

UP-2013-0004 IL

DECLARATION OF UNDERSTANDING

THIS DECLARATION OF UNDERSTANDING (hereinafter referred to as "Declaration") is made on this 4th day of March 2013 by and between Susan E. Maniatis

(hereinafter referred to as the "Declarant") and the Department of Permits, Approvals and Inspections (hereinafter referred to as "PAI").

Recitals

- A. The Declarants who is the owner of this property has filed an application for a use permit to:

Use the attached garage, which has been converted to a living room dining area and kitchen to be used along side already finished areas to become mother/in-law apartment.

The property being located at 9207 Smith Avenue Parkville, Md. 21234 and is more particularly described by metes and bounds in Exhibit A (The Property) and Exhibit B (The use permit attached hereto and made a part hereof. The property is zoned DR-2, which is the particular zone in which the property is located.

- B. PAI has approved the Declaration request to create an Accessory Apartment complete with dedicated bathing and cooking facilities, located on this owner-occupied property. The accessory apartment when completed was housing for: Susan E. Maniatis and husband James (now deceased).

The other residents of the property were their son Nicholas and his wife and children. The use permit must be renewed with PAI every two years by filing a renewal on a PAI approved form, to be dated from the month of the initial approval.

- C. As a condition of approval of the Declarants request, Bill No. 49-11 requires the filing of this Declaration among the Land Records of Baltimore County, to provide notice to any future owners, subsequent bona fide purchasers or users of the Property that no part of any improvements or addition on the Property may be used for separate living quarters and that all such improvements shall only be used as a single family residence, unless otherwise approved by and at the discretion of PIA.

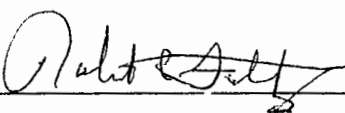
NOW, THEREFORE, in consideration of the premises and other good and valuable consideration, the receipt and sufficiency of which are hereby acknowledge, the declarant and PIA hereby declare as follows:

1. Any and all improvements now existing or to be constructed on the property shall be used only as a single-family residence. Now such improvements or additions shall ever be used as a separate living quarter or second residential unit. The kitchen for the Accessory Apartment is constructed as part of property and shall be accessory to the principal use of the property as a single-family residence. The Accessory Apartment shall house only the immediate family members listed in this Declaration and it is not to be used as an independent unit, nor it is to be used for compensation, and it shall not be used by any other person or for any other reason. The use permit and this Declaration are subject to order, conditions or restrictions of any required zoning hearing. The hearing order is to be made part of this Declaration when it is recorded in the Land Records.
2. Once the Accessory Apartment is no longer occupied by the persons named in this Declaration or if the property is sold, or the use permit has not been renewed within the 2 year temporary use permit time limit, the use permit shall terminate, and any proposed changes in the occupancy to the Accessory Apartment by the property owner or subsequent purchaser shall require a new request for a use permit.
3. Upon use permit termination.
 - A. removal of one of the kitchens in the dwelling.
 - B. The Declarant upon termination of the special use permit will provide written notification to the PAI for the closing of the department file.
4. The covenants, conditions, and restrictions stated above shall run with and bind the Property and shall be enforceable by Baltimore County MD and by the owners of all or any portion of the Property.
5. Enforcement of the Covenants shall be by proceedings at law or in equity against any person or persons violating or attempting to violate any of the covenants, either to restrain the violation or to recover damages.

EXHIBIT A

BEING KNOWN AND DESIGNATED as Parcel, 2 , shown on a plat entitled " Plat Showing, Subdivision Plan, Esaias Acres", dated March 2, 1981, and recorded among the Land Records of Baltimore County Maryland in Plat Book E.H.K. Jr. 47, Folio 74. The latest revision dated November 5, 2010.

IN WITNESS WHEREOF, the parties hereto have duly executed this Declaration under the seal on the date first above written.

Declarant: Susan E. Maniatis Witness: 

State of Maryland, County of Baltimore to wit:

I HEREBY CERTIFY that on this 4th day March 2013, before the Subscriber, a Notary Public of State of Maryland, personally appeared Susan E. Maniatis

The declarant herein, who are the owners of this property, known to me (or satisfactorily proven) to be the person whose name is subscribed to the within instrument for the purpose therein contained.

IN WITNESS WHEREOF, have hereunto set my hand and Notarial Seal.

My Commission Expires: 1/16/16

Sue Ann Burkowski

Notary Public



The Declaration of Understanding for the Accessory Apartment at:

9207 Smith Avenue, Parkville, Md 21234
Address of property

is approved: _____


Arnold Jablon, Director-PAI

5/4/13
Date

Circuit Court for
BALTIMORE COUNTY
Clerk of the Court,
JULIE L. ENSOR
COUNTY COURTS BUILDING
401 BOSLEY AVE. P.O. BOX 6754
TOWSON, MD 21285-6754
(410) 987-2601

Transaction Block:	354
Ref: MANIATIS	
AGREEMENT-MODIFY	AMOUNT
IMP FD SURE	40.00
RECORDING FEE 20	20.00
SUBTOTAL:	60.00
TOTAL CHARGES:	60.00
PAYMENTS	
CHECK	60.00
TOTAL TENDERED:	60.00

Cashier: TD Reg # BA01
Rcpt # 80596
Date: Mar 04, 2013 Time: 12:22 pm

BALTIMORE COUNTY, MARYLAND
Plumbing Inspection Division

DEPARTMENT OF PERMITS AND
DEVELOPMENT MANAGEMENT

Telephone: 410-887-3620

Part of Building Inspected:

Plumb Final

Approved ☒ Disapproved ()

Remarks:

P810670

#9207

3-18-13

Date

KE
Inspector



Baltimore County
Electrical Inspection
410-887-4638

Part of Building Inspected:

Electric E810230

Approved ☒ Disapproved ()

Remarks:

Final per test report # 30301-51

4/3/13

DATE

WMA
ELECTRICAL INSPECTOR



BALTIMORE COUNTY
BUILDING INSPECTION
410-887-4638

Part of Building Inspected:

Complete

Approved ☒ Disapproved ()

REMARKS:

Existing garage converted to two units. No apparent violations.

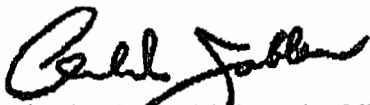
4/3/13

DATE

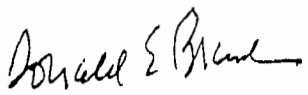
B. Harriuk

BUILDING INSPECTOR

BALTIMORE COUNTY, MARYLAND
DEPARTMENT OF PERMITS, APPROVALS, AND INSPECTIONS


Arnold Jablon, Deputy Administrative Officer
& Director




Donald E Brand, Building Engineer

BUILDING PERMIT

PERMIT #: B810032 CONTROL #: CO DIST: 09 PREC: 01
DATE ISSUED: 03/04/2013 TAX ACCOUNT #: 1900001302 CLASS: 04

PLANS: CONST 00 PLOT 0 R PLAT 0 DATA 0 ELEC YES PLUM YES
LOCATION: 9207 SMITH AVE
SUBDIVISION: ESAIAS ACRES

OWNERS INFORMATION

NAME: MANIATIS JAMES & SUSAN
ADDR: 9207 SMITH AVE MD 21234-1412

TENANT:

CONTR: MANIATIS JAMES & SUSAN

ENGR:

SELLR:

WORK: CHG OF OCCUPANCY FROM SFD ATTACHED GARAGE USED
AS STORAGE INTO A IN-LAW SUITE WITH KITCHEN,
BEDROOM, LIVING RM & DINING RM. ALTERATIONS TO
REMOVE 2 GARAGE DOORS & INSTALL WINDOWS &
PEDESTRIAN DOOR, INSULATION, FIXTURES&FINISHES.
DECLARATION OF UNDERSTANDING SIGNED & RECORDED.

BLDG. CODE:

RESIDENTIAL CATEGORY: DETACHED

OWNERSHIP: PRIVATELY OWNED

PROPOSED USE: SFD WITH IN-LAW SUITE & ALTERATIONS
EXISTING USE: SFD

TYPE OF IMPRV: ALTERATION

USE: ONE FAMILY

FOUNDATION:

SEWAGE: PRIV. EXISTS

BASEMENT:

WATER: PRIV. EXISTS

LOT SIZE AND SETBACKS

SIZE: 40510SF

FRONT STREET:

SIDE STREET:

FRONT SETB: NC

SIDE SETB: NC

SIDE STR SETB:

REAR SETB: NC

**THIS PERMIT EXPIRES
ONE YEAR FROM
DATE OF ISSUE**

PLEASE REFER TO PERMIT NUMBER WHEN MAKING INQUIRIES

State of Maryland Land Instrument Intake Sheet

☒ Baltimore City ☐ County: _____

Information provided is for the use of the Clerk's Office, State Department of Assessments and Taxation, and County Finance Office Only.)

(Type or Print in Black Ink Only—All Copies Must Be Legible)

Space Reserved for Circuit Court Clerk Recording Validation

BA01
Mar 04, 2013 12:22 PM

1	Type(s) of Instruments	☐ Check Box if addendum Intake Form is Attached.)			
		Deed	Mortgage	Other <u>Transfer</u>	Other _____
2	Conveyance Type Check Box	Deed or Trust	Lease		
		Improved Sale	Unimproved Sale	Multiple Accounts	Not an Arms- Length Sale [9]
3	Tax Exemptions (if Applicable)	Arms-Length [1]	Arms-Length [2]	Arms-Length [3]	
		Recordation	State Transfer	County Transfer	
Cite or Explain Authority		<u>See Land Cert</u>			

4	Consideration and Tax Calculations	Consideration Amount	
		Purchase Price/Consideration	\$ _____
		Any New Mortgage	\$ _____
		Balance of Existing Mortgage	\$ _____
		Other:	\$ _____
		Other:	\$ _____
Full Cash Value:		\$ _____	

Finance Office Use Only	
Transfer and Recordation Tax Consideration	
Transfer Tax Consideration	\$ _____
X () % =	\$ _____
Less Exemption Amount	\$ _____
Total Transfer Tax	\$ _____
Recordation Tax Consideration	\$ _____
X () per \$500 =	\$ _____
TOTAL DUE	\$ _____

5	Fees	Amount of Fees	Doc. 1	Doc. 2
		Recording Charge	\$ _____	\$ _____
		Surcharge	\$ _____	\$ _____
		State Recordation Tax	\$ _____	\$ _____
		State Transfer Tax	\$ _____	\$ _____
		County Transfer Tax	\$ _____	\$ _____
		Other	\$ _____	\$ _____
		Other	\$ _____	\$ _____

Agent: _____

Tax Bill: _____

C.B. Credit: _____

Ag. Tax/Other: _____

6	Description of Property SDAT requires submission of all applicable information. A maximum of 40 characters will be indexed in accordance with the priority cited in Real Property Article Section 3-104(g)(3)(i).	District	Property Tax ID No. (1)	Grantor Liber/Folio	Map	Parcel No.	Var. LOG	
		<u>X</u> <u>Subdivision</u>					☐ (5)	
		Subdivision Name		Lot (3a)	Block (3b)	Sect/AR (3c)	Plat Ref.	SqFt/Acreage (4)
		Location/Address of Property Being Conveyed (2)						
		<u>9207 SMITH AVE 71224</u>						
		Other Property Identifiers (if applicable)						Water Meter Account No.
		Residential ☐ or Non-Residential ☐ Fee Simple ☐ or Ground Rent ☐ Amount: _____						
		Partial Conveyance? ☐ Yes ☐ No Description/Amt. of SqFt/Acreage Transferred: _____						
		If Partial Conveyance, List Improvements Conveyed: _____						

7	Transferred From	Doc. 1 - Grantor(s) Name(s)	Doc. 2 - Grantor(s) Name(s)
		<u>SUSAN E. MANIATIS</u>	
		Doc. 1 - Owner(s) of Record, if Different from Grantor(s)	Doc. 2 - Owner(s) of Record, if Different from Grantor(s)

8	Transferred To	Doc. 1 - Grantee(s) Name(s)	Doc. 2 - Grantee(s) Name(s)
		<u>SUSAN E. MANIATIS</u>	
		New Owner's (Grantee) Mailing Address	

9	Other Names to Be Indexed	Doc. 1 - Additional Names to be Indexed (Optional)	Doc. 2 - Additional Names to be Indexed (Optional)

10	Contact/Mail Information	Instrument Submitted By or Contact Person		☐ Return to Contact Person
		Name:		☐ Hold for Pickup
		Firm		☐ Return Address Provided
		Address:		
		Phone: ()		

11 IMPORTANT: BOTH THE ORIGINAL DEED AND A PHOTOCOPY MUST ACCOMPANY EACH TRANSFER

