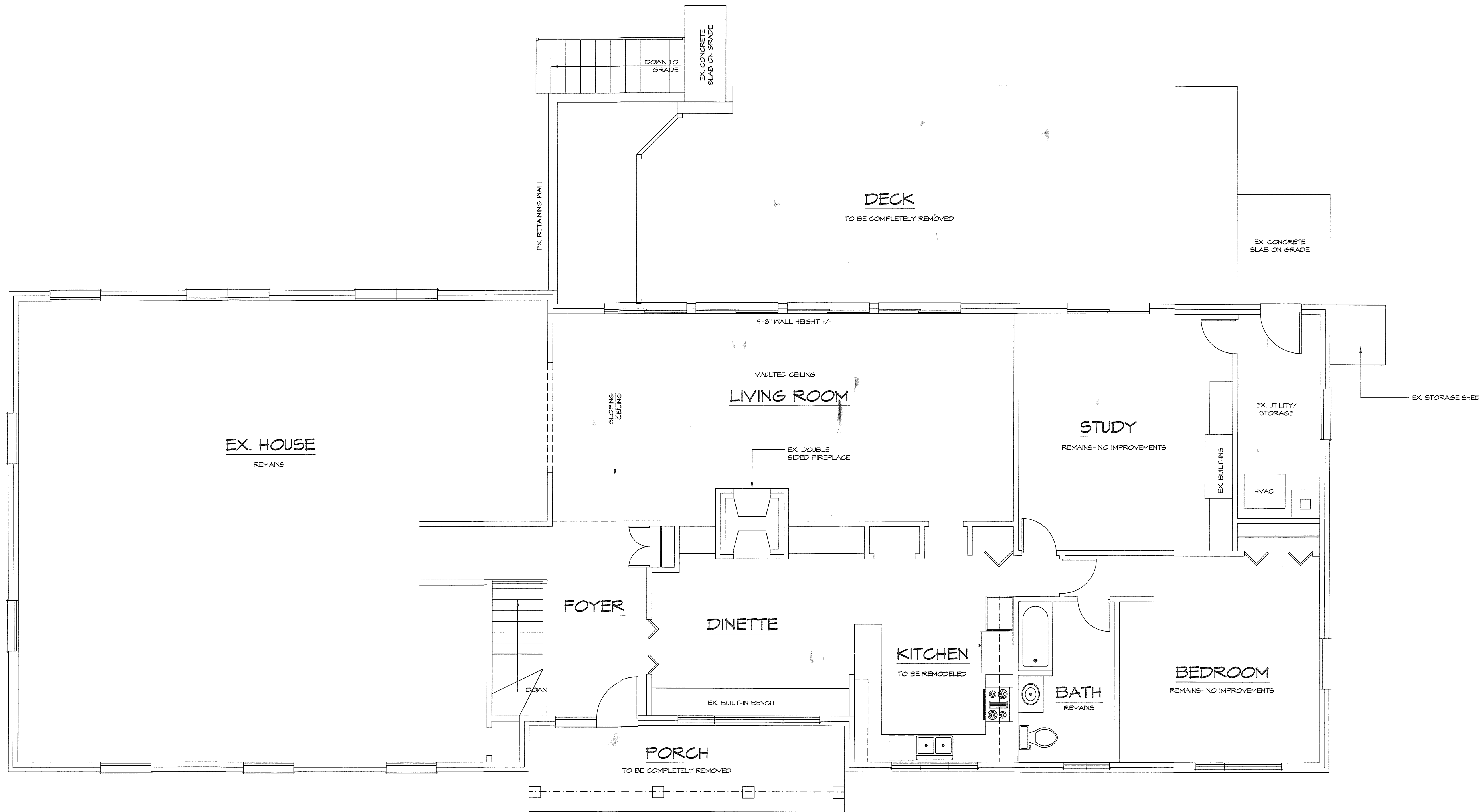
SHEET NO.: 1 OF 8

GBL CUSTOM HOME
DESIGN INC.

PO BOX 237 FINKSBURG, MD 21048

PHONE: 410-833-8320

2012-0148-A



EXISTING FIRST FLOOR PLAN
SCALE: 1/4"=1'-0"

REMODELING & ADDITIONS TO THE GORODISKY RESIDENCE

PROJECT ADDRESS:
3218 WOODVALLEY DRIVE
FIKESVILLE, MD 21208

REVISED 10/18/2011
REVISED 10/17/2011
REVISED 10/14/2011

THE GORODISKY RESIDENCE

SCALE: 1/4" = 1'-0"

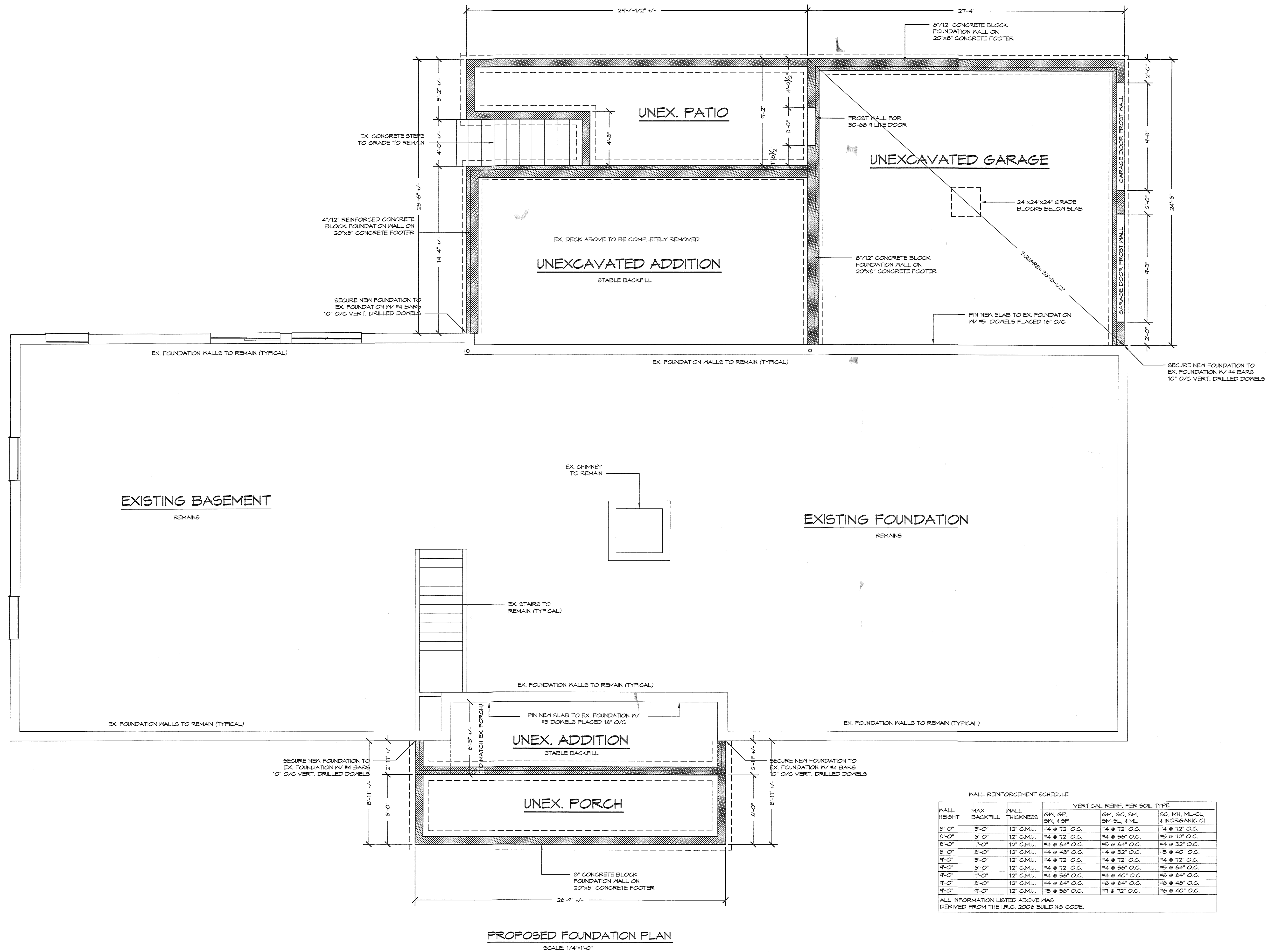
DATE: 10/2011

SHEET NO: 2 OF 8

GBL CUSTOM HOME
DESIGN INC.

PO BOX 237 FIKESBURG, MD 21048

PHONE 410-833-8320



WALL HEIGHT	MAX BACKFILL	WALL THICKNESS	VERTICAL REINF. PER SOIL TYPE		
			GM, GP, SW, & SP	GM, GC, SM, SM-SL, & ML	SC, MH, ML-CL, & INORGANIC CL
8'-0"	5'-0"	12" C.M.U.	#4 @ 12" O.C.	#4 @ 12" O.C.	#4 @ 12" O.C.
8'-0"	6'-0"	12" C.M.U.	#4 @ 12" O.C.	#4 @ 12" O.C.	#5 @ 12" O.C.
8'-0"	7'-0"	12" C.M.U.	#4 @ 12" O.C.	#5 @ 12" O.C.	#4 @ 12" O.C.
8'-0"	8'-0"	12" C.M.U.	#4 @ 12" O.C.	#5 @ 12" O.C.	#5 @ 12" O.C.
9'-0"	5'-0"	12" C.M.U.	#4 @ 12" O.C.	#4 @ 12" O.C.	#5 @ 12" O.C.
9'-0"	6'-0"	12" C.M.U.	#4 @ 12" O.C.	#4 @ 12" O.C.	#5 @ 12" O.C.
9'-0"	7'-0"	12" C.M.U.	#4 @ 12" O.C.	#4 @ 12" O.C.	#5 @ 12" O.C.
9'-0"	8'-0"	12" C.M.U.	#4 @ 12" O.C.	#4 @ 12" O.C.	#5 @ 12" O.C.
9'-0"	9'-0"	12" C.M.U.	#4 @ 12" O.C.	#4 @ 12" O.C.	#5 @ 12" O.C.

ALL INFORMATION LISTED ABOVE WAS DERIVED FROM THE I.R.C. 2006 BUILDING CODE.

REMODELING & ADDITIONS TO THE GORODISKY RESIDENCE

PROJECT ADDRESS:
3213 WOODVALLEY DRIVE
PIKESVILLE, MD 21208

REVISED 10/18/2011
REVISED 10/11/2011
REVISED 10/14/2011

THE GORODISKY RESIDENCE

SCALE: 1/4" = 1'-0"

DATE: 10/20/11

SHEET NO.: 3 OF 8

GBL CUSTOM HOME
DESIGN INC.

PO BOX 237 PIKESVILLE, MD 21048

PHONE 410-833-8320

REMODELING & ADDITIONS TO THE GORODISKY RESIDENCE

PROJECT ADDRESS:
3215 HODD VALLEY DRIVE
PIKESVILLE, MD 21208

REVISED 10/18/2011
REVISED 10/17/2011
REVISED 10/14/2011

THE GORODISKY RESIDENCE

SCALE: 1/4" = 1'-0"

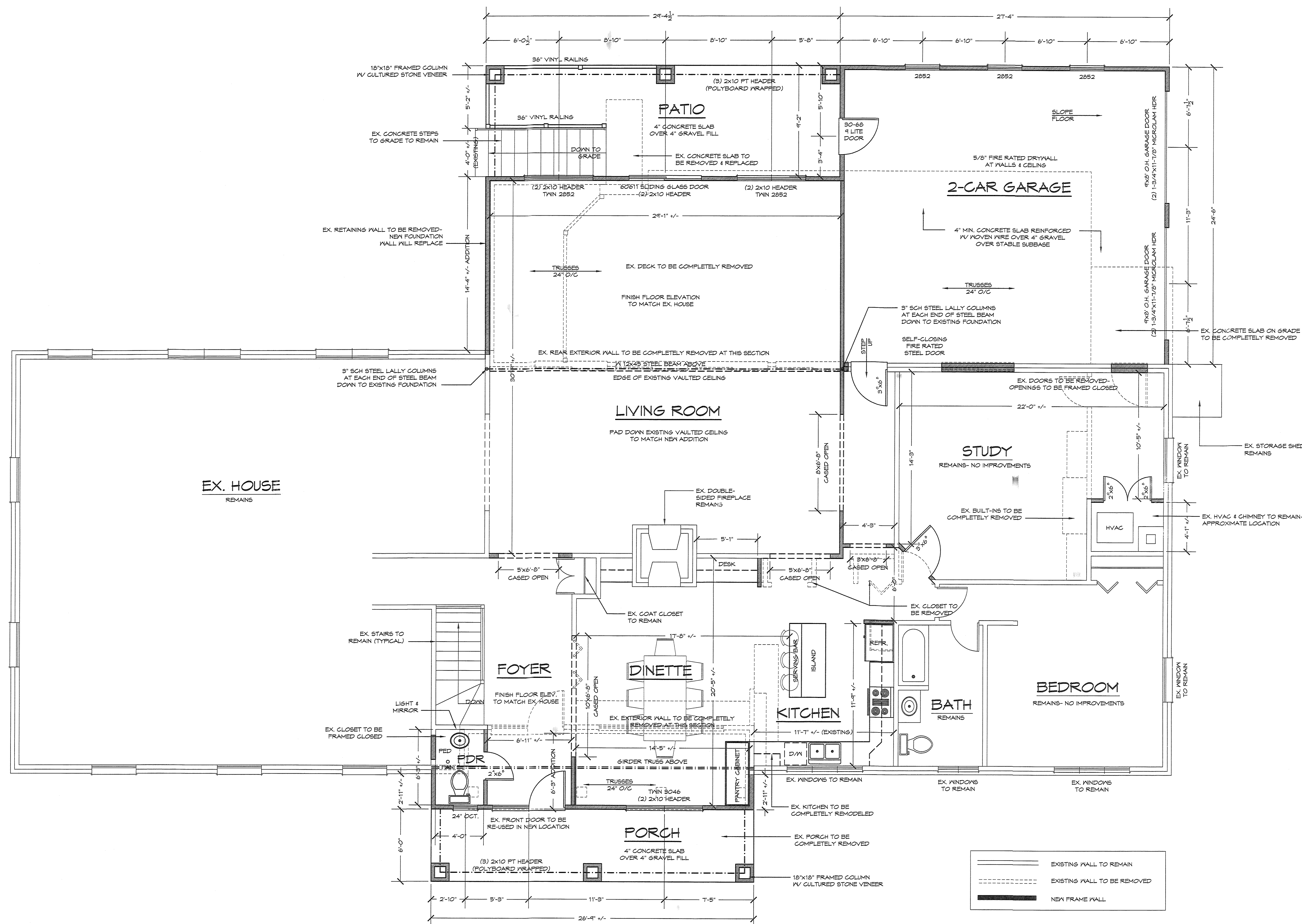
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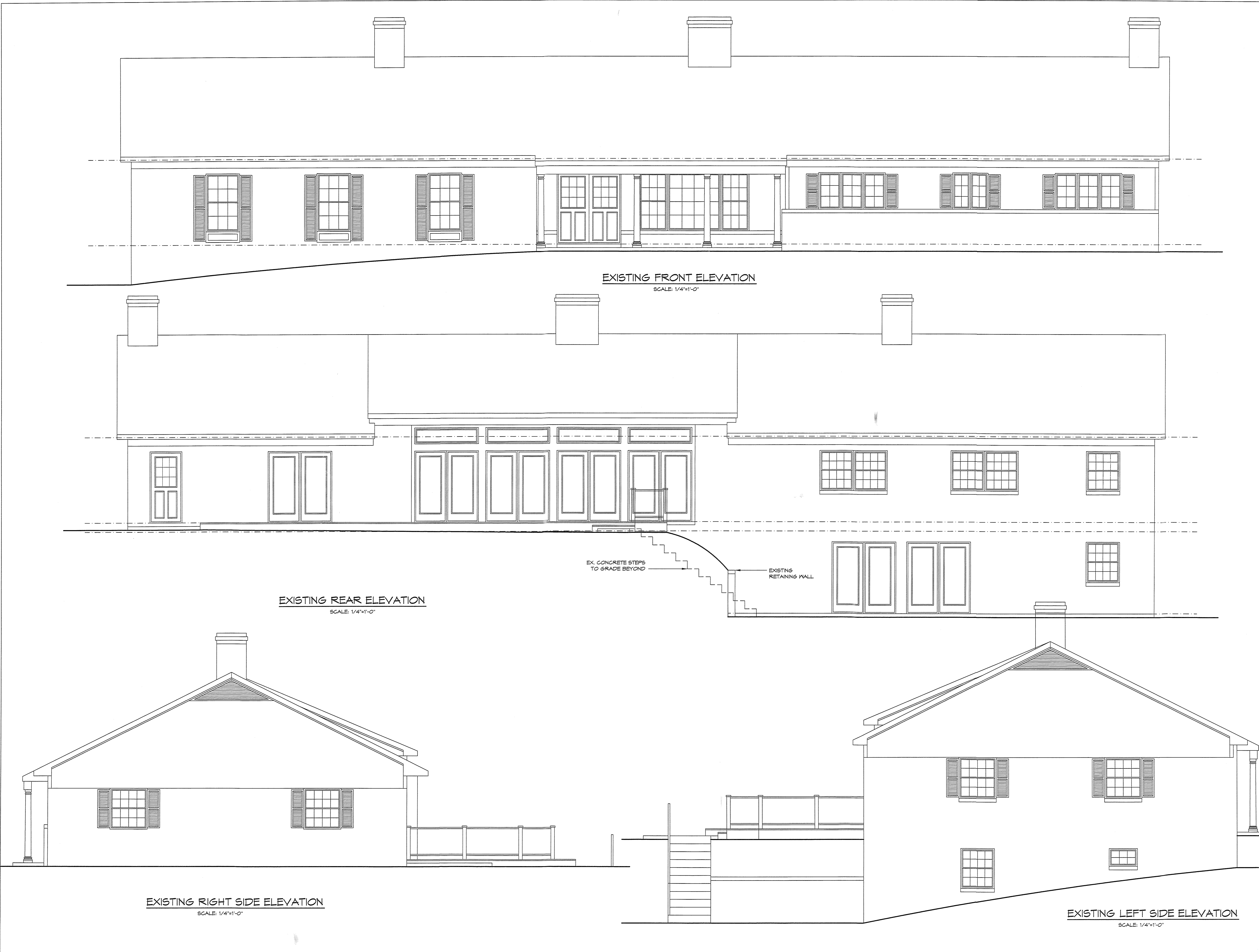
SHEET NO.: 4 OF 8

GHL CUSTOM HOME
DESIGN INC.

PO BOX 237 PIKESBURG, MD 21048

PHONE 410-833-8320





REMODELING & ADDITIONS TO THE GORODISKY RESIDENCE

PROJECT ADDRESS:
3213 WOODVALLEY DRIVE
PIKESVILLE, MD 21208

REVISED 10/16/2011
REVISED 10/17/2011
REVISED 10/14/2011

FILE NUMBER
THE GORODISKY RESIDENCE

SCALE: 1/4" = 1'-0"

DATE: 10/2011

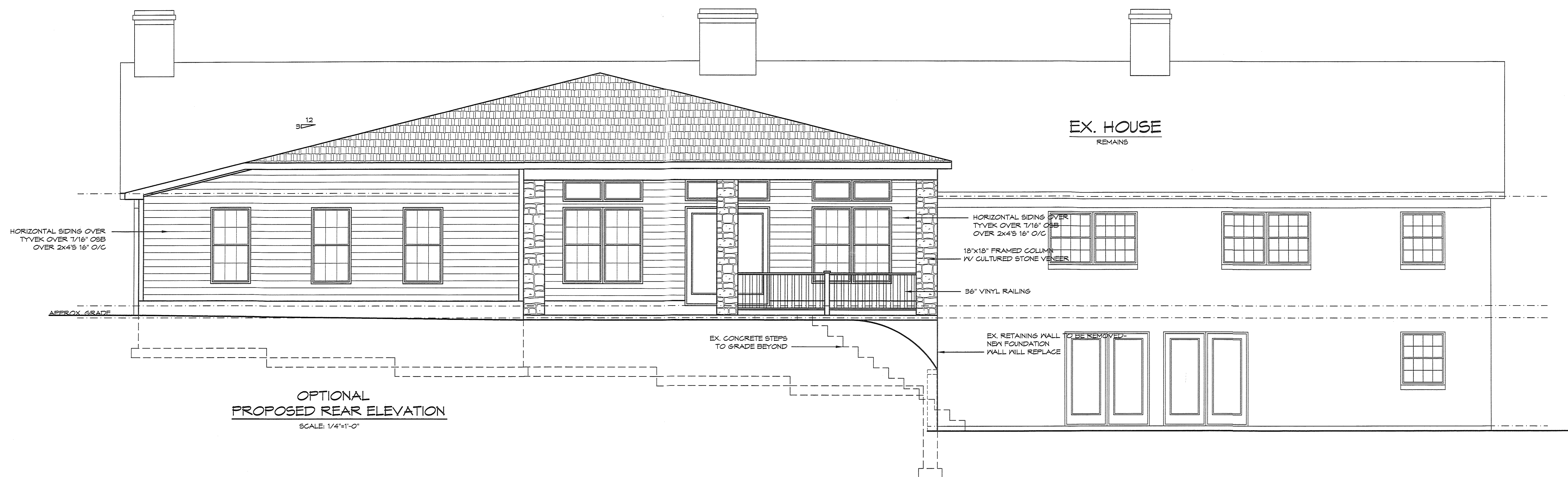
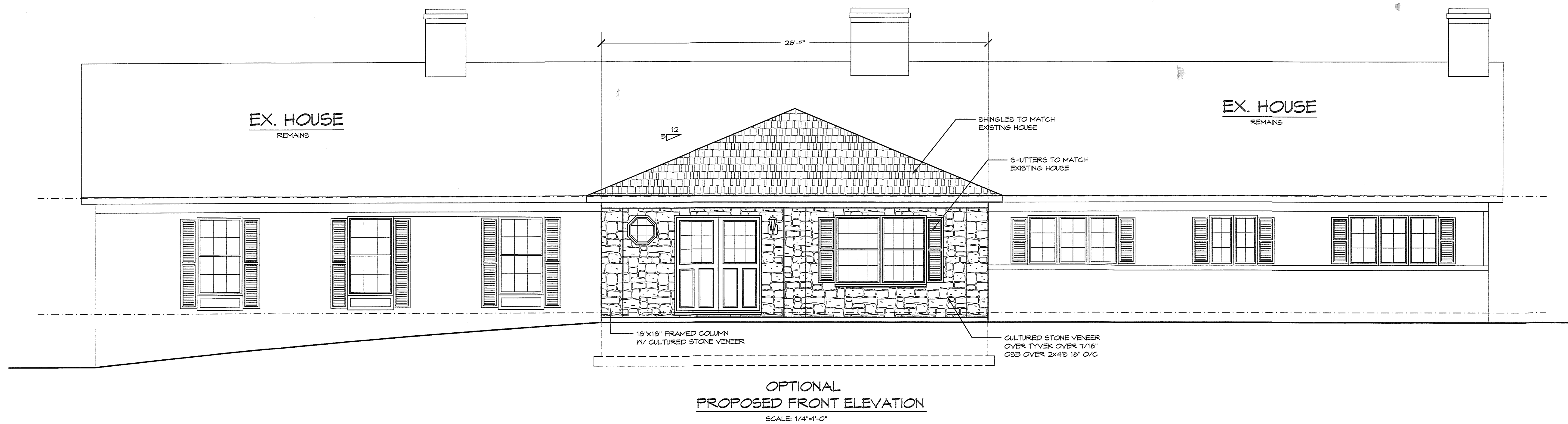
SHEET NO.: 5 OF 8

GBL CUSTOM HOME
DESIGN INC.

PO BOX 237 FINKSBURG, MD 21048

PHONE 410-833-8320

REMODELING & ADDITIONS TO
THE GORODISKY RESIDENCE



PROJECT ADDRESS:
3213 WOODVALLEY DRIVE
PIKESVILLE, MD 21208

REVISED 10/18/2011
REVISED 10/17/2011
REVISED 10/14/2011

THE GORODISKY RESIDENCE

SCALE: 1/4" = 1'-0"

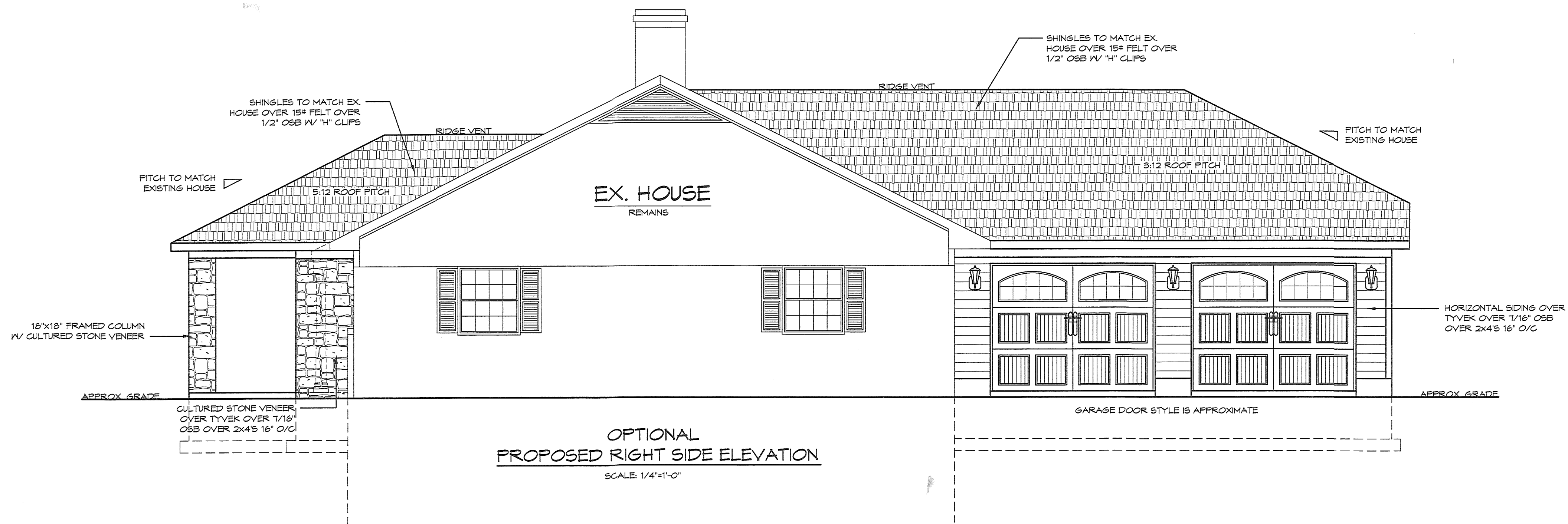
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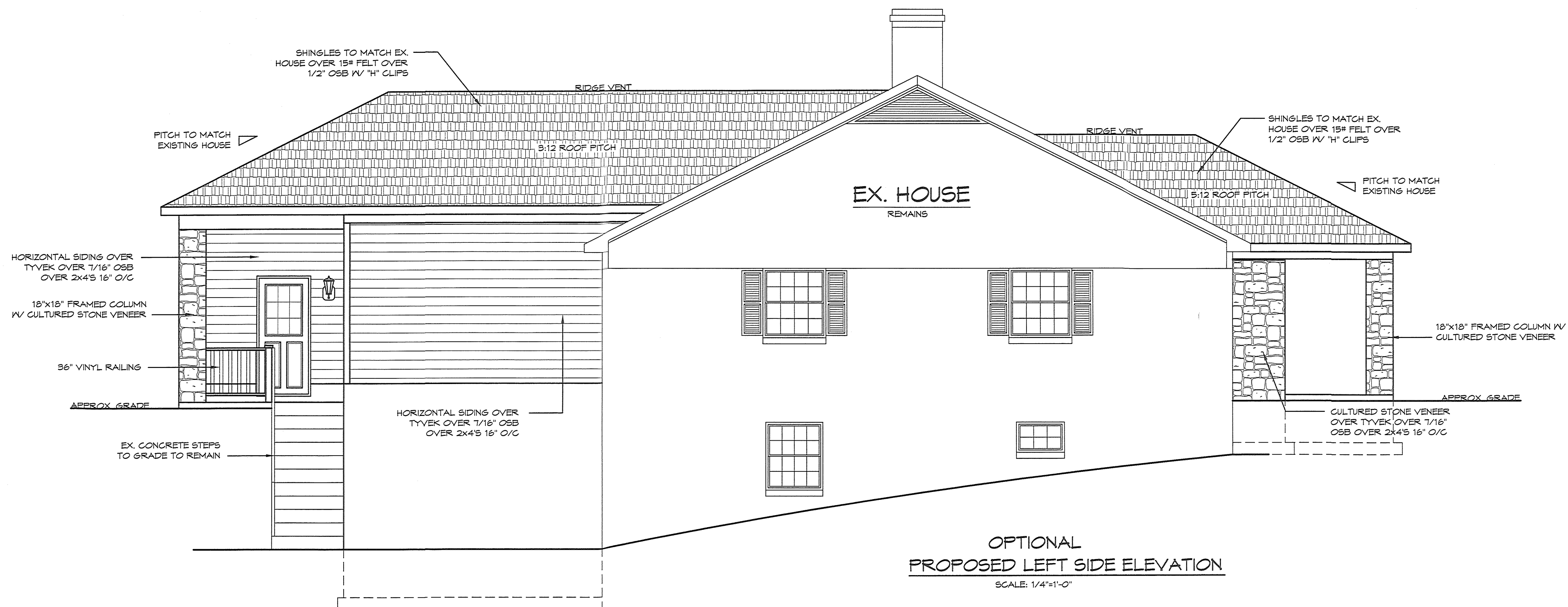
GBL CUSTOM HOME
DESIGN INC.

PO BOX 237 PIKESBURG, MD 21048

PHONE: 410-833-8320



OPTIONAL
PROPOSED RIGHT SIDE ELEVATION
SCALE: 1/4"=1'-0"



OPTIONAL
PROPOSED LEFT SIDE ELEVATION
SCALE: 1/4"=1'-0"

REMODELING & ADDITIONS TO THE GORODISKY RESIDENCE

PROJECT ADDRESS:
3219 WOODVALLEY DRIVE
PIKESVILLE, MD 21208

REVISED 10/18/2011
REVISED 10/17/2011
REVISED 10/14/2011

THE GORODISKY RESIDENCE

SCALE: 1/4" = 1'-0"

DATE: 10/20/11

SHEET NO.: 7 OF 8

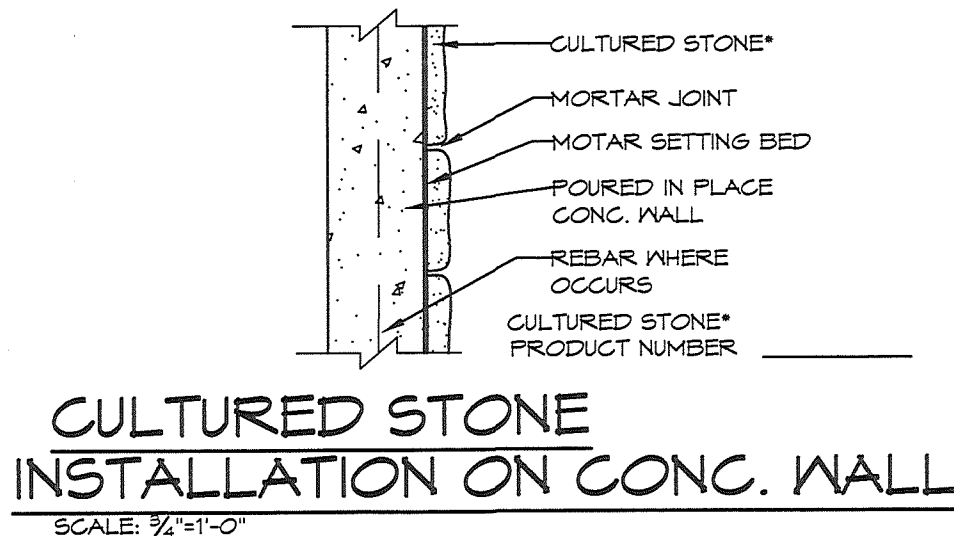
GBL CUSTOM HOME
DESIGN INC.

PO BOX 237 FINKSBURG, MD 21048

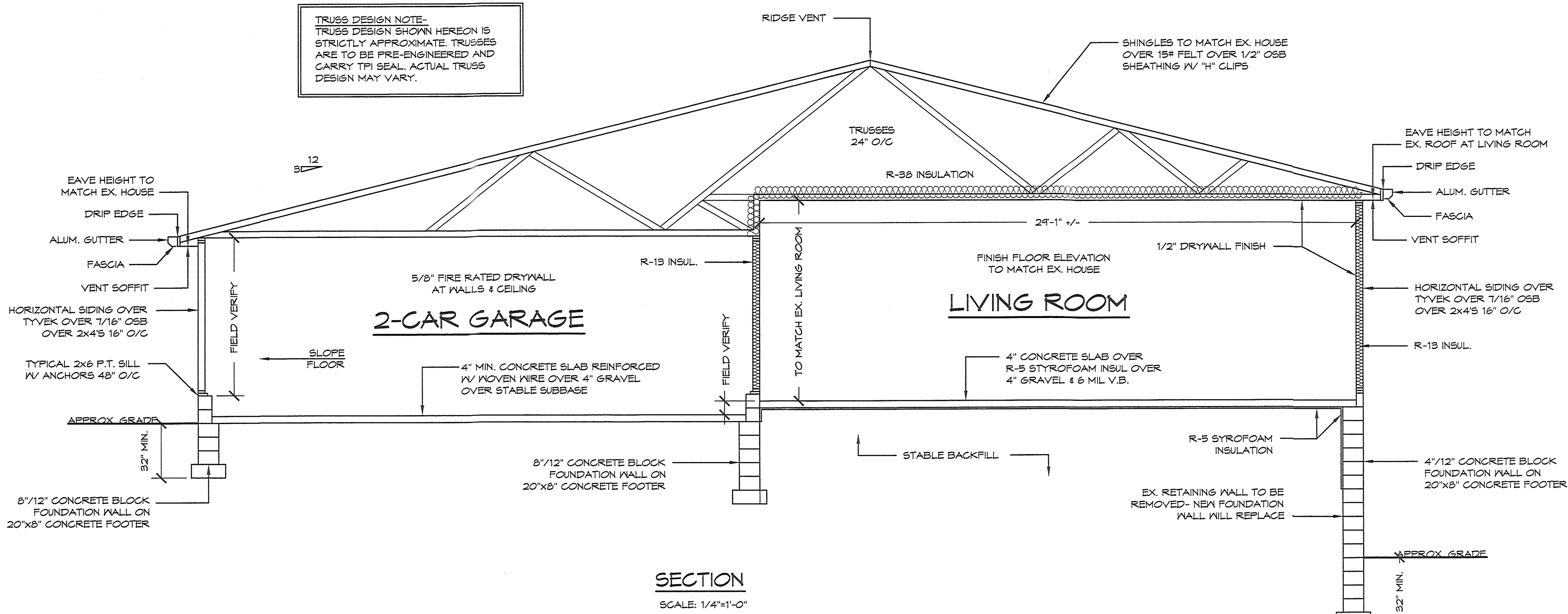
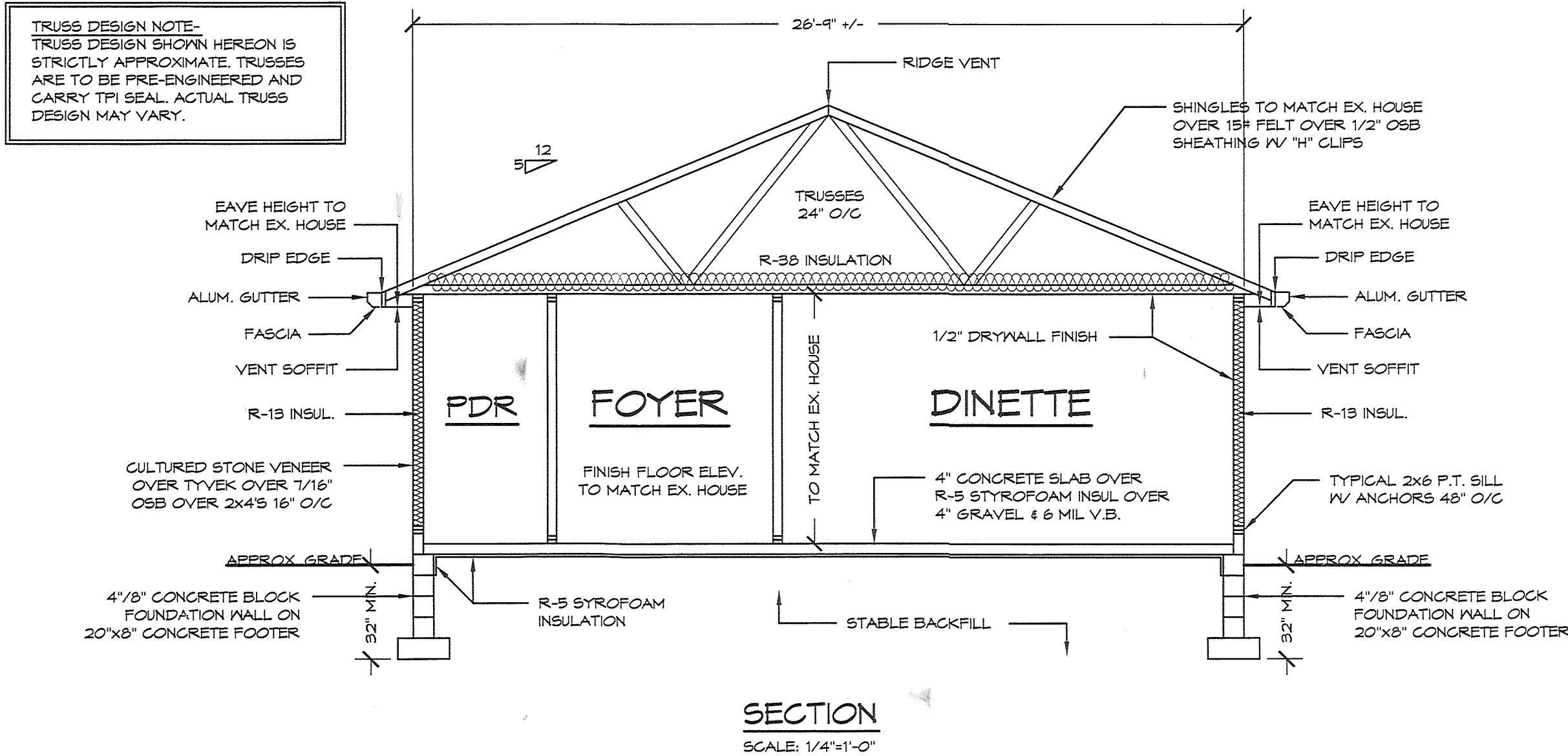
PHONE 410-833-8320

2009 IECC CODE COMPLIANCE

- 301.1 CLIMATE ZONE 4A
COMPLIANCE METHOD:
MANDATORY AND PRESCRIPTIVE PROVISIONS
- 402.1.1 EXTERIOR FRAME WALL CONSTRUCTION:
2x4 STUDS AT 16" O/C
R-19 KRAFT FACED BATT INSULATION
7/16" O.S.B. (CONTINUOUS)
HOUSEWRAP
- 402.1.1 ATTIC INSULATION:
R-38
- 402.1.1 BASEMENT WALL INSULATION:
R-10 FOIL FACED CONTINUOUS, UNINTERRUPTED BATTS FULL HEIGHT
- 402.1.1 CRAWL SPACE WALL INSULATION:
R-10 FOIL FACED CONTINUOUS BATTS FULL HEIGHT, EXTENDING FROM FLOOR ABOVE TO FINISH GRADE LEVEL AND THEN VERTICALLY OR HORIZONTALLY AN ADDITIONAL 2'-0"
- 402.1.1 FLOOR INSULATION OVER UNCONDITIONED SPACE:
R-19 BATT INSULATION
- 402.1.1 WINDOW U-VALUE / SHGC
34 (U-VALUE)
31 (SHGC)
- 402.1.1 SLAB ON GRADE FLOORS LESS THAN 12" BELOW GRADE:
R-10 RIGID FOAM BOARD UNDER SLAB EXTENDING EITHER 2'-0" HORIZONTALLY OR VERTICALLY
- 402.2.3 ATTIC ACCESS:
ATTIC ACCESS SCUTTLE WILL BE WEATHERSTRIPPED AND INSULATED R-38
- 402.4.1 BUILDING THERMAL ENVELOPE (AIR LEAKAGE):
EXTERIOR WALLS AND PENETRATIONS WILL BE SEALED PER THIS SECTION OF THE 2009 IECC WITH CAULK, GASKETS, WEATHERSTRIPPING OR AN AIR BARRIER OF SUITABLE MATERIAL
- 402.4.2 BUILDING ENVELOPE TIGHTNESS TEST OPTION:
BUILDING ENVELOPE TIGHTNESS AND INSULATION INSTALLATION MUST MEET THE INSPECTION CRITERIA LISTED IN TABLE 402.4.2. A "BLOWER DOOR AIR INFILTRATION TEST" SHALL BE PERFORMED IN ALL UNITS
- 402.4.3 FIREPLACES:
ALL WOOD BURNING MASONRY FIREPLACES WILL HAVE GASKETED DOORS AND OUTDOOR COMBUSTION AIR. GASKETED DOORS ARE NOT REQUIRED FOR PREFABRICATED FIREPLACE UNITS
- 402.4.5 RECESSED LIGHTING:
RECESSED LUMINAIRES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO LIMIT AIR LEAKAGE
- 403.1.1 THERMOSTAT:
ALL DWELLING UNITS WILL HAVE AT LEAST (1) PROGRAMMABLE THERMOSTAT FOR EACH SEPARATE HEATING AND COOLING SYSTEM PER 2009 IECC SECTION 403.1
WHERE A HEAT PUMP SYSTEM HAVING SUPPLEMENTARY ELECTRIC RESISTANCE HEAT IS USED THE THERMOSTAT SHALL PREVENT THE SUPPLEMENTARY HEAT FROM COMING ON WHEN HEAT PUMP CAN MEET HEATING LOAD
- 403.2.1 MECHANICAL DUCT INSULATION:
SUPPLY DUCTS IN ATTIC R-8 MINIMUM
SUPPLY DUCTS OUTSIDE OF CONDITIONED SPACES R-6 MINIMUM
ALL OTHER DUCTS EXCEPT THOSE LOCATED COMPLETELY INSIDE THE BUILDING THERMAL ENVELOPE R-6 MINIMUM. DUCTS LOCATED UNDER CONCRETE SLABS MUST BE R-6 MINIMUM
- 403.2.2 DUCT SEALING:
ALL DUCTS, AIR HANDLERS, FILTER BOXES WILL BE SEALED. JOINTS AND SEAMS WILL COMPLY WITH SECTION M1601.4.1 OF THE IRC.
A DUCT TIGHTNESS TEST ("DUCT BLASTER" DUCT TOTAL LEAKAGE TEST) WILL BE PERFORMED ON ALL HOMES AND SHALL BE VERIFIED BY EITHER A POST CONSTRUCTION TEST OR A ROUGH-IN TEST. DUCT TIGHTNESS TEST IS NOT REQUIRED IF THE AIR HANDLER AND ALL DUCTS ARE LOCATED WITHIN THE CONDITIONED SPACE
- 403.5 MECHANICAL VENTILATION:
OUTDOOR (MAKE-UP) AIR WILL BE BROUGHT INTO THE HOME THRU A DUCT WITH AN AUTOMATIC OR GRAVITY DAMPER
- 403.6 EQUIPMENT SIZING:
ALL FURNACES WILL BE 80% EFFICIENT FURNACES
- 404.1 LIGHTING EQUIPMENT:
A MINIMUM OF 50% OF ALL LAMPS (LIGHTS) MUST BE HIGH-EFFICACY LAMPS
- WATER HEATER:
MINIMUM EFFICIENCY ESTABLISHED BY NAECA
- MECHANICAL TESTING:
ALL MECHANICAL TESTING TO BE PERFORMED BY CONTRACTOR
THIS CONTRACTOR ALSO RESPONSIBLE FOR GENERATING CERTIFICATE OF COMPLIANCE AND AFFIXING TO ELECTRIC PANEL



TRUSS DESIGN NOTE-
TRUSS DESIGN SHOWN HEREON IS
STRICTLY APPROXIMATE. TRUSSES
ARE TO BE PRE-ENGINEERED AND
CARRY THE SEAL. ACTUAL TRUSS
DESIGN MAY VARY.



REMODELING & ADDITIONS TO
THE GORODISKY RESIDENCE

PROJECT ADDRESS:
5219 WOODVALLEY DRIVE
Pikesville, MD 21208

REVISED 10/18/2011
REVISED 10/17/2011
REVISED 10/14/2011

THE GORODISKY RESIDENCE

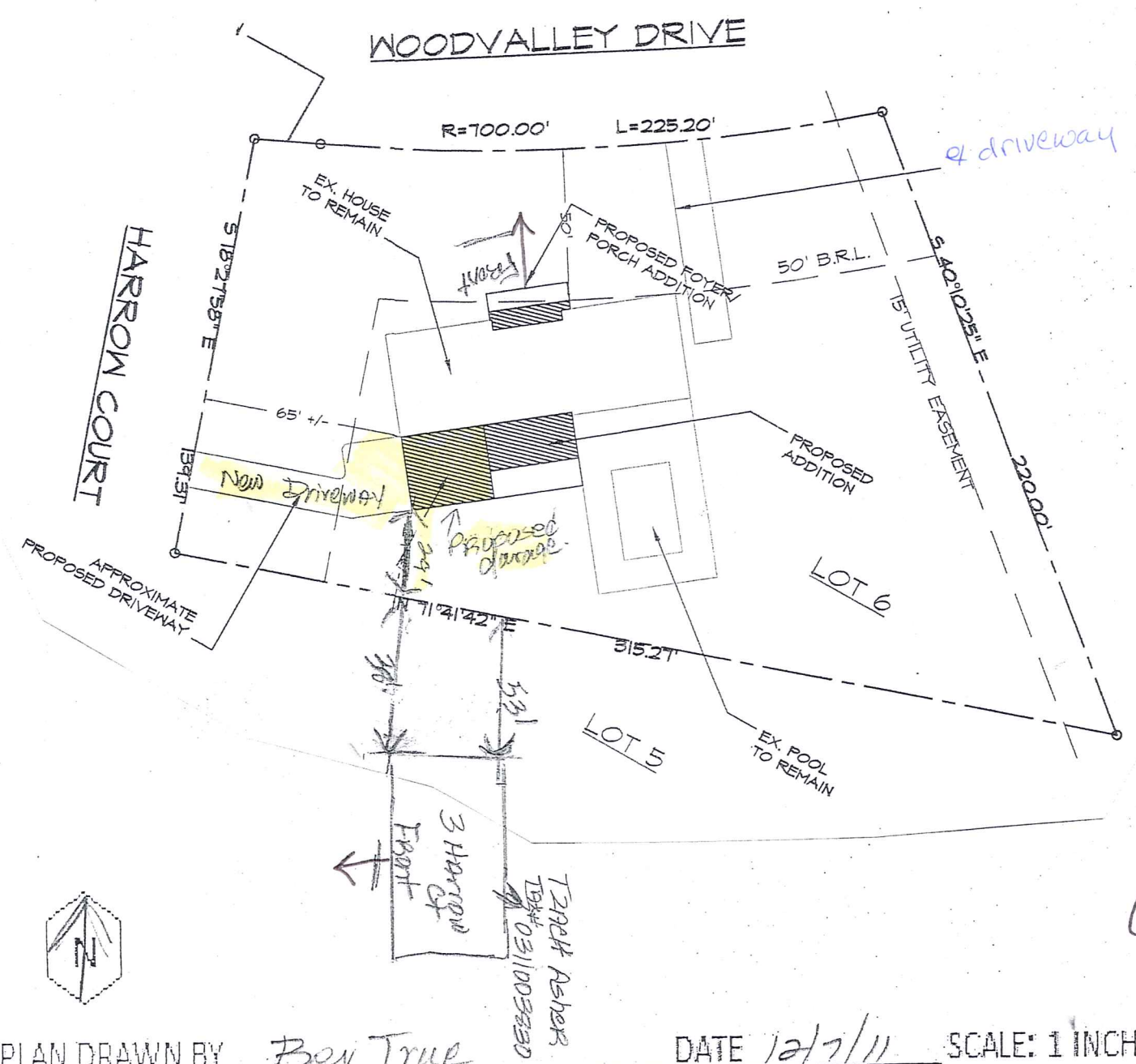
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DATE: 10/20/11

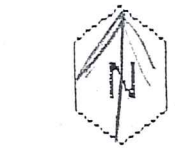
SHEET NO.: 8 OF 8

GBL CUSTOM HOME
DESIGN INC.
PO BOX 237 FINKSBURG, MD 21048
PHONE 410-833-8320

ZONING HEARING PLAN FOR VARIANCE X FOR SPECIAL HEARING _____ (MARK TYPE REQUESTED WITH X)
 ADDRESS 3213 Woodvalley Drive OWNER(S) NAME(S) VAL & Isabelle Capodischi
 SUBDIVISION NAME HALCYON GATE LOT # 6 BLOCK # C SECTION # _____
 PLAT BOOK # 28 FOLIO # 101 10 DIGIT TAX # 0303060171 DEED REF. # 31263100469



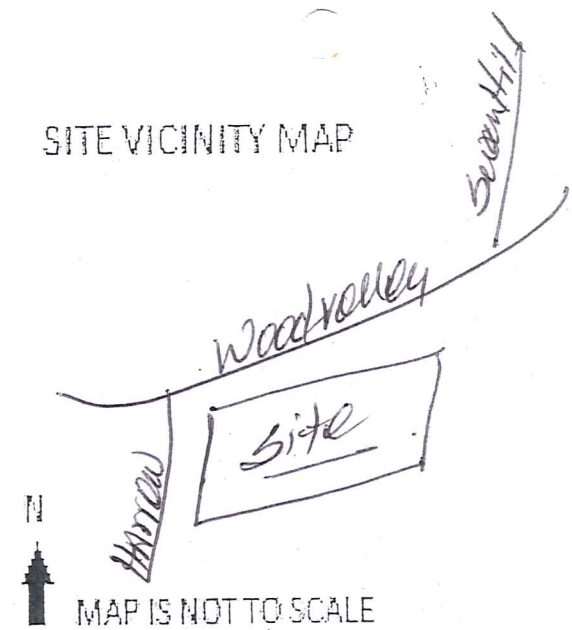
Case No. 2012-0143-A



PLAN DRAWN BY Ben True DATE 12/7/11 SCALE: 1 INCH = 50 FEET

EX. 1

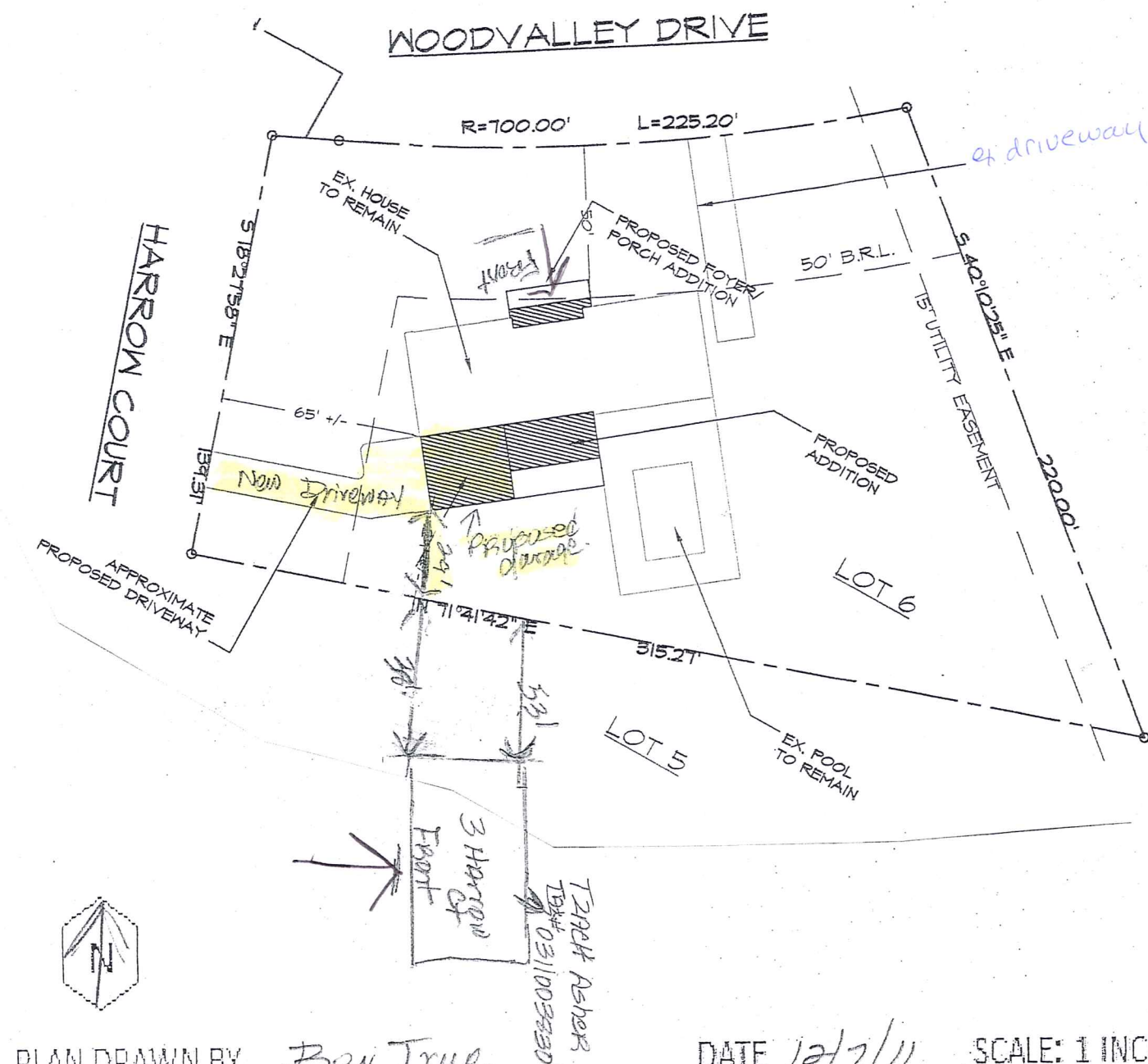
SITE VICINITY MAP



ZONING MAP# 06SC2
 SITE ZONED DR1
 ELECTION DISTRICT 3
 COUNCIL DISTRICT 2
 LOT AREA ACREAGE 1.11 ACRES
 OR SQUARE FEET _____
 HISTORIC? NO
 IN CBCA? NO
 IN FLOOD PLAIN? NO
 UTILITIES? MARK WITH X
 WATER IS:
 PUBLIC X PRIVATE _____
 SEWER IS:
 PUBLIC X PRIVATE _____
 PRIOR HEARING? NO
 IF SO GIVE CASE NUMBER
 AND ORDER RESULT BELOW

VIOLATION CASE INFO:

ZONING HEARING PLAN FOR VARIANCE X FOR SPECIAL HEARING _____ (MARK TYPE REQUESTED WITH X)
 ADDRESS 3213 Woodvalley Drive OWNER(S) NAME(S) VAL & ISABELLE GORDISKY
 SUBDIVISION NAME HALCYON GATE LOT # 6 BLOCK # C SECTION # _____
 PLAT BOOK # 28 FOLIO # 101 10 DIGIT TAX # 0302060121 DEED REF. # 31265100469



Case No. 2012-0143-A

PLAN DRAWN BY Ben True DATE 12/7/11 SCALE: 1 INCH = 50 FEET

SITE VICINITY MAP



MAP IS NOT TO SCALE

ZONING MAP# 06SC2
 SITE ZONED DR1
 ELECTION DISTRICT 3
 COUNCIL DISTRICT 2
 LOT AREA ACREAGE 1.11 ACRES
 OR SQUARE FEET _____
 HISTORIC? NO
 IN CBCA? NO
 IN FLOOD PLAIN? NO
 UTILITIES? MARK WITH X
 WATER IS:
 PUBLIC X PRIVATE _____
 SEWER IS:
 PUBLIC X PRIVATE _____
 PRIOR HEARING? NO
 IF SO GIVE CASE NUMBER
 AND ORDER RESULT BELOW

VIOLATION CASE INFO: