

IN RE: PETITION FOR ADMIN. VARIANCE *
(9535 Gunhill Circle)
11th Election District *
5th Councilmanic District *
Scott A. and Donna L. Marshall *
Petitioners *

BEFORE THE
OFFICE OF
ADMINISTRATIVE HEARINGS
FOR BALTIMORE COUNTY
Case No. 2013-0064-A

* * * * *

OPINION AND ORDER

This matter comes before the Office of Administrative Hearings (OAH) for Baltimore County as a Petition for Administrative Variance filed by the legal owners of the subject property, Scott A. and Donna L. Marshall. The variance request is from Section 1B02.3.B of the Baltimore County Zoning Regulations ("B.C.Z.R.") [Section 301.1 and 504 of the 1970 Zoning Regulations, and Section V.B.6.b of the 1970 Comprehensive Manual Development Plan (CMDP)], to permit an existing deck with a side setback of 4.5 feet in lieu of the required 11 ¼ feet, and to amend the latest Final Development Plan (FDP) for Oakhurst, Section 1, Block 1, Lot 2 only. The subject property and requested relief are more particularly described on Petitioners' Exhibit No. 1.

The Zoning Advisory Committee (ZAC) comments were received and are made part of the record of this case. There were no adverse comments received from any of the County reviewing agencies. However, it is to be noted that a letter of support was received from Kathleen D. Whitaker, an adjacent neighbor at 9533 Gunhill Circle.

The Petitioners having filed a Petition for Administrative Variance and the subject property having been posted on September 23, 2012, and there being no request for a public hearing, a decision shall be rendered based upon the documentation presented.

ORDER RECEIVED FOR FILING

Date 10-31-12

By DW

The Petitioners have filed the supporting affidavits as required by Section 32-3-303 of the Baltimore County Code. Based upon the information available, there is no evidence in the file to indicate that the requested variance would adversely affect the health, safety or general welfare of the public and should therefore be granted. In the opinion of the Administrative Law Judge, the information, photographs, and affidavits submitted provide sufficient facts that comply with the requirements of Section 307.1 of the B.C.Z.R. Furthermore, strict compliance with the B.C.Z.R. would result in practical difficulty and/or unreasonable hardship upon the Petitioners.

Pursuant to the posting of the property and the provisions of both the Baltimore County Code and the Baltimore County Zoning Regulations, and for the reasons given above, the requested variance should be granted.

THEREFORE, IT IS ORDERED, this 31st day of October, 2012 by the Administrative Law Judge for Baltimore County that the Petition for Variance from Section 1B02.3.B of the Baltimore County Zoning Regulations ("B.C.Z.R.") [Section 301.1 and 504 of the 1970 Zoning Regulations, and Section V.B.6.b of the 1970 Comprehensive Manual Development Plan (CMDP)], to permit an existing deck with a side setback of 4.5 feet in lieu of the required 11 ¼ feet, and to amend the latest Final Development Plan (FDP) for Oakhurst, Section 1, Block 1, Lot 2 only, be and are hereby GRANTED.

The relief granted herein shall be subject to the following:

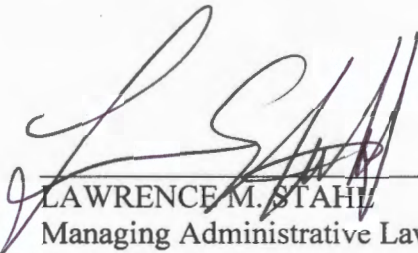
1. The Petitioners may apply for any appropriate permits and be granted same upon receipt of this Order; however, Petitioners are hereby made aware that proceeding at this time is at their own risk until such time as the 30 day appellate process from this Order has expired. If, for whatever reason, this Order is reversed, the Petitioners would be required to return, and be responsible for returning, said property to its original condition.

ORDER RECEIVED FOR FILING

Date 10-31-12

By DS

Any appeal of this decision must be made within thirty (30) days of the date of this Order.


LAWRENCE M. STAHL
Managing Administrative Law Judge
for Baltimore County

LMS/dlw

ORDER RECEIVED FOR FILING

Date 10-31-12

By DLW



KEVIN KAMENETZ
County Executive

LAWRENCE M. STAHL
Managing Administrative Law Judge
JOHN E. BEVERUNGEN
Administrative Law Judge

October 31, 2012

Scott A. Marshall
Donna L. Marshall
9535 Gunhill Circle
Baltimore, Maryland 21236

RE: PETITION FOR ADMINISTRATIVE VARIANCE
(9535 Gunhill Circle)
Case No. 2013-0064-A

Dear Mr. and Mrs. Marshall:

Enclosed please find a copy of the decision rendered in the above-captioned matter

In the event any party finds the decision rendered is unfavorable, any party may file an appeal to the County Board of Appeals within thirty (30) days of the date of this Order. For further information on filing an appeal, please contact the Office of Administrative Hearings at 410-887-3868.

Very truly yours,

A handwritten signature in black ink, appearing to read "L. Stahl", is written over the typed name.

LAWRENCE M. STAHL
Managing Administrative Law Judge
for Baltimore County

LMS:dlw
Enclosure

c: Robert Ward, 603 Stevenson Lane, Towson, MD 21286



ADMINISTRATIVE ZONING PETITION

FOR ADMINISTRATIVE VARIANCE – OR – ADMINISTRATIVE SPECIAL HEARING

To be filed with the Department of Permits, Approvals and Inspections

To the Office of Administrative Law of Baltimore County for the property located at:

Address 9535 Gunhill Cir

which is presently zoned DR 5.5

Deed Reference 14273/0703

10 Digit Tax Account # 1800003587

Property Owner(s) Printed Name(s) SCOTT DONNA Marshall

(SELECT THE HEARING(S) BY MARKING ☒ AT THE APPROPRIATE SELECTION(S) AND ADDING THE PETITION REQUEST)

Administrative Variances require that the Affidavit on the reverse of this Petition Form be completed / notarized.

The undersigned legal owner(s) of the property situate in Baltimore County and which is described in the description and plat attached hereto and made a part hereof, hereby petition for a

1. ☒ **ADMINISTRATIVE VARIANCE** from section(s)

BCZR: 1B02.3.B (Section 301.1 & 504 of the 1970 Zoning Regulations, and Section V.B.6.b of the 1970 C.M.D.P.) To permit an existing deck with a side setback of 4.5 feet in lieu of the required 11 1/4 feet, and to amend the latest final development plan for Oakhurst, Section 1, Block J, Lot 2 only.

of the zoning regulations of Baltimore County, to the zoning law of Baltimore County.

2. ☐ **ADMINISTRATIVE SPECIAL HEARING** to approve a waiver pursuant to Sections 32-4-107(b), 32-4-223.(8), and Section 32-4-416(a)(2): (indicate type of work in this space to raze, alter or construct addition to building)

of the zoning regulations of Baltimore County, to the zoning law of Baltimore County.

Property is to be posted and advertised as prescribed by the zoning regulations.

I, or we, agree to pay expenses of above petition(s), advertising, posting, etc. and further agree to and are to be bounded by the zoning regulations and restrictions of Baltimore County adopted pursuant to the zoning law for Baltimore County.

Legal Owner(s) Affirmation: I / we do so solemnly declare and affirm, under the penalties of perjury, that I / We are the legal owner(s) of the property which is the subject of this / these Petition(s).

Contract Purchaser/Lessee:

Name- Type or Print

Signature

Mailing Address

City

State

Zip Code

Telephone #

Email Address

Attorney for Petitioner:

Name- Type or Print

Signature

Mailing Address

City

State

Zip Code

Telephone #

Email Address

Legal Owners:

Scott A. Marshall, Donna L Marshall

Name #1 – Type or Print

Name #2 – Type or Print

Scott A. Marshall

Donna L. Marshall

Signature #1

Signature #2

9535 Gunhill Cir

Berry Hall

MD

Mailing Address

City

State

21236

410-256-3093

Zip Code

Telephone #

Email Address

Representative to be contacted:

Robert Ward

Name – Type or Print

Robert A Ward

Signature

603 Stevenson Ln Towson

MD

Mailing Address

City

State

21286

443 602 4396 CRAFTMASTERS 1976

Zip Code

Telephone #

Email Address

@G-Mail.Com

A PUBLIC HEARING having formally demanded and/or found to be required, it is ordered by the Office of Administrative Law, of Baltimore County, this _____ day of _____, that the subject matter of this petition be set for a public hearing, advertised, as required by the zoning regulations of Baltimore County and that the property be reposted.

Administrative Law Judge of Baltimore County

CASE NUMBER 2013-0064-A

Filing Date 9/11/12

Estimated Posting Date 9/23/12

Reviewer JS

Affidavit in Support of Administrative Variance
(THIS AFFIDAVIT IS NOT REQUIRED FOR AN HISTORIC ADMINISTRATIVE SPECIAL HEARING)

The undersigned hereby affirms under the penalties of perjury to the Administrative Law Judge of Baltimore County, the following: That the information herein given is within the personal knowledge of the Affiant(s) and that the Affiant(s) is/are competent to testify thereto in the event that a public hearing is scheduled in the future with regard thereto.

That the property is not under an active zoning violation citation and Affiant(s) is/are the resident home owner(s) of this residential lot, or is/are the contract purchaser(s) of this residential lot, who will, upon purchase, reside at the existing dwelling on said property located at:

Address: 9535 Gunhill Cir Romney Hall MD 21236
Print or Type Address of property City State Zip Code

Based upon personal knowledge, the following are the facts which I/we base the request for an Administrative Variance at the above address. (Clearly state practical difficulty or hardship here)

We Applied for a Permit to Install a Deck with Rert. The New Deck Was Replacing an Existing Deck that was in the same location. a Mistake was Made on the Set Backs and a permit was issued with the Incorrect Set backs. We Proceeded with the project had the Footers Inspected and Completed the Deck ON OUR FINAL INSPECTION We were Informed about the Set back error and we needed to ReApply with the Correct Set backs. We need a Variance to Avoid Significant financial Expenses to Remove and ReBuild the Deck.

(If additional space for the petition request or the above statement is needed, label and attach it to this Form)

Scott Marshall
Signature of Affiant

Scott Marshall
Name- Print or Type

Donna Marshall
Signature of Affiant

DONNA Marshall
Name- Print or Type

The following information is to be completed by a Notary Public of the State of Maryland

STATE OF MARYLAND, COUNTY OF BALTIMORE, to wit:

I HEREBY CERTIFY, this 8th day of August, 2012, before me a Notary of Maryland, in and for the County aforesaid, personally appeared

Scott Marshall & Donna Marshall
the Affiant(s) herein, personally known or satisfactorily identified to me as such Affiant(s) (Print name(s) here)

AS WITNESS my hand and Notaries Seal

Charles D. Harris
Notary Public
11-29-15
My Commission Expires

ADMINISTRATIVE VARIANCE INFORMATION SHEET AND DATES

Case Number 2013- 0064 -A Address 9535 GUNHILL CIRCLE

Contact Person: JASON SEIDELMAN Phone Number: 410-887-3391
Planner, Please Print Your Name

Filing Date: 9-11-12 Posting Date: 9-23-12 Closing Date: 10-8-12

Any contact made with this office regarding the status of the administrative variance should be through the contact person (planner) using the case number.

1. **POSTING/COST:** The petitioner must use one of the sign posters on the approved list (on the reverse side of this form) and the petitioner is responsible for all printing/posting costs. Any reposting must be done only by one of the sign posters on the approved list and the petitioner is again responsible for all associated costs. The zoning notice sign must be visible on the property on or before the posting date noted above. It should remain there through the closing date.
2. **DEADLINE:** The closing date is the deadline for an occupant or owner within 1,000 feet to file a formal request for a public hearing. Please understand that even if there is no formal request for a public hearing, the process is not complete on the closing date.
3. **ORDER:** After the closing date, the file will be reviewed by the zoning or deputy zoning commissioner. He may: (a) grant the requested relief; (b) deny the requested relief; or (c) order that the matter be set in for a public hearing. You will receive written notification, usually within 10 days of the closing date if all County agencies' comments are received, as to whether the petition has been granted, denied, or will go to public hearing. The order will be mailed to you by First Class mail.
4. **POSSIBLE PUBLIC HEARING AND REPOSTING:** In cases that must go to a public hearing (whether due to a neighbor's formal request or by order of the zoning or deputy zoning commissioner), notification will be forwarded to you. The sign on the property must be changed giving notice of the hearing date, time and location. As when the sign was originally posted, certification of this change and a photograph of the altered sign must be forwarded to this office.

(Detach Along Dotted Line)

Petitioner: This Part of the Form is for the Sign Poster Only

USE THE ADMINISTRATIVE VARIANCE SIGN FORMAT

Case Number 2013- 0064 -A Address 9535 GUNHILL CIRCLE

Petitioner's Name MARSHALL Telephone 410-256-3093

Posting Date: 9-23-12 Closing Date: 10-8-12

Wording for Sign: TO PERMIT AN EXISTING DECK WITH A SIDE SETBACK OF 4.5 FEET
IN LIEU OF THE REQUIRED 11 1/4 FEET, AND TO AMEND THE LATEST FINAL
DEVELOPMENT PLAN FOR OAKHURST, SECTION 1, BLOCK J, LOT 2 ONLY

Revised 7/06/11

Part A

Zoning description for 9535 Gunhill Circle Perry Hall, Md 21236

* Beginning at a point on the S. E. side of the Gunhill Circle which is 50 ft. wide at the distance of 138' +/- ft. N. E. of the center line of the nearest improved intersecting street Parkfalls Dr which is 60' ft of the right of way width wide.

* Being lot # 2, block J, section# in the sub division of Oakhurst as recorded in Baltimore County Plat Book # EHK, Jr. No 42, Folio # 11, containing 7423 sq Ft. Located in the 11th election district and 5th Council district.

BALTIMORE COUNTY, MARYLAND
OFFICE OF BUDGET AND FINANCE
MISCELLANEOUS CASH RECEIPT

No. **90147**

Date: **9-11-12**

PAID RECEIPT

BUSINESS 9/11/2012 9/11/2012 09:11:34 2
 BY 4005 MALLIN, MICHAEL D
 RECEIPT # 639007 9/11/2012 09:11
 Dept 5 OLD CHURCH VARIATION
 CR. NO. 000147
 Receipt Tot 75.00
 4.00 CR 1100.00 CR
 105.00 CR
 Baltimore County, MD, Land

Fund	Dept	Unit	Sub Unit	Rev Source/Obj	Sub Rev/Obj	Dept Obj	BS Acct	Amount
001	806	0000		6150				75.00
Total:								\$ 75.00

Rec From: **MARSHALL**

For: **2013-0064-A**

DISTRIBUTION

WHITE - CASHIER PINK - AGENCY YELLOW - CUSTOMER GOLD - ACCOUNTING
 PLEASE PRESS HARD!!!!

**CASHIER'S
 VALIDATION**

CERTIFICATE OF POSTING

2013-0064-A

RE: Case No.: _____

Petitioner/Developer: _____

Marshall

October 8, 2012

Date of Hearing/Closing: _____

Baltimore County Department of
Permits, Approvals and Inspections
County Office Building, Room 111
111 West Chesapeake Avenue
Towson, Maryland 21204

Attn: Kristen Lewis:

Ladies and Gentlemen:

This letter is to certify under the penalties of perjury that the necessary sign(s) required by law were posted conspicuously on the property located at: _____

9535 Gunhill Circle

September 23, 2012

The sign(s) were posted on _____
(Month, Day, Year)

Sincerely,

September 23, 2012

(Signature of Sign Poster)

(Date)

SSG Robert Black

(Print Name)

1508 Leslie Road

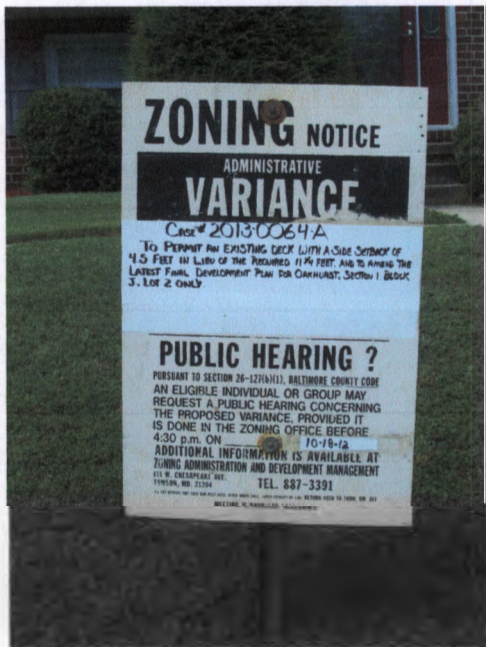
(Address)

Dundalk, Maryland 21222

(City, State, Zip Code)

(410) 282-7940

(Telephone Number)





KEVIN KAMENETZ
County Executive

ARNOLD JABLON
Deputy Administrative Officer
Director, Department of Permits,
Approvals & Inspections

October 9, 2012

Scott A. & Donna L. Marshall
9535 Gunhill Circle
Perry Hall MD 21236

RE: Case Number: 2012-0064 A, Address: 9535 Gunhill Circle, 21236

Dear Mr. & Ms. Marshall:

The above referenced petition was accepted for processing **ONLY** by the Bureau of Zoning Review, Department of Permits, Approvals, and Inspection (PAI) on September 11, 2012. This letter is not an approval, but only a **NOTIFICATION**.

The Zoning Advisory Committee (ZAC), which consists of representatives from several approval agencies, has reviewed the plans that were submitted with your petition. All comments submitted thus far from the members of the ZAC are attached. These comments are not intended to indicate the appropriateness of the zoning action requested, but to ensure that all parties (zoning commissioner, attorney, petitioner, etc.) are made aware of plans or problems with regard to the proposed improvements that may have a bearing on this case. All comments will be placed in the permanent case file.

If you need further information or have any questions, please do not hesitate to contact the commenting agency.

Very truly yours,

A handwritten signature in black ink, reading "W. Carl Richards, Jr." in a cursive style.

W. Carl Richards, Jr.
Supervisor, Zoning Review

WCR: jaf

Enclosures

c: People's Counsel
Robert Ward, 603 Stevenson Lane, Towson MD 21286

Debra Wiley - ZAC Comments - Distribution Mtg. of 9/24

From: Debra Wiley
To: Kennedy, Dennis; Lanham, Lynn; Livingston, Jeffrey; Lykens, David; M...
Subject: ZAC Comments - Distribution Mtg. of 9/24

Good Afternoon,

Please see the cases listed below and the hearing date, if assigned. If you wish to submit a ZAC comment, please be advised that you must do so before the hearing date. If it's not received by the hearing date, it will not be considered in our decision.

2013-0064-A - 9535 Gunhill Circle
Administrative Variance - Closing Date: 10/8

2013-0066-A - 10904 Liberty Road
Administrative Variance - Closing Date: 10/8

2013-0067-A - 7312 Wenig Avenue
No hearing date as of 9/24

2013-0068-A - 10515 Vincent Road
Administrative Variance - Closing Date: 10/15

2013-0069-A - 11216 Bird River Grove Road
No hearing date as of 9/24

2013-0070-A - 307 Lantana Drive
Administrative Variance - Closing Date: 10/15

2013-0071-SPH - 1600 Frederick Road
No hearing date as of 9/24

Thanks !

Martin O'Malley, Governor
Anthony G. Brown, Lt. Governor



MARYLAND DEPARTMENT OF TRANSPORTATION

Darrell B. Mobley, Acting Secretary
Melinda B. Peters, Administrator

Date: 9-27-12

Ms. Kristen Lewis
Baltimore County Office of
Permits and Development Management
County Office Building, Room 109
Towson, Maryland 21204

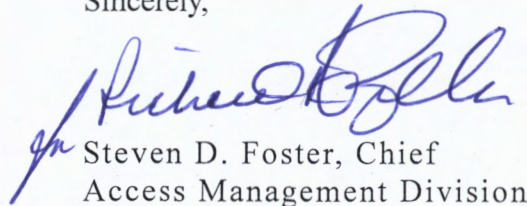
RE: Baltimore County
Item No 2013-0064-A
Administrative Variance
Scott A & Donna L. Marshall
9535 Gunhill Circle

Dear Ms. Lewis:

Thank you for the opportunity to review your referral request on the subject of the above captioned. We have determined that the subject property does not access a State roadway and is not affected by any State Highway Administration projects. Therefore, based upon available information this office has no objection to Baltimore County Zoning Advisory Committee approval of Item No. 2013-0064-A.

Should you have any questions regarding this matter, please contact Richard Zeller at 410-545-5598 or 1-800-876-4742 extension 5598. Also, you may E-mail him at (rzeller@sha.state.md.us).

Sincerely,

A handwritten signature in blue ink, appearing to read "Steven D. Foster".
Steven D. Foster, Chief
Access Management Division

SDF/raz

10-8

BALTIMORE COUNTY, MARYLAND

RECEIVED

Inter-Office Correspondence

OCT 03 2012

OFFICE OF ADMINISTRATIVE HEARINGS



TO: Hon. Lawrence M. Stahl; Managing Administrative Law Judge
Office of Administrative Hearings

FROM: David Lykens, Department of Environmental Protection and Sustainability
(DEPS) - Development Coordination

DATE: October 3, 2012

SUBJECT: DEPS Comment for Zoning Item # 2013-0064-A
Address 9535 Gunhill Circle
(Marshall Property)

Zoning Advisory Committee Meeting of September 24, 2012.

X The Department of Environmental Protection and Sustainability has no
comment on the above-referenced zoning item.

Reviewer: *Jeff Livingston – Development Coordination*

BALTIMORE COUNTY, MARYLAND
INTEROFFICE CORRESPONDENCE

TO: Arnold Jablon, Director
Department of Permits, Approvals
And Inspections

DATE: September 25, 2012

FROM: Dennis A. Kennedy, Supervisor
Bureau of Development Plans
Review

SUBJECT: Zoning Advisory Committee Meeting
For October 8, 2012
Item Nos. 2013-0064, 0066, 0067, 0068 and 0070

The Bureau of Development Plans Review has reviewed the subject-zoning items, and we have no comments.

DAK
cc: File

Maryland Department of Assessments and Taxation
Real Property Data Search (vw5.1A)
BALTIMORE COUNTY

[Go Back](#)
[View Map](#)
[New Search](#)
[GroundRent Redemption](#)
[GroundRent Registration](#)

Account Identifier: District - 11 Account Number - 1800003587

Owner Information

Owner Name: MARSHALL SCOTT A
MARSHALL DONNA L
Use: RESIDENTIAL
Principal Residence: YES
Mailing Address: 9535 GUNHILL CIR
BALTIMORE MD 21236-4722
Deed Reference: 1) /14273/ 00703
2)

Location & Structure Information

Premises Address 9535 GUNHILL CIR
0-0000
Legal Description 9535 GUNHILL CIR
OAKHURST

Map	Grid	Parcel	Sub District	Subdivision	Section	Block	Lot	Assessment Area	Plat No:	
0062	0024	0370		0000	1	J	2	3	4	
									Plat Ref:	0042/ 0011

Special Tax Areas
Town NONE
Ad Valorem
Tax Class

Primary Structure Built	Enclosed Area	Property Land Area	County Use
1983	1,743 SF	7,423 SF	04

Stories	Basement	Type	Exterior
2.000000	NO	SPLIT LEVEL	SIDING

Value Information

	Base Value	Value	Phase-in Assessments	
		As Of	As Of	As Of
		01/01/2012	07/01/2012	07/01/2013
Land	105,400	105,400		
Improvements:	158,800	119,000		
Total:	264,200	224,400	224,400	224,400
Preferential Land:	0			0

Transfer Information

Seller: WEDDINGTON RAYMOND S	Date: 01/21/2000	Price: \$140,000
Type: ARMS LENGTH IMPROVED	Deed1: /14273/ 00703	Deed2:
Seller: VALENTINE ALLEN EDWARD	Date: 11/14/1988	Price: \$116,900
Type: ARMS LENGTH IMPROVED	Deed1: /08023/ 00440	Deed2:
Seller:	Date:	Price:
Type:	Deed1:	Deed2:

Exemption Information

Partial Exempt Assessments	Class	07/01/2012	07/01/2013
County	000	0.00	
State	000	0.00	
Municipal	000	0.00	0.00

Tax Exempt: **Special Tax Recapture:**
Exempt Class: NONE

Homestead Application Information

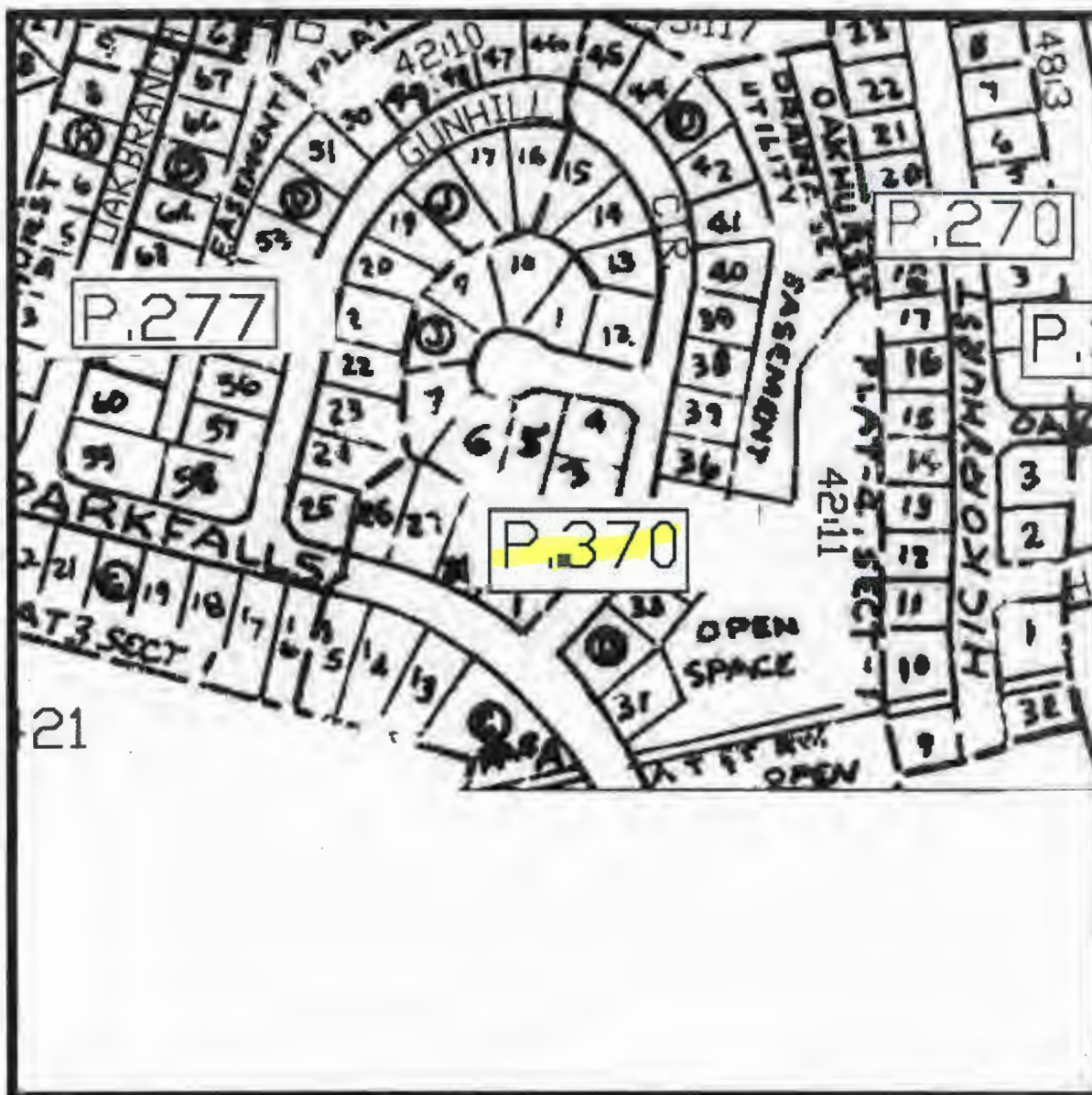
Homestead Application Status: Approved 01/13/2009



Maryland Department of Assessments and Taxation
BALTIMORE COUNTY
Real Property Data Search

[Go Back](#)
[View Map](#)
[New Search](#)

District - 11 Account Number - 1800003587



The information shown on this map has been compiled from deed descriptions and plats and is not a property survey. The map should not be used for legal descriptions. Users noting errors are urged to notify the Maryland Department of Planning Mapping, 301 W. Preston Street, Baltimore MD 21201.

If a plat for a property is needed, contact the local Land Records office where the property is located. Plats are also available online through the Maryland State Archives at www.plats.net.

Property maps provided courtesy of the Maryland Department of Planning ©2010. For more information on electronic mapping applications, visit the Maryland Department of Planning web site at www.mdp.state.md.us/OurProducts/OurProducts.shtml

KATHLEEN D. WHITAKER

DEBBIE WHITAKER

9533 Gunhill Circle
Nottingham, Maryland 21236
410/256-9122

July 26, 2012

To Whom It May Concern:

Please be advised that I am not opposed to the granting of a variance to my neighbors, Scott and Donna Marshall, 9535 Gunhill Circle, with respect to the location of the deck currently being replaced on their property. As far as I am concerned, the current design and location of their deck does not impose an infringement upon my property.

Thank you.

Sincerely,

Debbie Whitaker

Debbie Whitaker

Kathleen Deborah Whitaker

7-26-12





MEMORANDUM

DATE: December 3, 2012
TO: Zoning Review Office
FROM: Office of Administrative Hearings
RE: Case No. 2013-0064-A - Appeal Period Expired

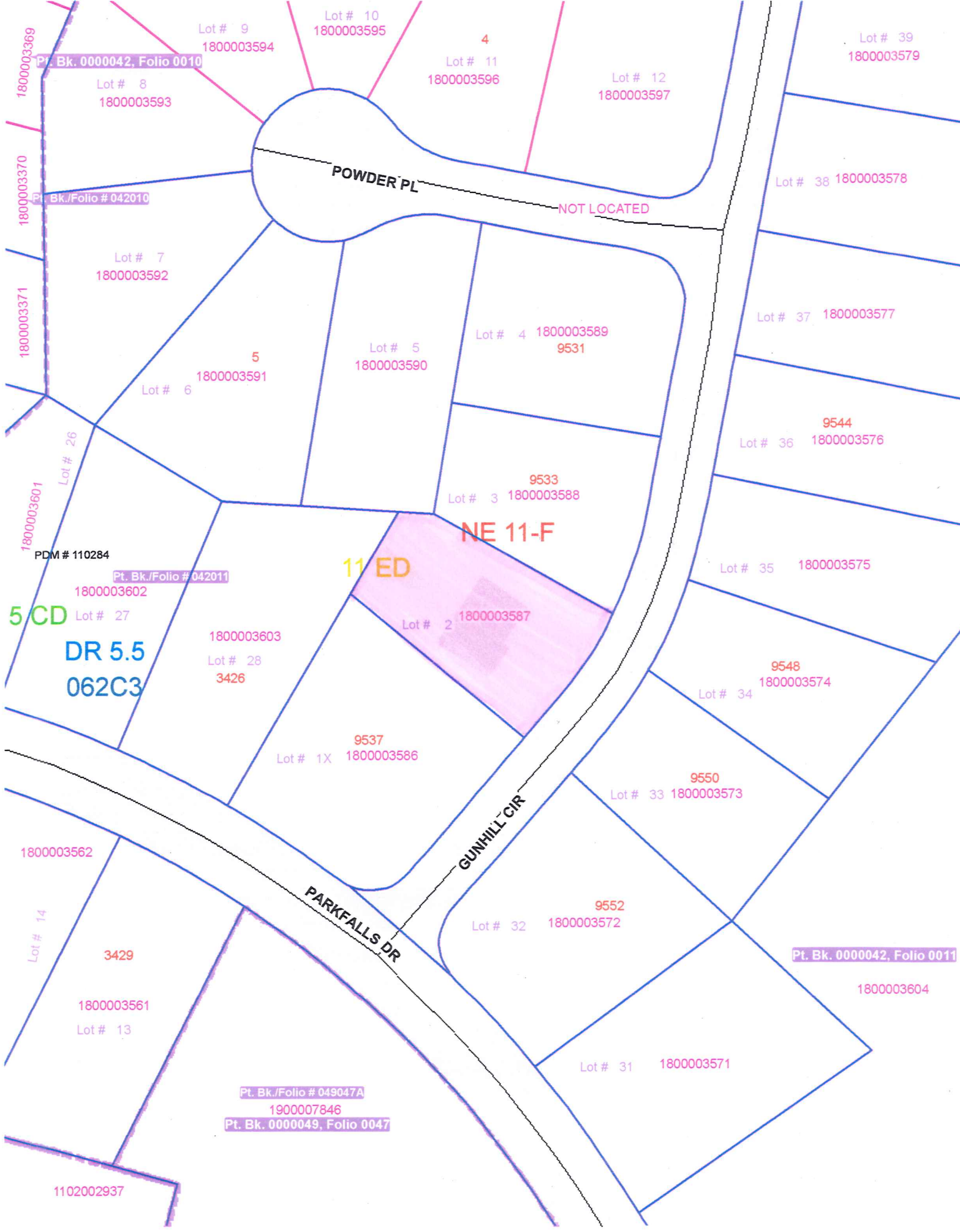
The appeal period for the above-referenced case expired on November 30, 2012. There being no appeal filed, the subject file is ready for return to the Zoning Review Office and is placed in the 'pick up box.'

c: ✓ Case File
Office of Administrative Hearings

CHECKLIST

<u>Comment Received</u>	<u>Department</u>	<u>Support/Oppose/ Conditions/ Comments/ No Comment</u>
<u>9-25</u>	DEVELOPMENT PLANS REVIEW (if not received, date e-mail sent _____)	<u>NC</u>
<u>10-3</u>	DEPS (if not received, date e-mail sent _____)	<u>NC</u>
_____	FIRE DEPARTMENT	_____
_____	PLANNING (if not received, date e-mail sent _____)	_____
<u>9-27</u>	STATE HIGHWAY ADMINISTRATION	_____
_____	TRAFFIC ENGINEERING	<u>NO objection</u>
_____	COMMUNITY ASSOCIATION	_____
<u>7-26</u>	ADJACENT PROPERTY OWNERS <u>Whitaker - 9533 Dunbar Cir.</u>	<u>Not Opposed</u>
ZONING VIOLATION	(Case No. _____)	
PRIOR ZONING	(Case No. _____)	
NEWSPAPER ADVERTISEMENT	Date: _____	
SIGN POSTING	Date: <u>9-23</u> by <u>Black</u>	
PEOPLE'S COUNSEL APPEARANCE	Yes ☐ No ☐	
PEOPLE'S COUNSEL COMMENT LETTER	Yes ☐ No ☐	

Comments, if any: _____



1800003369
1800003370
1800003371
1800003601
Lot # 14
1800003562
3429
1800003561
Lot # 13
1102002937

Pt. Bk. 0000042, Folio 0010
Lot # 8
1800003593
Lot # 7
1800003592
Lot # 6
1800003591
Lot # 26
PDM # 110284
Pt. Bk./Folio # 042011
1800003602
Lot # 27
5 CD
DR 5.5
062C3
Lot # 28
3426
1800003603
Lot # 1X
9537
1800003586
Pt. Bk./Folio # 049047A
1900007846
Pt. Bk. 0000049, Folio 0047

Lot # 9
1800003594
Lot # 10
1800003595
Lot # 11
1800003596
Lot # 12
1800003597
Lot # 5
1800003590
Lot # 4
1800003589
9531
Lot # 3
1800003588
9533
Lot # 2
1800003587
Lot # 32
9552
1800003572
Lot # 31
1800003571

POWDER PL
NOT LOCATED
NE 11-F
11 ED
Lot # 39
1800003579
Lot # 38
1800003578
Lot # 37
1800003577
Lot # 36
9544
1800003576
Lot # 35
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Pt. Bk. 0000042, Folio 0011

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Pt. Bk. 0000049, Folio 0047

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Pt. Bk./Folio # 042011

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PARKFALLS DR

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Lot # 13 1800003561

Pt. Bk./Folio # 049047A

1900007846

Pt. Bk. 0000049, Folio 0047

Lot # 31 3502 1800003571

GENERAL NOTES NOTES

STRUCTURAL NOTES

100. SCOPE OF WORK: CONTRACTORS SHALL COMPLY WITH A.I.A. A201 DOCUMENT DESCRIBED AS GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION. THIS DOCUMENT GOVERNS OVER ALL NOTES AND CONDITIONS AS DESCRIBED IN THESE DRAWINGS.

101. GENERAL: THE CONTRACT DEFINED BY THESE DRAWINGS SHALL BE FOR THE OF NEW WORK REQUIRED FOR INCLUDING ALL MATERIALS, LABOR AND SERVICES REQUIRED , EXCEPT AS SPECIFICALLY NOTED HEREIN OF WORK.

102. BIDDING: CONTRACTORS SUBMITTING BIDS FOR THIS CONTRACT SHALL INSPECT THE SITE AND REVIEW DRAWINGS TO DETERMINE WORKING CONDITIONS FOR EXISTING REPAIR WORK AND REQUIREMENTS FOR THE NEW WORK AS SHOWN ON THESE DRAWINGS. ANY OBSERVED FAILTS OR AMBIGUITY IN THIS SET SHALL BE CALLED TO THE ATTENTION OF THE ARCHITECTURAL CONSULTANT, ENGINEER, OR OWNER IMMEDIATELY, SO THAT THE MATTER MAY BE RESOLVED PRIOR TO SUBMISSION OF BID. THE CONTRACTOR SHALL ACKNOWLEDGE ACCEPTANCE OF PLAN SET AS AN ADEQUATE DEFINITION OF THE SCOPE OF WORK AND EXTRA COST CLAIM BASED ON INADEQUACY OF PLANS SHALL NOT BE CONSIDERED.

103. WORKMANSHIP: THE MATERIALS AND METHODS OF CONSTRUCTION SHALL BE OF A GOOD QUALITY AND TYPE SUITABLE FOR THE PURPOSE AS USED BY THE BEST EXPERIENCED MECHANIC, ACCORDING TO THE BALTIMORE COUNTY AND THE 2000-NATIONAL BUILDING CODE REGULATIONS. BY UNDERTAKING ANY PORTION OF THIS WORK, THE CONTRACTOR REPRESENTS THAT HE IS IN AGREEMENT WITH THE CONDITIONS OF THE WORK.

201. DEPARTURE FROM PREMISES: AT THE COMPLETION OF CONSTRUCTION, CLEAN ALL AREAS OF MATERIALS AND DEBRIS, REPLACE ANY ITEMS BROKEN DURING CONSTRUCTION, CLEAN ALL CARPET, WOOD TRIM # ETC. , - LEAVE PREMISES SUITABLE FOR HABITATION.

202. NEW WORK: ALL WORK SHALL BE DONE TO BLEND IN WITH THE EXISTING AS MUCH, AS POSSIBLE, INCLUDING, BUT NOT LIMITED TO,

(1) ANY EXISTING WORK REMOVED WHICH IS INTENDED TO REMAIN, SHALL BE REPLACED TO MATCH THAT REMOVED.

303. NEW WORK: ANY CHANGES WHICH WOULD EFFECT THE STRUCTURE OF THE BUILDING, THE CONTRACTOR SHALL SEND A WRITTEN LETTER OR DETAILS TO THE ARCHITECT OR STRUCTURAL ENGINEER FOR APPROVAL PRIOR TO RECONSTRUCTION FROM ORIGINAL DESIGN. NO CHANGES SHALL BE MADE UNTIL A LETTER OF APPROVAL HAS BEEN RECEIVED FROM ENGINEER OR ARCHITECT.

1. DESIGN LIVE LOADS

- A. ROOF: 30PSF
- B. LOWER LEVEL 40 PSF
- C: UPPR LEVEL 40 PSF
- D. EXTERIOR DECKS 60 PSF LIVE LOAD 30 PSF SNOW LOAD

2. FOUNDATIONS:

- A. NO SOIL TEST BORINGS WERE MADE, 2000SF, SOIL BEARING CAPACITY WAS ASSUMED, THE CONTRACTOR SHALL ASCERTAIN PROPER BEARING PRIOR TO POURING FOOTINGS.
- B. FOOTINGS SHALL BEAR ON UNDISTURBED SOIL, 2'-6" BELOW FINISHED GRADE WHERE SUBJECT TO FROST, AND 1'-0" BELOW ORGINAL GRADE. UNLESS OTHERWISE NOTED.
- C. BACKFILL SHALL NOT BE PLACED UNTIL MORTAR IS FULLY CURED AND FLOOR DECKS ARE LAID, BACKFILL SHALL CONSIST OF CLEAN POROUS MATERIALS, PLACED IN 8" LAYERS AND COMPACTED WITH APPROPRIATE EQUIPMENT.
- D. STEP FOOTINGS 2'-0" MAXIMUM VERTICALLY AND 4'-0" MINIMUM HORIZONTALLY.

- E. SLABS ON GRADE WITH THICKNESS GREATER THAN 4" SHALL BE REINFORCED WITH 6" X 6" - W1, 4 X W1, 4 WWF, OVER 6 MIL VAPOR BARRIER AND 4" DEEP WASHED GRAVEL LAYER, UNLESS OTHERWISE NOTED. SLABS LESS THAN 4" SAHLL BE NOT REINFORCED.

3. CONCRETE:

- A. ALL CONCRETE SHALL DEVELOP COMPRESSIVE STRENGTH OF 3,000 PSI IN 28 DAYS.
- B. ALL CONCRETE SHALL CONFORM TO THE 2009 NATIONAL BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE, A.C.I. 318, THE AMERICAN CONCRETE INSTITUTE, LATEST ADDTION.
- C. REINFORCING SHALL BE ASTM A-615, GRADE 60.
- D. WELDED WIRE FABRIC SHALL BE ASTM 1-185, LAPS SHALL BE A MINIMUM OF 6".
- E. CONCRETE FILL FOR REINFORCED MASONARY FOUNDATION WALL SHALL HAVE 28 DAYS COMPRESSIVE STRENGTH OF 3,000 PSI., MIXED AND SHALL BE DESIGNED FOR PLACING WITH A 5 TO 6" SLUMP, WITH 1/2" MAXIMUM SIZE AGGREGATE.
- F. UNLESS OTHERWISE NOTED, PROVIDE CONCRETE PROTECTION FOR REINFORCED AS FOLLOWS:
CAST AGAINST EARTH.....3"
NOT EXPOSED TO EARTH OR WEATHER.....2"

4. MASONRY:

- A. ALL MORTAR IN WALLS SHALL BE TYPE-S, AS PER 2007 NATIONAL BUILDING CODE.
- B. 8" THICK WALLS TO HAVE A MAXIMUM RETAINAGE OF 4'-0".
1 2" THICK WALLS TO HAVE A RETAINAGE OF 7'-0" UNREINFORCED OR 8'-0" REINFORCED WITH #4 BARS VERTICALLY AT 24" ON CENTER.
- LOCATIONS OF VERTICAL REINFORCEMENT SHALL BE FILLED SOLID WITH PEA GRAVEL CONCRETE
- C. WALLS SHALL BE REINFORCED WITH STANDARD GRADE DUR-O-WALL SPACED 16" INCHES ON CENTER VERTICALLY.

5. STRUCTURAL STEEL:

- A. STRUCTURAL STEEL SHALL BE ASTM A-36 FABRICATED AND ERECTED IN ACCORDANCE WITH THE LATEST AISC SPECIFICATIONS.
- B. STEEL PIPE COLUMNS SHALL BE ASTM A-53, GRADE -B.

6. STRUCTURAL WOOD:

- A. STRUCTURAL WOOD SHALL BEAR THE GRADE MARK OF THE GRADING RULES AGENCY HAVING JURISDICTION.
- B. FRAMING LUMBER SHALL BE KILN DRIED, NO.2, SOUTHERN PINE OR NO. HEM FIR, HAVING A MINIMUM BENDING STRESS CAPACITY OF 1150 PSI FOR REPETITIVE MEMBER USE, AND A MINIMUM MODULUS OF ELASTICITY, E-1,400,000 PSI.
- ALL FABRICATIONS, ERECTION, OTHER PROCEDURES AND MINIMUM UNIT STRESS SHALL CONFORM TO THE CURRENT "NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION".

- C. 2009 NATIONAL BUILDING CODE APPENDIX, RECOMMENDED FASTENING SCHEDULE, SHALL BE FOLLOWED FOR ALL NAILING UNLESS SPECIFIED OTHERWISE.
- D. PLYWOOD SHALL BE GRADED PER AMERICAN PLYWOOD ASSOCIATION STANDARDS.
 - 1. ROOF SHEATHING SHALL CD, 5/8" INCH THICK, WITH EXTERIOR GLUE, FASTENED WITH 6d NAILS.
 - 2. CORNER WALL SHEATHING SHALL BE 5/8" INCH THICK, CDX.
 - 3. FLOORING SHEATHING SHALL BE 3/4" INCH THICK, T&G FASTENED WITH 8d NAILS. NAILS SHALL BE SPACED 6" ON CENTER AT PANEL EDGES AND 12" ON CENTER AT INTERMEDIATE SUPPORTS.

- E. STRUCTURAL MEMBERS SHALL HAVE SUITABLE BEARING OR SHALL BE SUPPORTED BY METAL FRAMING CONNECTORS CAPABLE OF DEVELOPING THE LOAD CARRYING CAPACITY OF THE MEMBER..STRUCURAL CONNECTORS SHALL BE "SIMPSON STRONG TIE CONNECTORS".
- F. MICRO-LAM BEAMS ARE MANUFACTURED BY A TRUSS MANUFACTURING CORPORATION AND SHALL BE IN COMPLIANCE OF THE 2009 NATIONAL BUILDING CODE.
- MICROLAMS SHALL HAVE A MINIMUM BEARING OF 3" INCHES WITH SOLID BEARING BELOW THE POINT OF SUPPORT, UNLESS OTHERWISE NOTED.
- MICROLAMS SHALL BE SECURED AND SUPPORTED BETWEEN ADJACENT MICROLAMS MEMBERS WITH SIMPSON STRONG TIE CONNECTORS OR EQUIVALENT.
- CONNECTIONS WIDTH AND DEPTH REQUIREMENTS OF CONNECTORS WITH MICROLAM SELECTION. A MINIMUM OF 1.5" OF BEARING SHALL BE PROVIDED AT CONNECTOR BEAM SUPPORT LOCATIONS. MICROLAM COMPOSITE MEMBERS SAHLL BE FASTENED BY LAMINATION AND NAILING ALONG EACH ADJOINING FACE.

GENERAL

INFO -



ARCHITECTURAL / INTERIOR
DESIGN SERVICES
JAMES W. BOYCE
6 BEECH DRIVE SUITE F
MIDDLE RIVER, MD. 21220

CRAFTMASTERS &
REMODELING CO.
603 STEVENSON LANE
TOWSON MD. 21286

AS BUILT DRAWINGS FOR:
MR & MRS MARSHALL
9535 GUNHILL CIRCLE
PERRY HALL MD 21236

GENERAL NOTES
STRUCTURAL
NOTES

DATE:
SEPT 4, 2012

SCALE: 1/4" = 1'-0"

REV.

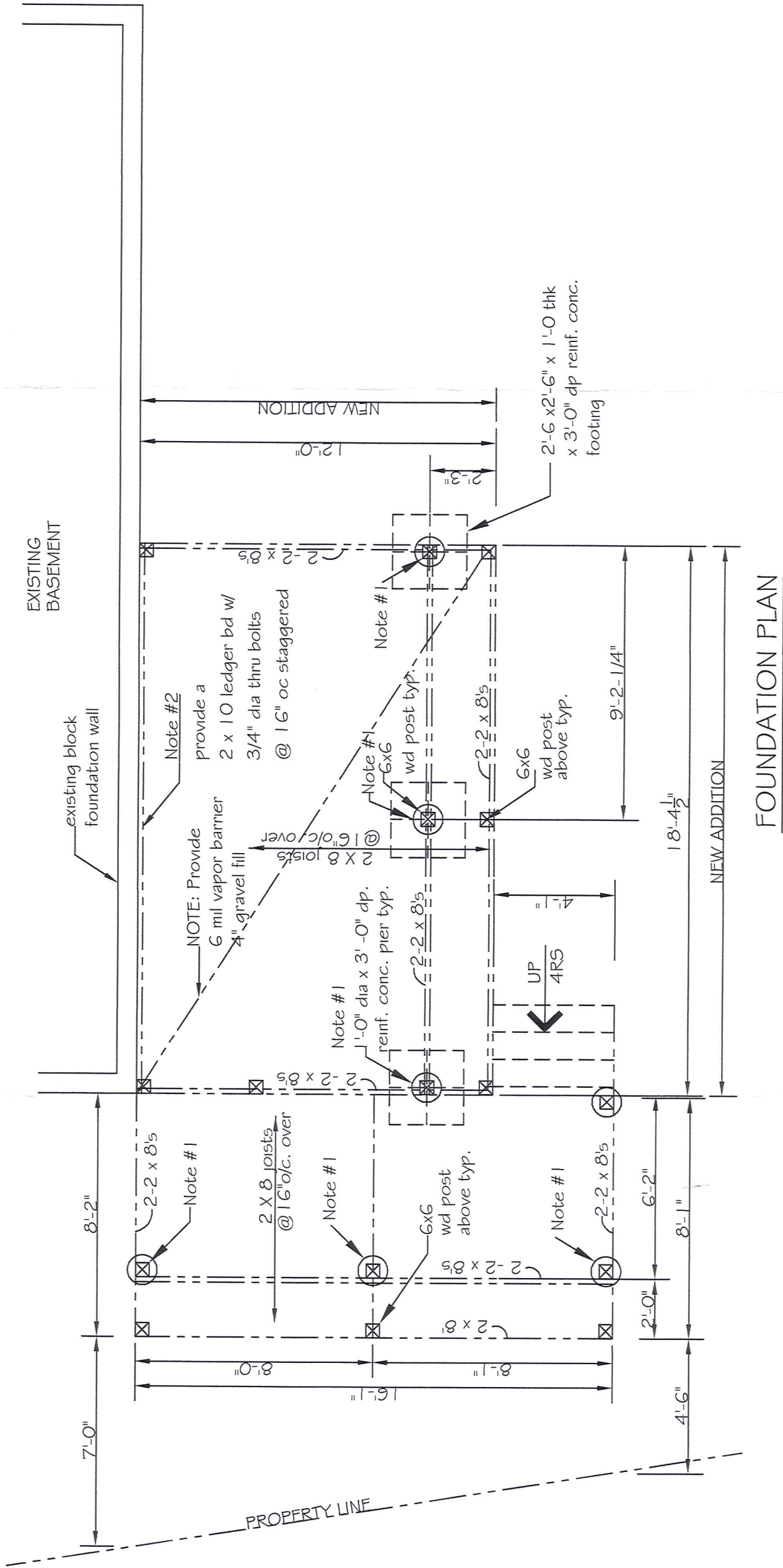
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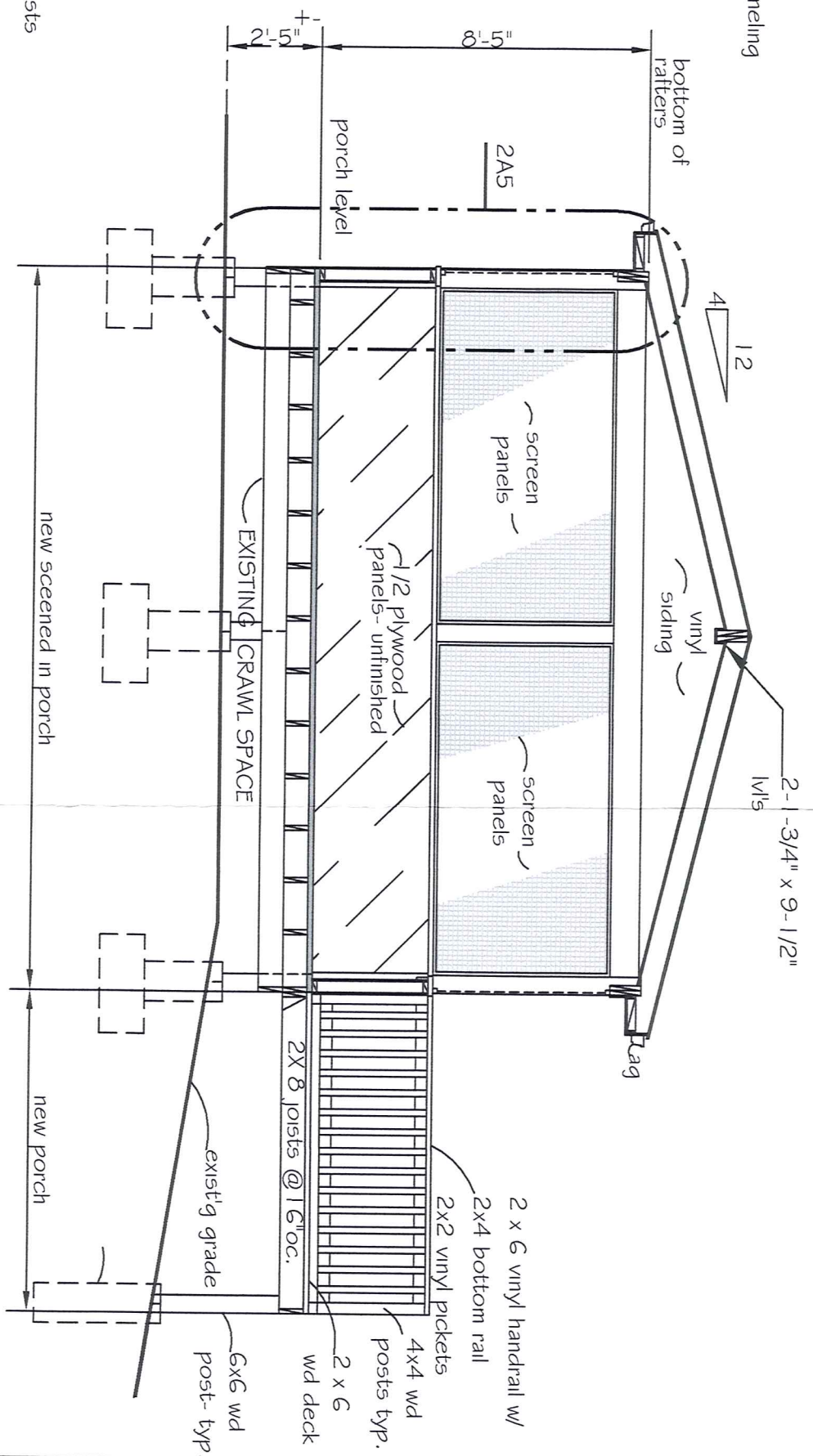
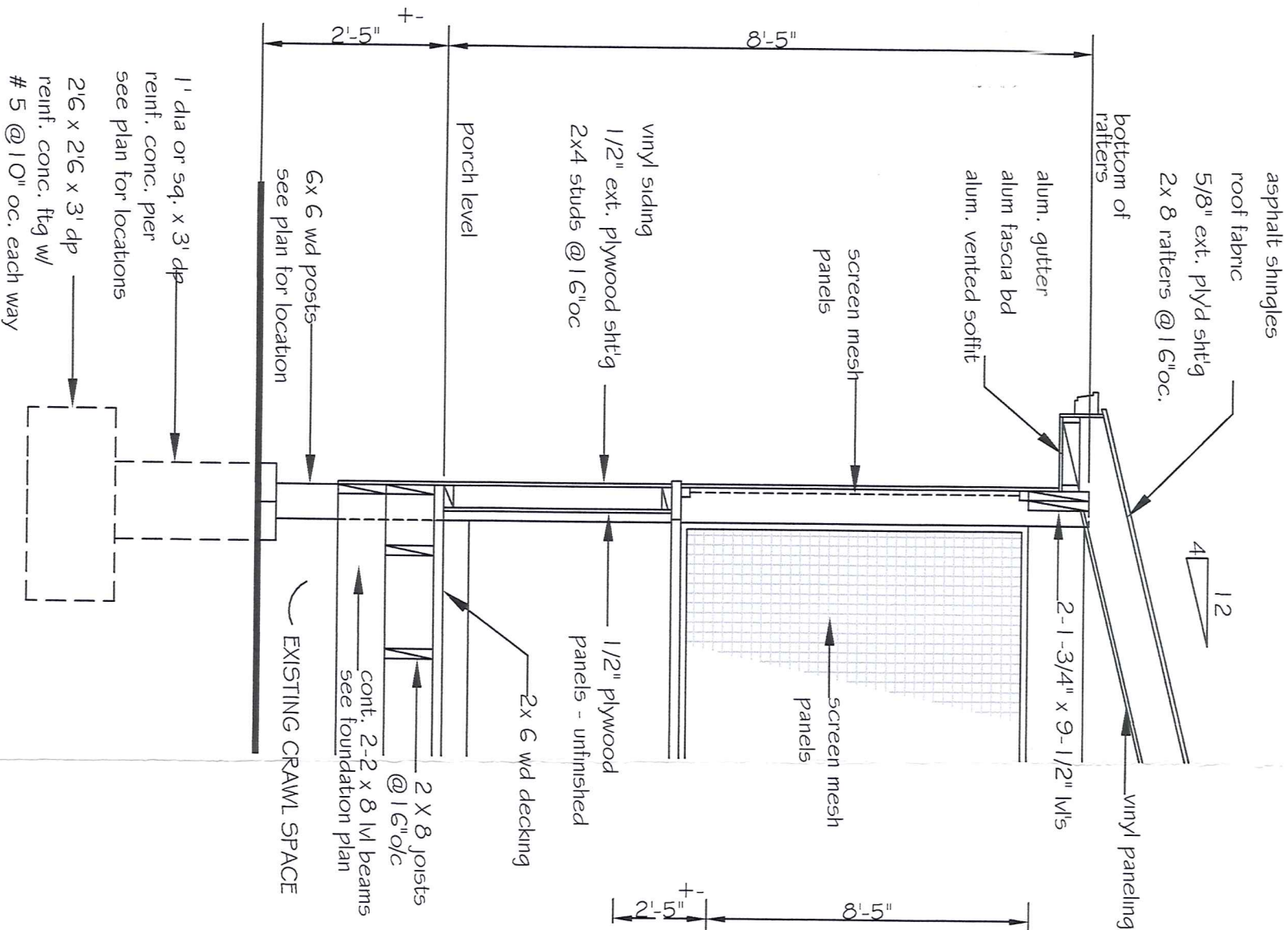
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FOUNDATION PLAN

AS BUILT DRAWINGS FOR:
MR & MRS MARSHALL
9535 GUNHILL CIRCLE
PERRY HALL MD 21236

CRAFTMASTERS &
REMODELING CO.
603 STEVENSON LANE
TOWSON MD. 21286





LARGE SCALE TYPICAL EXTERIOR- 2A5

SCALE: 1/2" = 1'-0"

CROSS SECTION THRU PORCH- 1A5

SCALE: 1/4" = 1'-0"

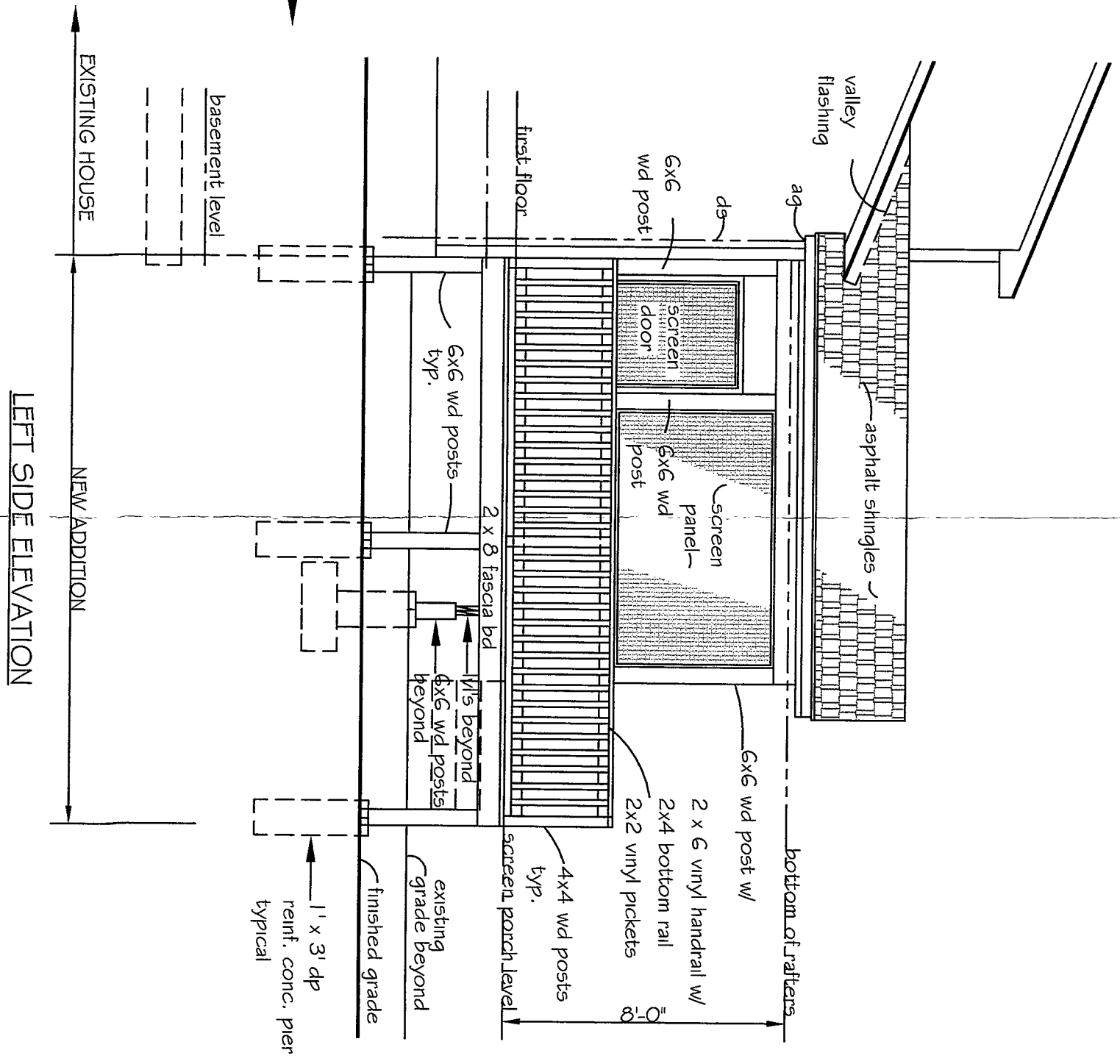
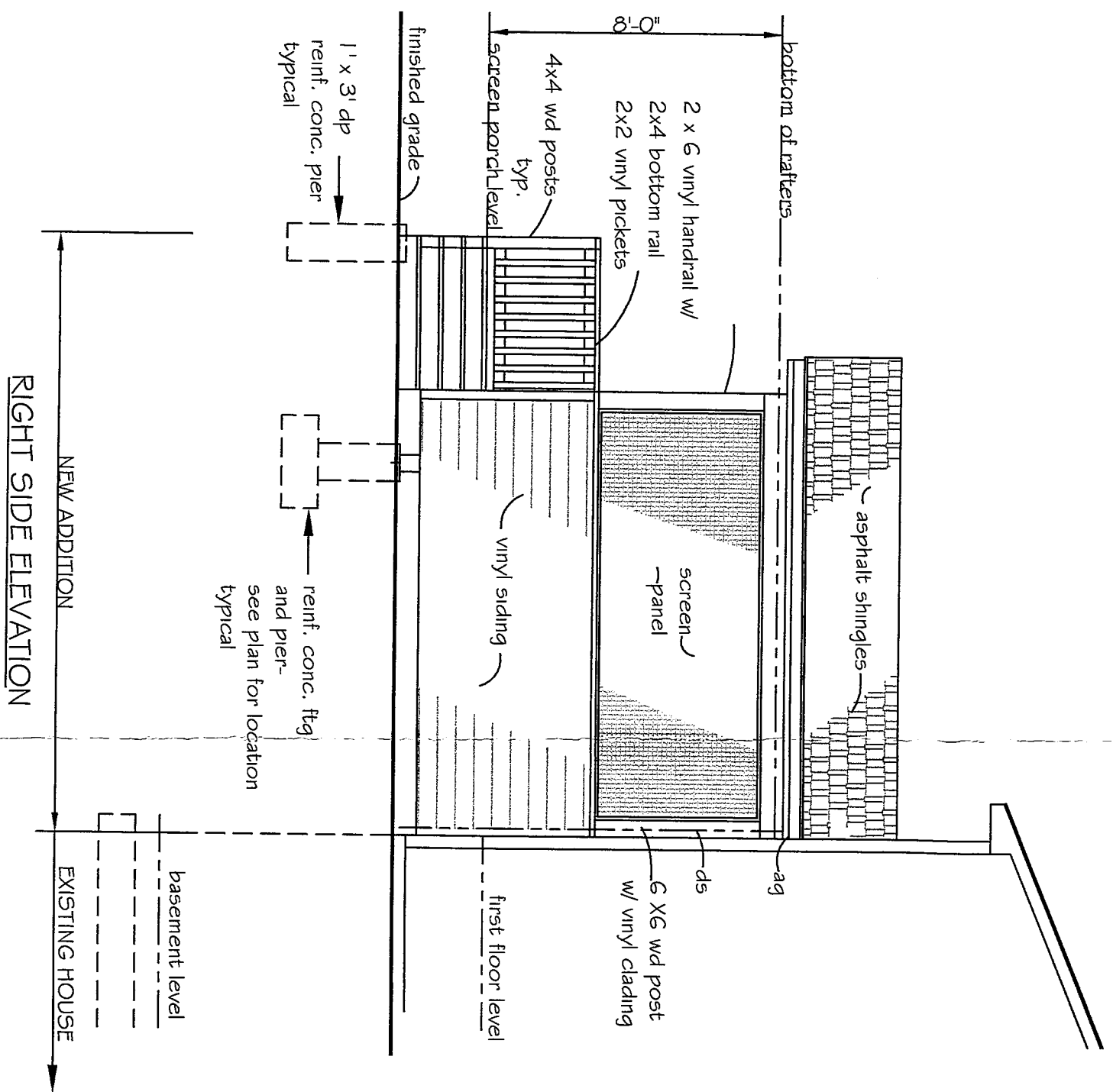
CROSS SECTIONS

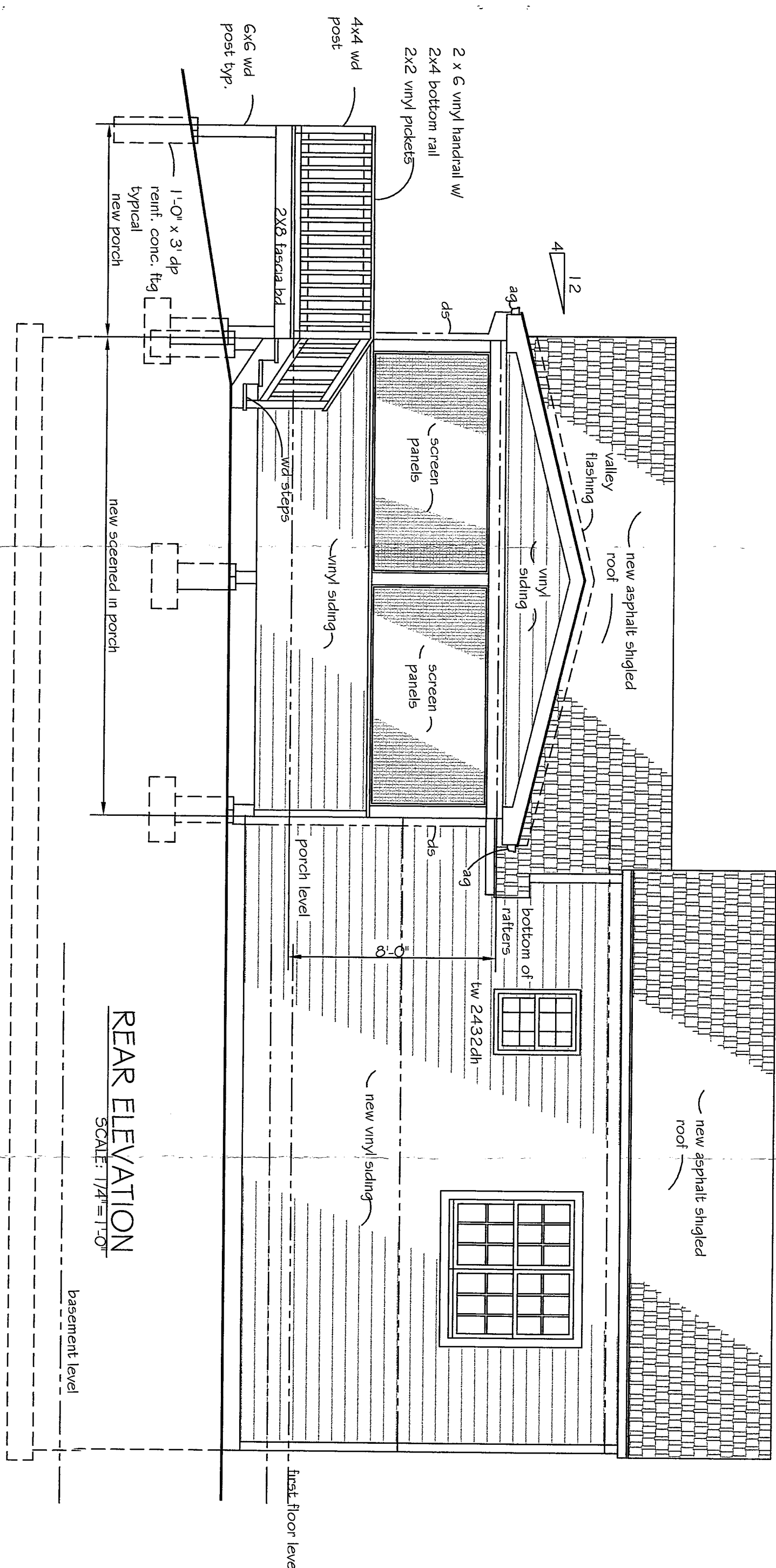
AS BUILT DRAWINGS FOR:
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9535 GUNHILL CIRCLE
PERRY HALL MD 21236

CRAFTMASTERS &
REMODELING CO.
603 STEVENSON LANE
TOWSON MD. 21286

ARCHITECTURAL / INTERIOR
DESIGN SERVICES
JAMES W. BOYCE
6 BEECH DRIVE SUITE F
MIDDLE RIVER, MD. 21220

A5



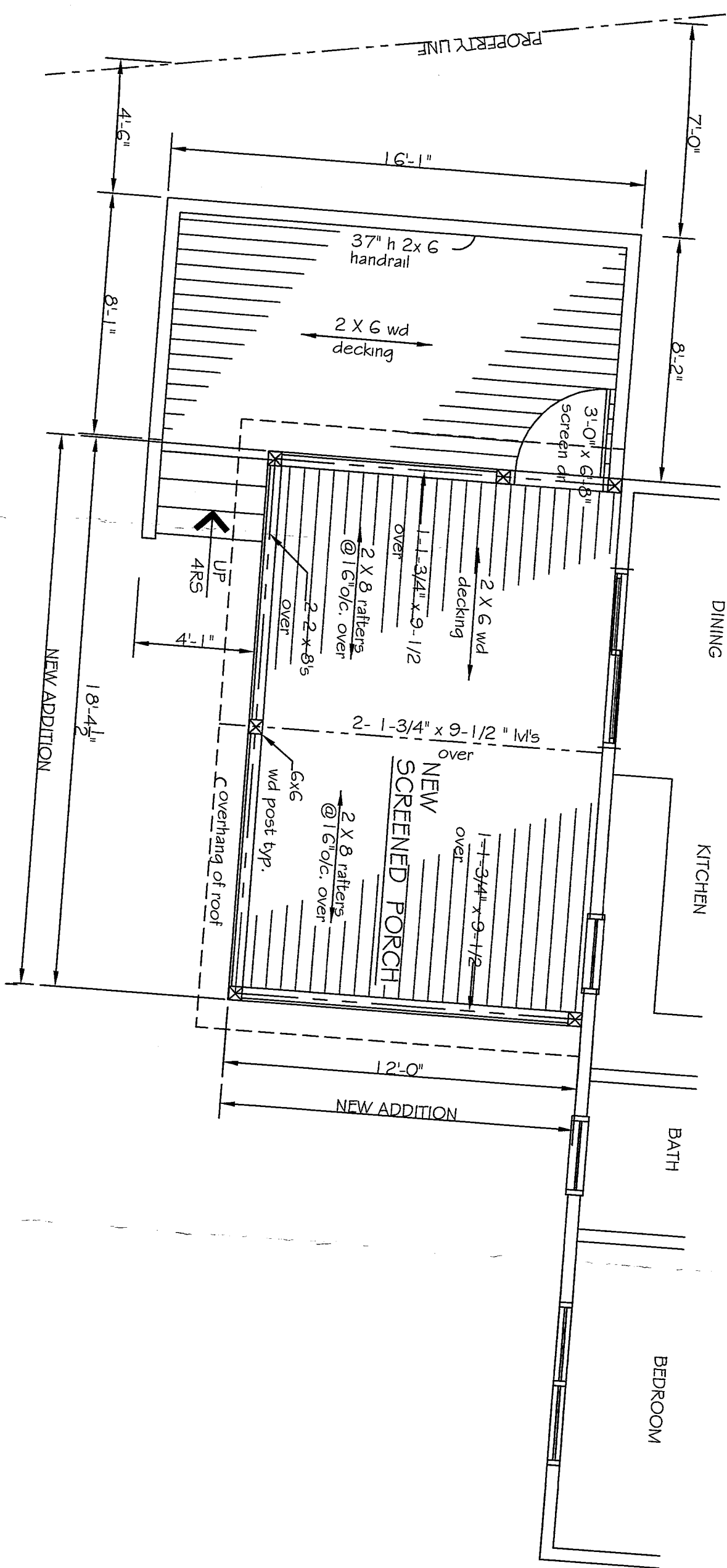


REAR ELEVATION
SCALE: 1/4" = 1'-0"

basement level

first floor level

FIRST FLOOR PLAN



FIRST FLOOR PLAN

AS BUILT DRAWINGS FOR:
MR & MRS MARSHALL
9535 GUNHILL CIRCLE
PERRY HALL MD 21236

CRAFTMASTERS &
REMODELING CO.
603 STEVENSON LANE
TOWSON MD. 21286



ARCHITECTURAL / INTERIOR
DESIGN SERVICES
JAMES W. BOYCE
6 BEECH DRIVE SUITE F
MIDDLE RIVER, MD. 21220

DATE:
SEPT. 4, 2012
SCALE: 1/4" = 1'-0"
REV.
JOB NO. 2011-31

GENERAL NOTES NOTES

STRUCTURAL NOTES

100. SCOPE OF WORK: CONTRACTORS SHALL COMPLY WITH A.I.A. A201 DOCUMENT DESCRIBED AS GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION. THIS DOCUMENT GOVERNS OVER ALL NOTES AND CONDITIONS AS DESCRIBED IN THESE DRAWINGS.

101. GENERAL: THE CONTRACT DEFINED BY THESE DRAWINGS SHALL BE FOR THE OF NEW WORK REQUIRED FOR INCLUDING ALL MATERIALS, LABOR AND SERVICES REQUIRED , EXCEPT AS SPECIFICALLY NOTED HEREIN OF WORK.

102. BIDDING: CONTRACTORS SUBMITTING BIDS FOR THIS CONTRACT SHALL INSPECT THE SITE AND REVIEW DRAWINGS TO DETERMINE WORKING CONDITIONS FOR EXISTING REPAIR WORK AND REQUIREMENTS FOR THE NEW WORK AS SHOWN ON THESE DRAWINGS. ANY OBSERVED FAULTS OR AMBIGUITY IN THIS SET SHALL BE CALLED TO THE ATTENTION OF THE ARCHITECTUAL CONSULTANT, ENGINEER, OR OWNER IMMEDIATELY, SO THAT THE MATTER MAY BE RESOLVED PRIOR TO SUBMISSION OF BID. THE CONTRACTOR SHALL ACKNOWLEDGE ACCEPTANCE OF PLAN SET AS AN ADEQUATE DEFINITION OF THE SCOPE OF WORK AND EXTRA COST CLAIM BASED ON INADEQUACY OF PLANS SHALL NOT BE CONSIDERED.

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201. DEPARTURE FROM PREMISES: AT THE COMPLETION OF CONSTRUCTION, CLEAN ALL AREAS OF MATERIALS AND DEBRIS, REPLACE ANY ITEMS BROKEN DURING CONSTRUCTION, CLEAN ALL CARPET, WOOD TRIM & ETC. . - LEAVE PREMISES SUITABLE FOR HABITATION.

202. NEW WORK: ALL WORK SHALL BE DONE TO BLEND IN WITH THE EXISTING AS MUCH, AS POSSIBLE, INCLUDING, BUT NOT LIMITED TO.

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303. NEW WORK: ANY CHANGES WHICH WOULD EFFECT THE STRUCTURE OF THE BUILDING. THE CONTRACTOR SHALL SEND A WRITTEN LETTER OR DETAILS TO THE ARCHITECT OR STRUCTURAL ENGINEER FOR APPROVAL. PRIOR TO RECONSTRUCTION FROM ORIGINAL DESIGN. NO CHANGES SHALL BE MADE UNTIL A LETTER OF APPROVAL HAS BEEN RECEIVED FROM ENGINEER OR ARCHITECT.

1. DESIGN LIVE LOADS

- A. ROOF: 30PSF
- B: LOWER LEVEL 40 PSF
- C: UPPER LEVEL 40 PSF
- D. EXTERIOR DECKS 60 PSF LIVE LOAD
30 PSF SNOW LOAD

2. FOUNDATIONS:

- A. NO SOIL TEST BORINGS WERE MADE, 2000SF, SOIL BEARING CAPACITY WAS ASSUMED, THE CONTRACTOR SHALL ASCERTAIN PROPER BEARING PRIOR TO POURING FOOTINGS.
- B. FOOTINGS SHALL BEAR ON UNDISTURBED SOIL, 2'-6" BELOW FINISHED GRADE WHERE SUBJECT TO FROST. AND 1'-0" BELOW ORIGINAL GRADE. UNLESS OTHERWISE NOTED.
- C. BACKFILL SHALL NOT BE PLACED UNTIL MORTAR IS FULLY CURED AND FLOOR DECKS ARE LAID, BACKFILL SHALL CONSIST OF CLEAN POROUS MATERIALS, PLACED IN 8" LAYERS AND COMPACTED WITH APPROPRIATE EQUIPMENT.
- D. STEP FOOTINGS 2'-0" MAXIMUM VERTICALLY AND 4'-0" MINIMUM HORIZONTALLY.
- E. SLABS ON GRADE WITH THICKNESS GREATER THAN 4" SHALL BE REINFORCED WITH 6" X 6" - W1, 4 X W1, 4 WWF, OVER 6 MIL VAPOR BARRIER AND 4" DEEP WASHED GRAVEL LAYER, UNLESS OTHERWISE NOTED. SLABS LESS THAN 4" SHALL BE NOT REINFORCED.

3. CONCRETE:

- A. ALL CONCRETE SHALL DEVELOP COMPRESSIVE STRENGTH OF 3,000 PSI IN 28 DAYS.
- B. ALL CONCRETE SHALL CONFORM TO THE 2009 NATIONAL BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE, A.C.I. 318, THE AMERICAN CONCRETE INSTITUTE, LATEST ADDTION.
- C. REINFORCING SHALL BE ASTM A-615, GRADE 60.
- D. WELDED WIRE FABRIC SHALL BE ASTM 1-185, LAPS SHALL BE A MINIMUM OF 6".
- E. CONCRETE FILL FOR REINFORCED MASONARY FOUNDATION WALL SHALL HAVE 28 DAYS COMPRESSIVE STRENGTH OF 3,000 PSI, MIXED AND SHALL BE DESIGNED FOR PLACING WITH A 5 TO 6" SLUMP, WITH 1/2" MAXIMUM SIZE AGGREGATE.
- F. UNLESS OTHERWISE NOTED, PROVIDE CONCRETE PROTECTION FOR REINFORCED AS FOLLOWS:
CAST AGAINST EARTH.....3"
NOT EXPOSED TO EARTH OR WEATHER.....2"

4. MASONRY:

- A. ALL MORTAR IN WALLS SHALL BE TYPE-S, AS PER 2007 NATIONAL BUILDING CODE.
- B. 8" THICK WALLS TO HAVE A RETAINAGE OF 4'-0",
1 2" THICK WALLS TO HAVE A RETAINAGE OF 7'-0" UNREINFORCED OR 8'-0" REINFORCED WITH #4 BARS VERTICALLY AT 24" ON CENTER.
- LOCATIONS OF VERTICAL REINFORCEMENT SHALL BE FILLED SOLID WITH PEA GRAVEL CONCRETE
- C. WALLS SHALL BE REINFORCED WITH STANDARD GRADE DUR-O-WALL SPACED 16" INCHES ON CENTER VERTICALLY.

5. STRUCTURAL STEEL:

- A. STRUCTURAL STEEL SHALL BE ASTM A-36 FABRICATED AND ERECTED IN ACCORDANCE WITH THE LATEST AISC SPECIFICATIONS.
- B. STEEL PIPE COLUMNS SHALL BE ASTM A-53, GRADE -B.

6. STRUCTURAL WOOD:

- A. STRUCTURAL WOOD SHALL BEAR THE GRADE MARK OF THE GRADING RULES AGENCY HAVING JURISDICTION.
- B. FRAMING LUMBER SHALL BE KILN DRIED, NO.2, SOUTHERN PINE OR NO. HEM FIR, HAVING A MINIMUM BENDING STRESS CAPACITY OF 1150 PSI FOR REPETITIVE MEMBER USE. AND A MINIMUM MODULUS OF ELASTICITY, E-1,400,000 PSI.
- ALL FABRICATIONS, ERECTION, OTHER PROCEDURES AND MINIMUM UNIT STRESS SHALL CONFORM TO THE CURRENT "NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION".

C. 2009 NATIONAL BUILDING CODE APPENDIX, RECOMMENDED FASTENING SCHEDULE, SHALL BE FOLLOWED FOR ALL NAILING UNLESS SPECIFIED OTHERWISE.

D. PLYWOOD SHALL BE GRADED PER AMERICAN PLYWOOD ASSOCIATION STANDARDS.

- 1. ROOF SHEATHING SHALL CD, 5/8" INCH THICK, WITH EXTERIOR GLUE, FASTENED WITH 6d NAILS.
- 2. CORNER WALL SHEATHING SHALL BE 5/8" INCH THICK, CDX.
- 3. FLOORING SHEATHING SHALL BE 3/4" INCH THICK, T&G FASTENED WITH 8d NAILS. NAILS SHALL BE SPACED 6" ON CENTER AT PANEL EDGES AND 12" ON CENTER AT INTERMEDIATE SUPPORTS.

E. STRUCTURAL MEMBERS SHALL HAVE SUITABLE BEARING OR SHALL BE SUPPORTED BY METAL FRAMING CONNECTORS CAPABLE OF DEVELOPING THE LOAD CARRYING CAPACITY OF THE MEMBER. STRUCTURAL CONNECTORS SHALL BE SIMPSON STRONG TIE CONNECTORS.

F. MICRO-LAM BEAMS ARE MANUFACTURED BY A TRUSS MANUFACTURING CORPORATION AND SHALL BE IN COMPLIANCE OF THE 2009 NATIONAL BUILDING CODE.

MICROLAMS SHALL HAVE A MINIMUM BEARING OF 3" INCHES WITH SOLID BEARING BELOW THE POINT OF SUPPORT, UNLESS OTHERWISE NOTED. MICROLAMS SHALL BE SECURED AND SUPPORTED BETWEEN ADJACENT MICROLAMS MEMBERS WITH SIMPSON STRONG TIE CONNECTORS OR EQUIVALENT. CONNECTIONS WIDTH AND DEPTH REQUIREMENTS OF CONNECTORS WITH MICROLAM SELECTION. A MINIMUM OF 1.5" OF BEARING SHALL BE PROVIDED AT CONNECTOR BEAM SUPPORT LOCATIONS. MICROLAM COMPOSITE MEMBERS SHALL BE FASTENED BY LAMINATION AND NAILING ALONG EACH ADJOINING FACE.

GENERAL NOTES
STRUCTURAL
NOTES

AS BUILT DRAWINGS FOR:
MR & MRS MARSHALL
9535 GUNHILL CIRCLE
PERRY HALL MD 21236

CRAFTMASTERS &
REMODELING CO.
603 STEVENSON LANE
TOWSON MD. 21286



ARCHITECTURAL / INTERIOR
DESIGN SERVICES
JAMES W. BOYCE
6 BEECH DRIVE SUITE F
MIDDLE RIVER, MD. 21220

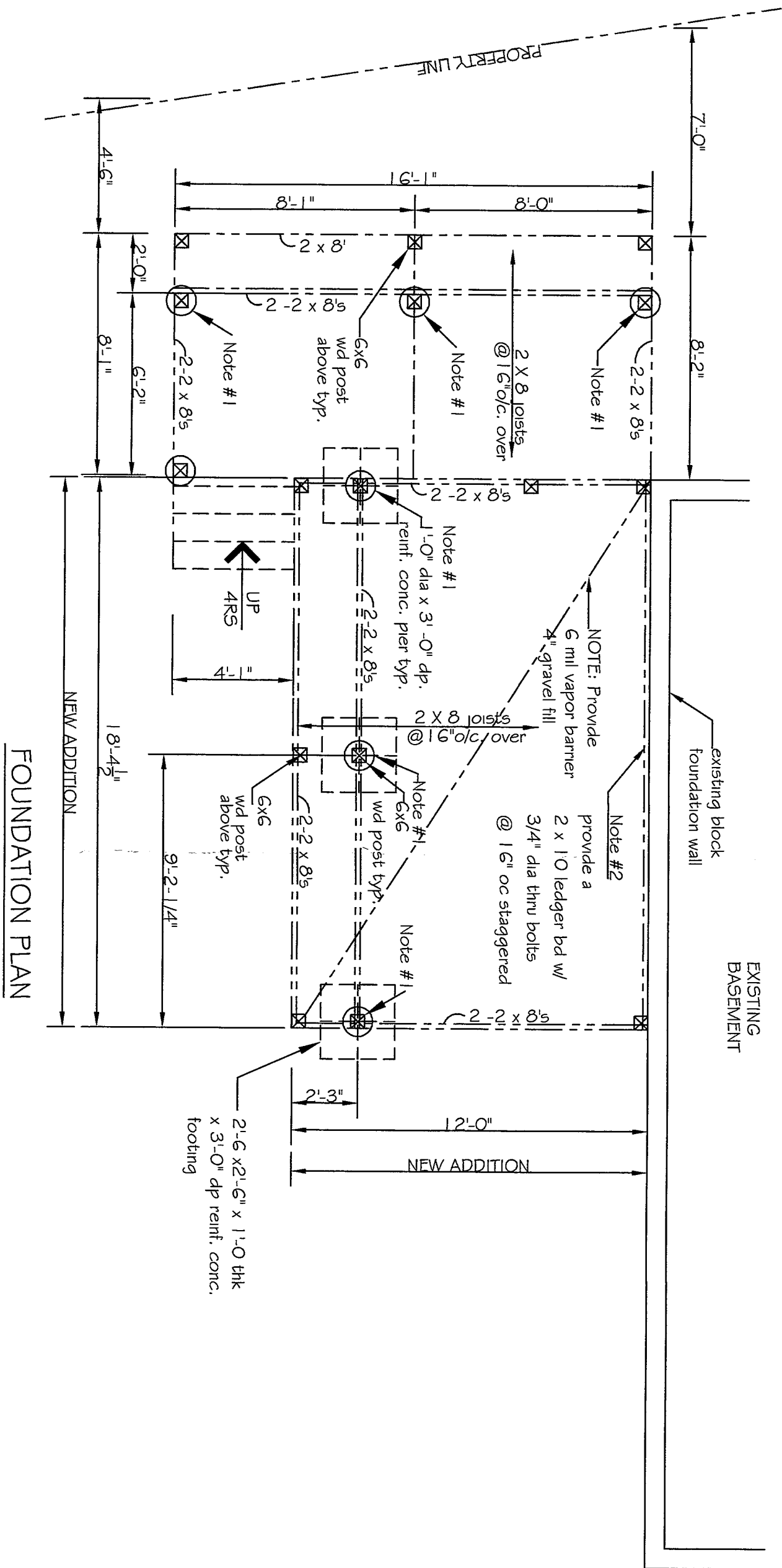
DATE:
SEPT. 4, 2012

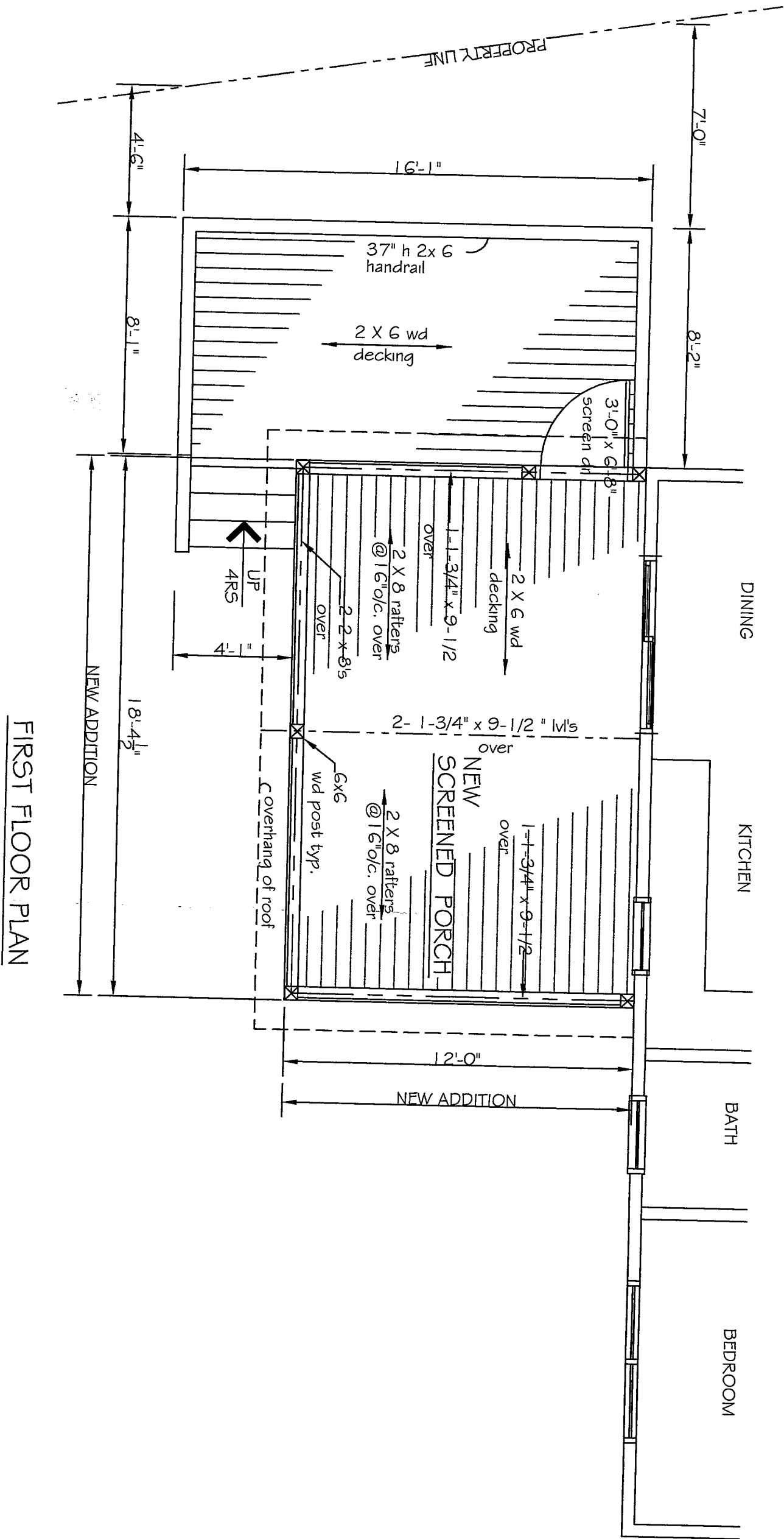
SCALE: 1/4" = 1'-0"

REV.

JOB NO 2012 -38

G1





A2

FIRST FLOOR PLAN

AS BUILT DRAWINGS FOR:
MR & MRS MARSHALL
9535 GUNHILL CIRCLE
PERRY HALL MD 21236

CRAFTMASTERS &
REMODELING CO.
603 STEVENSON LANE
TOWSON MD. 21286



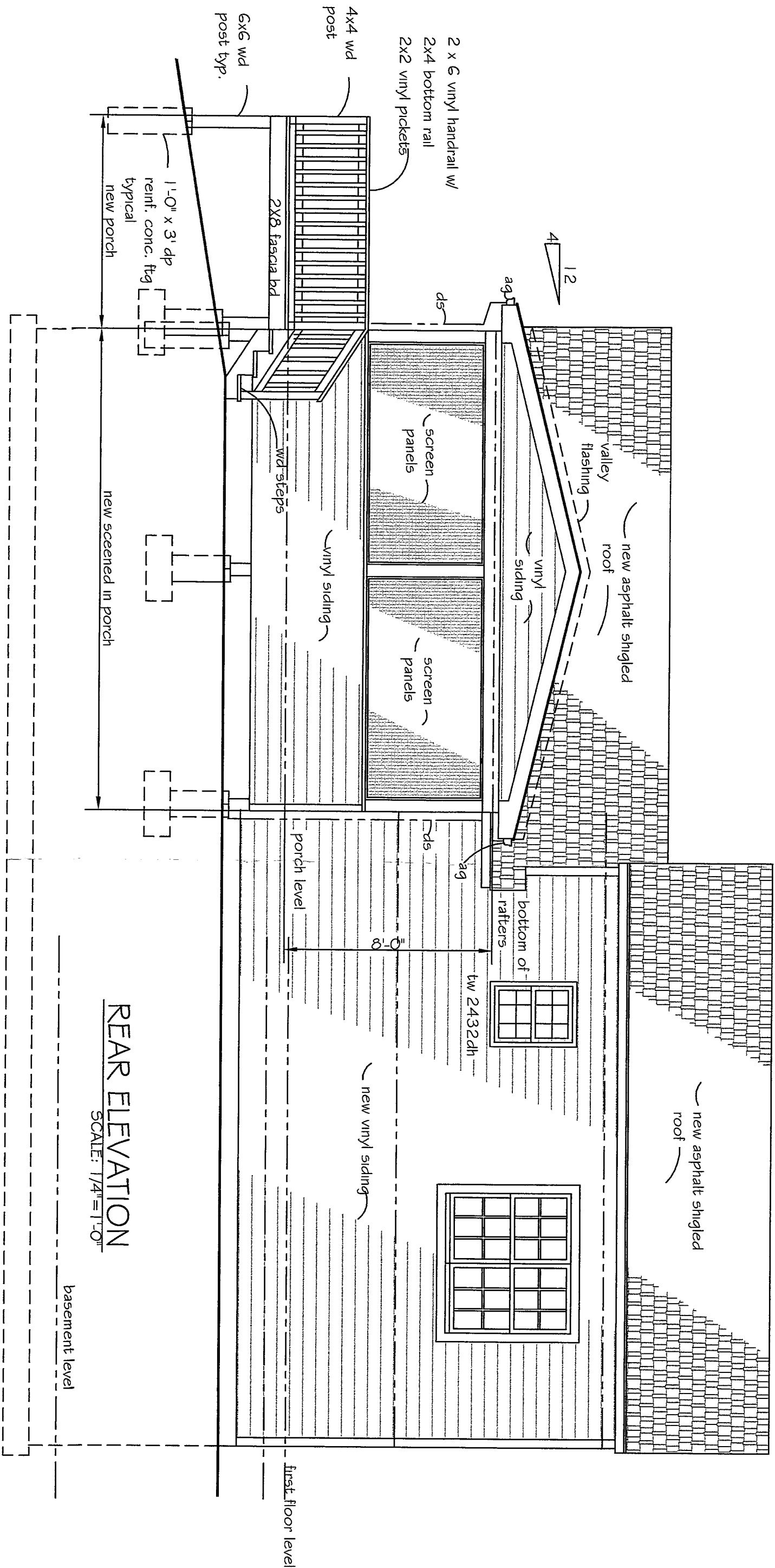
ARCHITECTURAL / INTERIOR
DESIGN SERVICES
JAMES W. BOYCE
6 BEECH DRIVE SUITE F
MIDDLE RIVER, MD. 21220

DATE:
SEPT. 4, 2012

SCALE: 1/4" = 1'-0"

REV.

JOB NO 2011-31



REAR ELEVATION

SCALE: 1/4" = 1'-0"

basement level

first floor level

A3

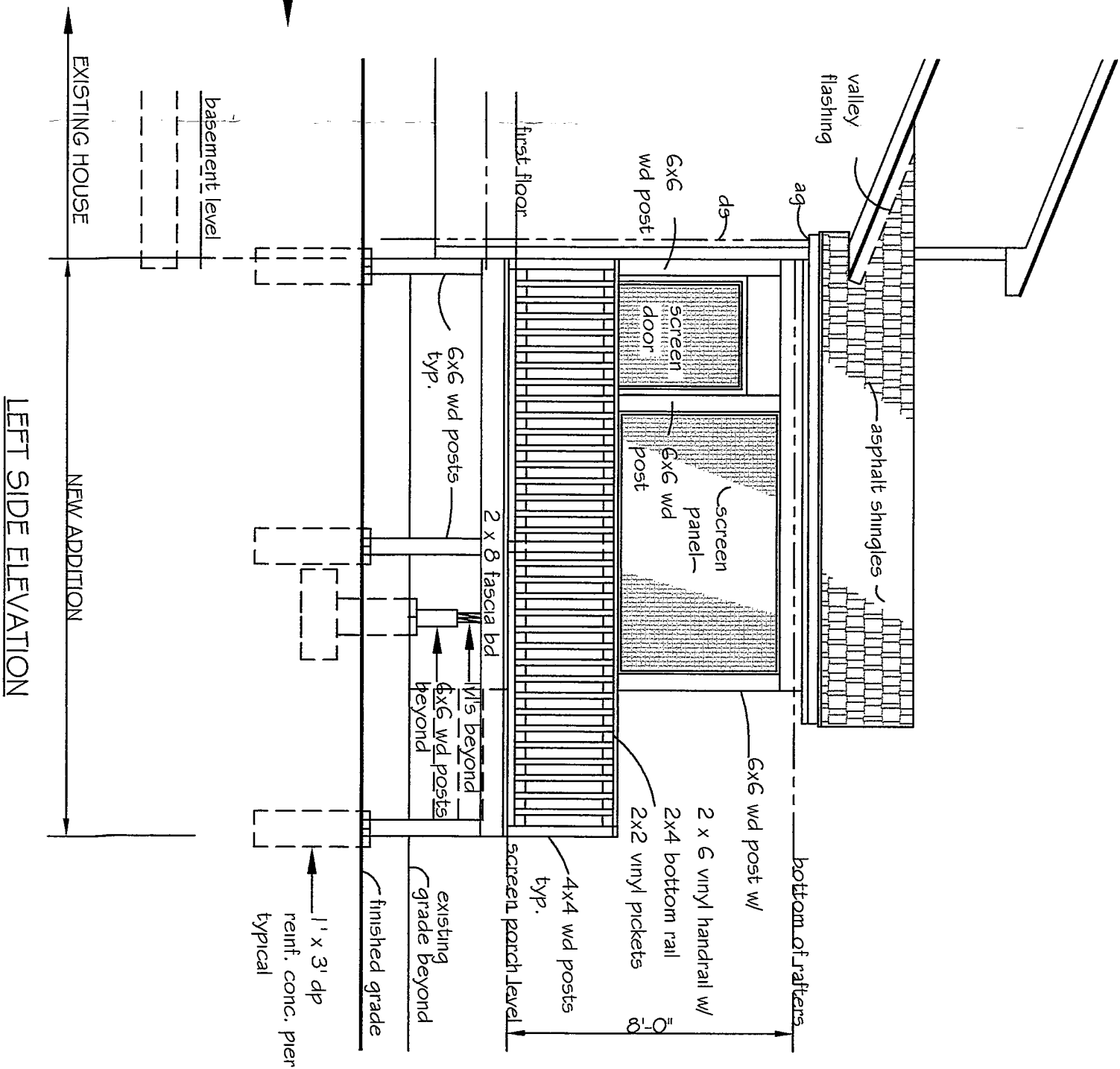
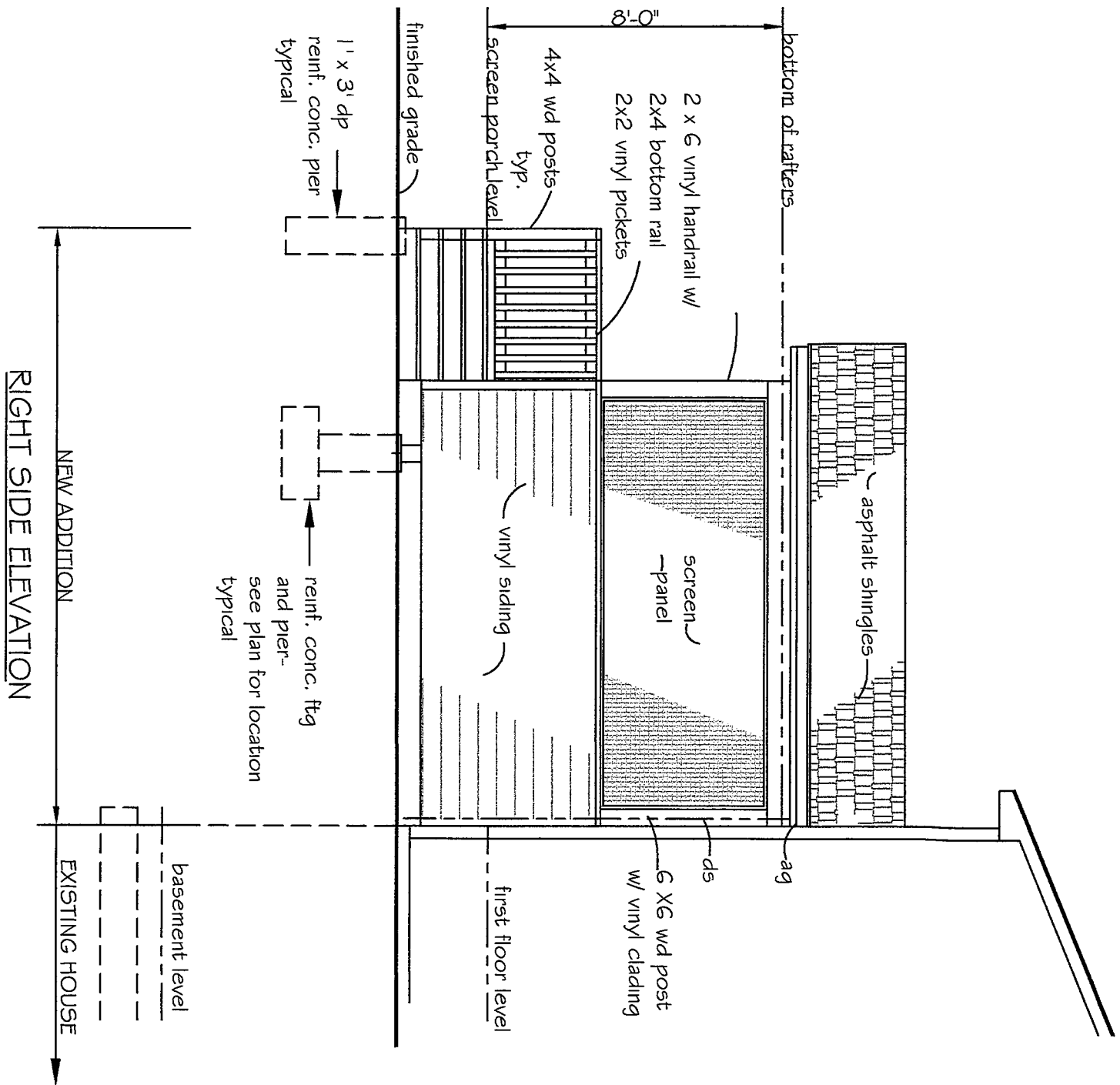
REAR ELEVATION

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9535 GUNHILL CIRCLE
PERRY HALL MD 21236

CRAFTMASTERS &
REMODELING CO.
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ARCHITECTURAL / INTERIOR
DESIGN SERVICES
JAMES W. BOYCE
6 BEECH DRIVE SUITE F
MIDDLE RIVER, MD. 21220



ARCHITECTURAL / INTERIOR
DESIGN SERVICES
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MIDDLE RIVER, MD. 21220

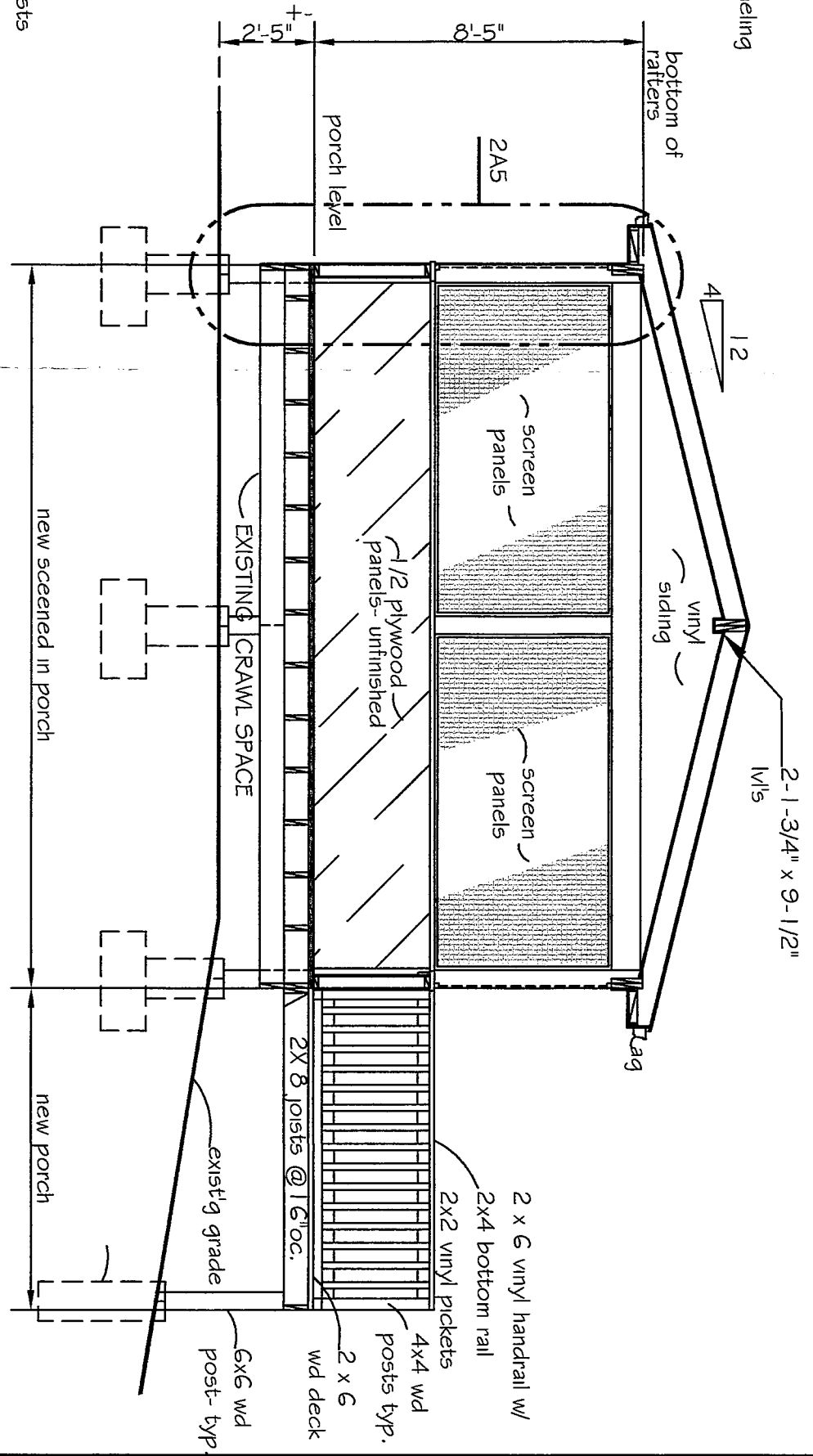
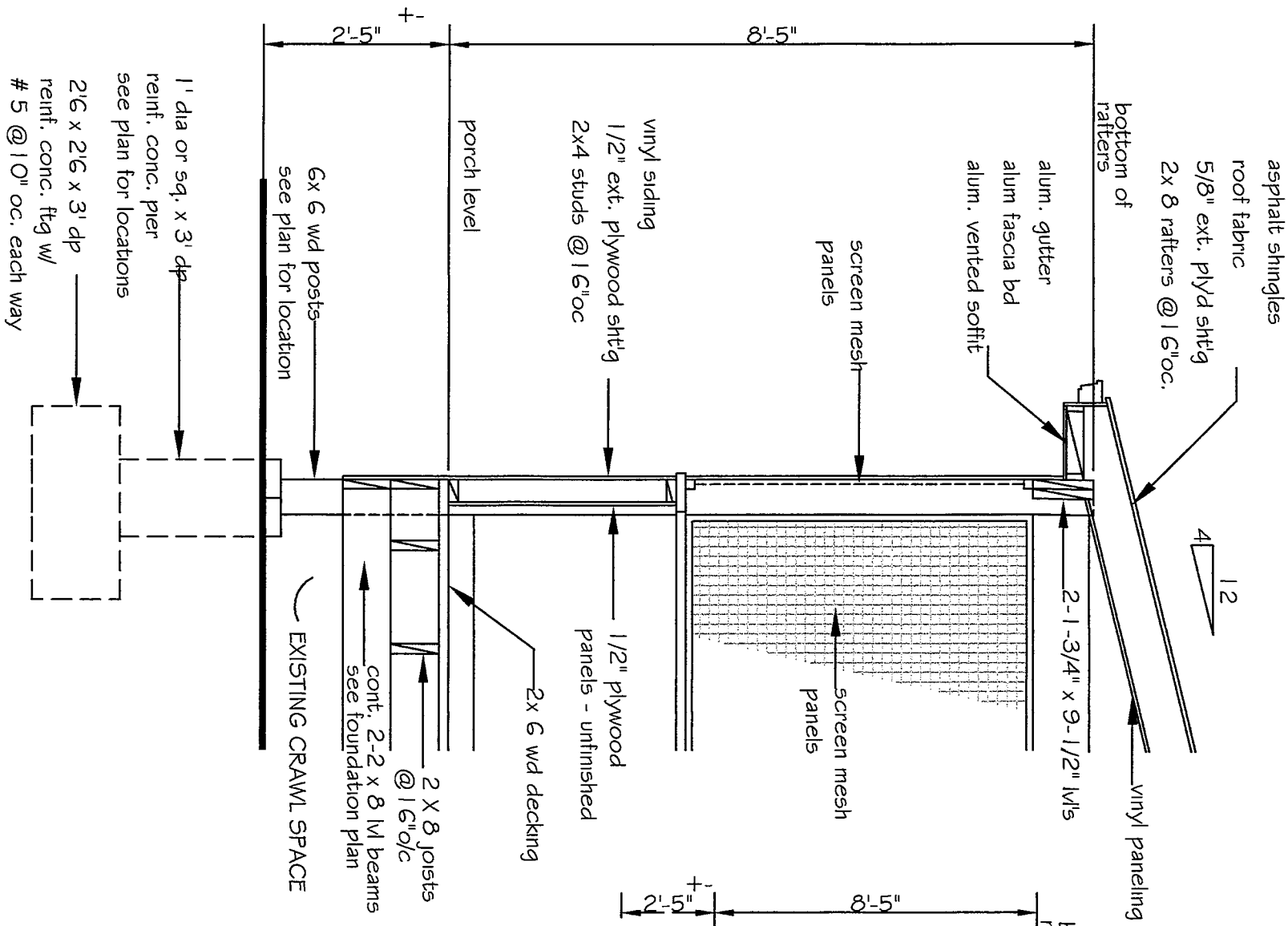
CRAFTMASTERS &
REMODELING CO.
603 STEVENSON LANE
TOWSON MD. 21286

AS BUILT DRAWINGS FOR:
MR & MRS MARSHALL
9535 GUNHILL CIRCLE
PERRY HALL MD 21236

RIGHT SIDE ELEVATION
LEFT SIDE ELEVATION

DATE:
SEPT 4, 2012
SCALE: 1/4"=1'-0"
REV.
JOB NO 2012-36

A4

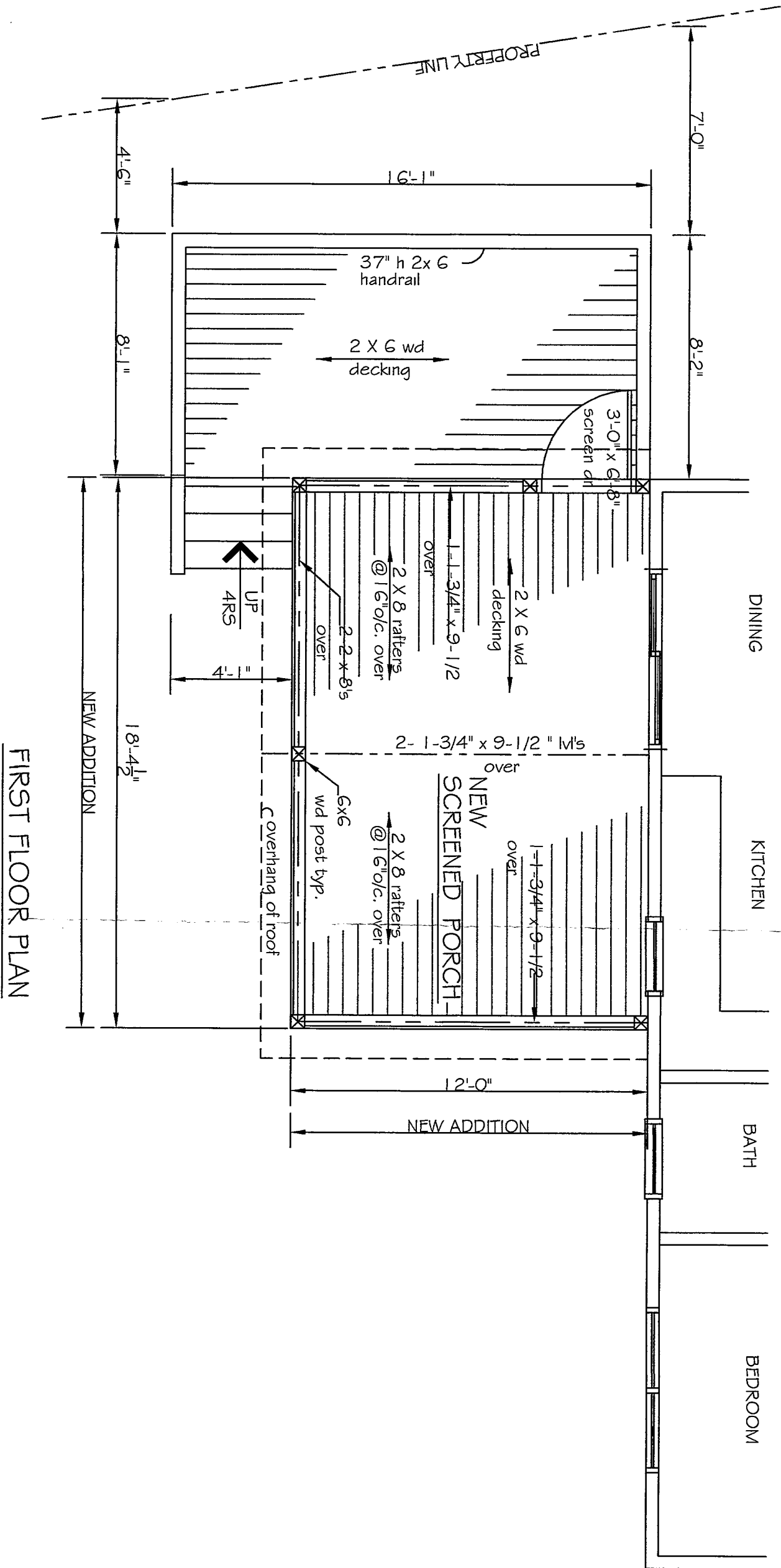


LARGE SCALE TYPICAL EXTERIOR- 2A5

SCALE: 1/2" = 1'-0"

CROSS SECTION THRU PORCH- 1A5

SCALE: 1/4" = 1'-0"



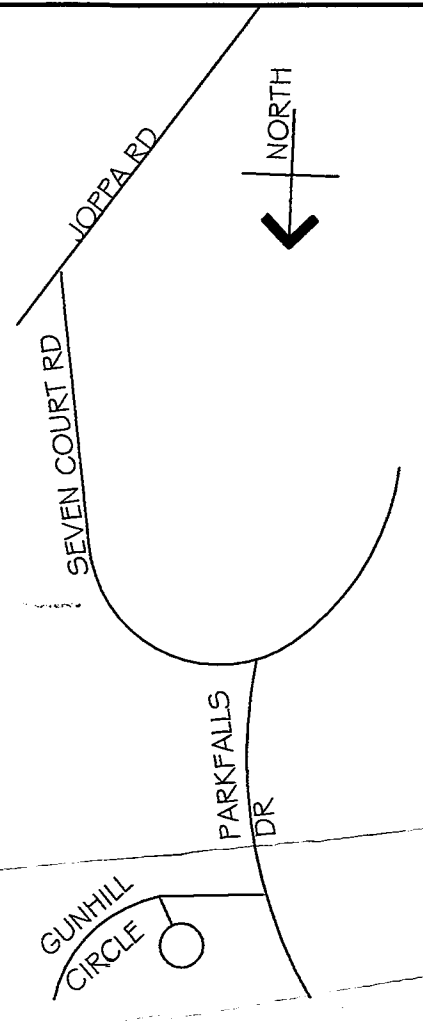


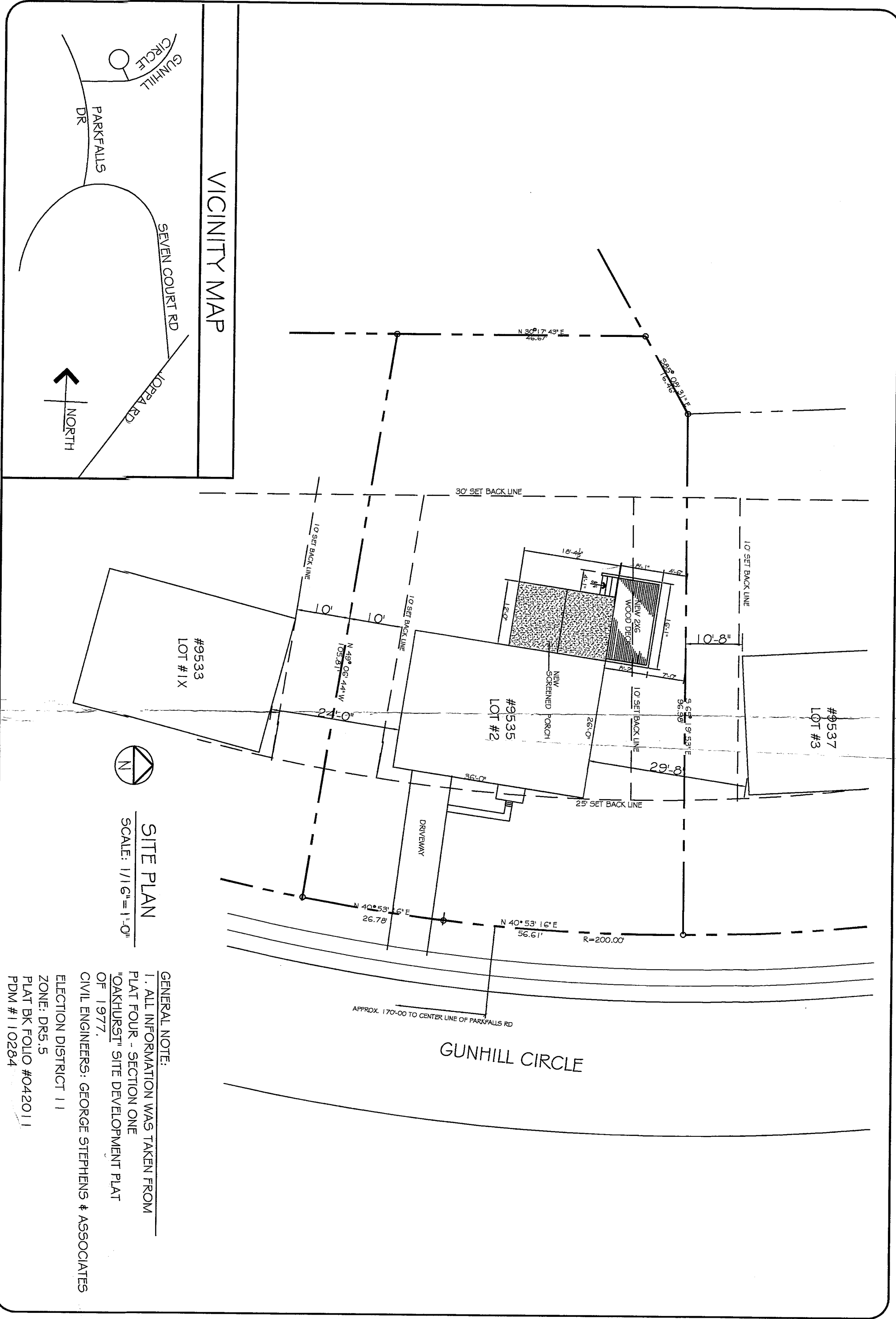
GENERAL NOTE:
1. ALL INFORMATION WAS TAKEN FROM
PLAT FOUR - SECTION ONE
"OAKHURST" SITE DEVELOPMENT PLAT
OF 1977.
CIVIL ENGINEERS: GEORGE STEPHENS & ASSOCIATES
ELECTION DISTRICT 11
ZONE: DR5.5
PLAT BK FOLIO #042011
PDM #110284

SITE PLAN
SCALE: 1/16" = 1'-0"



VICINITY MAP

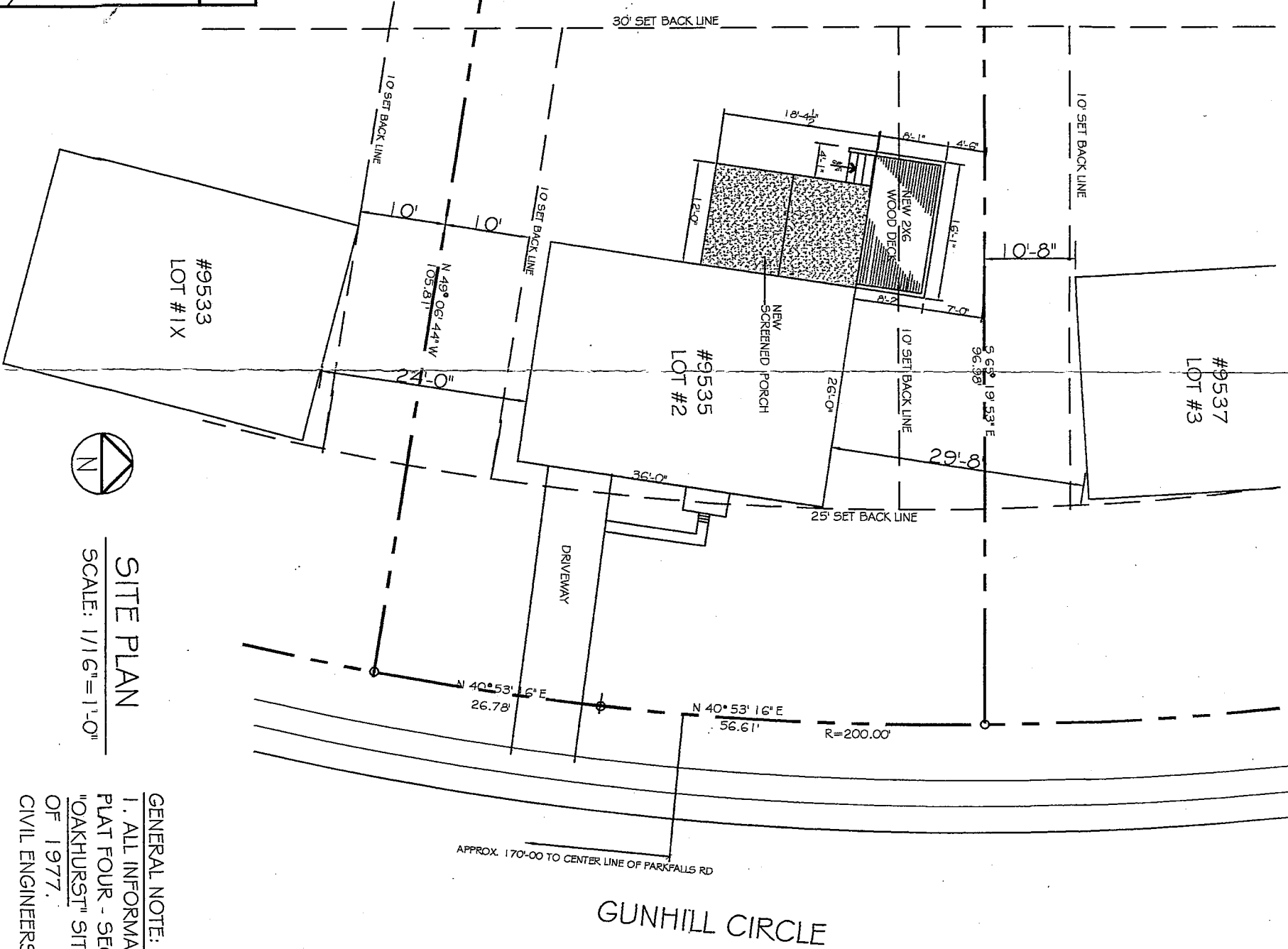
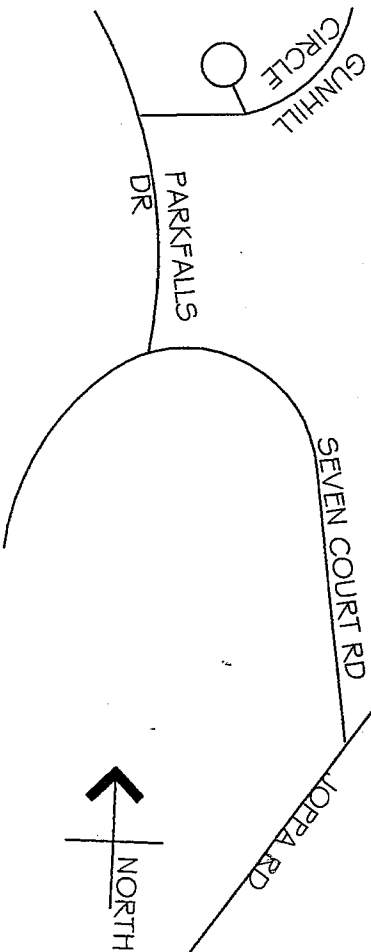




ZONING HEARING PLAN FOR VARIANCE X FOR SPECIAL HEARING (MARK TYPE REQUESTED WITH X)
ADDRESS 9535 GUNHILL CIR. OWNER(S) NAME(S) Scott Donna Marshall
SUBDIVISION NAME OAK HURST LOT # 2 BLOCK # J SECTION # 1
PLAT BOOK # 42 FOLIO # 11 10 DIGIT TAX # 1800003587 DEED REF. # 14213/0703

VICINITY MAP

2013-0064-A



SITE PLAN
SCALE: 1/16" = 1'-0"

GENERAL NOTE:

1. ALL INFORMATION WAS TAKEN FROM
PLAT FOUR - SECTION ONE
"OAKHURST" SITE DEVELOPMENT PLAT
OF 1977.
CIVIL ENGINEERS: GEORGE STEPHENS & ASSOCIATES
ELECTION DISTRICT 11
ZONE: DR5.5
PLAT BK FOLIO #042011
PDM #110284

VIOLATION CASE INFO:

ZONING MAP# 062C3
SITE ZONED DR5.5
ELECTION DISTRICT 11
COUNCIL DISTRICT 5
LOT AREA ACREAGE
OR SQUARE FEET 7423
HISTORIC? NO
IN CBQA? NO
IN FLOOD PLAIN? NO
UTILITIES? MARK WITH X
WATER IS: PRIVATE
SEWER IS: PRIVATE
PUBLIC X PRIVATE
PRIOR HEARING? NO
IF SO GIVE CASE NUMBER
AND ORDER RESULT BELOW

FIRST FLOOR PLAN

AS BUILT DRAWINGS FOR:
MR & MRS MARSHALL
9535 GUNHILL CIRCLE
PERRY HALL MD 21236

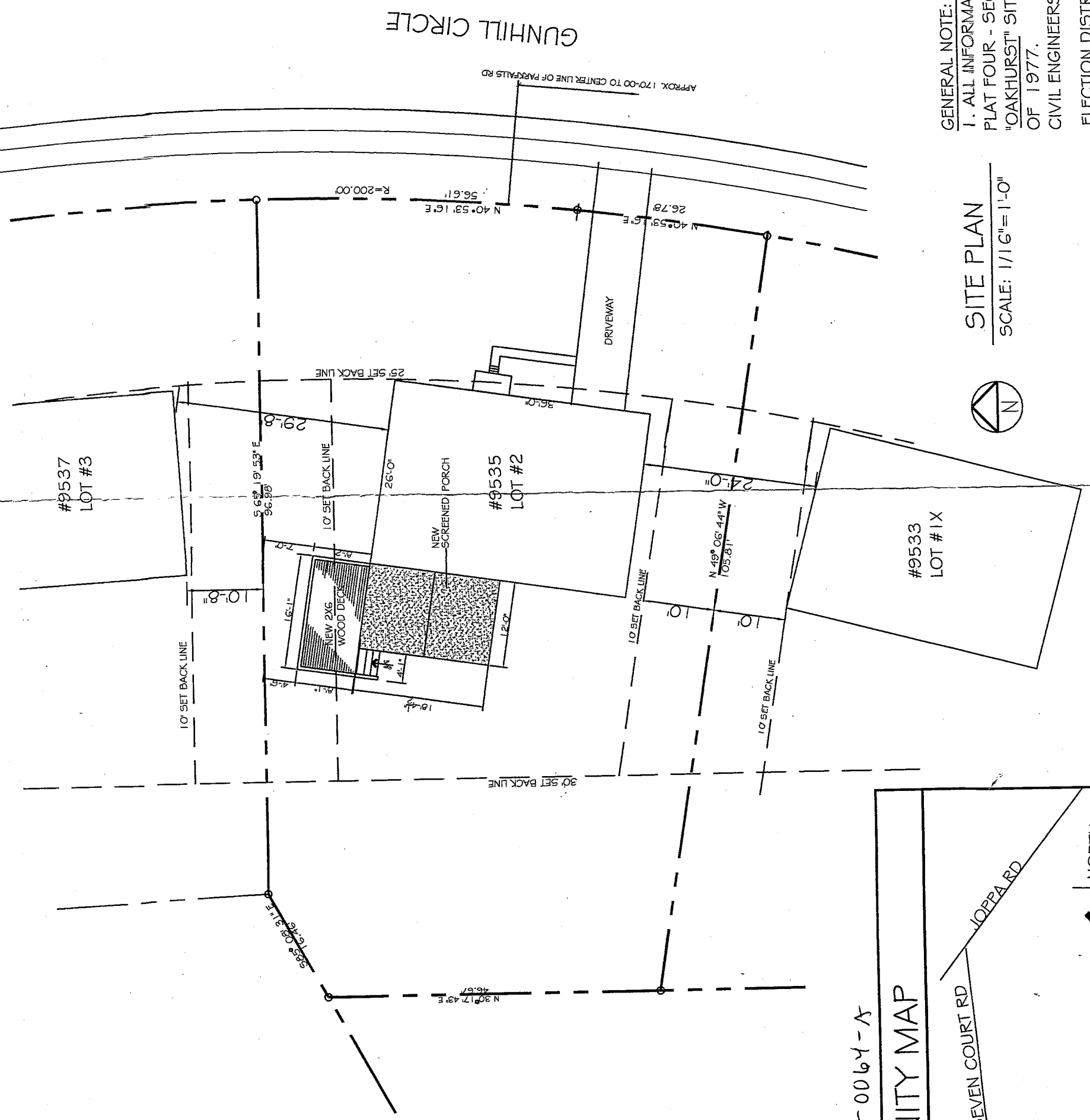
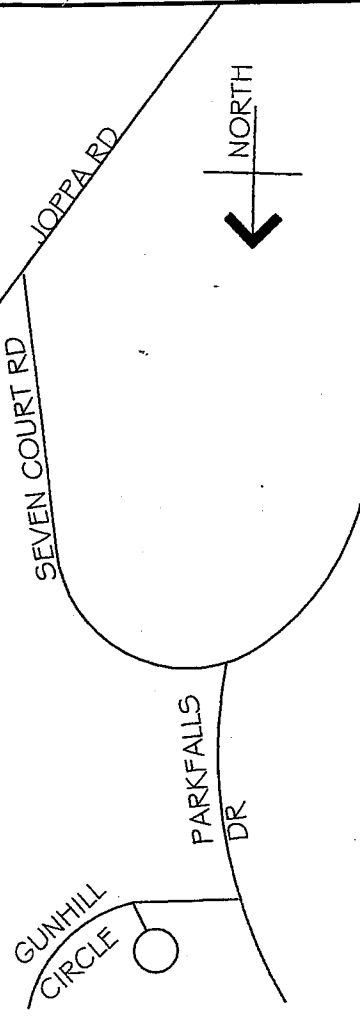
CRAFTMASTERS &
REMODELING CO.
603 STEVENSON LANE
TOWSON MD. 21286

ARCHITECTURAL / INTERIOR
DESIGN SERVICES
JAMES W. BOYCE
6 BEECH DRIVE SUITE F
MIDDLE RIVER, MD. 21220

S1

ZONING HEARING PLAN FOR VARIANCE ☒ FOR SPECIAL HEARING (MARK TYPE REQUESTED WITH X)
ADDRESS 9535 GUNHILL CIR.
SUBDIVISION NAME OAK HURST
PLAT BOOK # 42 FOLIO # 11
LOT # 2 BLOCK # J SECTION # 1
OWNER(S) NAME(S) Scott Donna Marshall
10 DIGIT TAX # 1800003587 DEED REF. # 14273/0703

2013-0064-A
VICINITY MAP



SITE PLAN
SCALE: 1/16"=1'-0"

GENERAL NOTE:
1. ALL INFORMATION WAS TAKEN FROM
PLAT FOUR - SECTION ONE
"OAKHURST" SITE DEVELOPMENT PLAT
OF 1977.
CIVIL ENGINEERS: GEORGE STEPHENS & ASSOCIATES
ELECTION DISTRICT 11
ZONE: DR5.5
PLAT BK FOLIO #042011
PDM #110284
Pet. Ex. 1

VIOLATION CASE INFO:

ZONING MAP# 0620C3
SITE ZONED DR 5.5
ELECTION DISTRICT 11
COUNCIL DISTRICT 5
LOT AREA ACREAGE
OR SQUARE FEET 7423
HISTORIC? NO
IN CBCA? NO
IN FLOOD PLAIN? NO
UTILITIES? MARK WITH X
WATER IS: PUBLIC X PRIVATE
SEWER IS: PUBLIC X PRIVATE
PRIOR HEARING? NO
IF SO GIVE CASE NUMBER
AND ORDER RESULT BELOW