



KEVIN KAMENETZ
County Executive

LAWRENCE M. STAHL
Managing Administrative Law Judge
JOHN E. BEVERUNGEN
Administrative Law Judge

November 19, 2012

Charles P. Roe
Yvonne M. Roe
1236 East Riverside Avenue
Baltimore, Maryland 21221

RE: Petitions for Special Hearing and Variance
Case No.: 2013-0004-SPHA
Property: 1236 East Riverside Road

Dear Mr. and Mrs. Roe:

Enclosed please find a copy of the decision rendered in the above-captioned matter.

In the event any party finds the decision rendered is unfavorable, any party may file an appeal to the County Board of Appeals within thirty (30) days of the date of this Order. For further information on filing an appeal, please contact the Office of Administrative Hearings at 410-887-3868.

Sincerely,


JOHN E. BEVERUNGEN
Administrative Law Judge
for Baltimore County

JEB:dlw
Enclosure

IN RE: PETITIONS FOR SPECIAL HEARING *
AND VARIANCE
(1236 E. Riverside Avenue) *
15th Election District
6th Councilmanic District *
Charles P. and Yvonne M. Roe
Petitioners *

BEFORE THE
OFFICE OF
ADMINISTRATIVE HEARINGS
FOR BALTIMORE COUNTY
Case No. 2013-0004-SPHA

* * * * *

OPINION AND ORDER

This matter comes before the Office of Administrative Hearings (OAH) for consideration of Petitions for Special Hearing and Variance filed by Charles P. and Yvonne M. Roe, legal owners. The Special Hearing was filed pursuant to § 500.7 of the Baltimore County Zoning Regulations ("B.C.Z.R."), to determine whether or not the Administrative Law Judge should approve a second story over an existing detached garage in the rear yard with a bathroom, sink, commode, and shower. In addition, a Petition for Variance was filed pursuant to § 400.3 of the B.C.Z.R., to approve a second story above an existing detached garage in the rear yard with a combined height total of 21' in lieu of the maximum allowed 15'. The subject property and requested relief is more fully depicted on the site plan that was marked and accepted into evidence as Petitioners' Exhibit 4.

Appearing at the public hearing in support of the requests was Charles P. and Yvonne M. Roe, and Timothy L. LaBon. The file reveals that the Petition was properly advertised and the site was properly posted as required by the Baltimore County Zoning Regulations. There were no Protestants in attendance, and the file does not contain any letters of protest or opposition.

The Zoning Advisory Committee (ZAC) comments were received and are made part of the record of this case. A ZAC comment was received from the Department of Environmental

ORDER RECEIVED FOR FILING

Date 11-19-12

By DSW

Protection and Sustainability (DEPS) on September 21, 2012, indicating that Petitioners were obliged to comply with certain Critical Area regulations, as set forth in B.C.Z.R. § 500.14.

The subject property is 20,000 square feet and is zoned DR 3.5. The Petitioners acquired the property 20 years ago, and in 2001 constructed an attractive new single-family dwelling on the site, pursuant to relief granted in a former zoning case, Case No. 01-292-A. Since that time, the Petitioners have had two (2) children, and they now want to construct the proposed garage addition to use as a family game room and play space for the kids. The Petitioners have engaged a builder, and submitted a rendering of the proposed addition (Exhibit 2) as well as a set of construction drawings and blueprints (Exhibit 3). The proposed addition is attractive and professionally designed, and the Petitioners indicated that the exterior of the garage will complement and be similar in appearance to the existing single-family dwelling.

With regard to the special hearing relief, there was no evidence presented that the proposed addition to the garage would negatively impact the neighborhood. The Petitioners indicated that their neighbors are supportive of their request, and they testified that the garage will not be used as overnight living quarters. As such, the special hearing relief will be granted.

Based upon the testimony and evidence presented, I will also grant the request for variance relief. Under *Cromwell* and its progeny, to obtain variance relief requires a showing that:

- (1) The property is unique; and
- (2) If variance relief is denied, Petitioner will experience a practical difficulty or hardship.

Trinity Assembly of God v. People's Counsel, 407 Md. 53, 80 (2008).

Petitioners have met this test. As former Zoning Commissioner Schmidt noted in 2001, the Petitioners' lot is narrow and deep, and is therefore unique for zoning purposes. I also find that

ORDER RECEIVED FOR FILING

Date 11-19-12

2

By LSW

strict compliance with the B.C.Z.R. would result in practical difficulty or unreasonable hardship, given that Petitioners would be unable to construct the garage as planned. Finally, I find that the variance can be granted in harmony with the spirit and intent of the B.C.Z.R., and in such manner as to grant relief without injury to the public health, safety, and general welfare. This is demonstrated by the absence of opposition from the community and County reviewing agencies.

Pursuant to the advertisement, posting of the property, and public hearing, and after considering the testimony and evidence offered, I find that Petitioners' Special Hearing and Variance requests should be granted.

THEREFORE, IT IS ORDERED this 19th day of November, 2012, by this Administrative Law Judge, that Petitioners' request for Special Hearing filed pursuant to § 500.7 of the Baltimore County Zoning Regulations ("B.C.Z.R."), to approve a second story over an existing detached garage in the rear yard with a bathroom, sink, commode, and shower, be and is hereby GRANTED.

IT IS FURTHER ORDERED that Petitioners' Variance request from § 400.3 of the B.C.Z.R., to approve a second story above an existing detached garage in the rear yard with a combined height total of 21' in lieu of the maximum allowed 15', be and is hereby GRANTED.

The relief granted herein shall be subject to the following:

1. Petitioners may apply for their appropriate permits and be granted same upon receipt of this Order; however, Petitioners are hereby made aware that proceeding at this time is at their own risk until such time as the 30-day appellate process from this Order has expired. If, for whatever reason, this Order is reversed, Petitioners would be required to return, and be responsible for returning, said property to its original condition.
2. No commercial activity in garage.
3. No overnight habitation.

ORDER RECEIVED FOR FILING

Date 11-19-12

By DW

Any appeal of this decision must be made within thirty (30) days of the date of this

Order.

JEB/dlw



JOHN E. BEVERUNGEN
Administrative Law Judge
for Baltimore County

ORDER RECEIVED FOR FILING

Date 11-19-12

By dlw



PETITION FOR ZONING HEARING(S)

To be filed with the Department of Permits, Approvals and Inspections

To the Office of Administrative Law of Baltimore County for the property located at:

Address 1236 E. RIVERSIDE RD. which is presently zoned DR-3.5
Deed References: 153261/60587 10 Digit Tax Account # 1515690180
Property Owner(s) Printed Name(s) CHARLES P. & YVONNE M. ROE

(SELECT THE HEARING(S) BY MARKING ☒ AT THE APPROPRIATE SELECTION AND PRINT OR TYPE THE PETITION REQUEST)

The undersigned legal owner(s) of the property situate in Baltimore County and which is described in the description and plan attached hereto and made a part hereof, hereby petition for:

1. ☒ a Special Hearing under Section 500.7 of the Zoning Regulations of Baltimore County, to determine whether or not the Zoning Commissioner should approve A second story over an existing detached garage in rear yard with a bathroom, sink, commode and shower.
(to be detailed at the hearing)
2. ☐ a Special Exception under the Zoning Regulations of Baltimore County to use the herein described property for

3. ☒ a Variance from Section(s) 400.3

(to be detailed at the hearing)

of the zoning regulations of Baltimore County, to the zoning law of Baltimore County, for the following reasons:
(Indicate below your hardship or practical difficulty or indicate below "TO BE PRESENTED AT HEARING". If you need additional space, you may add an attachment to this petition) To approve a second story above an existing detached garage in rear yard with a combined height total of 18 feet. in lieu of the maximum allowed 15

Property is to be posted and advertised as prescribed by the zoning regulations.

I, or we, agree to pay expenses of above petition(s), advertising, posting, etc. and further agree to and are to be bounded by the zoning regulations and restrictions of Baltimore County adopted pursuant to the zoning law for Baltimore County.

Legal Owner(s) Affirmation: I / we do so solemnly declare and affirm, under the penalties of perjury, that I / We are the legal owner(s) of the property which is the subject of this / these Petition(s).

Contract Purchaser/Lessee:

Name- Type or Print

Signature

Mailing Address City State

Zip Code Telephone # Email Address

Attorney for Petitioner:

Name- Type or Print

Signature

Mailing Address City State

Zip Code Telephone # Email Address

Legal Owners (Petitioners):

Charles P. Roe Yvonne M. Roe

Name #1 - Type or Print

Name #2 - Type or Print

Signature #1

Signature #2

1236 East Riverside Ave. Balto.

Mailing Address City State

21221 410-979-6817

Zip Code Telephone # Email Address

Representative to be contacted:

Name - Type or Print

Signature

Mailing Address City State

Zip Code Telephone # Email Address

CASE NUMBER 2013-0004-SPHA Filing Date 7/10/12

Do Not Schedule Dates: 8-6-12

Reviewer BID

REV. 10/4/11

Kristen

Prater Tuesdays *



PETITION FOR ZONING HEARING(S)

To be filed with the Department of Permits, Approvals and Inspections

To the Office of Administrative Law of Baltimore County for the property located at:

Address 1236 E. RIVERSIDE RD which is presently zoned DR-3.5
Deed References: 153261/00587 10 Digit Tax Account # 1515690180
Property Owner(s) Printed Name(s) CHARLES P. & YVONNE M. ROE

(SELECT THE HEARING(S) BY MARKING ☒ AT THE APPROPRIATE SELECTION AND PRINT OR TYPE THE PETITION REQUEST)

The undersigned legal owner(s) of the property situate in Baltimore County and which is described in the description and plan attached hereto and made a part hereof, hereby petition for:

1. ☒ a Special Hearing under Section 500.7 of the Zoning Regulations of Baltimore County, to determine whether or not the Zoning Commissioner should approve A second story over an existing detached garage in rear yard with a bathroom, sink, commode and shower. (to be detailed at the hearing)

2. ☐ a Special Exception under the Zoning Regulations of Baltimore County to use the herein described property for

3. ☒ a Variance from Section(s) 400.3

(to be detailed at the hearing)
of the zoning regulations of Baltimore County, to the zoning law of Baltimore County, for the following reasons:
(Indicate below your hardship or practical difficulty or indicate below "TO BE PRESENTED AT HEARING". If you need additional space, you may add an attachment to this petition) To approve a second story above an existing detached garage in rear yard with a combined height total of 21 feet in lieu of the maximum allowed 15

Property is to be posted and advertised as prescribed by the zoning regulations.

I, or we, agree to pay expenses of above petition(s), advertising, posting, etc. and further agree to and are to be bounded by the zoning regulations and restrictions of Baltimore County adopted pursuant to the zoning law for Baltimore County.

Legal Owner(s) Affirmation: I / we do so solemnly declare and affirm, under the penalties of perjury, that I / We are the legal owner(s) of the property which is the subject of this / these Petition(s).

Contract Purchaser/Lessee:

Name- Type or Print

Signature

Mailing Address

Zip Code

Telephone #

Email Address

Attorney for Petitioner:

Date

Name- Type or Print

Signature

Mailing Address

City

State

Zip Code

Telephone #

Email Address

Legal Owners (Petitioners):

Charles P. Roe

Name #1 - Type or Print

Signature #1

Mailing Address

Zip Code

Telephone #

Email Address

Yvonne M. Roe

Name #2 - Type or Print

Signature #2

City

State

Representative to be contacted:

Name - Type or Print

Signature

Mailing Address

City

State

Zip Code

Telephone #

Email Address

CASE NUMBER 2013-0004-SPHA Filing Date 7/10/12

Do Not Schedule Dates: 9-13-12 Reviewer RD

PLANS REVISIT 8-10-12 FOR HEIGHT INCREASE R24. 10/4/11

ZONING DESCRIPTION FOR 1236 (E.) RIVERSIDE AVENUE

BEGINNING AT A POINT ON THE EAST SIDE OF E. RIVERSIDE AVENUE 775 FT. SOUTH OF THE CENTERLINE OF BAY AVENUE. BEING KNOWN AS LOT # 34 IN THE SUBDIVISION OF "(WATERFRONT) BACK RIVER NECK PARK " IN BALTIMORE COUNTY PLAT BOOK 0007, FOLIO 0004 AND LOCATED IN THE 15 TH ELECTION DISTRICT & 6TH COUNCILMATIC DISTRICT OF BALTIMORE COUNTY. BEING KNOWN AS 1236 E. RIVERSIDE AVENUE.

20,000 sq ft

Item # 0004

BALTIMORE COUNTY, MARYLAND
OFFICE OF BUDGET AND FINANCE
MISCELLANEOUS CASH RECEIPT

No. **87734**
Date: **8/10/12**

PAID RECEIPT

BUSINESS ACTUAL TIME
8/13/2012 8/10/2012 15:47:57
REQ WSD6 WALKIN TTAY TST
>> RECEIPT # 673263 8/10/2012
Dept. 5 528 ZONING VERIFICATION
CR NO. 087734

Fund	Dept	Unit	Sub Unit	Rev Source/ Obj	Sub Rev/ Obj	Dept	Obj	BS Acct	Amount
001	306	0000		6150					882.00

Total: **882.00**

Rec
From:

For:

re-filing case # 2013-0004-SPH

DISTRIBUTION

WHITE - CASHIER PINK - AGENCY YELLOW - CUSTOMER GOLD - ACCOUNTING
PLEASE PRESS HARD!!!!

Recpt Tot 182.00
182.00 CK 1.00 CA
Baltimore County, Maryland

**CASHIER'S
VALIDATION**

BALTIMORE COUNTY, MARYLAND
 DEPARTMENT OF BUDGET AND FINANCE
 STANDEAL CASH RECEIPT

No. **85577**

Date: **7/10/12**

PAID RECEIPT

BUSINESS ACTUAL TIME DRW
 7/11/2012 7/10/2012 14:46:49 6

REG WSD6 WALKIN TTAY TST
 >RECEIPT # 668465 7/10/2012 OFLN

Dept 5 528 ZONING VERIFICATION

CR NO. 008557

Recpt Tot \$150.00
 \$150.00 CK \$1.00 CA
 Baltimore County, Maryland

Dept	Unit	Sub Unit	Rev Source/ Obj	Sub Rev/ Sub Obj	Dept Obj	BS Acct	Amount
306	0000		6150				\$150.00

Total: **\$150.00**

zoning hearing - case #2013-0004-SPHA

ION

SHIER PINK - AGENCY YELLOW - CUSTOMER GOLD - ACCOUNTING
 PLEASE PRESS HARD!!!!

**CASHIER'S
 VALIDATION**

NOTICE OF ZONING HEARING

The Administrative Law Judges of Baltimore County, by authority of the Zoning Act and Regulations of Baltimore County will hold a public hearing in Towson, Maryland on the property identified herein as follows:

Case: #2013-0004-SPHA

1236 E. Riverside Road
E/s of East Riverside Road, 775 S/of centerline of Bay Avenue

15th Election District - 6th Councilmanic District

Legal Owner(s): Charles & Yvonne Roe

Variance: to approve a second story above an existing detached garage in rear yard with a combined height total of 21 ft. in lieu of the maximum allowed 15 ft. (to be detailed at hearing). **Special Hearing** to determine whether or not the Administrative Law Judge should approve a second story over an existing detached garage in rear yard with a bathroom, sink, commode and shower (to be detailed at hearing).

Hearing: Tuesday, November 13, 2012 at 11:00 a.m. in Room 205, Jefferson Building, 105 West Chesapeake Avenue, Towson 21204.

ARNOLD JABLON, DIRECTOR OF PERMITS, APPROVALS AND INSPECTIONS FOR BALTIMORE COUNTY

NOTES: (1) Hearings are Handicapped Accessible; for special accommodations Please Contact the Administrative Hearings Office at (410) 887-3868.

(2) For information concerning the File and/or Hearing, Contact the Zoning Review Office at (410) 887-3391.

J 10/359 October 25

884181



501 N. Calvert Street, Baltimore, MD 21278

October 25, 2012

THIS IS TO CERTIFY, that the annexed advertisement was published in the following newspaper published in Baltimore County, Maryland, ONE TIME, said publication appearing on October 25, 2012.

- ☒ The Jeffersonian
- ☐ Arbutus Times
- ☐ Catonsville Times
- ☐ Towson Times
- ☐ Owings Mills Times
- ☐ NE Booster/Reporter
- ☐ North County News

PATUXENT PUBLISHING COMPANY

By: Susan Wilkinson

Susan Wilkinson

Letter of Transmittal

William D. Gulick, Jr.

Consultant to Land Development and Industry

Commercial and Residential

2944 Edgewood Avenue

Baltimore, MD 21234

Phone - 410-530-6293

E-mail - wdgjr@comcast.net

To: Balto. Co. PAI, Zoning office, Attn.: Ms. Kristen Lewis

We Are Sending You: ☒ Attached ☐ Under separate cover the following items:

☐ Copy of Letter ☒ Prints ☒ Documents ☐ Other

No. of Copies Date Description

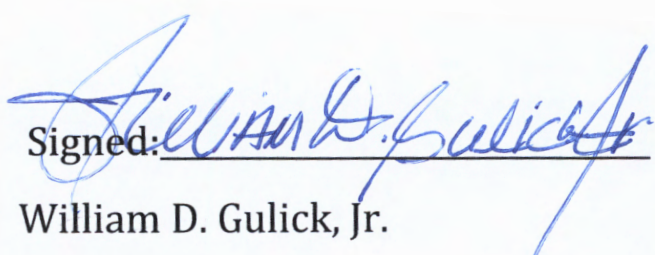
1	Sept. 21,2012	Certificate Of Posting
2	Sept. 21,2012	Site Photos

Transmittals are as checked below:

☐ For approval ☒ For your use ☐ As requested ☐ For review & content

Project: 2013-0004-SPHA

Remarks: 1236 E. Riverside AVE.
(Road)

Signed: 

William D. Gulick, Jr.

Project Manager

cc:

CHARLES & YVONNE ROE

Certificate of Posting

Department of Permits, Approval, and Inspections
Baltimore County
111 W. Chesapeake Avenue
Room 111
Towson, MD 21204

Date: Sept. 21, 2012

Attention: Zoning Office, Ms. Kristen Lewis

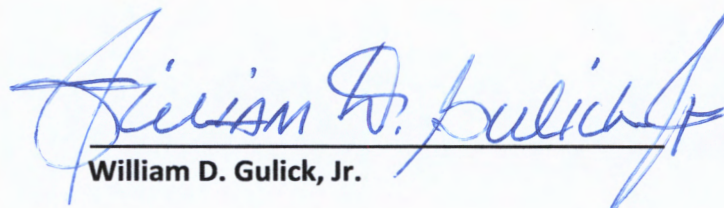
Re: Case Number: 2013-0004-SPHA

Petitioner/Developer: Charles & Yvonne Roe

Date of Hearing/Closing: Oct. 11, 2012

This is to certify under the penalties of perjury that the necessary sign(s) required by law were posted conspicuously on the property located at: 1236 E. Riverside (Rd.)
AVE.

The sign(s) were posted on: Sept. 21, 2012



William D. Gulick, Jr.

2944 Edgewood Avenue
Baltimore, MD 21234
(410) 530-6293

ZONING NOTICE

CASE # 2013-0004-SPHA

**A PUBLIC HEARING WILL BE HELD BY
THE ZONING COMMISSIONER
IN TOWSON, MD**

JEFFERSON BUILDING ROOM 205
105 WEST CHESAPEAKE AVENUE
PLACE: TOWSON, MD 21204

DATE AND TIME: THURSDAY
OCT. 11, 2012 @ 1:30 PM

REQUEST: VARIANCE AND
SPECIAL HEARING

Variance to approve a second story above an existing detached garage in rear yard with a combined height total of 21 ft. in lieu of the maximum allowed 15 ft. (to be detailed at hearing).
Special Hearing to determine whether or not the Administrative Law Judge should approve a second story over an existing detached garage in rear yard with a bathroom, sink, commode and shower (to be detailed at hearing).

POSTPONEMENTS DUE TO WEATHER OR OTHER CONDITIONS ARE SOMETIMES NECESSARY.
TO CONFIRM HEARING CALL 887-3392 (410)

DO NOT REMOVE THIS SIGN AND POST UNTIL DAY OF HEARING, UNDER PENALTY OF LAW
HANDICAPPED ACCESSIBLE



E. RIVERSIDE AVE.
(ROAD)



KEVIN KAMENETZ
County Executive

ARNOLD JABLON
Deputy Administrative Officer
Director, Department of Permits,
Approvals & Inspections

September 4, 2012

NOTICE OF ZONING HEARING

The Administrative Law Judges of Baltimore County, by authority of the Zoning Act and Regulations of Baltimore County, will hold a public hearing in Towson, Maryland on the property identified herein as follows:

CASE NUMBER: 2013-0004-SPHA

1236 E. Riverside Road

E/s of East Riverside Road, 775 ft. S/of centerline of Bay Avenue

15th Election District – 6th Councilmanic District

Legal Owners: Charles & Yvonne Roe

Variance to approve a second story above an existing detached garage in rear yard with a combined height total of 21 ft. in lieu of the maximum allowed 15 ft. (to be detailed at hearing).
Special Hearing to determine whether or not the Administrative law Judge should approve a second story over an existing detached garage in rear yard with a bathroom, sink, commode and shower (to be detailed at hearing).

Hearing: Thursday, October 11, 2012 at 1:30 p.m. in Room 205, Jefferson Building,
105 West Chesapeake Avenue, Towson 21204

A handwritten signature in dark ink, appearing to read "Arnold Jablon".

Arnold Jablon
Director

AJ:kl

C: Mr. & Mrs. Roe, 1236 East Riverside Avenue, Baltimore 21221

- NOTES: (1) **THE PETITIONER MUST HAVE THE ZONING NOTICE SIGN POSTED BY AN APPROVED POSTER ON THE PROPERTY BY FRIDAY, SEPTEMBER 21, 2012.**
- (2) HEARINGS ARE HANDICAPPED ACCESSIBLE; FOR SPECIAL ACCOMMODATIONS PLEASE CALL THE ADMINISTRATIVE HEARINGS OFFICE AT 410-887-3868.
- (3) FOR INFORMATION CONCERNING THE FILE AND/OR HEARING, CONTACT THE ZONING REVIEW OFFICE AT 410-887-3391.

TO: PATUXENT PUBLISHING COMPANY
Thursday, September 20, 2012 Issue - Jeffersonian

Please forward billing to:

Charles Roe
1236 East Riverside Avenue
Baltimore, MD 21221

410-979-6817

NOTICE OF ZONING HEARING

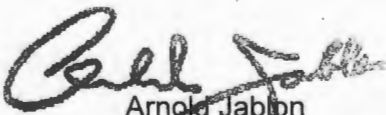
The Administrative Law Judge of Baltimore County, by authority of the Zoning Act and Regulations of Baltimore County, will hold a public hearing in Towson, Maryland on the property identified herein as follows:

CASE NUMBER: 2013-0004-SPHA

1236 E. Riverside Road
E/s of East Riverside Road, 775 ft. S/of centerline of Bay Avenue
15th Election District – 6th Councilmanic District
Legal Owners: Charles & Yvonne Roe

Variance to approve a second story above an existing detached garage in rear yard with a combined height total of 21 ft. in lieu of the maximum allowed 15 ft. (to be detailed at hearing).
Special Hearing to determine whether or not the Administrative law Judge should approve a second story over an existing detached garage in rear yard with a bathroom, sink, commode and shower (to be detailed at hearing).

Hearing: Thursday, October 11, 2012 at 1:30 p.m. in Room 205, Jefferson Building,
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Arnold Jablon
Director of Permits, Approvals and Inspections for Baltimore County

- NOTES: (1) HEARINGS ARE HANDICAPPED ACCESSIBLE; FOR SPECIAL ACCOMODATIONS, PLEASE CONTACT THE ADMINISTRATIVE HEARINGS OFFICE AT 410-887-3868.
- (2) FOR INFORMATION CONCERNING THE FILE AND/OR HEARING, CONTACT THE ZONING REVIEW OFFICE AT 410-887-3391.



KEVIN KAMENETZ
County Executive

ARNOLD JABLON
Deputy Administrative Officer
Director, Department of Permits,
Approvals & Inspections

July 24, 2012

NOTICE OF ZONING HEARING

The Administrative Law Judges of Baltimore County, by authority of the Zoning Act and Regulations of Baltimore County, will hold a public hearing in Towson, Maryland on the property identified herein as follows:

CASE NUMBER: 2013-0004-SPHA

1236 E. Riverside Road

E/s of East Riverside Road, 775 ft. S/of centerline of Bay Avenue

15th Election District – 6th Councilmanic District

Legal Owners: Charles & Yvonne Roe

Special Hearing for a second story over an existing detached garage in rear yard with a bathroom, sink, commode and shower. Variance to approve a second story above an existing garage in rear yard with a combined height total of 18 ft. in lieu of the maximum allowed 15 ft. (to be detailed at hearing).

Hearing: Tuesday, September 4, 2012 at 10:00 a.m. in Room 205, Jefferson Building,
105 West Chesapeake Avenue, Towson 21204

A handwritten signature in black ink, appearing to read "Arnold Jablon".

Arnold Jablon
Director

AJ:kl

C: Mr. & Mrs. Roe, 1236 East Riverside Avenue, Baltimore 21221

- NOTES: (1) **THE PETITIONER MUST HAVE THE ZONING NOTICE SIGN POSTED BY AN APPROVED POSTER ON THE PROPERTY BY WED., AUGUST 15, 2012.**
- (2) **HEARINGS ARE HANDICAPPED ACCESSIBLE; FOR SPECIAL ACCOMMODATIONS PLEASE CALL THE ADMINISTRATIVE HEARINGS OFFICE AT 410-887-3868.**
- (3) **FOR INFORMATION CONCERNING THE FILE AND/OR HEARING, CONTACT THE ZONING REVIEW OFFICE AT 410-887-3391.**

TO: PATUXENT PUBLISHING COMPANY
Tuesday, August 14, 2012 Issue - Jeffersonian

Please forward billing to:

Charles Roe
1236 East Riverside Avenue
Baltimore, MD 21221

410-979-6817

NOTICE OF ZONING HEARING

The Administrative Law Judge of Baltimore County, by authority of the Zoning Act and Regulations of Baltimore County, will hold a public hearing in Towson, Maryland on the property identified herein as follows:

CASE NUMBER: 2013-0004-SPHA

1236 E. Riverside Road

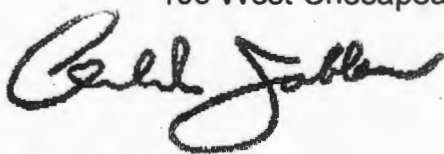
E/s of East Riverside Road, 775 ft. S/of centerline of Bay Avenue

15th Election District – 6th Councilmanic District

Legal Owners: Charles & Yvonne Roe

Special Hearing for a second story over an existing detached garage in rear yard with a bathroom, sink, commode and shower. Variance to approve a second story above an existing garage in rear yard with a combined height total of 18 ft. in lieu of the maximum allowed 15 ft. (to be detailed at hearing).

Hearing: Tuesday, September 4, 2012 at 10:00 a.m. in Room 205, Jefferson Building,
105 West Chesapeake Avenue, Towson 21204



Arnold Jablon

Director of Permits, Approvals and Inspections for Baltimore County

- NOTES: (1) HEARINGS ARE HANDICAPPED ACCESSIBLE; FOR SPECIAL ACCOMODATIONS, PLEASE CONTACT THE ADMINISTRATIVE HEARINGS OFFICE AT 410-887-3868.
- (2) FOR INFORMATION CONCERNING THE FILE AND/OR HEARING, CONTACT THE ZONING REVIEW OFFICE AT 410-887-3391.

Martin O'Malley, Governor
Anthony G. Brown, Lt. Governor



Maryland Department of Transportation

Beverley K. Swaim-Staley, Secretary
Melinda B. Peters, Administrator

Date: 7-16-12

Ms. Kristen Lewis
Baltimore County Office of
Permits and Development Management
County Office Building, Room 109
Towson, Maryland 21204

RE: Baltimore County
Item No 2013-0004-SPHA
Variance Special Hearing
Charles R. & Yvonne M. Roe
1236 E. Riverside Road.

Dear Ms. Lewis:

Thank you for the opportunity to review your referral request on the subject of the above captioned. We have determined that the subject property does not access a State roadway and is not affected by any State Highway Administration projects. Therefore, based upon available information this office has no objection to Baltimore County Zoning Advisory Committee approval of Item No. 2013-0004-SPHA.

Should you have any questions regarding this matter, please contact Richard Zeller at 410-545-5598 or 1-800-876-4742 extension 5598. Also, you may E-mail him at (rzeller@sha.state.md.us).

Sincerely,

A handwritten signature in blue ink that reads "Richard A. Zeller".
Steven D. Foster, Chief
Access Management Division

SDF/raz

My telephone number/toll-free number is _____

Maryland Relay Service for Impaired Hearing or Speech 1.800.735.2258 Statewide Toll Free

Street Address: 707 North Calvert Street • Baltimore, Maryland 21202 • Phone 410.545.0300 • www.roads.maryland.gov

BALTIMORE COUNTY, MARYLAND
INTEROFFICE CORRESPONDENCE

TO: Arnold Jablon, Director
Department of Permits, Approvals
And Inspections

DATE: July 19, 2012

FROM: *DAK*
Dennis A. Kennedy, Supervisor
Bureau of Development Plans
Review

SUBJECT: Zoning Advisory Committee Meeting
For July 30, 2012
Item Nos. 2012-0286, 0298, 0327, 0328, 0329, 0330, 0331, 0332.
Item Nos. 2013-0002, 0003, 0004.

The Bureau of Development Plans Review has reviewed the subject-zoning items, and we have no comments.

DAK: ~~CEN~~

cc: File

G:\DevPlanRev\ZAC -No Comments\ZAC-07302012-NO COMMENTS.doc

RE: PETITION FOR SPECIAL HEARING
AND VARIANCE

1236 E. Riverside Road; E/S Riverside Rd,
775' South of centerline Bay Avenue
15th Election & 6th Councilmanic Districts
Legal Owner(s): Charles & Yvonne Roe
Petitioner(s)

* BEFORE THE OFFICE
* OF ADMINSTRATIVE
* HEARINGS FOR
* BALTIMORE COUNTY
* 2013-004-SPHA

* * * * *

ENTRY OF APPEARANCE

Pursuant to Baltimore County Charter § 524.1, please enter the appearance of People's Counsel for Baltimore County as an interested party in the above-captioned matter. Notice should be sent of any hearing dates or other proceedings in this matter and the passage of any preliminary or final Order. All parties should copy People's Counsel on all correspondence sent and all documentation filed in the case.

Peter Max Zimmerman

PETER MAX ZIMMERMAN
People's Counsel for Baltimore County

Carole S. Demilio

CAROLE S. DEMILIO
Deputy People's Counsel
Jefferson Building, Room 204
105 West Chesapeake Avenue
Towson, MD 21204
(410) 887-2188

RECEIVED

JUL 18 2012

CERTIFICATE OF SERVICE

I HEREBY CERTIFY that on this 18th day of July, 2012, a copy of the foregoing Entry of Appearance was mailed to Charles & Yvonne Roe, 1236 East Riverside Avenue, Essex, MD 21221, Petitioner(s).

Peter Max Zimmerman

PETER MAX ZIMMERMAN
People's Counsel for Baltimore County

To: Mr. Charles Roe

KEVIN KAMENETZ
County Executive



ARNOLD JABLON
Deputy Administrative Officer
Director, Department of Permits,
Approvals & Inspections

NOTICE OF ZONING HEARING

The Administrative Law Judges of Baltimore County, by authority of the Zoning Act and Regulations of Baltimore County, will hold a public hearing in Towson, Maryland on the property identified herein as follows:

CASE NUMBER: 2013-0004-SPHA

1236 E. Riverside Road

E/s of East Riverside Road, 775 ft. S/of centerline of Bay Avenue

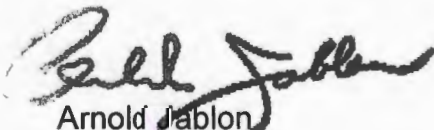
15th Election District – 6th Councilmanic District

Legal Owners: Charles & Yvonne Roe

Variance to approve a second story above an existing detached garage in rear yard with a combined height total of 21 ft. in lieu of the maximum allowed 15 ft. (to be detailed at hearing).

Special Hearing to determine whether or not the Administrative law Judge should approve a second story over an existing detached garage in rear yard with a bathroom, sink, commode and shower (to be detailed at hearing).

Hearing: Tuesday, November 13, 2012 at 11:00 a.m. in Room 205, Jefferson Building,
105 West Chesapeake Avenue, Towson 21204


Arnold Jablon
Director

AJ:kl

C: Mr. & Mrs. Roe, 1236 East Riverside Avenue, Baltimore 21221

- (1) HEARINGS ARE HANDICAPPED ACCESSIBLE; FOR SPECIAL ACCOMMODATIONS PLEASE CALL THE ADMINISTRATIVE HEARINGS OFFICE AT 410-887-3868.
- (2) FOR INFORMATION CONCERNING THE FILE AND/OR HEARING, CONTACT THE ZONING REVIEW OFFICE AT 410-887-3391.

*Updated
request sent*

TO: PATUXENT PUBLISHING COMPANY
Thursday, October 25, 2012 Issue - Jeffersonian

Please forward billing to:
Permits, Approvals & Inspections
111 West Chesapeake Avenue, Room 111
Towson, MD 21204

410-887-3391

NOTICE OF ZONING HEARING

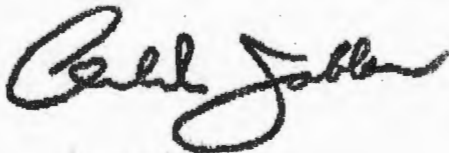
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Special Hearing to determine whether or not the Administrative law Judge should approve a second story over an existing detached garage in rear yard with a bathroom, sink, commode and shower (to be detailed at hearing).

Hearing: *Tuesday* Wednesday, November 13, 2012 at 11:00 a.m. in Room 205, Jefferson Building,
105 West Chesapeake Avenue, Towson 21204



Arnold Jablon
Director of Permits, Approvals and Inspections for Baltimore County

- NOTES: (1) HEARINGS ARE HANDICAPPED ACCESSIBLE; FOR SPECIAL ACCOMODATIONS, PLEASE CONTACT THE ADMINISTRATIVE HEARINGS OFFICE AT 410-887-3868.
- (2) FOR INFORMATION CONCERNING THE FILE AND/OR HEARING, CONTACT THE ZONING REVIEW OFFICE AT 410-887-3391.

*for
442
0061*

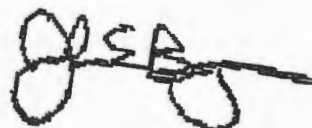
MEMORANDUM

TO: Kristen Lewis
Office of Zoning Review

FROM: John E. Beverungen, Administrative Law Judge
Office of Administrative Hearings

DATE: October 11, 2012

SUBJECT: Case No. 2013-0004-SPHA (Scheduled for October 11, 2012)



As you are aware, the above-referenced case was scheduled before the undersigned on October 11, 2012 at 1:30 PM in Room 205 of the Jefferson Building. Unfortunately, the newspaper advertisement requirement was not fulfilled; however, the sign posting was completed by the Petitioner. The file was held in the event anyone appeared for the hearing -- which no one was in attendance. The Petitioner was advised that he did not need to re-post but that you would advertise and advise him of his new hearing date.

This matter is now being returned to you for rescheduling and processing. Thanks.

JEB:dlw

c: File

Debra Wiley - Fwd: Newspaper Advertisements

From: Debra Wiley
To: Beverungen, John
Date: 10/10/2012 10:27 AM
Subject: Fwd: Newspaper Advertisements
Attachments: Newspaper Advertisements

John,

Kristen just advised that all four of the cases scheduled for Thursday were sent to the Jeffersonian for advertising; however, they (Jeffersonian) cannot locate 2 of the 4. Specifically, the ones for 10 AM and 1:30 PM (see attached).

How do you want to handle?

Debbie Wiley
Legal Administrative Secretary
Office of Administrative Hearings
105 West Chesapeake Avenue, Suite 103
Towson, Md. 21204
410-887-3868
410-887-3468 (fax)
dwiley@baltimorecountymd.gov

Debra Wiley - Newspaper Advertisements

From: Debra Wiley
To: Fisher, June; Lewis, Kristen
Date: 10/9/2012 10:08 AM
Subject: Newspaper Advertisements

Good Morning,

The files are missing the newspaper advertisements for the following:

Thursday, October 11th at 10 AM (Case No. 2013-0031-A)

and

Thursday, October 11th @ 1:30 PM (Case No. 2013-0004-SPHA).

Thanks.

Debbie Wiley
Legal Administrative Secretary
Office of Administrative Hearings
105 West Chesapeake Avenue, Suite 103
Towson, Md. 21204
410-887-3868
410-887-3468 (fax)
dwiley@baltimorecountymd.gov

10-10-12
If no notice
was printed in paper -
as opposed to wrong council
district or notice for 18 instead of
20 days - - then
hrgs. must be rescheduled
JSB

Debra Wiley - Re: Newspaper Advertisements

From: June Fisher
To: Wiley, Debra
Date: 10/9/2012 10:16 AM
Subject: Re: Newspaper Advertisements

ok, when they come in I will bring them over. Thanks.

>>> Debra Wiley 10/9/2012 10:08 AM >>>
Good Morning,

The files are missing the newspaper advertisements for the following:

Thursday, October 11th at 10 AM (Case No. 2013-0031-A)

and

Thursday, October 11th @ 1:30 PM (Case No. 2013-0004-SPHA).

Thanks.

Debbie Wiley
Legal Administrative Secretary
Office of Administrative Hearings
105 West Chesapeake Avenue, Suite 103
Towson, Md. 21204
410-887-3868
410-887-3468 (fax)
dwiley@baltimorecountymd.gov

Maryland Department of Assessments and Taxation
Real Property Data Search (vw2.2A)
BALTIMORE COUNTY

[Go Back](#)
[View Map](#)
[New Search](#)
[GroundRent](#)
[Redemption](#)
[GroundRent](#)
[Registration](#)

Account Identifier:

District - 15 Account Number - 1515690180

Owner Information

Owner Name: ROE CHARLES P
ROE YVONNE M
Use: RESIDENTIAL
Principal Residence: YES
Mailing Address: 1236 E RIVERSIDE AVE
BALTIMORE MD 21221-6317
Deed Reference: 1) /15326/ 00587
2)

Location & Structure Information**Premises Address**

1236 RIVERSIDE AVE
0-0000

Legal Description

1236 RIVERSIDE AVE
Waterfront BACK RIVER NECK PARK

Map	Grid	Parcel	Sub District	Subdivision	Section	Block	Lot	Assessment Area	Plat No:
0104	0006	0226		0000			34	3	Plat Ref: 0007/0004

Special Tax Areas
Town NONE
Ad Valorem
Tax Class

Primary Structure Built	Enclosed Area	Property Land Area	County Use
2001	2,640 SF	20,000 SF	34

Stories	Basement	Type	Exterior
2.000000	NO	STANDARD UNIT SIDING	

Value Information

	Base Value	Value	Phase-in Assessments	
		As Of	As Of	As Of
		01/01/2012	07/01/2012	07/01/2013
Land	204,000	204,000		
Improvements:	284,700	183,900		
Total:	488,700	387,900	387,900	387,900
Preferential Land:	0			0

Transfer Information

Seller:	Date:	Price:
ROE CHARLES P	06/22/2001	\$0
Type: NON-ARMS LENGTH OTHER	Deed1: /15326/ 00587	Deed2:
OSTENDORF WILLIAM L	08/20/1991	\$101,000
Type: ARMS LENGTH IMPROVED	Deed1: /08888/ 00725	Deed2:
Seller:	Date:	Price:
Type:	Deed1:	Deed2:

Exemption Information

Partial Exempt Assessments	Class	07/01/2012	07/01/2013
County	000	0.00	
State	000	0.00	
Municipal	000	0.00	0.00

Tax Exempt:
Exempt Class:
Special Tax Recapture: NONE

Homestead Application Information

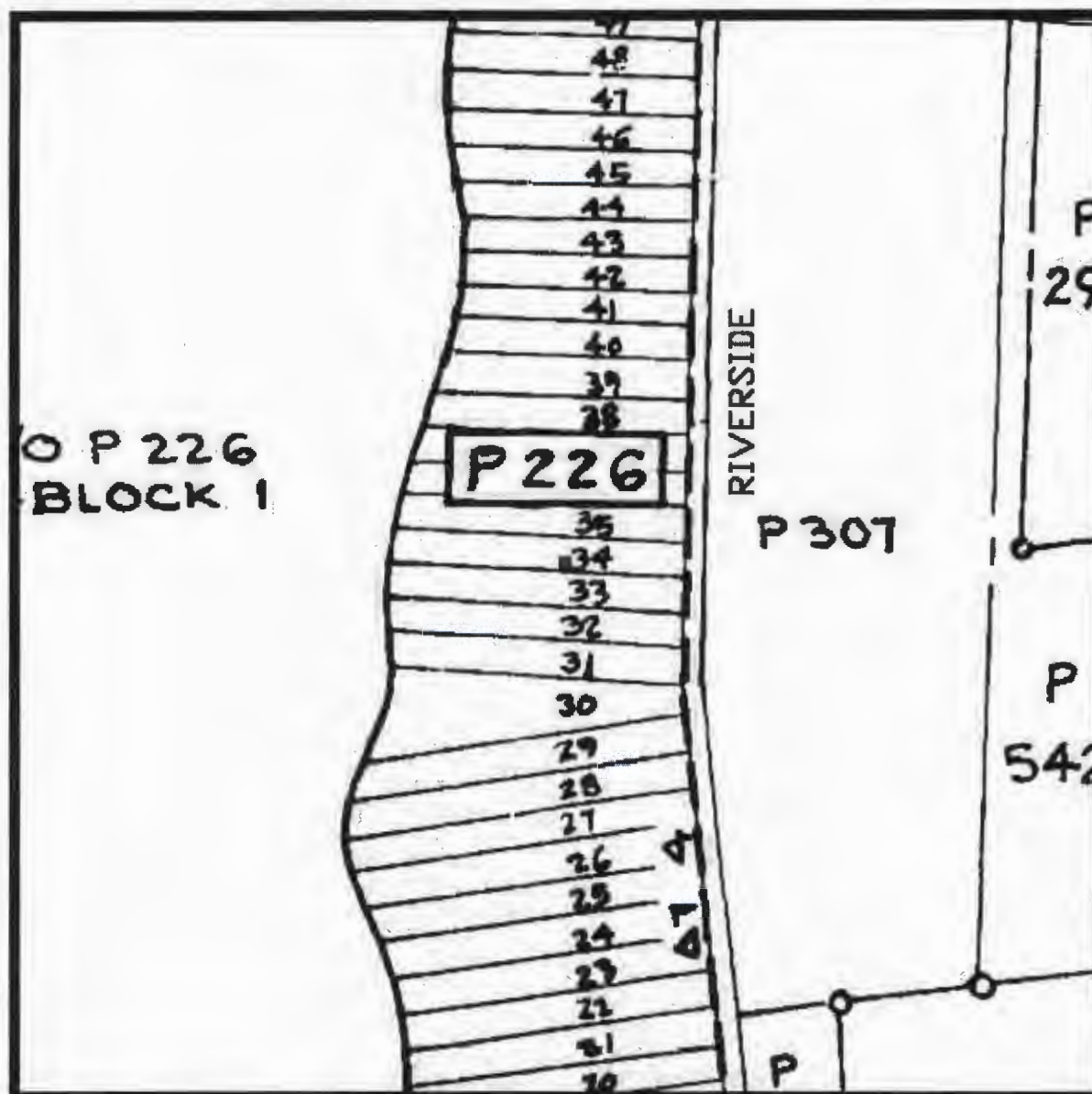
Homestead Application Status: Approved 11/15/2010



Maryland Department of Assessments and Taxation
BALTIMORE COUNTY
Real Property Data Search

[Go Back](#)
[View Map](#)
[New Search](#)

District - 15 Account Number - 1515690180



The information shown on this map has been compiled from deed descriptions and plats and is not a property survey. The map should not be used for legal descriptions. Users noting errors are urged to notify the Maryland Department of Planning Mapping, 301 W. Preston Street, Baltimore MD 21201.

If a plat for a property is needed, contact the local Land Records office where the property is located. Plats are also available online through the Maryland State Archives at www.plats.net.

Property maps provided courtesy of the Maryland Department of Planning ©2010. For more information on electronic mapping applications, visit the Maryland Department of Planning web site at www.mdp.state.md.us/OurProducts/OurProducts.shtml

IN RE: PETITION FOR VARIANCE
W/S Riverside Avenue, 775' S of the c/l
Bay Avenue
(1236 Riverside Avenue)
15th Election District
5th Council District

Charles P. Roe
Petitioner

* BEFORE THE
* ZONING COMMISSIONER
* OF BALTIMORE COUNTY
* Case No. 01-292-A
*

* * * * *

FINDINGS OF FACT AND CONCLUSIONS OF LAW

This matter comes before the Zoning Commissioner for consideration of a Petition for Variance filed by the owner of the subject property, Charles P. Roe. The Petitioner seeks relief from Sections 1B02.3.C and 304 of the Baltimore County Zoning Regulations (B.C.Z.R.) to permit a side yard setback of 10 feet, a sum of the side yards of 20 feet, and a lot width of 50 feet, in lieu of the required 15 feet, 25 feet, and 70 feet, respectively; and, to approve the subject property as an undersized lot, pursuant to Section 304, and any other variances deemed necessary by the Zoning Commissioner to permit development of the subject site with a single family dwelling. The subject property and requested relief are more particularly described on the site plan submitted which was accepted into evidence and marked as Petitioner's Exhibit 1.

Appearing at the requisite public hearing in support of the request were Charles P. Roe, property owner, and Vincent J. Moskunus, Surveyor who prepared the site plan for this property. There were no Protestants or other interested persons present.

Testimony and evidence offered revealed that the subject property is a narrow, yet deep waterfront lot, located on the west side of Riverside Avenue, adjacent to Back River in Essex. The property is also known as Lot 34 of Back River Neck Park, an older subdivision which was platted with 50-foot wide lots in 1921 and recorded in the Land Records of Baltimore County many years ago. The property consists of a gross area of 0.461 acres, more or less, zoned D.R.3.5 and is improved with a single family dwelling and detached garage. The Petitioner purchased the property in 1991 at which time the improvements thereon were used only during the summer months. The house has since fallen into a state of disrepair and rather than attempting to rehabilitate same, the Petitioner proposes to raze

ORDER RECEIVED FOR FILING
Date 3/20/91
By V. J. Moskunus

Item #0004

the structure and construct a new dwelling in its place. The proposed dwelling will be 30' wide by 40' deep and will feature an attached 20' x 20' garage. Testimony indicated that although the original building was constructed as a summer home, Mr. Poe and his family intend to reside in the new structure on a full-time basis. As noted above, the property has frontage on Back River and the proposed dwelling will be set back a distance from the water consistent with other houses in the neighborhood.

There were no Protestants present at the hearing and no adverse Zoning Advisory Committee comments submitted by any Baltimore County reviewing agency. In fact, it is clear that the new dwelling will be an upgrade to the previous structure, and an improvement to the subject property. Moreover, the Office of Planning supports the requested relief and has approved the building elevation drawings of the proposed new dwelling as being consistent with the surrounding locale. In addition, the ZAC comment from the Department of Environmental Protection and Resource Management (DEPRM) indicates that they, too, have no objections to the requested relief. However, due to the property's waterfront location, the proposed improvements are subject to compliance with Chesapeake Bay Critical Area regulations. It is also to be noted that the property is presently served by public water and will be connected to public sewer in the near future. An inner-office memorandum from DEPRM indicates that the existing septic tank and seepage pit can support the new construction and that ultimately the house will be connected to public sewer when same is completed along Riverside Avenue. A ZAC comment was also received from the Developer's Plans Review Division of the Department of Permits and Development Management (DPDM) indicating that the proposed improvements must comply with Federal Flood Insurance requirements. In this regard, Mr. Moskunas indicated that the applicant had no objection to a condition within the Order requiring compliance with these ZAC comments.

Based upon the testimony and evidence presented, I am persuaded to grant the requested variance relief. The unique characteristic of the property is based on its layout when this subdivision was originally platted many years before the adoption of any zoning regulations in Baltimore County. Additionally, the Petitioner would suffer a practical difficulty if relief were denied in that the property

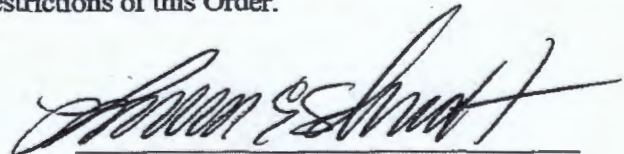
CITIZEN RECEIVED FOR FILING
Date 3/22/11
By [Signature]

could not be used for a permitted purpose (i.e. residential development). Moreover, it is clear that the new house will be an improvement to the site and the area at large. Thus, relief can be granted without detrimental impact to the surrounding locale.

Pursuant to the advertisement, posting of the property, and public hearing on this Petition held, and for the reasons set forth herein, the relief requested shall be granted.

22nd THEREFORE, IT IS ORDERED by the Zoning Commissioner for Baltimore County this day of March, 2001 that the Petition for Variance seeking relief from Sections 1B02.3.C and 304 of the Baltimore County Zoning Regulations (B.C.Z.R.) to permit a side yard setback of 10 feet, a sum of the side yards of 20 feet, and a lot width of 50 feet, in lieu of the required 15 feet, 25 feet, and 70 feet, respectively; and, to approve the subject property as an undersized lot, pursuant to Section 304, and any other variances deemed necessary by the Zoning Commissioner to permit development of the subject site with a single family dwelling, in accordance with Petitioner's Exhibit 1, be and is hereby GRANTED, subject to the following restrictions:

- 1) The Petitioners may apply for their building permit and be granted same upon receipt of this Order; however, Petitioners are hereby made aware that proceeding at this time is at their own risk until the 30-day appeal period from the date of this Order has expired. If an appeal is filed and this Order is reversed, the relief granted herein shall be rescinded.
- 2) Compliance with the ZAC comments submitted by the Department of Environmental Protection and Resource Management (DEPRM), dated March 8, 2001, and the Bureau of Development Plans Review, dated March 6, 2001, copies of which are attached hereto and made a part hereof.
- 3) The proposed dwelling shall be constructed in accordance with the building elevation drawings submitted to and approved by the Office of Planning on January 25, 2001.
- 4) When applying for a building permit, the site plan filed must reference this case and set forth and address the restrictions of this Order.



LAWRENCE E. SCHMIDT
Zoning Commissioner
for Baltimore County

LES:bjs

ORDER RECEIVED FOR FILING
Date 3/22/01
By [Signature]

BALTIMORE COUNTY, MARYLAND

Inter-Office Correspondence

RECEIVED



SEP 21 2012

OFFICE OF ADMINISTRATIVE HEARINGS

TO: Lawrence M. Stahl; Managing Administrative Law Judge
Office of Administrative Hearings

FROM: David Lykens, Department of Environmental Protection and Sustainability
(DEPS) - Development Coordination

DATE: September 20, 2012

SUBJECT: DEPS Comment for Zoning Item # 2013-0004-SPHA Revised Plans
Address 1236 East Riverside Road
(Roe Property)

Zoning Advisory Committee Meeting of July 16, 2012.

The subject property is located within the Chesapeake Bay Critical Area. According to BCZR Section 500.14, no decision shall be rendered on any petition for special exception, zoning variance, or zoning special hearing for a property within the Critical Area until the Department of Environmental Protection and Sustainability (EPS) has provided written recommendations describing how the proposed request would:

1. Minimize adverse impacts on water quality that result from pollutants that are discharged from structures or conveyances or that have run off from surrounding lands;

The subject property is located within a Limited Development Area and is subject to Critical Area lot coverage requirements. The applicant is proposing to construct a second story on the existing detached garage on the roadside of the home, and has increased the planned height to 21-feet. Because there is no increase in lot coverage proposed, water quality impacts have been minimized in this proposal. By meeting the lot coverage requirements for the entire property, the relief requested by the applicant will result in minimal impacts to water quality. Lot coverage is defined in State of Maryland Natural Resources Article §8-1802(a)(17)

2. Conserve fish, wildlife, and plant habitat; and

This waterfront property is located within a Buffer Management Area (BMA) of the Critical Area. The applicant's plan accompanying this zoning petition shows that the proposed activity is located outside the 100-foot tidal buffer. Provided that the property meets all Critical Area requirements, construction of the second story to the existing garage will conserve existing buffer functions and conserve fish habitat in Back River.

Page 2

3. Be consistent with established land use policies for development in the Chesapeake Bay Critical Area, which accommodate growth and also address the fact that, even if pollution is controlled, the number, movement and activities of persons in that area can create adverse environmental impacts.

The applicant's proposal to construct a second story over an existing garage on the roadside of the home is consistent with this goal. The relief requested will be consistent with established land-use policies provided that the applicants meet the requirements stated above.

Reviewer: *Paul Dennis; Environmental Impact Review*

Debra Wiley - ZAC Comments - Distribution Mtg. of 7/16

From: Debra Wiley
To: Kennedy, Dennis; Lanham, Lynn; Livingston, Jeffrey; Lykens, David; M...
Date: 7/25/2012 3:51 PM
Subject: ZAC Comments - Distribution Mtg. of 7/16

Good Afternoon,

Please see the cases listed below and the hearing date, if assigned. If you wish to submit a ZAC comment, please be advised that you must do so before the hearing date. If it's not received by the hearing date, it will not be considered in our decision.

2012-0286-A - 2 Adil Court
No hearing date in data base as of today

2012-0298-A - 25 Offspring Court
Administrative Variance - Closing Date: 7/30

2012-0329-SPH - 7827 Babikow Road
No hearing date in data base as of today

2012-0330-A - 2206 A Ridge Road
Administrative Variance - Closing Date: 7/23

2012-0331-A - 3801 Schnaper Drive
No hearing date in data base as of today

2012-0332-A - 536 Piccadilly Road
Administrative Variance - Closing Date: 7/30

2013-0001-A - 2112 Riverview Road
Administrative Variance - Closing Date: 8/6

2013-0002-A - 1005 Rolandvue Road
Administrative Variance - Closing Date: 8/6

2013-0003-A - 6 Brierleigh Court
Administrative Variance - Closing Date: 8/6

2013-0004-SPHA - 1236 E. Riverside Road - **CRITICAL AREA**
No hearing date in data base as of 7/25

Thanks.

Debbie Wiley
Legal Administrative Secretary
Office of Administrative Hearings
105 West Chesapeake Avenue, Suite 103
Towson, Md. 21204
410-887-3868
410-887-3468 (fax)
dwiley@baltimorecountymd.gov

Subject: ZAC Comments - Distribution Mtg. of 7/16
Created By: dwiley@baltimorecountymd.gov
Scheduled Date:
Creation Date: 7/25/2012 3:51 PM
From: Debra Wiley

Recipient	Action	Date & Time	Comment
To: Curtis Murray (cjmurray@baltimorecountymd.gov)	Delivered	7/25/2012 3:51 PM	
To: David Lykens (dlykens@baltimorecountymd.gov)	Delivered	7/25/2012 3:51 PM	
To: Dennis Kennedy (DKennedy@baltimorecountymd.gov)	Delivered	7/25/2012 3:51 PM	
To: Don Muddiman (dmuddiman@baltimorecountymd.gov)	Delivered	7/25/2012 3:51 PM	
To: Jeffrey Livingston (jlivingston@baltimorecountymd.gov)	Delivered	7/25/2012 3:51 PM	
To: Lynn Lanham (mlanham@baltimorecountymd.gov)	Delivered	7/25/2012 3:51 PM	



KEVIN KAMENETZ
County Executive

ARNOLD JABLON
Deputy Administrative Officer
Director, Department of Permits,
Approvals & Inspections

October 3, 2012

Charles P. & Yvonne M. Roe
1236 East Riverside Avenue
Baltimore MD 21221

RE: Case Number: 2013-0004 SPHA, Address: 1236 E. Riverside Ave

Dear Mr. & Ms. Roe:

The above referenced petition was accepted for processing **ONLY** by the Bureau of Zoning Review, Department of Permits, Approvals, and Inspection (PAI) on July 10, 2012. This letter is not an approval, but only a **NOTIFICATION**.

The Zoning Advisory Committee (ZAC), which consists of representatives from several approval agencies, has reviewed the plans that were submitted with your petition. All comments submitted thus far from the members of the ZAC are attached. These comments are not intended to indicate the appropriateness of the zoning action requested, but to ensure that all parties (zoning commissioner, attorney, petitioner, etc.) are made aware of plans or problems with regard to the proposed improvements that may have a bearing on this case. All comments will be placed in the permanent case file.

If you need further information or have any questions, please do not hesitate to contact the commenting agency.

Very truly yours,

A handwritten signature in black ink, reading "W. Carl Richards, Jr." in a cursive style.

W. Carl Richards, Jr.
Supervisor, Zoning Review

WCR: jaf

Enclosures

c: People's Counsel

Martin O'Malley, Governor
Anthony G. Brown, Lt. Governor



Darrell B. Mobley, Acting Secretary
Melinda B. Peters, Administrator

MARYLAND DEPARTMENT OF TRANSPORTATION

Date: 8-28-12

Ms. Kristen Lewis
Baltimore County Office of
Permits and Development Management
County Office Building, Room 109
Towson, Maryland 21204

RE: Baltimore County
Item No 2013-0004-SPHA
Variance Special Hearing
Charles R. & Yvonne M. Roe
1236 E. Riverside Road.

Dear Ms. Lewis:

Thank you for the opportunity to review your referral request on the subject of the above captioned. We have determined that the subject property does not access a State roadway and is not affected by any State Highway Administration projects. Therefore, based upon available information this office has no objection to Baltimore County Zoning Advisory Committee approval of Item No. 2013-0004-SPHA.

Should you have any questions regarding this matter, please contact Richard Zeller at 410-545-5598 or 1-800-876-4742 extension 5598. Also, you may E-mail him at (rzeller@sha.state.md.us).

Sincerely,

A handwritten signature in blue ink, appearing to read "Richard Zeller", is written over the typed name "Steven D. Foster".

Steven D. Foster, Chief
Access Management Division

SDF/raz

BALTIMORE COUNTY, MARYLAND
INTEROFFICE CORRESPONDENCE

TO: Arnold Jablon, Director
Department of Permits, Approvals
And Inspections

DATE: September 7, 2012

FROM: Dennis A. Kennedy^{DAK}, Supervisor
Bureau of Development Plans
Review

SUBJECT: Zoning Advisory Committee Meeting
For September 10, 2012
Item Nos. 2013-0004, 0032, 0033,0034,0035,0036,0038,0039,0040, 0041
0042 and 0044.

The Bureau of Development Plans Review has reviewed the subject-zoning items, and we have no comments.

DAK:CEN
cc: File
G:\DevPlanRev\ZAC -No Comments\ZAC-08102012-NO COMMENTS.doc

MEMORANDUM

DATE: December 20, 2012
TO: Zoning Review Office
FROM: Office of Administrative Hearings
RE: Case No. 2013-0004-SPHA - Appeal Period Expired

The appeal period for the above-referenced case expired on December 19, 2012. There being no appeal filed, the subject file is ready for return to the Zoning Review Office and is placed in the 'pick up box.'

c: ✓ Case File
Office of Administrative Hearings

CASE NAME 1236 E. Riverside
CASE NUMBER 2013-0004-SRHA
DATE 11-13-2012

[illegible]

Reset from 10-11-12 due to newspaper ad not furnished

CASE NO. 2013- 0004 - SPNA

CHECKLIST

Comment Received

Department

Support/Oppose/ Conditions/ Comments/ No Comment

<u>9-7 + 7-19</u>	DEVELOPMENT PLANS REVIEW (if not received, date e-mail sent _____)	<u>Both - OK</u>
<u>9-21</u>	DEPS (if not received, date e-mail sent _____)	<u>Comments - 500.14 Compliant</u>
_____	FIRE DEPARTMENT	_____
_____	PLANNING (if not received, date e-mail sent _____)	_____
<u>8-28</u>	STATE HIGHWAY ADMINISTRATION	<u>No objection</u>
_____	TRAFFIC ENGINEERING	_____
_____	COMMUNITY ASSOCIATION	_____
_____	ADJACENT PROPERTY OWNERS	_____

ZONING VIOLATION (Case No. _____)

PRIOR ZONING (Case No. 01-292-A 3/2001)

NEWSPAPER ADVERTISEMENT ~~Missing~~ Date: ~~E-mail sent 10/9~~ 10/25 Johnson

SIGN POSTING Date: 9-21-12 by Gulick 20 days

PEOPLE'S COUNSEL APPEARANCE	Yes	☒	No	☐
PEOPLE'S COUNSEL COMMENT LETTER	Yes	☐	No	☐

Comments, if any: See "Flood Ins. Rate Map" submitted by Dave Thomas

2013 - 0004 SPHA

PANEL 0440F

FIRM

FLOOD INSURANCE RATE MAP

BALTIMORE COUNTY
MARYLAND
UNINCORPORATED AREAS

PANEL 440 OF 580

(SEE MAP INDEX FOR FIRM PANEL LAYOUT)

CONTAINS:

<u>COMMUNITY</u>	<u>NUMBER</u>	<u>PANEL</u>	<u>SUFFIX</u>
BALTIMORE COUNTY	240010	0440	F

Notice to User: The Map Number shown below should be used when placing map orders; the Community Number shown above should be used on insurance applications for the subject community.



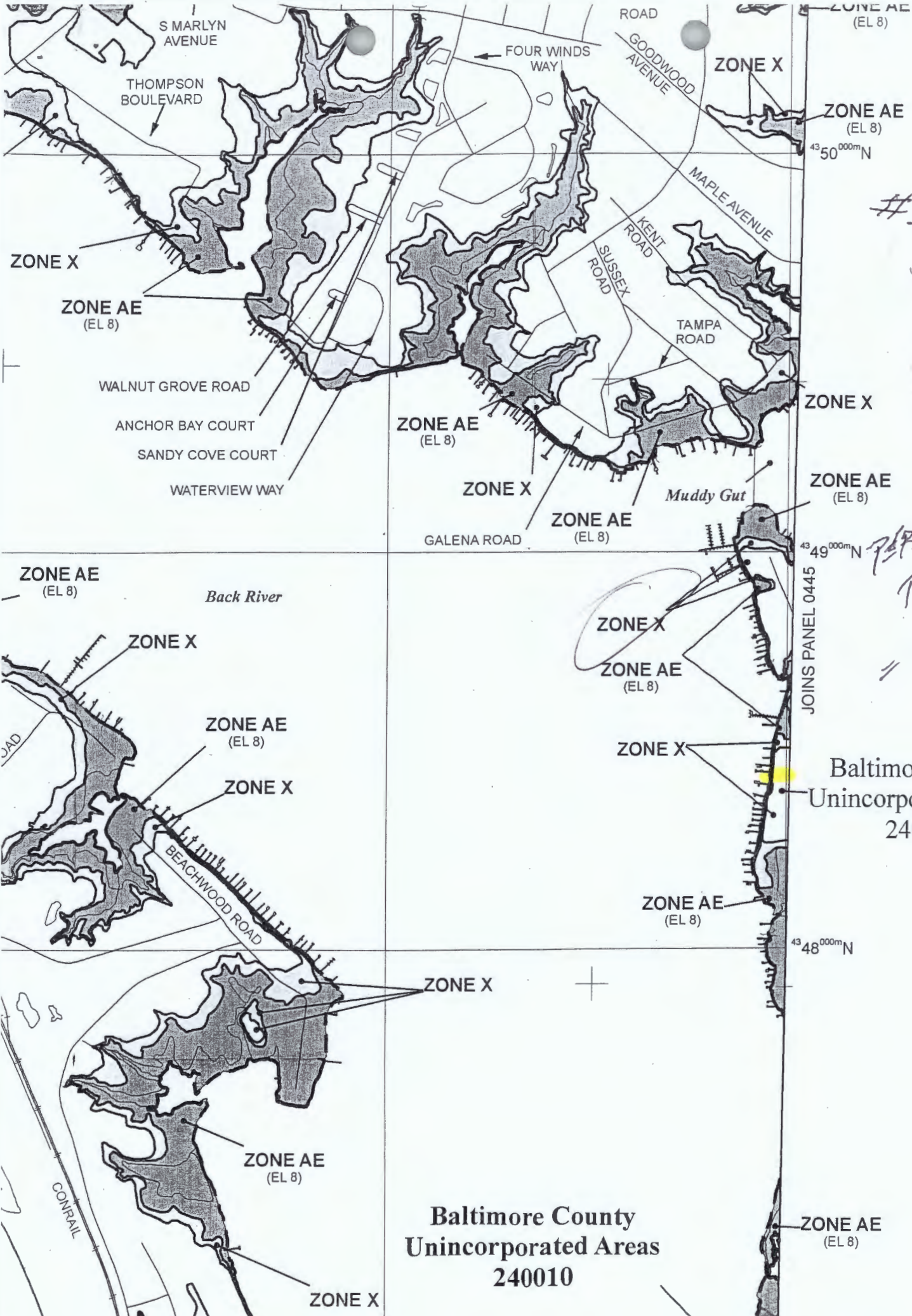
MAP NUMBER
2400100440F

MAP REVISED
SEPTEMBER 26, 2008

Federal Emergency Management Agency

Per
DAVE
THOMAS

Item #0004



#2013-0004
SPHA

PER DAD
THD ROAD
= 30 ft

Baltimore County
Unincorporated Areas
240010

Baltimore County
Unincorporated Areas
240010

Case No.:

2013-0004-SPHA

Exhibit Sheet

Petitioner/Developer

Protestant

12-20-12 DW
11-19-12 DW

No. 1	Color Photos	
No. 2	Architectural Rendering	
No. 3	Construction Drawings	
No. 4	Site Plan	
No. 5		
No. 6		
No. 7		
No. 8		
No. 9		
No. 10		
No. 11		
No. 12		

EX. 1

















Ps #3

PROJECT INFORMATION

Owner: Charles & Yvonne Roe
 Project Address and/or Legal Description: 1236 E. Riverside Ave., Essex, MD 21221
 Jurisdictions: Baltimore County, Essex, Maryland
 Zoning: Single Family Residential
 Permit #:
 Fire District: Baltimore County
 Water: Baltimore City
 Sewage Disposal:
 Scope of Work: New 2nd Story Addition and Deck on Existing Detached Garage

OWNER & BUILDER'S NOTE

These plans shall not be used for construction until stamped and signed by an engineer (if required) and approved by the local building department. This project follows the International Residential Code 2012 for "prescriptive design". As such, structural calculations have not been calculated by a registered professional. The builder is expected to follow these plans, applicable building codes and local ordinances. He shall verify that the site conditions are consistent with these plans before starting work. While these plans are drawn to show the proposed work as accurately as possible, schematic details may be used in some cases for clarity. Work not specifically detailed shall be constructed to the same quality as similar work that is detailed.

Written dimensions and specific notes shall take precedence over scaled dimensions and general notes. The drafter/designer shall be consulted for clarification if site conditions are encountered that are different than shown, if discrepancies are found in the plans or notes, or if a question arises over the intent of the plans or notes.

The drafter/designer assumes no responsibility for scheduling, fabrications, construction techniques or material quantities used in the work. The drafter/designer assumes no responsibility for field changes, site variances or discrepancies not brought to his/hers attention for clarification. The drafter/designer has carefully determined the necessary sizes of structural members based on the loads they will support as per the IRC but at no point has indicated that he or she is a registered professional engineer or architect.

Builder/Contractor is responsible for erosion control during construction to prevent sedimentation from leaving the site and entering the storm drainage system. At minimum this includes a silt fence, catch basin insert, stockpile location and construction.

INDEX TO DRAWINGS

- | | |
|--|--|
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| A2 General Notes & Specifications | S2 2nd Floor & Lower Roof Framing Plan |
| A3 General Notes & Specifications | S3 Wall Framing Plan |
| A4 Location Survey | S4 Roof Framing Plan |
| A5 Survey Notes | S5 Cross Section Plan |
| A6 Plot Plan Section | |
| A7 Proposed Second Floor Addition Floor Plan | |
| A8 Proposed Front & Rear Elevation | |
| A9 Proposed Right & Left Elevation | |
| D1 Existing Detached Shop Building | |
| D2 Area of Demolition Plan | |
| D3 Elevation Demolition Plan | |

Rendering For Visualization Purposes Only- See Elevation For Greater Detail



EXISTING DETACHED BUILDING

OWNERS:
 Charles &
 Yvonne Roe

NO.	DESCRIPTION	BY	DATE

SHEET TITLE:
 COVER SHEET

PROJECT DESCRIPTION: SHOP ADDITION
 Second story addition to existing 20'x30'4" detached building located in the rear yard of 1236 E. Riverside Ave, Essex, MD

DRAWINGS PROVIDED BY:
 LeBon Associates, Inc.
 1944 Ball Ave
 Baltimore, Maryland 21227
 410-977-5131

DATE:
 9/14/2012

SCALE:

SHEET:
 A-1

GENERAL REQUIREMENTS:

1. Work performed shall comply with the 2012 IRC Building Code, and all applicable local and state codes, ordinance and regulations, and F.H.A. minimum standards.

2. On-site verification of all dimensions and conditions shall be the responsibility of the General Contractor and his sub-contractors. Noted dimensions take precedence over scale.

3. In areas where the drawings do not address methodology, the Contractor shall perform in strict compliance with the manufacturer's specifications and/or recommendations.

4. All door frames and hardware shall have the same fire rating as the doors hung within them. Dimensions for doors and window are nominal. General Contractor and manufacturers are to coordinate all dimensions concerning doors and door openings, and windows and window openings prior to construction and fabrication.

5. Interior partitions are 2"x4" studs @ 16" o.c. with one layer of 1/2" gyp. bd. each side unless noted otherwise.

6. All pipes, conduit, and ducts in unconditioned areas or in exterior walls, floors, or ceilings shall be insulated.

7. Paint all exposed ferrous or galvanized metal other than completely factory finished items. Metal on roof shall match roof shingles color as close as possible.

8. The Contractor shall compare and coordinate all drawings. When, in the opinion of the Contractor, a discrepancy exists he shall promptly report it to the LeBon Associates for proper adjustment before proceeding with the work.

9. The Contractor shall be responsible for compliance with the orders of any public authority bearing on the performance or the work.

10. All work shall be completed by the General Contractor unless noted. All references to the "Contractor" include the General Contractor and the Sub-contractors. The Contractor shall be responsible for and have control over all construction means, techniques, sequences and procedures, and for coordinating all portions or the work required by the Contract Documents. The Contractor is responsible for acts & omissions of the Contractor's employees, Sub-contractors and their agents and employees, and any other persons performing any of the work under a contract with the Contractor. Work damaged during the construction or not conforming to specified standards and tolerance or manufacturer's instructions for installation, shall be replaced by the Contractor at no additional cost to the Owner.

11. The Contractor shall warrant to the Owner that all materials and equipment furnished and installed under this contract shall be new, unless otherwise specified, and that all work shall be of good quality, free from fault and defects, and conforms to the Contract Documents. For a period of one year beginning at the date of Substantial Completion, the Contractor shall promptly correct work found not to be in accordance with the Contract Documents. The Contractor shall bear all costs of the corrections.

12. LeBon Associates accepts no responsibility for changes or deviations from these plans unless made by prior signed letter or change order.

13. The Contract Documents are solely for bidding and construction of this project.

GRADING AND LANDSCAPING

1. Erosion and sediment control shall comply with all requirements of State & local authorities.

DEMOLITION

1. On site verification of all existing conditions shall be the responsibility of the Contractor.

2. The demolition shall include removal and proper disposal of materials scheduled to be removed in the course of the renovation, in strict accordance with applicable rules, regulations, and standards.

3. The Contractor assumes all responsibility and liability for shoring, framing and barriers required for demolition and building integrity.

4. Damage to the building which occurs during the demolition process, or demolition not called for in the drawings or specifications, shall be replaced or repaired by the Contractor at no additional cost to the owner.

CONCRETE AND MASONRY

1. The concrete properties shall be as follows:

	Min. comp. strength at 28 days (PSI)	Max. Size aggregate	Slump
Footings	- 3000	3/4"	4" + 1"
Slab on grade -	- 3000	3/4"	4" + 1/2"
Walls	- 3000	3/4"	4" + 1/2"

2. Concrete work shall conform to ACI-308-83 and ACI-301-72, Specifications for Structural Concrete for Buildings.

3. All reinforcement, anchor bolts, pipe sleeves and other inserts shall be secured in place before concrete is placed.

4. Provide "95%" backfill compaction at all slabs and footings per ASTM D-698.

REINFORCING STEEL

1. Reinforcing steel shall be intermediate grade new billet deformed bars conforming to ASTM A-615, Grade 60. Welded wire mesh shall conform to ASTM A-185.

2. Detailing, fabricating and placing or reinforcement shall be in accordance with ACI-B15, Manual or Standard Practice for Detailing Reinforced Concrete Structures. Furnish support bars & accessories in accordance with CRSI standards.

3. All reinforcing bars which intercept perpendicular elements shall terminate in hooks, placed 2" (two-inches) clear from the outer face or the element.

4. The Contractor shall notify the building official at least 48 (forty-eight) hours prior to each concrete pour. No concrete shall be placed until all reinforcing has been installed by the Contractor and inspected by the building official.

5. Protective cover for reinforcing steel shall be as follows,

Footings - 3"
Slab - 3/4"
Walls - 1" @ Interior Face, 3" @ exterior face

FOUNDATION

1. Footings shall bear a minimum of 2'-6" below finished grade unless noted otherwise on the drawings. Step footings to a maximum ratio of 2 horizontal to 1 vertical. Footings on compacted fill shall be reinforced with two #4 bars bent and lapped 2'-0" @ corners and intersections, and extending 8'-0" into regions of natural soil where a transition between compacted fill and natural soil occurs.

2. All footings excavations shall be inspected by the building official prior to the placing of any concrete.

3. Concrete slab and footing calculations are based on a soil bearing capacity of 2000 PSF. Depths and sizes of footings shall be subject to change if soil conditions are other than assumed.

4. Except where otherwise noted, slabs on grade shall be 4" thick reinforced with 10/10 welded wire mesh. Lap mesh 6" in each direction.

5. For all exterior slabs on grade, cement with entrained air of 4% or equivalent air-entraining agent shall be used. Provide control joints at 20'-0" o.c. each way.

6. Construct basement wall retaining soil on one side as follows,
Height of soil above basement slab Wall construction
up to 4'-0" 8" hollow C.M.U.

7. Backfill shall not be placed against walls until slabs on grade and framed floors are in place and required inspections are made. Where backfill is required on both sides of walls, backfill both sides simultaneously, with grade difference not to exceed 2'-0" at any time.

MASONRY

1. Design and construction of all brick and C.M.U. walls shall conform to the requirements and specifications of B.I.A and N.C.M.A. codes, latest edition. A.S.T.M. masonry standards,

Face brick,	C-216
Hollow load-bearing C.M.U.,	C-90
Solid load-bearing C.M.U.,	C-145
Hollow non-load-bearing C.M.U.,	C-129
Mortar (type N or S),	C-270

2. Provide continuous horizontal masonry joint reinforcement (Dur-o-wall) at 16" o.c. in all masonry walls.

3. Brick veneer walls to have metal ties at 16" o.c. vertically and horizontally, and weep holes at 24" o.c., at base flashing.

4. Face brick to match existing in size, color and texture.

5. Mortar color and strike to match existing.

CARPENTRY

	Live loads	Dead loads	Total loads
First Floor load -	40# PSF +	10# PSF =	50# PSF
Second floor load -	30# PSF +	10# PSF =	40# PSF
Roof load -	30# PSF +	15# PSF =	45# PSF
Stair load -	100# PSF +	10# PSF =	110# PSF

LUMBER GRADE

1. All lumber shall be #2 HEM-FIR with the following minimum allowable stresses and modulus of elasticity:

Extreme fiber stress in bending - 850 PSI
Compression parallel to grain- 1:300 PSI
Compression perpendicular to grain - 405 PSI
Modulus of elasticity - 1:300,000 PSI

2. Stress grade of lumber shall be clearly stamped with the Lumber Inspection Association seal showing the stress grade. All fabrication, erection, and other procedures shall conform to the current "National Design Specifications for stress-grade lumber and its fastenings".

3. Lumber of equal quality may be substituted, provided the substituted species meets the requirements noted above.

4. All lumber 6" and deeper shall have moisture content not greater than 19%. Air or kiln dried lumber may be used.

JOIST HANGERS

1. All purlins, joists and beams not framed over supporting members shall be supported by means of "Simpson" or approved equal joist hangers.

LAG BOLTS

1. Bolts shall be square headed and of structural grade steel.
2. Place washers under the head of lag bolts bearing on wood.

BOLTS IN WOOD FRAMING

1. All bolts in wood framing shall be standard machine bolts with standard malleable iron washers or steel plate washers.
2. Steel plate washer sizes for 1/2" diameter bolts shall be 2-1/4" sq. x 5/16".
3. Each bolt hole in wood shall be drilled 1/16" larger than diameter of bolt.
4. For sill bolts, see typical details.

ALTERING STRUCTURAL MEMBERS

1. No structural member shall be omitted, notched, cut, blocked out or relocated without prior approval by the LeBon Associates.
2. Do not alter sizes of members without approval of the LeBon Associates

BUILT-UP BEAMS

1. Built up beams or joists formed by a multiple of 2x members shall be interconnected as follows:
Members 9-1/4" and less in depth - intermail w/ (2) rows of 20d nails at 32" o.c. staggered.
Members greater than 9-1/4" in depth - thru-bolt w/1/2" diam. MB at 24" o.c. staggered.

OWNERS:

Charles &
Yvonne Roe

NO.	DESCRIPTION	BY	DATE

SHEET TITLE:
General Notes & Specifications

PROJECT DESCRIPTION: SHOP ADDITION
Second story addition to existing 20'x 30'4" detached building located in the rear yard of 1236 E. Riverside Ave, Essex, MD

DRAWINGS PROVIDED BY:
LeBon Associates, Inc.
1944 Bell Ave
Baltimore, Maryland 21227
410-977-3131

DATE:

9/14/2012

SCALE:**SHEET:**

A-2

CUTTING OF JOISTS AND RAFTERS

1. Cutting of joists and rafters shall be limited to cuts and bored holes not deeper than 1/16th the depth of the member and shall not be located in the middle 1/3rd of the span. Notches located closer to supports than three times the depth of the member shall not exceed 1/5th the depth. Holes bored or cut into joist shall not be closer than 2" to the top or bottom of the joists and the diameter of the hole shall not exceed 1/3rd the depth of the joist.

PIPES IN STUD BEARING WALLS OR SHEAR WALLS

1. Notches of holes in studs of bearing walls or partitions shall not be more than 1/3rd the depth of the stud. Studs cut or bored in excess of the above shall be reinforced to a loading capacity of a stud notched not more than 1/3rd its depth.

BRIDGING AND BLOCKING

1. There shall be not less than one line or bridging in every 8' of span in floor, attic and roof framing. The bridging shall consist of not less than 1x3 lumber double nailed at each end of metal bracing or equal rigidity. Block solid at all bearing supports where adequate lateral support is not otherwise provided. Block all stud walls at maximum intervals of 8' with a minimum of 2x solid material with tight joints. Provide 2x firestops at mid-point of stud walls.
2. Provide double trimmers under all headers 4x6 or larger. All such trimmers shall be spiked together.

PLYWOOD

1. All plywood shall be Douglas Fir and shall be manufactured and graded in accordance with "Product Standard P-1-6" for soft plywood, construction and industrial.
2. Each plywood sheet shall be staggered and shall butt along the center lines of framing members.
3. The face grain of the plywood shall be laid at right angles to the joists and trusses and parallel to the studs.
4. Nails shall be placed 3/8" minimum from the edge of the sheets. The minimum nail penetration into framing members shall be 1/2" for 8d nails and 1-5/8" for 10d nails.
5. All floors shall be glued and nailed with ring shanked nails.
6. Roof sheathing shall be standard INT-DFFA, Group 2 or 3.

CORNER BRACING

1. Unless otherwise noted, brace exterior corners of building with 1x4 diagonals let into the studs or with a 4x8 plywood sheet equal to sheathing thickness, or with a metal strap.
2. Lap plates at all corners.

NAILING

1. All nailing shall comply with 2012 IRC code, and all State and local building codes.

FIRE STOPPING

1. Provide fire stopping at all concealed draft openings (both vertical and horizontal) in the following locations:
In all stud walls and partitions including furred spaces at floor and ceiling levels, and not more than 10'-0" apart.
Between stair stringers at top and bottom, and between studs in line with the stair run.
2. Fire stops shall be 2" nominal thickness wood, gypsum board, mineral wool, or other noncombustible material.
3. Fill spaces between chimneys and wood framing with loose, noncombustible material to 2" minimum thickness.

HEADERS

1. See drawings for lintel sizes. Where drawings do not indicate lintel size provide 2 - 2x10's in all partition openings.

ALIGNMENT

1. All rafters and joists framing from opposite sides shall lap at least six (6) inches and be spiked together.
2. When framing end to end, joists shall be secured together with metal straps.

PARTITIONS

1. Double joists under all parallel partitions.
2. Lap top plates at corners and intersections.

TREATED LUMBER

1. All wood in contact with masonry or concrete shall be pressure-treated wood. See drawings for additional locations of treated wood.

SHEATHING

1. Exterior walls are to receive sheathing of type and thickness as called for in drawings and shall be installed in accordance with the manufacturer's recommendations.

TRUSSED RAFTERS

1. Trussed rafters shall be designed and fabricated in accordance with the provisions of the "National Design Specification for stress-grade lumber and its fastenings", National Forest Products Association, and the "Design Specification for Light Metal Connected Wood Trusses", Truss Plate Institute.
2. Truss configuration shall be as indicated on the drawings. Truss shop drawings shall be provided by the truss fabricator, certified by a locally registered structural engineer.
3. Wood members shall be fastened on each side of each joint with toothed 20 ga. galvanized steel plates. Trussed rafters shall be secured to supporting members with Simpson hurricane ties, or approved equal. Provide permanent lateral bracing as recommended by the truss fabricator and his structural engineer.

INSULATION

1. Ceilings under roof and floors over crawl spaces shall be insulated as noted on the drawings, per requirements of state and local building codes.
2. All exterior stud walls shall receive insulation for full height of wall as noted on the drawings, per requirements of State and local codes.
3. Insulate all basement foundation walls to basement slab as noted on the drawings, per applicable codes.
4. Provide sound insulation around all toilet and bathrooms, including floors, ceilings, and walls common with inhabited spaces, and around plumbing risers adjacent to inhabited spaces.
5. Caulk and seal all floor and top plates, joints in sheathing, etc. prior to installation of batt insulation. Fill all shim spaces around doors and windows with expanding foam insulation.

ROOFING

1. Roofing shall be self-sealing fiber-glass reinforced asphalt shingles over one layer of 15# asphalt saturated felt underlayment. Color to be selected by Owner.

FLASHING

1. All metal flashing, counter-flashing and coping shall be or not less than 26 ga. corrosion resistant metal.
2. Flash all exterior openings and all building corners with approved waterproof building paper to extend at least 4" behind wall covering.
3. Flash and counter-flash at all roof to wall conditions. Flash and caulk wood beams and other projections through exterior walls or roof surfaces.

GUTTERS AND DOWNSPOUTS

1. All gutters are to be 5" ogee white aluminum, fastened 30" o.c.
2. All downspouts are to be 2"x3" corrugated white aluminum.

SIDING AND TRIM

1. Siding and trim to be vinyl to match existing, installed per manufacturer's written instructions. Color to be selected by Owner.

DOORS AND WINDOWS

1. Door and window sizes and locations are shown on the drawings.
2. Windows are vinyl, with insulated low-E double glazing. Provide aluminum framed fiberglass screens at all operable openings to match.
3. French doors, sidelites and patio doors are vinyl, to match existing, with insulated tempered glazing. Provide aluminum framed anodized aluminum screen door to match on operable exterior doors.
4. Interior doors are to match existing.
5. All new door hardware is to be bright finished brass by Schlage or equal. Provide swinging exterior doors with keyed dead bolts, and patio doors with keyed jamb locks.
6. Skylights are to be fixed aluminum clad by Velux, or equal. Provide tempered, insulated low-E argon filled glazing.

GYPSUM WALLBOARD

1. All gypsum wallboard shall be screw attached and installed in accordance with the 2012 IRC code, and State and Local codes.
2. Gypsum wallboard shall not be installed until weather protection for the installation is provided.
3. All edges and ends of gypsum wallboard shall occur on the framing members except those edges which are perpendicular to the framing members. All edges of gypsum wallboard shall be in moderate contact except in concealed spaces where fire resistive construction is required.
4. The sizes and spacing of fasteners shall comply with 2012 IRC code, and State and Local codes.
5. Provide 1/2" cement board (Durock) around tubs and showers.
6. Provide moisture resistant gyp. bd. in baths and powder rooms.
PAINTING AND FINISHING
1. All paint, stain, varnish, etc. is to be by Duron, or equal. Colors are to be selected by Owner.
2. All gypsum board is to receive one coat latex primer, and two coats satin latex.
3. All interior wood trim is to receive one coat latex primer, and two coats semi-gloss latex.
4. Hardwood floors are to be sanded smooth, stained, and are to receive three coats polyurethane varnish. Fine sand between each coat.
5. Exterior wood siding, trim, rails, etc. to receive one coat oil-based primer, and two coats oil-based semi-gloss paint.

CASEWORK

1. Casework shown on the drawings for reference only. Coordinate casework and counter top sizes, configuration and locations with the kitchen/bath designer.
2. Field verify all dimensions prior to ordering or fabrication.

HEATING, VENTILATION AND AIR-CONDITIONING

1. Provide electric baseboard heat as required by code.
2. All work shall be in accordance with all applicable codes, rules and regulations of governing agencies and shall comply with the requirements of the Baltimore County.

PLUMBING

1. All work shall be in accordance with all applicable codes, rules and regulations of governing agencies and shall comply with the requirements of the Baltimore County.
2. Provide 1/2" foam insulation around all hot water supply plumbing accessible during construction.

ELECTRICAL

1. All work shall be in accordance with all codes, rules and regulations of governing agencies and shall comply with the requirements of the serving power and telephone companies.
2. All equipment installed outdoors or exposed to weather shall be weather-proof.
3. Receptacles in kitchen and bathrooms shall be installed above work-top. All other receptacles shall be installed vertically at 16" above the sub-floor.
4. Wall switches are to be 48" above the sub-floor.
5. Provide hard-wired interconnected smoke detectors per code.

MISCELLANEOUS

1. Provide tempered glass in all sliding glass doors, glazed bath/shower doors and enclosures and adjacent walls, glazed swinging doors, and any glazed panels located within 24" of a door.
2. Enclosed attic truss spaces and enclosed roof rafters shall have cross ventilation for each separate space with screened ventilating openings protected against the entrance of moisture, rain and vermin in accordance with 2012 IRC code, and State and Local code.

OWNERS:

Charles &
Yvonne Roe

NO.	DESCRIPTION	BY	DATE

SHEET TITLE:
General Notes & Specifications

PROJECT DESCRIPTION: SHOP ADDITION
Second story addition to existing 20'x30'4" detached building located in the rear yard of 1236 E. Riverside Ave, Essex, MD

DRAWINGS PROVIDED BY:
LeBon Associates, Inc.
1344 Bell Ave
Baltimore, Maryland 21227
410-977-3151

DATE:

9/14/2012

SCALE:

SHEET:

A-3

The information shown on this site plan was provided by the owner and/or field survey.



COMMUNITY PANEL NO. 240010 0445C
ZONE "A1" "B" & "C"
THIS PROPERTY IS NOT LOCATED
IN A FLOOD HAZARD ZONE



LOCATION SURVEY
#1236 RIVERSIDE AVENUE
LOT 34
"BACK RIVER NECK PARK" 7/4
ELECTION DISTRICT №15
BALTIMORE CO, MD

THE PLAT IS A BENEFIT TO THE CONSUMER ONLY INsofar AS IT IS
REQUIRED BY A LENDER OR A TITLE INSURANCE COMPANY OR ITS
AGENT IN CONNECTION WITH CONTEMPLATED TRANSFER, FINANCING
OR REFINANCING. THE PLAT IS NOT TO BE RELIED UPON FOR THE
ESTABLISHMENT OR LOCATION OF FENCES, GARAGES, BUILDINGS
OR OTHER EXISTING OR FUTURE IMPROVEMENTS. THE PLAT DOES
NOT PROVIDE FOR ACCURATE IDENTIFICATION OF PROPERTY
BOUNDARY LINES. SUCH IDENTIFICATION MAY NOT BE REQUIRED
FOR THE TRANSFER OF TITLE OR SECURING FINANCING OR
REFINANCING. I HEREBY CERTIFY THAT THE LOT SHOWN HEREBY HAS
BEEN SURVEYED FOR THE PURPOSE OF LOCATING ALL IMPROVEMENTS ONLY.

REVISED: JAN. 29, 2002

8450

DRAWN BY
BLM

SURVEYED BY
LB

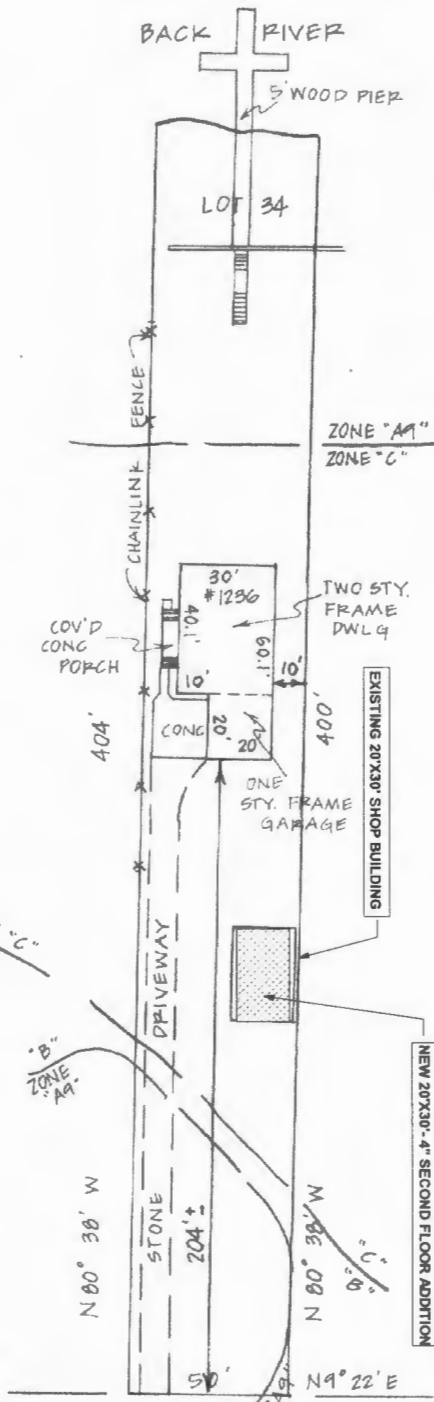
CHECKED BY
VJM

SCALE
1"=40'

DATE
8/16/01

RIVERSIDE AVENUE
(30' R/W)

SITE RITE SURVEYING, INC.
200 E. JOPPA ROAD
SHELL BUILDING, ROOM 101
TOWSON, MD 21286
(410)828-9060



A-4

SHEET:

SCALE:

DATE:

9/14/2012

DRAWINGS PROVIDED BY:

LeBon Associates, Inc.
1944 Bell Ave
Baltimore, Maryland 21227
410-977-3151

PROJECT DESCRIPTION:

SHOP ADDITION
Second story addition to existing 20'x 30'4\"/>

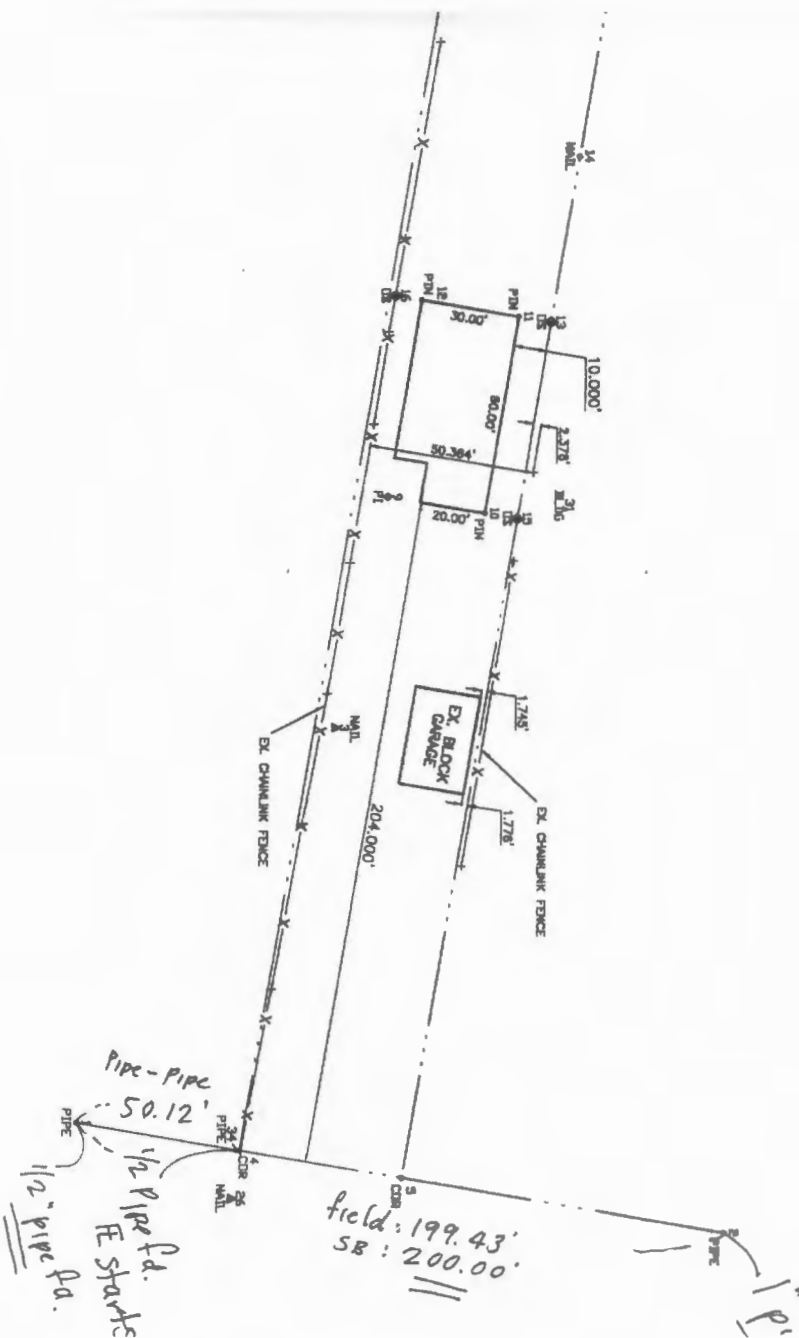
SHEET TITLE:

LOCATION SURVEY

NO.	DESCRIPTION	BY	DATE

OWNERS:
Charles &
Yvonne Roe

The information shown on this site plan was provided by the owner and/or field survey.



OWNERS:
Charles &
Yvonne Roe

NO.	DESCRIPTION	BY	DATE

SHEET TITLE:
SURVEY NOTES

PROJECT DESCRIPTION: **SHOP ADDITION**
Second story addition to existing 20'x 30'4"
detached building located in the rear yard
of 1236 E. Riverside Ave, Essex, MD

DRAWINGS PROVIDED BY:
LeBon Associates, Inc.
1944 Bell Ave
Baltimore, Maryland 21227
410-977-3151

DATE:
9/14/2012

SCALE:

SHEET:

A-5

A-6

SHEET:

SCALE:

DATE: 9/14/2012

DATE:

DRAWINGS PROVIDED BY:
LeBon Associates, Inc.
1944 Red Ave
Baltimore, Maryland 21227
410-977-3151

PROJECT DESCRIPTION:
Second story addition to existing 20'x30'4"
detached building located in the rear yard
of 1236 E. Riverside Ave, Essex, MD

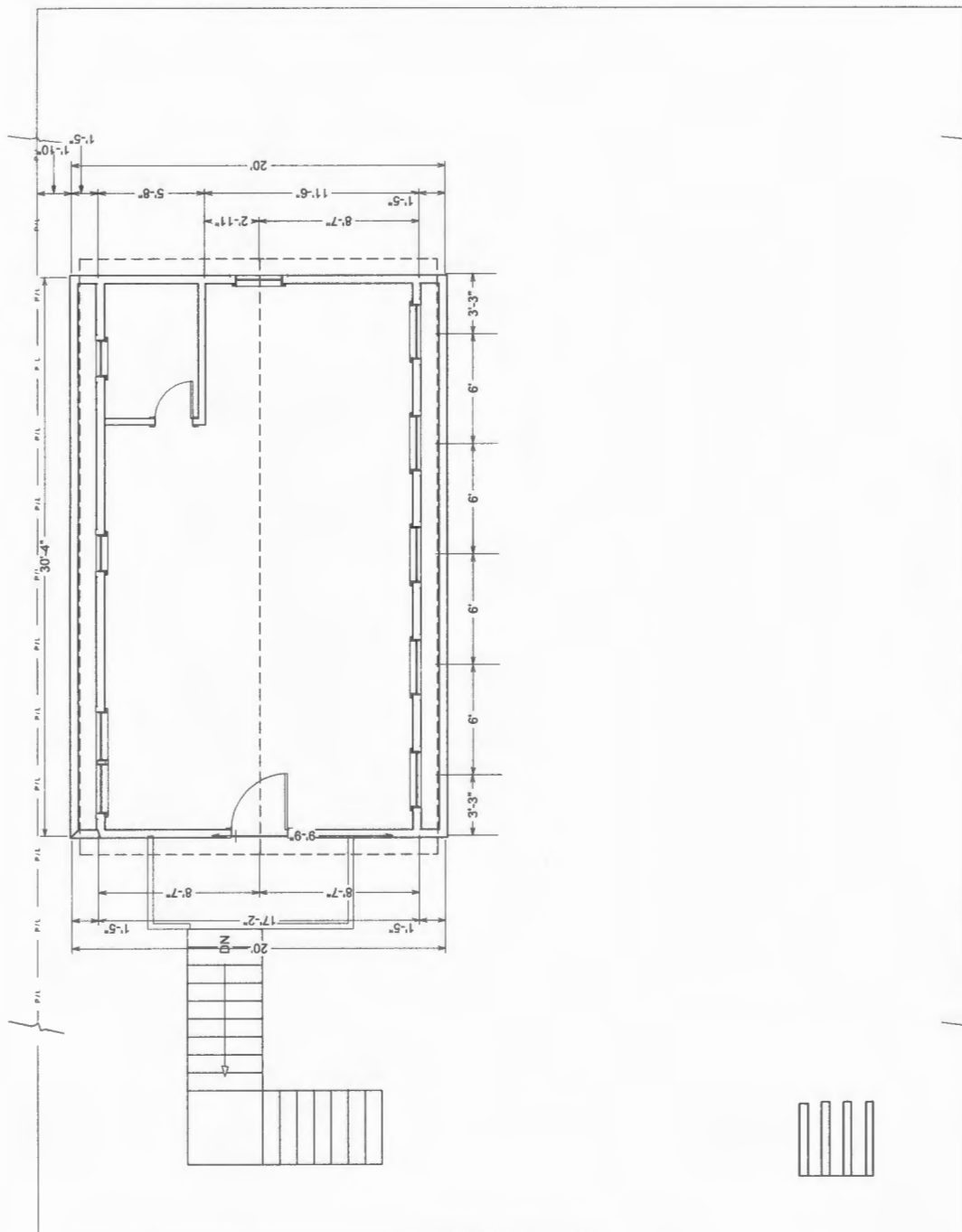
PARTIAL PLOT PLAN

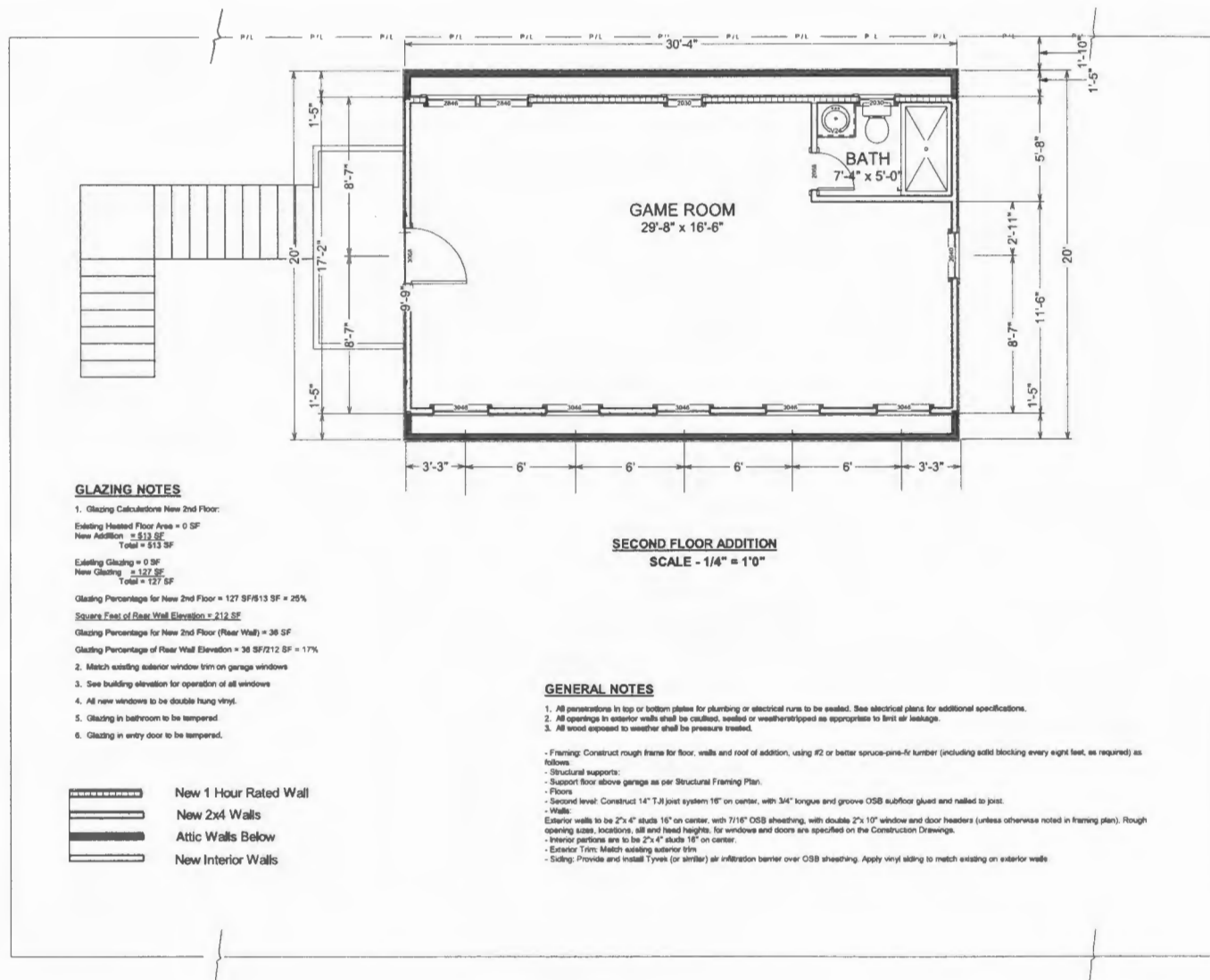
SHEET TITLE:

NO.	DESCRIPTION	BY	DATE

OWNERS:
Charles &
Yvonne Roe

PLOT PLAN SECTION SCALE - 1/4" = 1'-0"





OWNERS:
Charles &
Yvonne Roe

NO.	DESCRIPTION	BY	DATE

SHEET TITLE:
New 2nd Floor Plan

PROJECT DESCRIPTION: SHOP ADDITION
Second story addition to existing 20'x30'4"
detached building located in the rear yard
of 1236 E. Riverside Ave, Essex, MD

DRAWINGS PROVIDED BY:
LeBon Associates, Inc.
1944 Bell Ave
Baltimore, Maryland 21227
410-977-3151

DATE:
9/14/2012

SCALE:

SHEET:
A-7

OWNERS:
Charles &
Yvonne Roe

NO.	DESCRIPTION	BY	DATE

FRONT & REAR ELEVATION

SHEET TITLE:

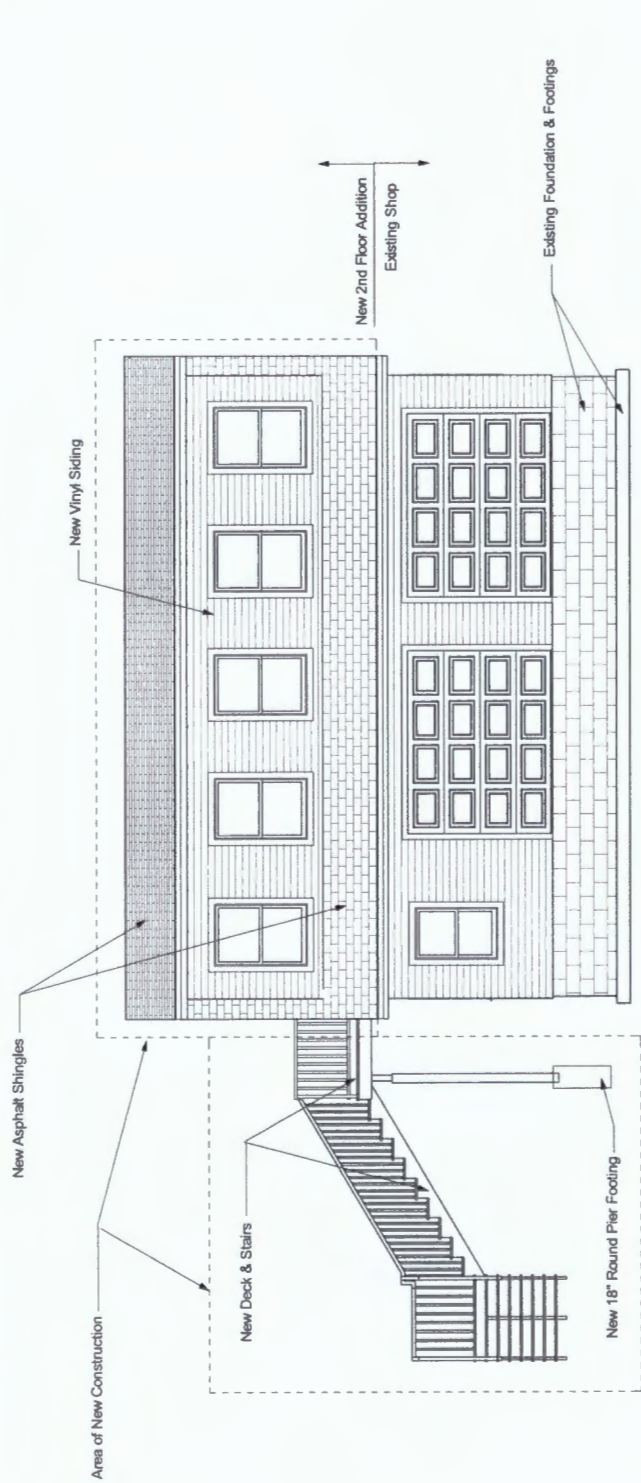
PROJECT DESCRIPTION: SHOP ADDITION
Second story addition to existing 20'x30'4"
of 1236 E. Riverside Ave., Essex, MD

DRAWINGS PROVIDED BY:
LeBon Associates, Inc.
1944 Bell Ave
Baltimore, Maryland 21227
410-977-3151

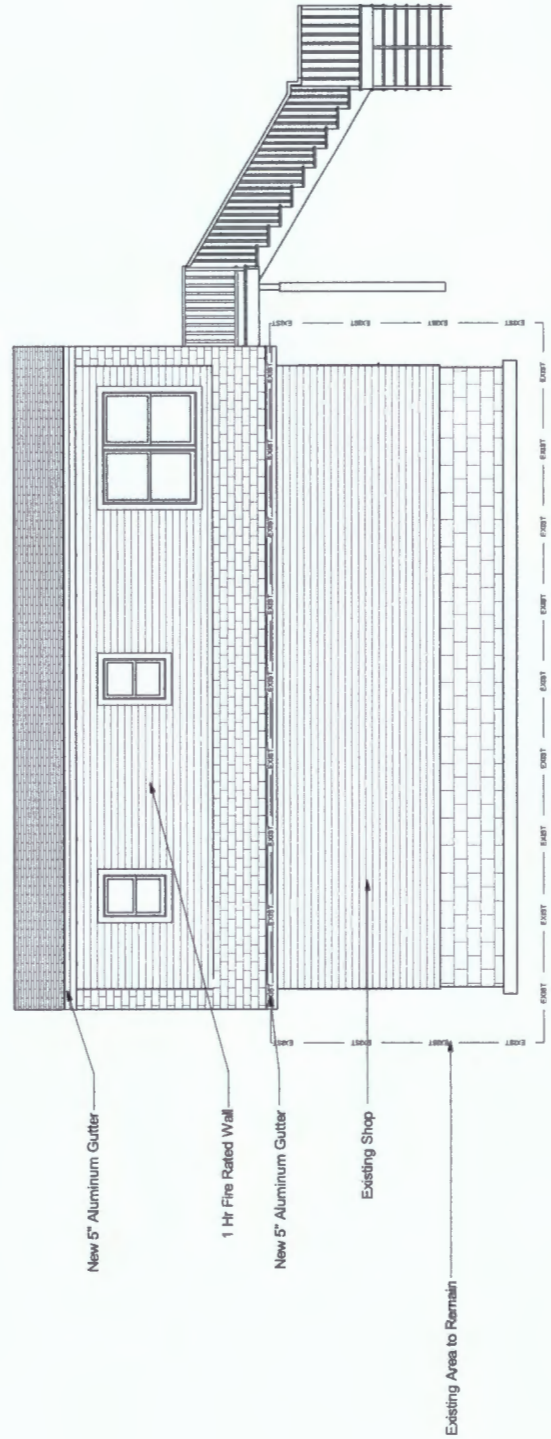
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9/14/2012

SCALE:

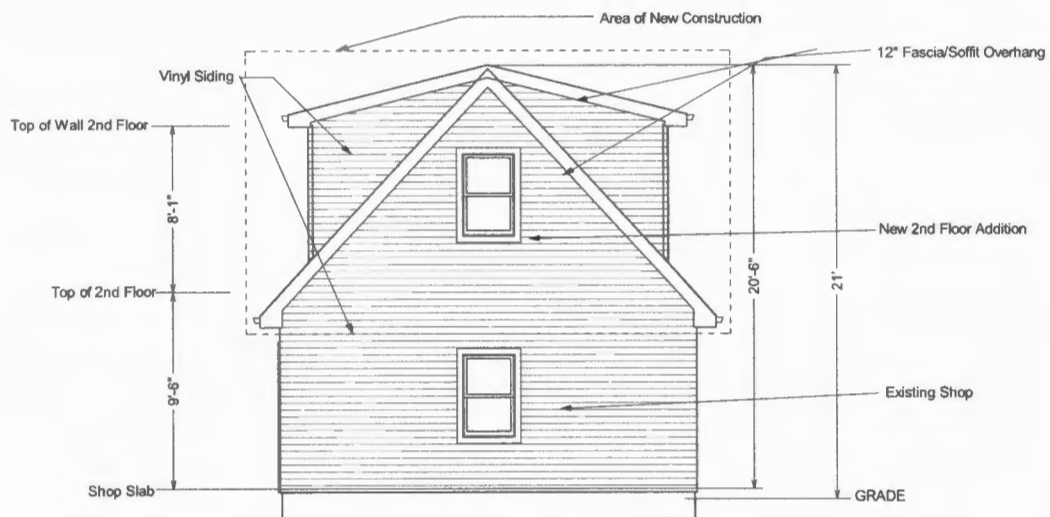
SHEET:
A-8



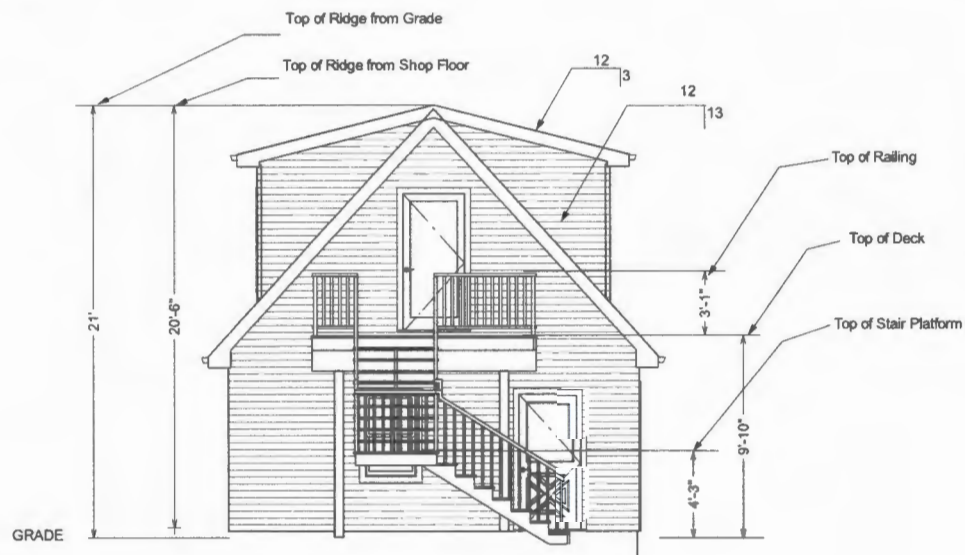
FRONT ELEVATION
SCALE - 1/4" = 10"



REAR ELEVATION
SCALE - 1/4" = 10"



LEFT ELEVATION
SCALE- 1/4" = 1'0"



RIGHT ELEVATION
SCALE- 1/4" = 1'0"

OWNERS:
Charles &
Yvonne Roe

NO.	DESCRIPTION	BY	DATE

SHEET TITLE:
Left & Right Side Elevation

PROJECT DESCRIPTION: **SHOP ADDITION**
Second story addition to existing 20'x 30'4"
detached building located in the rear yard
of 1236 E. Riverside Ave, Essex, MD

DRAWINGS PROVIDED BY:
LeBon Associates, Inc.
1344 Bell Ave
Baltimore, Maryland 21227
410-977-3151

DATE:

9/14/2012

SCALE:

SHEET:

A-9



LEFT ELEVATION



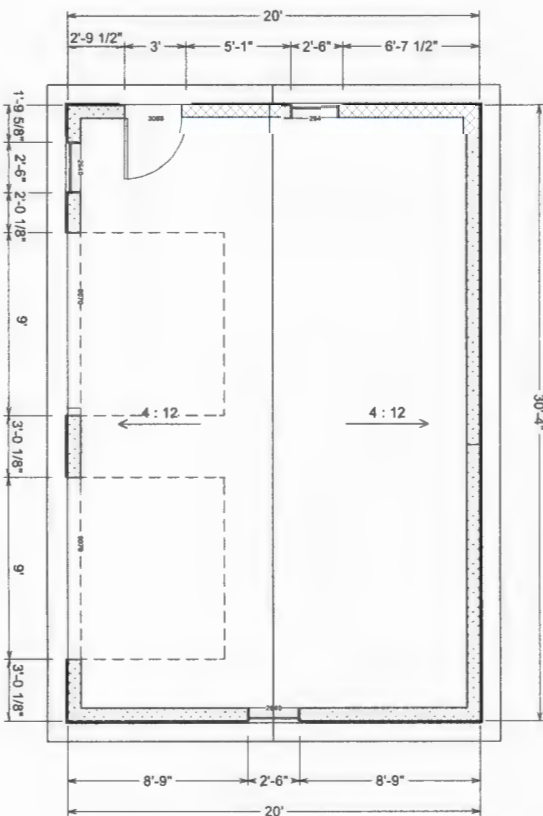
RIGHT ELEVATION



FRONT ELEVATION



Existing Foundation
SCALE - 1/4" = 1'0"



Existing 1st Floor
SCALE - 1/4" = 1'0"

D-1

SHEET:

SCALE:

DATE:
8/16/2012

DRAWINGS PROVIDED BY:
LeBon Associates, Inc.
1944 Bell Ave
Baltimore, Maryland 21227
410-977-3151

PROJECT DESCRIPTION: Shop Addition
Second story addition to existing 20'x 30'4"
detached building located in the rear yard
of 1236 E. Riverside Ave, Essex, MD
21221

SHEET TITLE:

EXISTING BUILDING

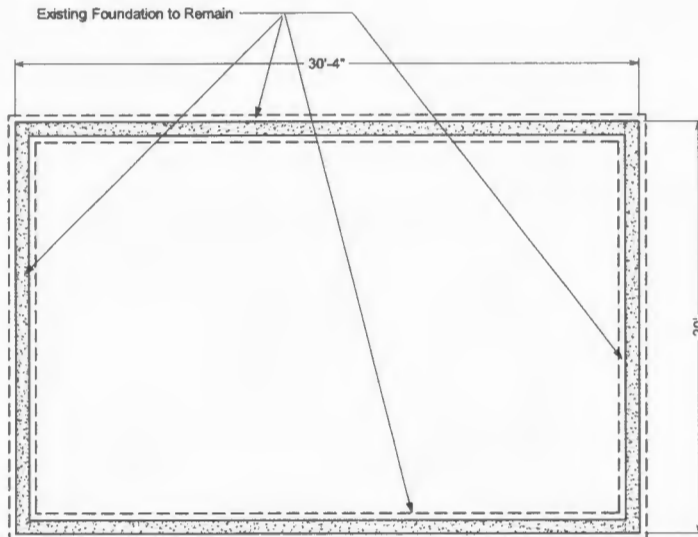
NO.	DESCRIPTION	BY	DATE

OWNERS:
Charles &
Yvonne Roe

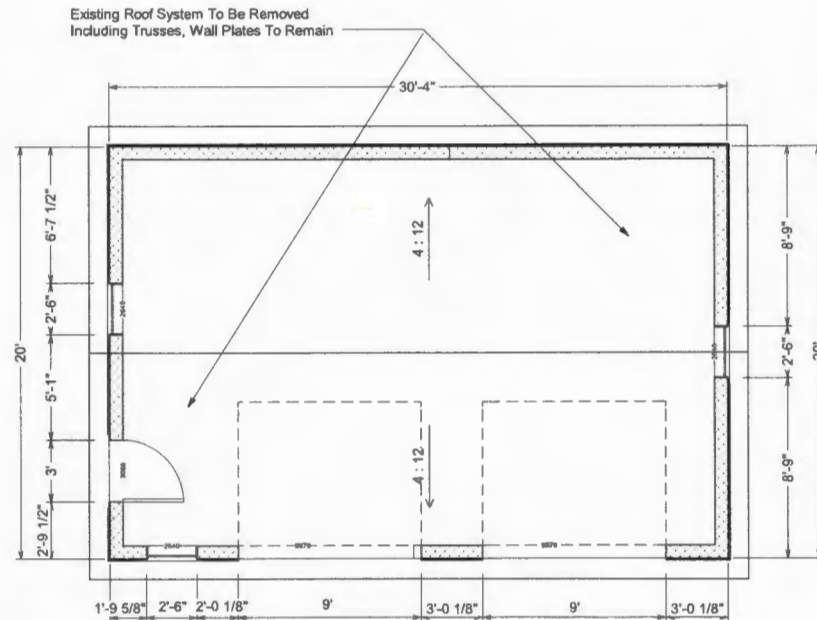
DEMOLITION NOTES:

All items to remove from shop area during construction period by owner, area to remain clear throughout construction. Owner to move material located around exterior of shop and leave a clear 10' space around shop perimeter. Contractor will dispose of all construction debris throughout construction period, and keep construction debris contained in the 10' perimeter area. Work area to be cleared of debris at the end of each workday and placed in dumpster. Owner will provide Contractor area to place dumpster during construction.

1. Exterior siding to be removed and stored on site for future use.
2. Existing electrical to be disconnected in area of demolitions.
3. Temporary construction fence will be installed during demolition phase.



Foundation



SCALE - 1/4" = 1'0"

1st Floor

OWNERS:
Charles &
Yvonne Roe

NO.	DESCRIPTION	BY	DATE

SHEET TITLE:
AREA OF DEMOLITION

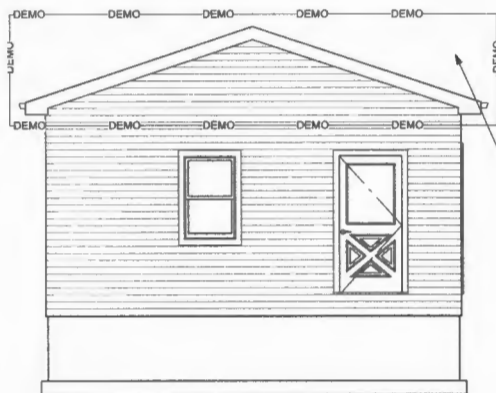
PROJECT DESCRIPTION: Shop Addition
Second story addition to existing 20x30'4"
detached building located in the rear yard
of 1236 E. Riverside Ave, Essex, MD
21221

DRAWINGS PROVIDED BY:
LeBon Associates, Inc.
1944 Bell Ave
Baltimore, Maryland 21227
410-977-5151

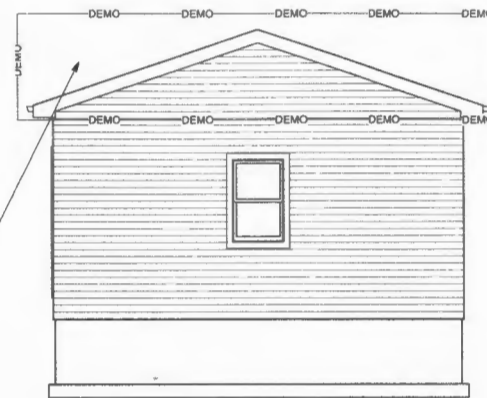
DATE:
8/16/2012

SCALE:

SHEET:
D-2

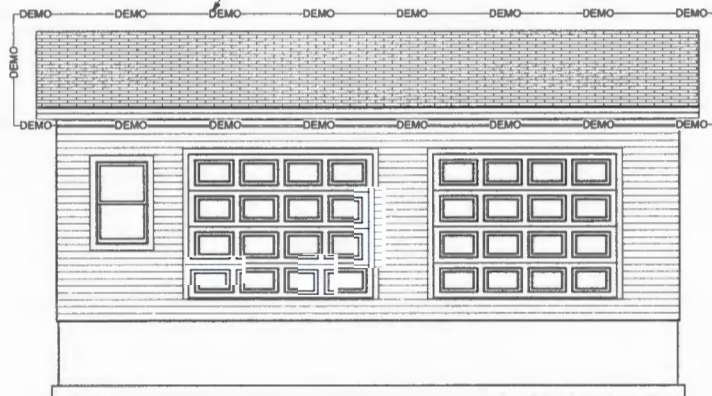


DEMOLITION RIGHT ELEVATION
SCALE - 1/4" = 1'0"



DEMOLITION LEFT ELEVATION
SCALE - 1/4" = 1'0"

AREA OF DEMOLITION: Remove complete roof system down to top of shop walls. Remove existing wall 2x6 wall plates and replace with treated lumber, install seal sealer under wall plates. Siding to be removed and stored on site for future use.



DEMOLITION FRONT ELEVATION
SCALE - 1/4" = 1'0"

OWNERS:
Charles &
Yvonne Roe

NO.	DESCRIPTION	BY	DATE

SHEET TITLE:
ELEVATION DEMOLITION PLAN

PROJECT DESCRIPTION: Shop Addition
Second story addition to existing 20x30'4"
detached building located in the rear yard
of 1236 E. Riverside Ave, Essex, MD
21221

DRAWINGS PROVIDED BY:
LeBon Associates, Inc.
1944 Bell Ave
Baltimore, Maryland 21227
410-977-3151

DATE:
8/16/2012

SCALE:

SHEET:

D-3

SHEET:

S-1

SCALE:

DATE:

9/14/2012

DRAWINGS PROVIDED BY:
LeBon Associates, Inc.
1944 Bell Ave
Baltimore, Maryland 21227
410-977-5151 -

PROJECT DESCRIPTION:
Second story addition to existing 20'x30' detached
building located in the rear yard of 1236 E. Riverside
Ave, Essex, MD 21221

SHEET TITLE:
3D Framing View

NO.	DESCRIPTION	BY	DATE

OWNERS:
Charles &
Yvonne Roe



Rendering For Visualization Purposes Only- See Framing Plans For Greater Detail

CARPENTRY	Live loads	Dead loads	Total loads
First Floor load -	40# PSF +	10# PSF =	50# PSF
Second floor load -	30# PSF +	10# PSF =	40# PSF
Roof load -	30# PSF +	15# PSF =	45# PSF
Stair load -	100# PSF +	10# PSF =	110# PSF

LUMBER GRADE

1. All lumber shall be #2 HEM-FIR with the following minimum allowable stresses and modulus of elasticity:

Extreme fiber stress in bending - 850 PSI
Compression parallel to grain - 1:300 PSI
Compression perpendicular to grain - 405 PSI
Modulus of elasticity - 1:300,000 PSI

2. Stress grade of lumber shall be clearly stamped with the Lumber inspection Association seal showing the stress grade. All fabrication, erection, and other procedures shall conform to the current "National Design Specifications for stress-grade lumber and its fastenings".

3. Lumber of equal quality may be substituted, provided the substituted species meets the requirements noted above.
4. All lumber 6" and deeper shall have moisture content not greater than 19%. Air or kiln dried lumber may be used.

JOIST HANGERS

1. All purlins, joists and beams not framed over supporting members shall be supported by means of "Simpson" or approved equal joist hangers.

LAG BOLTS

1. Bolts shall be square headed and of structural grade steel.
2. Place washers under the head of lag bolts bearing on wood.

BOLTS IN WOOD FRAMING

1. All bolts in wood framing shall be standard machine bolts with standard malleable iron washers or steel plate washers.
2. Steel plate washer sizes for 1/2" diameter bolts shall be 2-1/4" sq. x 5/16".
3. Each bolt hole in wood shall be drilled 1/16" larger than diameter of bolt.
4. For sill bolts, see typical details.

ALTERING STRUCTURAL MEMBERS

1. No structural member shall be omitted, notched, cut, blocked out or relocated without prior approval by the LeBon Associates.
2. Do not alter sizes of members without approval of the LeBon Associates

BUILT-UP BEAMS

1. Built up beams or joists formed by a multiple of 2x members shall be interconnected as follows:
Members 9-1/4" and less in depth - internal w/ (2) rows of 20d nails at 32" o.c. staggered.
Members greater than 9-1/4" in depth - thru-bolt w/ 1/2" diam. MB at 24" o.c. staggered.

CUTTING OF JOISTS AND RAFTERS

1. Cutting of joists and rafters shall be limited to cuts and bored holes not deeper than 1/16" the depth of the member and shall not be located in the middle 1/3rd of the span. Notches located closer to supports than three times the depth of the member shall not exceed 1/5th the depth. Holes bored or cut into joist shall not be closer than 2" to the top or bottom of the joists and the diameter of the hole shall not exceed 1/3rd the depth of the joist.

PIPES IN STUD BEARING WALLS OR SHEAR WALLS

1. Notches of holes in studs of bearing walls or partitions shall not be more than 1/3rd the depth of the stud. Studs cut or bored in excess of the above shall be reinforced to a loading capacity of a stud notched not more than 1/3rd its depth.

BRIDGING AND BLOCKING

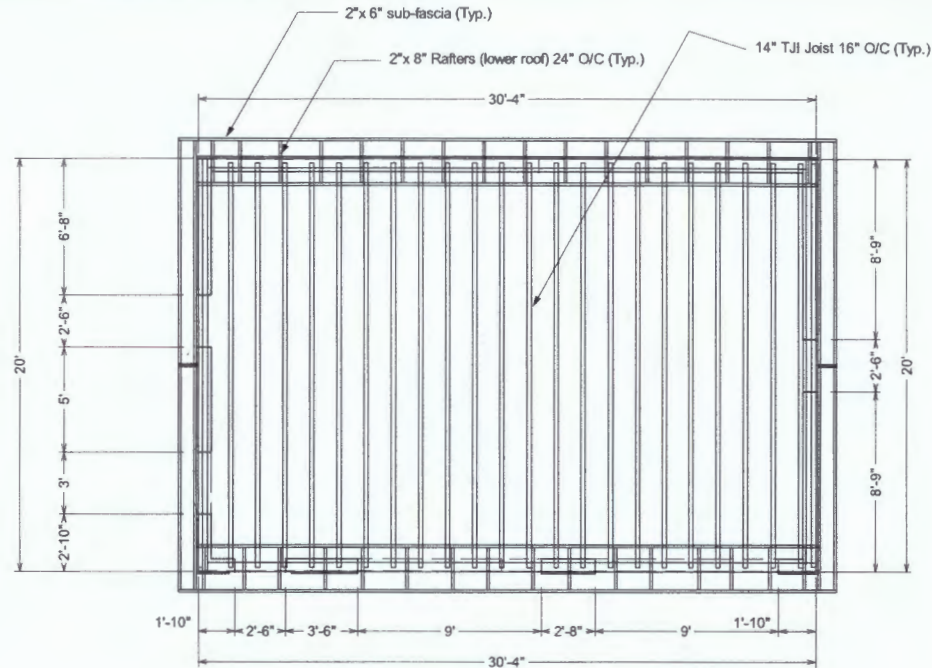
1. There shall be not less than one line or bridging in every 8' of span in floor, attic and roof framing. The bridging shall consist of not less than 1x3 lumber double nailed at each end of metal bracing or equal rigidity. Block solid at all bearing supports where adequate lateral support is not otherwise provided. Block all stud walls at maximum intervals of 8' with a minimum of 2x solid material with tight joints. Provide 2x firestops at mid-point of stud walls.
2. Provide double trimmers under all headers 4x6 or larger. All such trimmers shall be spiked together.

PLYWOOD

1. All plywood shall be Douglas Fir and shall be manufactured and graded in accordance with "Product Standard P-1-6" for soft plywood, construction and industrial.
2. Each plywood sheet shall be staggered and shall butt along the center lines of framing members.
3. The face grain of the plywood shall be laid at right angles to the joists and trusses and parallel to the studs.
4. Nails shall be placed 3/8" minimum from the edge of the sheets. The minimum nail penetration into framing members shall be 1/2" for 8d nails and 1-5/8" for 10d nails.
5. All floors shall be glued and nailed with ring shanked nails.
6. Roof sheathing shall be standard INT-DFFA, Group 2 or 3.

CORNER BRACING

1. Unless otherwise noted, brace exterior corners of building with 1x4 diagonals let into the studs or with a 4x8 plywood sheet equal to sheathing thickness, or with a metal strap.
2. Lap plates at all corners.



2ND Floor and Roof Framing Plan

SCALE - 1/4" = 1'0"

NAILING

1. All nailing shall comply with 2012 IRC code, and all State and local building codes.

FIRE STOPPING

1. Provide fire stopping at all concealed draft openings (both vertical and horizontal) in the following locations:
In all stud walls and partitions including furred spaces at floor and ceiling levels, and not more than 10'-0" apart.
Between stair stringers at top and bottom, and between studs in line with the stair run.
2. Fire stops shall be 2" nominal thickness wood, gypsum board, mineral wool, or other noncombustible material.
3. Fill spaces between chimneys and wood framing with loose, noncombustible material to 2" minimum thickness.

HEADERS

1. See drawings for lintel sizes. Where drawings do not indicate lintel size provide 2 - 2x10's in all partition openings.

ALIGNMENT

1. All rafters and joists framing from opposite sides shall lap at least six (6) inches and be spiked together.
2. When framing end to end, joists shall be secured together with metal straps.

PARTITIONS

1. Double joists under all parallel partitions.
2. Lap top plates at corners and intersections.

TREATED LUMBER

1. All wood in contact with masonry or concrete shall be pressure-treated wood. See drawings for additional locations of treated wood.

SHEATHING

1. Exterior walls are to receive sheathing of type and thickness as called for in drawings and shall be installed in accordance with the manufacturer's recommendations.

TRUSSED RAFTERS

1. Trussed rafters shall be designed and fabricated in accordance with the provisions of the "National Design Specification for stress-grade lumber and its fastenings", National Forest Products Association, and the "Design Specification for Light Metal Connected Wood Trusses", Truss Plate Institute.
2. Truss configuration shall be as indicated on the drawings. Truss shop drawings shall be provided by the truss fabricator, certified by a locally registered structural engineer.
3. Wood members shall be fastened on each side of each joint with toothed 20 ga. galvanized steel plates. Trussed rafters shall be secured to supporting members with Simpson hurricane ties, or approved equal. Provide permanent lateral bracing as recommended by the truss fabricator and his structural engineer.

OWNERS:
Charles &
Yvonne Roe

NO.	DESCRIPTION	BY	DATE

SHEET TITLE:
2nd Floor & Lower Roof Framing Plan

PROJECT DESCRIPTION:
Second story addition to existing 20' x 30' x 4" detached building located in the rear yard of 1238 E. Riverside Ave. Essex, MD 21221

DRAWINGS PROVIDED BY:
LeBon Associates, Inc.
1944 Bell Ave
Baltimore, Maryland 21227
410-977-5131

DATE:
9/14/2012

SCALE:

SHEET:

S-2

CARPENTRY	Live loads	Dead loads	Total loads
First Floor load -	40# PSF +	10# PSF =	50# PSF
Second floor load -	30# PSF +	10# PSF =	40# PSF
Roof load -	30# PSF +	15# PSF =	45# PSF
Stair load -	100# PSF +	10# PSF =	110# PSF

LUMBER GRADE

- All lumber shall be #2 HEM-FIR with the following minimum allowable stresses and modulus of elasticity:
Extreme fiber stress in bending - 850 PSI
Compression parallel to grain - 1:300 PSI
Compression perpendicular to grain - 405 PSI
Modulus of elasticity - 1:300,000 PSI
- Stress grade of lumber shall be clearly stamped with the Lumber inspection Association seal showing the stress grade. All fabrication, erection, and other procedures shall conform to the current "National Design Specifications for stress-grade lumber and its fastenings".
- Lumber of equal quality may be substituted, provided the substituted species meets the requirements noted above.
- All lumber 6" and deeper shall have moisture content not greater than 19%. Air or kiln dried lumber may be used.

JOIST HANGERS

- All purlins, joists and beams not framed over supporting members shall be supported by means of "Simpson" or approved equal joist hangers.

LAG BOLTS

- Bolts shall be square headed and of structural grade steel.
- Place washers under the head of lag bolts bearing on wood.

BOLTS IN WOOD FRAMING

- All bolts in wood framing shall be standard machine bolts with standard malleable iron washers or steel plate washers.
- Steel plate washer sizes for 1/2" diameter bolts shall be 2-1/4" sq. x 5/16".
- Each bolt hole in wood shall be drilled 1/16" larger than diameter of bolt.
- For sill bolts, see typical details.

ALTERING STRUCTURAL MEMBERS

- No structural member shall be omitted, notched, cut, blocked out or relocated without prior approval by the LeBon Associates.
- Do not alter sizes of members without approval of the LeBon Associates

BUILT-UP BEAMS

- Built up beams or joists formed by a multiple of 2x members shall be interconnected as follows:
Members 9-1/4" and less in depth - internal w/ (2) rows of 20d nails at 32" o.c. staggered.
Members greater than 9-1/4" in depth - thru-bolt w/ 1/2" diam. MB at 24" o.c. staggered.

CUTTING OF JOISTS AND RAFTERS

- Cutting of joists and rafters shall be limited to cuts and bored holes not deeper than 1/16th the depth of the member and shall not be located in the middle 1/3rd of the span. Notches located closer to supports than three times the depth of the member shall not exceed 1/5th the depth. Holes bored or cut into joist shall not be closer than 2" to the top or bottom of the joists and the diameter of the hole shall not exceed 1/3rd the depth of the joist.

PIPES IN STUD BEARING WALLS OR SHEAR WALLS

- Notches of holes in studs of bearing walls or partitions shall not be more than 1/3rd the depth of the stud. Studs cut or bored in excess of the above shall be reinforced to a loading capacity of a stud notched not more than 1/3rd its depth.

BRIDGING AND BLOCKING

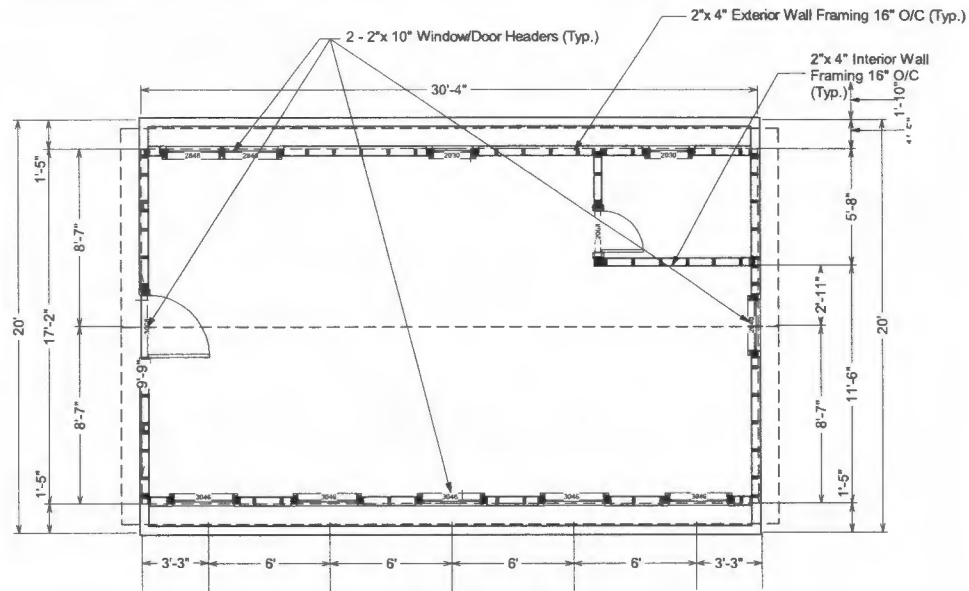
- There shall be not less than one line or bridging in every 8' of span in floor, attic and roof framing. The bridging shall consist of not less than 1x3 lumber double nailed at each end of metal bracing or equal rigidity. Block solid at all bearing supports where adequate lateral support is not otherwise provided. Block all stud walls at maximum intervals of 8' with a minimum of 2x solid material with tight joints. Provide 2x firestops at mid-point of stud walls.
- Provide double trimmers under all headers 4x6 or larger. All such trimmers shall be spiked together.

PLYWOOD

- All plywood shall be Douglas Fir and shall be manufactured and graded in accordance with "Product Standard P-1-6" for soft plywood, construction and industrial.
- Each plywood sheet shall be staggered and shall butt along the center lines of framing members.
- The face grain of the plywood shall be laid at right angles to the joists and trusses and parallel to the studs.
- Nails shall be placed 3/8" minimum from the edge of the sheets. The minimum nail penetration into framing members shall be 1/2" for 8d nails and 1-5/8" for 10d nails.
- All floors shall be glued and nailed with ring shanked nails.
- Roof sheathing shall be standard INT-DFFA, Group 2 or 3.

CORNER BRACING

- Unless otherwise noted, brace exterior corners of building with 1x4 diagonals let into the studs or with a 4x8 plywood sheet equal to sheathing thickness, or with a metal strap.
- Lap plates at all corners.



Wall Framing Plan

SCALE - 1/4" = 1'0"

NAILING

- All nailing shall comply with 2012 IRC code, and all State and local building codes.

FIRE STOPPING

- Provide fire stopping at all concealed draft openings (both vertical and horizontal) in the following locations:
In all stud walls and partitions including furred spaces at floor and ceiling levels, and not more than 10'-0" apart.
Between stair stringers at top and bottom, and between studs in line with the stair run.
- Fire stops shall be 2" nominal thickness wood, gypsum board, mineral wool, or other noncombustible material.
- Fill spaces between chimneys and wood framing with loose, noncombustible material to 2" minimum thickness.

HEADERS

- See drawings for lintel sizes. Where drawings do not indicate lintel size provide 2 - 2x10's in all partition openings.

ALIGNMENT

- All rafters and joists framing from opposite sides shall lap at least six (6) inches and be spiked together.
- When framing end to end, joists shall be secured together with metal straps.

PARTITIONS

- Double joists under all parallel partitions.
- Lap top plates at corners and intersections.

TREATED LUMBER

- All wood in contact with masonry or concrete shall be pressure-treated wood. See drawings for additional locations of treated wood.

SHEATHING

- Exterior walls are to receive sheathing of type and thickness as called for in drawings and shall be installed in accordance with the manufacturer's recommendations.

TRUSSED RAFTERS

- Trussed rafters shall be designed and fabricated in accordance with the provisions of the "National Design Specification for stress-grade lumber and its fastenings", National Forest Products Association, and the "Design Specification for Light Metal Connected Wood Trusses", Truss Plate Institute.
- Truss configuration shall be as indicated on the drawings. Truss shop drawings shall be provided by the truss fabricator, certified by a locally registered structural engineer.
- Wood members shall be fastened on each side of each joint with toothed 20 ga. galvanized steel plates. Trussed rafters shall be secured to supporting members with Simpson hurricane ties, or approved equal. Provide permanent lateral bracing as recommended by the truss fabricator and his structural engineer.

OWNERS:
Charles &
Yvonne Roe

NO.	DESCRIPTION	BY	DATE

SHEET TITLE:
WALL FRAMING PLAN

PROJECT DESCRIPTION:
Second story addition to existing 207, 304' detached building located in the rear yard of 1238 E. Riverside Ave. Essex, MD 21221

DRAWINGS PROVIDED BY:
LeBon Associates, Inc.
1944 Bell Ave
Baltimore, Maryland 21227
410-977-3131

DATE:

9/14/2012

SCALE:

SHEET:

S-3

CARPENTRY	Live loads	Dead loads	Total loads
First Floor load -	40# PSF +	10# PSF =	50# PSF
Second floor load -	30# PSF +	10# PSF =	40# PSF
Roof load -	30# PSF +	15# PSF =	45# PSF
Stair load -	100# PSF +	10# PSF =	110# PSF

LUMBER GRADE

1. All lumber shall be #2 HEM-FIR with the following minimum allowable stresses and modulus of elasticity:

Extreme fiber stress in bending - 850 PSI
Compression parallel to grain - 1300 PSI
Compression perpendicular to grain - 405 PSI
Modulus of elasticity - 1,300,000 PSI

2. Stress grade of lumber shall be clearly stamped with the Lumber Inspection Association seal showing the stress grade. All fabrication, erection, and other procedures shall conform to the current "National Design Specifications for stress-grade lumber and its fastenings".

3. Lumber of equal quality may be substituted, provided the substituted species meets the requirements noted above.

4. All lumber 6" and deeper shall have moisture content not greater than 19%. Air or kiln dried lumber may be used.

JOIST HANGERS

1. All purlins, joists and beams not framed over supporting members shall be supported by means of "Simpson" or approved equal joist hangers.

LAG BOLTS

1. Bolts shall be square headed and of structural grade steel.
2. Place washers under the head of lag bolts bearing on wood.

BOLTS IN WOOD FRAMING

1. All bolts in wood framing shall be standard machine bolts with standard malleable iron washers or steel plate washers.

2. Steel plate washer sizes for 1/2" diameter bolts shall be 2-1/4" sq. x 5/16".

3. Each bolt hole in wood shall be drilled 1/16" larger than diameter of bolt.

4. For sill bolts, see typical details.

ALTERING STRUCTURAL MEMBERS

1. No structural member shall be omitted, notched, cut, blocked out or relocated without prior approval by the LeBon Associates.
2. Do not alter sizes of members without approval of the LeBon Associates

BUILT-UP BEAMS

1. Built up beams or joists formed by a multiple of 2x members shall be interconnected as follows:
Members 9-1/4" and less in depth - intemal w/ (2) rows of 20d nails at 32" o.c. staggered.
Members greater than 9-1/4" in depth - thru-bolt w/ 1/2" diam. MB at 24" o.c. staggered.

CUTTING OF JOISTS AND RAFTERS

1. Cutting of joists and rafters shall be limited to cuts and bored holes not deeper than 1/16th the depth of the member and shall not be located in the middle 1/3rd of the span. Notches located closer to supports than three times the depth of the member shall not exceed 1/5th the depth. Holes bored or cut into joist shall not be closer than 2" to the top or bottom of the joists and the diameter of the hole shall not exceed 1/3rd the depth of the joist.

PIPES IN STUD BEARING WALLS OR SHEAR WALLS

1. Notches of holes in studs of bearing walls or partitions shall not be more than 1/3rd the depth of the stud. Studs cut or bored in excess of the above shall be reinforced to a loading capacity of a stud notched not more than 1/3rd its depth.

BRIDGING AND BLOCKING

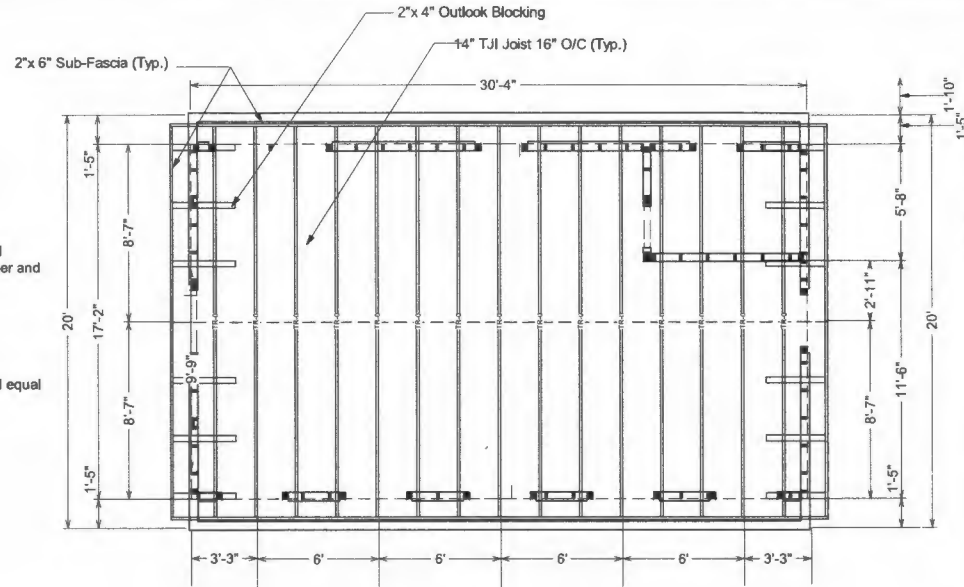
1. There shall be not less than one line or bridging in every 8' of span in floor, attic and roof framing. The bridging shall consist of not less than 1x3 lumber double nailed at each end of metal bracing or equal rigidity. Block solid at all bearing supports where adequate lateral support is not otherwise provided. Block all stud walls at maximum intervals of 8' with a minimum of 2x solid material with tight joints. Provide 2x firestops at mid-point of stud walls.
2. Provide double trimmers under all headers 4x6 or larger. All such trimmers shall be spiked together.

PLYWOOD

1. All plywood shall be Douglas Fir and shall be manufactured and graded in accordance with "Product Standard P-1-6" for soft plywood, construction and industrial.
2. Each plywood sheet shall be staggered and shall butt along the center lines of framing members.
3. The face grain of the plywood shall be laid at right angles to the joists and trusses and parallel to the studs.
4. Nails shall be placed 3/8" minimum from the edge of the sheets. The minimum nail penetration into framing members shall be 1/2" for 8d nails and 1-5/8" for 10d nails.
5. All floors shall be glued and nailed with ring shanked nails.
6. Roof sheathing shall be standard INT-DFFA, Group 2 or 3.

CORNER BRACING

1. Unless otherwise noted, brace exterior corners of building with 1x4 diagonals let into the studs or with a 4x8 plywood sheet equal to sheathing thickness, or with a metal strap.
2. Lap plates at all corners.



Roof Framing Plan

SCALE - 1/4" = 1'0"

NAILING

1. All nailing shall comply with 2012 IRC code, and all State and local building codes.

FIRE STOPPING

1. Provide fire stopping at all concealed draft openings (both vertical and horizontal) in the following locations:
In all stud walls and partitions including furred spaces at floor and ceiling levels, and not more than 10'-0" apart.
Between stair stringers at top and bottom, and between studs in line with the stair run.
2. Fire stops shall be 2" nominal thickness wood, gypsum board, mineral wool, or other noncombustible material.
3. Fill spaces between chimneys and wood framing with loose, noncombustible material to 2" minimum thickness.

HEADERS

1. See drawings for lintel sizes. Where drawings do not indicate lintel size provide 2 - 2x10's in all partition openings.

ALIGNMENT

1. All rafters and joists framing from opposite sides shall lap at least six (6) inches and be spiked together.
2. When framing end to end, joists shall be secured together with metal straps.

PARTITIONS

1. Double joists under all parallel partitions.
2. Lap top plates at corners and intersections.

TREATED LUMBER

1. All wood in contact with masonry or concrete shall be pressure-treated wood. See drawings for additional locations of treated wood.

SHEATHING

1. Exterior walls are to receive sheathing of type and thickness as called for in drawings and shall be installed in accordance with the manufacturer's recommendations.

TRUSSED RAFTERS

1. Trussed rafters shall be designed and fabricated in accordance with the provisions of the "National Design Specification for stress-grade lumber and its fastenings", National Forest Products Association, and the "Design Specification for Light Metal Connected Wood Trusses", Truss Plate Institute.
2. Truss configuration shall be as indicated on the drawings. Truss shop drawings shall be provided by the truss fabricator, certified by a locally registered structural engineer.
3. Wood members shall be fastened on each side of each joint with toothed 20 ga. galvanized steel plates. Trussed rafters shall be secured to supporting members with Simpson hurricane ties, or approved equal. Provide permanent lateral bracing as recommended by the truss fabricator and his structural engineer.

OWNERS:
Charles &
Yvonne Roe

NO.	DESCRIPTION	BY	DATE

SHEET TITLE:
Roof Framing Plan

PROJECT DESCRIPTION:
Second story addition to existing 20' x 30' detached building located in the rear yard of 1236 E. Riverside Ave., Essex, MD 21221

DRAWINGS PROVIDED BY:
LeBon Associates, Inc.
1944 Bell Ave
Baltimore, Maryland 21227
410-977-5351

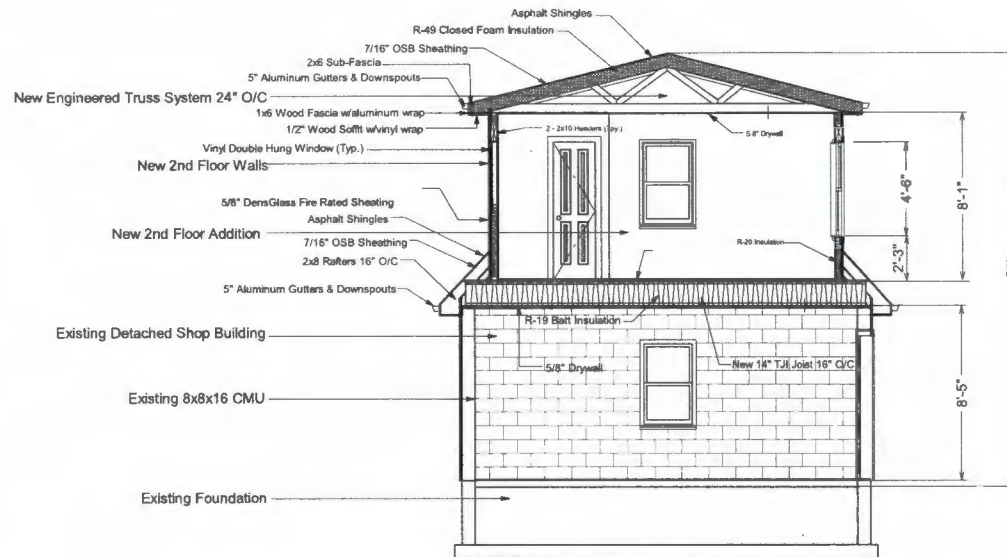
DATE:

9/14/2012

SCALE:

SHEET:

S-4



CROSS SECTION SIDE VIEW
SCALE - 1/4" = 1'0"



CROSS SECTION FRONT VIEW
SCALE - 1/4" = 1'0"

OWNERS:
Charles &
Yvonne Roe

NO.	DESCRIPTION	BY	DATE

SHEET TITLE:
CROSS SECTION PLAN

PROJECT DESCRIPTION:
Second story addition to existing 20'x30' detached building located in the rear yard of 1238 E. Riverside Ave, Essex, MD 21221

DRAWINGS PROVIDED BY:
LeBon Associates, Inc.
1944 Bell Ave
Baltimore, Maryland 21227
410-977-5151

DATE:
9/14/2012

SCALE:

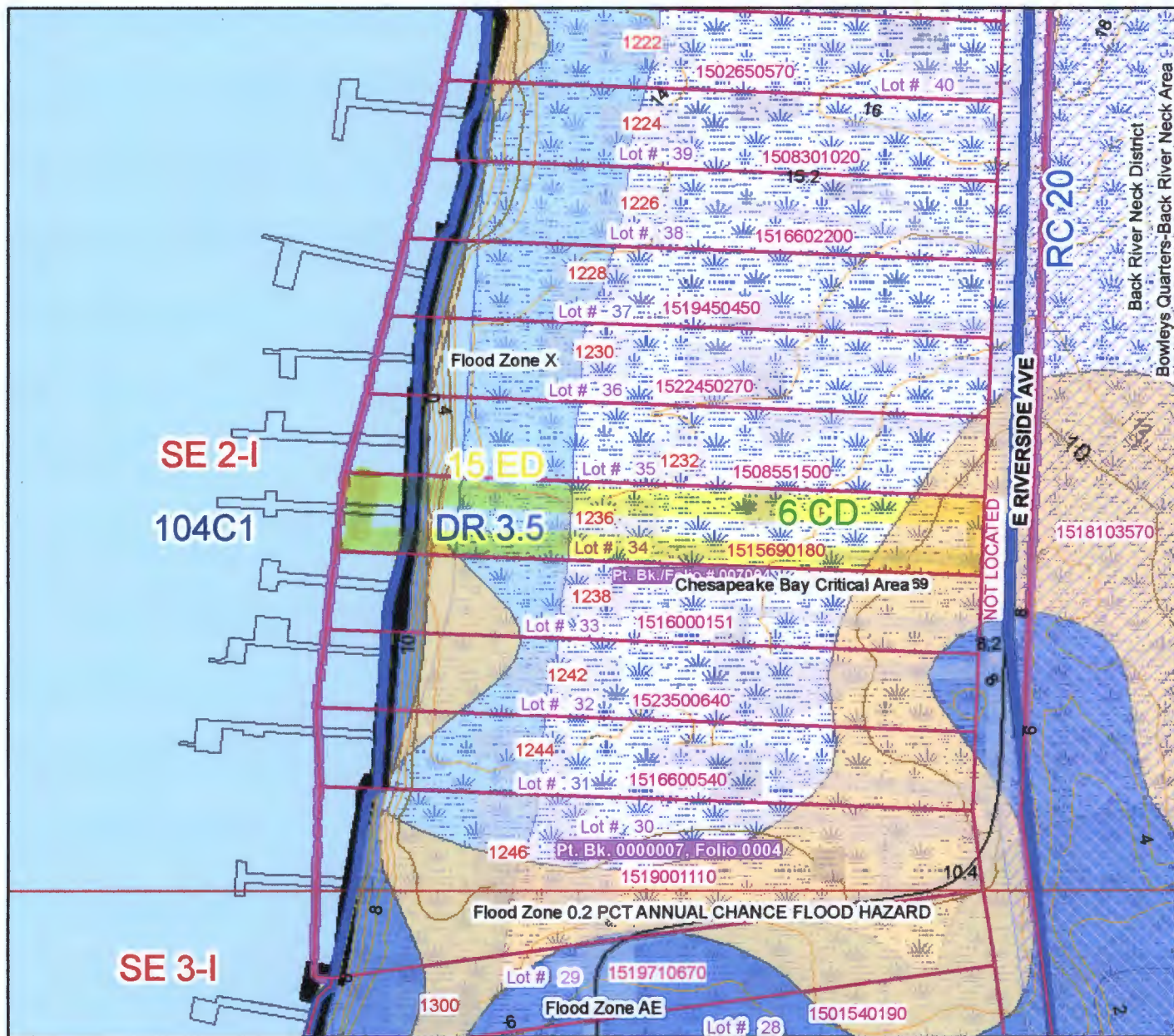
SHEET:

S-5

DECK PLAN VIEW
SCALE 1/4" = 1'-0"

DECK FRAMING
SCALE 1/4" = 1'-0"

Elevations and Flood Hazards



Publication Date: July 10, 2012
 Publication Agency: Department of Permits & Development Management
 Projection/Datum: Maryland State Plane,
 FIPS 1900, NAD 1983/91 HARN, US Foot

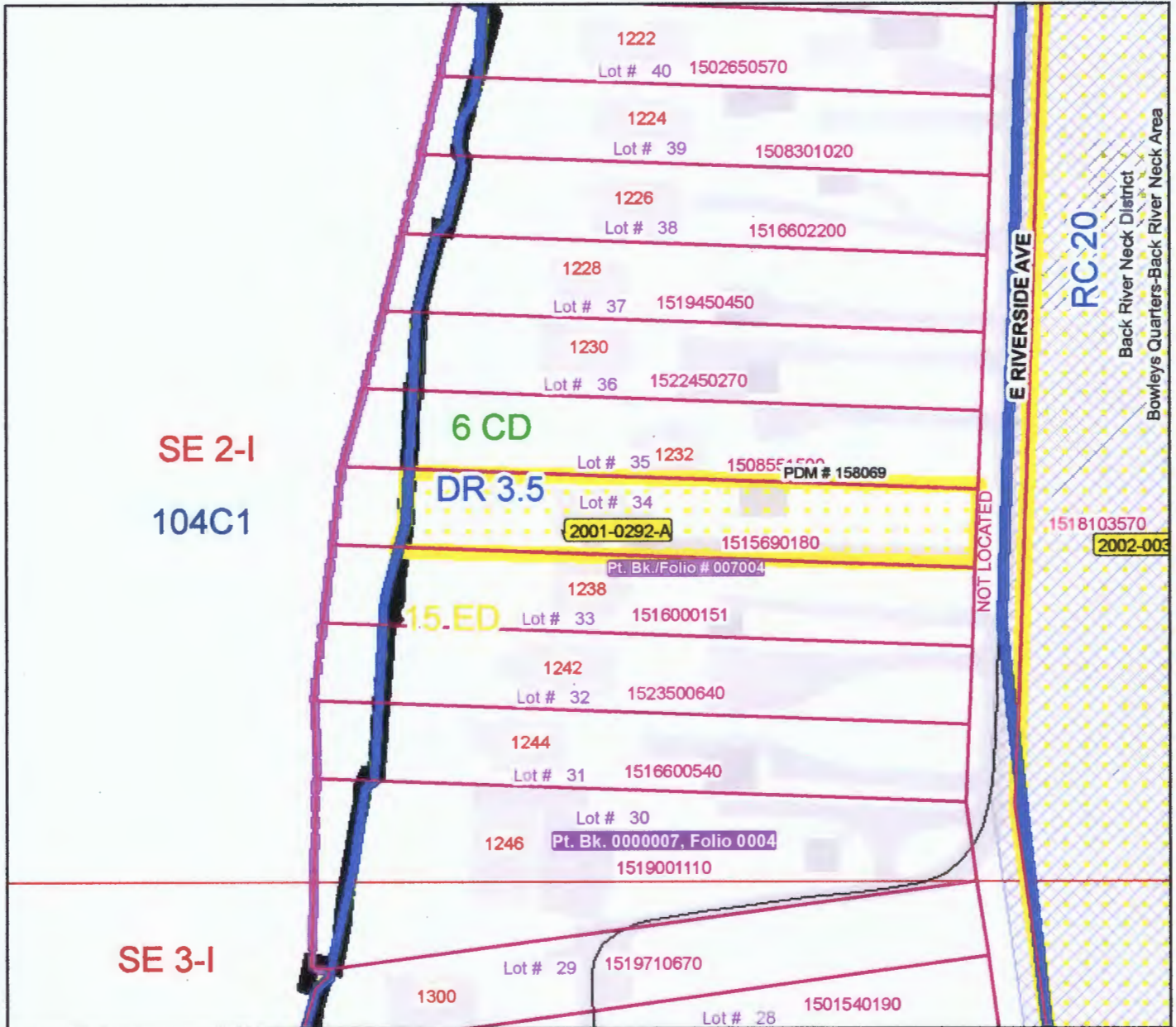


0 100 200
 Feet

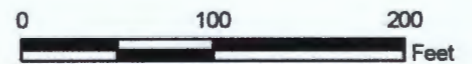
1 inch = 100 feet

Item #0004

1236 Riverside Avenue

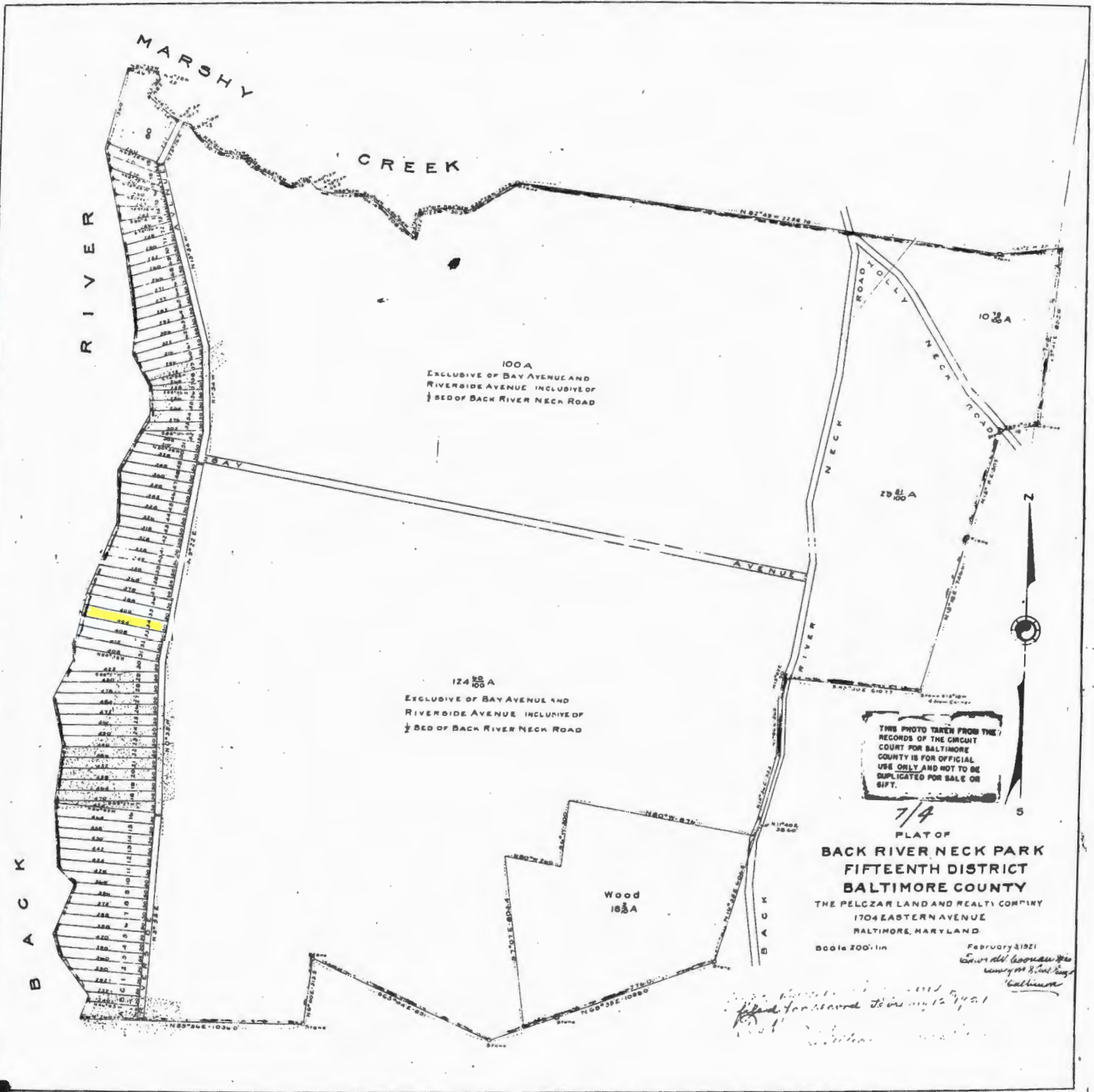


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1 inch = 100 feet

Item # 0004



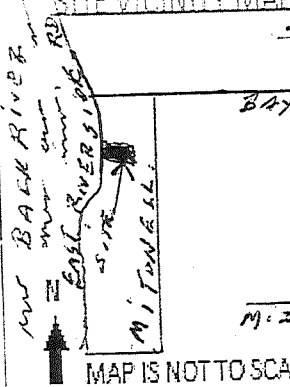
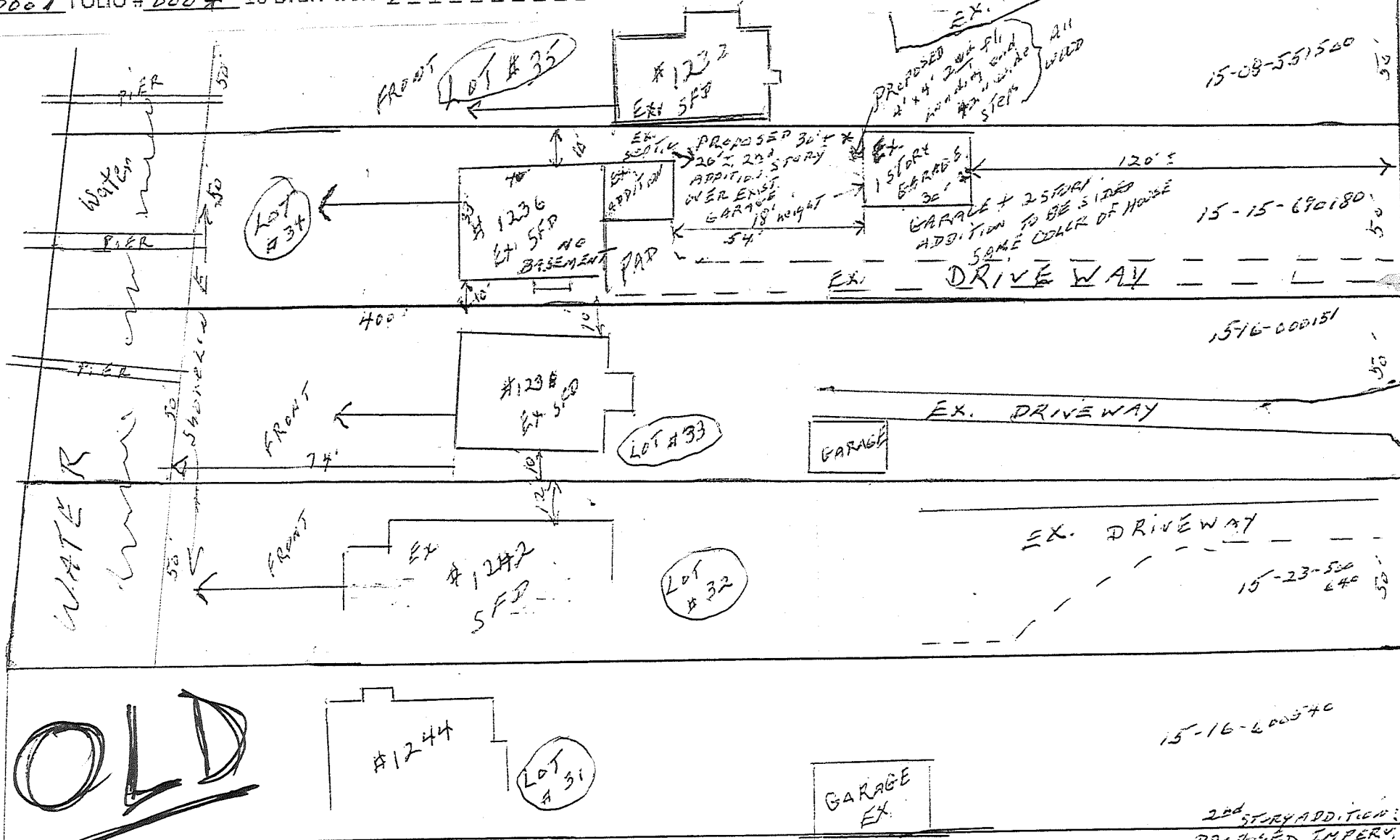
Item #0004

PLANNING PLAN FOR VARIANCE X FOR SPECIAL HEARING X (MARK TYPE REQUESTED WITH X)

236 E. RIVERSIDE AVE. OWNER(S) NAME(S) CHARLES P. & YVONNE M. ROE

NAME (WATERFRONT) BACK RIVER NECK PARK LOT # 34 BLOCK # - SECTION # -

0007 FOLIO # 0004 10 DIGIT TAX # 1515690180 DEED REF. # 15326100587



ZONING MAP # 104C

SITE ZONED DR

ELECTION DISTRICT

COUNCIL DISTRICT

LOT AREA ACREAGE

OR SQUARE FEET 2

HISTORIC? NO

IN CBCA? YES

IN FLOOD PLAIN? -

UTILITIES? MARK

WATER IS:

PUBLIC X PRIVATE

SEWER IS:

PUBLIC PRIVATE

PRIOR HEARING? -

IF SO GIVE CASE NO

AND ORDER RESULT

01-292A Permit

SRTHICK IDAT 4

YARD SET BACK 20

8' 5' IN LIRUP 15

VIOLATION CASE IN

RESPECTU 6 PERM

ZONING OFFICE

REVIEWED BY ITEM #

FLOOD HAZARD MAP #240010 F
PANEL # 440
FLOOD ZONE EX PER DATE THOMAS (MAY, 2012)
IN 100 year FLOODPLAIN PER

SITE IS IN LPA AREA (FEE-ER)
ELEVATION: 9.7 FT (PER DUE THOMAS MAY, 2012)

EXIST IMPERV. DIS SURFACE:
DWELLING: 1600 SQ. FT.
EX. GARAGE: 504 SQ. FT.
EX. DRIVEWAY: 234 SQ. FT.
EX. PORCH + STEPS: 64

2nd STORY ADDITION:
PROPOSED IMPERV.
SURFACE = NO CHANGE

TOTAL SQ. FT. =
4,054 SQ. FT. = 22.7
ALLOWED =
= 31.25%

BY DR DATE 7-2-12 SCALE: 1 INCH = 40 FEET

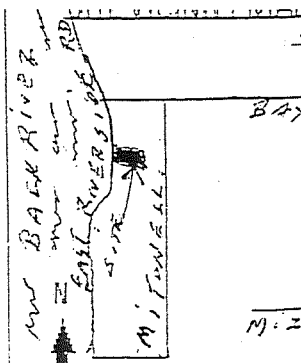
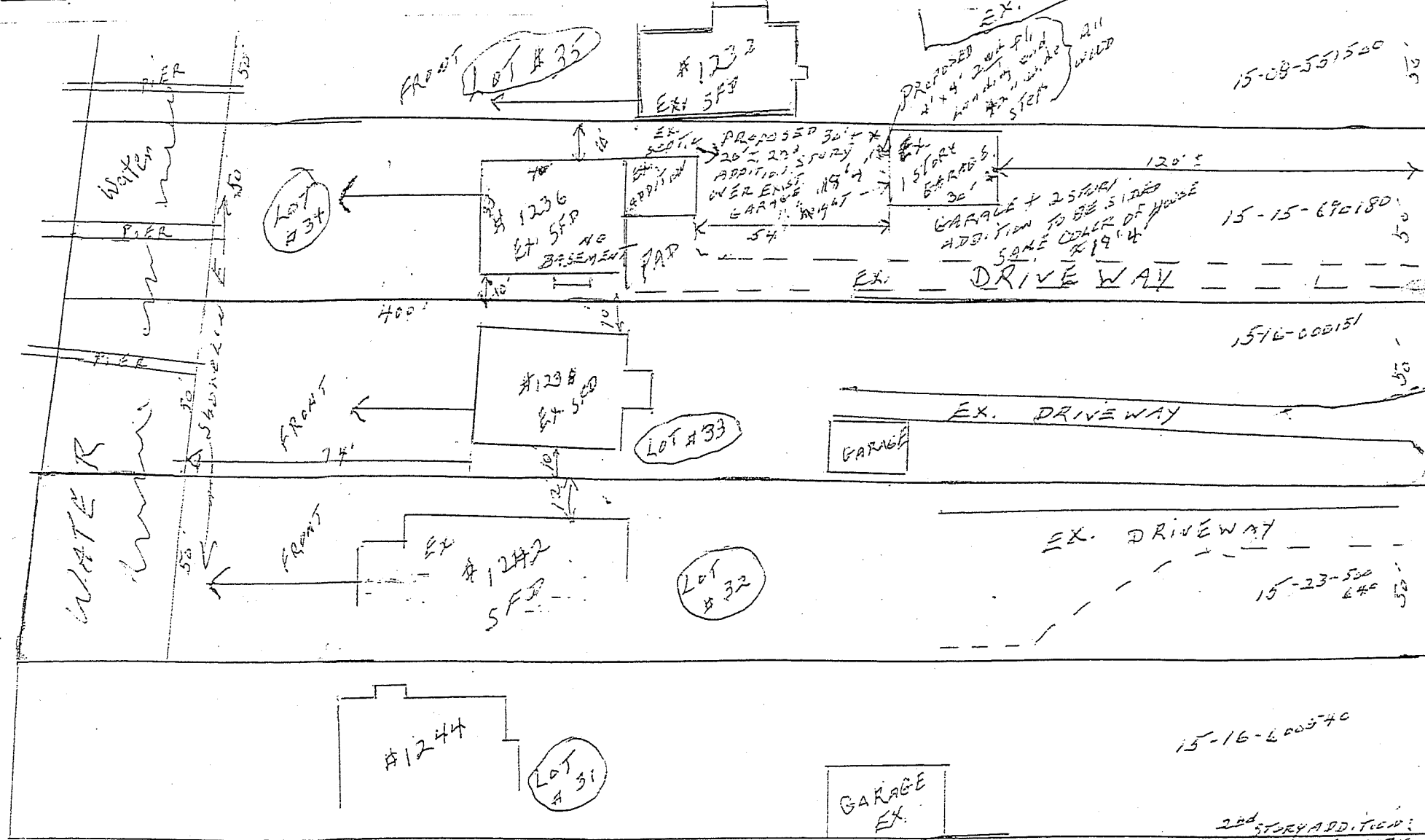
WORKING PLAN FOR VARIANCE X FOR SPECIAL HEARING X (MARK TYPE REQUESTED WITH X)

P. #4

236 E. RIVERSIDE AVE. OWNER(S) NAME(S) CHARLES P. & YVONNE M. ROE

NAME (WATERFRONT) BACK RIVER NECK PARK LOT # 34 BLOCK # - SECTION # -

0007 FOLIO # 0004 10 DIGIT TAX # 1515690180 DEED REF. # 15326100587



MAP IS NOT TO SCALE

ZONING MAP# 104C

SITE ZONED PR-3

ELECTION DISTRICT -

COUNCIL DISTRICT -

LOT AREA ACREAGE 0

OR SQUARE FEET 20

HISTORIC? NO

IN CBCA? YES

IN FLOOD PLAIN? 1

UTILITIES? MARK V

WATER IS:

PUBLIC X PRIVATE -

SEWER IS:

PUBLIC - PRIVATE -

PRIOR HEARING? X

IF SO GIVE CASE NUMBER -

AND ORDER RESULT -

01-292A Permit -

SR TABLE 104T 45-

YARD SETBACKS

45' IN FRONT 15' IN

VIOLATION CASE INFO

RESTRICTION & PERMIT

ZONING OFFICE USE

REVIEWED BY BD ITEM # 2013

NO HAZARD MAP # 240010 F
NEEL 440

NO EXISTING PER DAVE THOMAS (MAY 2012)
FIN 100' FLOOD PLAIN PER

SITE IS IN LPA AREA (FEE-EE)
ELEVATION: 7.7 FT. (PER DAVE THOMAS MAY, 2012)

PLAN REVISED 8-10-12 for height
INCREASE
DATE 7-2-12 SCALE: 1 INCH = 40 FEET

EXIST IMPERV. ON SURFACE:
DWELLING: 1600 SQ. FT.
EX. GARAGE: 500 SQ. FT.
EX. DRIVEWAY + PORCH: 2340 SQ. FT.
EX. PORCH + STAIRS: 64

2nd STORY ADDITION:
PROPOSED IMPERV.
SURFACE = NO CHANGE

TOTAL SQ. FT. =
4,034 SQ. FT. = 22.3
ALLOWED = 51.25%