



KEVIN KAMENETZ
County Executive

LAWRENCE M. STAHL
Managing Administrative Law Judge
JOHN E. BEVERUNGEN
Administrative Law Judge

November 30, 2012.

Charles Poehler
Linnea D. Strein
3503 Glenwood Road
Baltimore, Maryland 21220

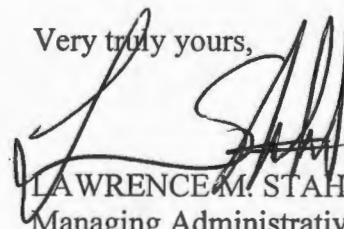
RE: **PETITION FOR ADMINISTRATIVE VARIANCE**
(3503 Glenwood Road)
Case No. 2013-0091-A

Dear Mr. Poehler and Ms. Strein:

Enclosed please find a copy of the decision rendered in the above-captioned matter

In the event any party finds the decision rendered is unfavorable, any party may file an appeal to the County Board of Appeals within thirty (30) days of the date of this Order. For further information on filing an appeal, please contact the Office of Administrative Hearings at 410-887-3868.

Very truly yours,


LAWRENCE M. STAHL
Managing Administrative Law Judge
for Baltimore County

LMS:dlw
Enclosure

IN RE: PETITION FOR ADMIN. VARIANCE *
(3503 Glenwood Road)
15th Election District *
6th Councilmanic District
Charles A. Poehler and Linnea D. Strein *
Petitioners

BEFORE THE
OFFICE OF
ADMINISTRATIVE HEARINGS
FOR BALTIMORE COUNTY
Case No. 2013-0091-A

* * * * *

OPINION AND ORDER

This matter comes before the Office of Administrative Hearings for Baltimore County as a Petition for Administrative Variance filed by the legal owners of the subject property, Charles A. Poehler and Linnea D. Strein, for property located at 3503 Glenwood Road. The variance request is from Sections 400.1 and 400.3 of the Baltimore County Zoning Regulations ("B.C.Z.R."), to:
(1) Permit a proposed accessory structure (garage) with a height of 21.5' in lieu of the required 15', and (2) Permit a 0' setback in lieu of the required 2.5'. The subject property and requested relief are more particularly described on Petitioners' Exhibit No. 1.

The Zoning Advisory Committee (ZAC) comments were received and are made part of the record of this case. A ZAC comment was received from the Bureau of Development Plans Review dated October 24, 2012, indicating that Petitioners must comply with Baltimore County's various floodplain regulations and building code requirements.

In addition, a ZAC comment was received from the Department of Environmental Protection and Sustainability (DEPS) dated November 28, 2012, indicating that Petitioners were obliged to comply with certain Critical Area regulations, as set forth in B.C.Z.R. § 500.14.

The Petitioners having filed a Petition for Administrative Variance and the subject property having been posted on October 27, 2012, and there being no request for a public hearing,

a decision shall be rendered based upon the documentation presented.

ORDER RECEIVED FOR FILING

Date 11-30-12

By DW

The Petitioners have filed the supporting affidavits as required by Section 32-3-303 of the Baltimore County Code. Based upon the information available, there is no evidence in the file to indicate that the requested variance would adversely affect the health, safety or general welfare of the public and should therefore be granted. In the opinion of the Administrative Law Judge, the information, photographs, and affidavits submitted provide sufficient facts that comply with the requirements of Section 307.1 of the B.C.Z.R. Furthermore, strict compliance with the B.C.Z.R. would result in practical difficulty and/or unreasonable hardship upon the Petitioners.

Although the Department of Planning did not make any recommendations related to the garage height and usage, I will impose conditions that the accessory structure (garage) not be converted into a dwelling unit or apartment, not contain any sleeping quarters, living area, kitchen or bathroom facilities, and not be used for commercial purposes.

Pursuant to the posting of the property and the provisions of both the Baltimore County Code and the Baltimore County Zoning Regulations, and for the reasons given above, the requested variance should be granted.

THEREFORE, IT IS ORDERED, by the Administrative Law Judge for Baltimore County, this 30th day of November, 2012, that a Variance from Sections 400.1 and 400.3 of the Baltimore County Zoning Regulations ("B.C.Z.R."), to: (1) Permit a proposed accessory structure (garage) with a height of 21.5' in lieu of the required 15', and (2) Permit a 0 ft. setback in lieu of the required 2.5', be and is hereby GRANTED, subject to the following:

The relief granted herein shall be subject to the following:

1. Petitioners may apply for their appropriate permits and be granted same upon receipt of this Order; however, Petitioners are hereby made aware that proceeding at this time is at their own risk until such time as the 30-day appellate process from this Order has expired. If, for whatever reason, this Order is reversed, Petitioners would be required to return, and be responsible for returning, said property to its original condition.

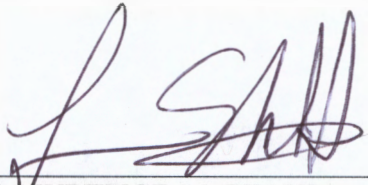
ORDER RECEIVED FOR FILING

Date 11-30-12

By RSJ

2. The Petitioners or subsequent owners shall not convert the subject garage into a dwelling unit or apartment. The structure shall not contain any sleeping quarters, living area, kitchen or bathroom facilities.
3. The garage shall not be used for commercial purposes.
4. Petitioners shall comply with the ZAC comments received from DPR and DEPS; copies of which are attached and made a part hereof.

Any appeal of this decision must be made within thirty (30) days of the date of this Order.



LAWRENCE M. STAHL
Managing Administrative Law Judge
for Baltimore County

LMS:dlw

ORDER RECEIVED FOR FILING

Date 11-30-12

By DW

**DECLARATION OF LAND RESTRICTIONS
FOR CERTAIN STRUCTURES IN THE FLOOD PLAIN**

THIS DECLARATION made this 20 day of MARCH, 2012
by LINNEA D. STREIN & CHARLES A. POEHLER
having an address at 3503 GLENWOOD Rd
MIDDLE RIVER, MD. 21220

RECITALS

A. The Owner is the record owner of all that real property located at 3503
GLENWOOD Rd MIDDLE RIVER, MD. 21220
in the 15th Election District of Baltimore County, designated in the Tax Records
as map _____, parcel _____, plat Book CWA, Jr, block _____,
lot no. _____, and being the same _____, and recorded among the Land
Records of Baltimore County, Maryland at Liber 11661, Folio 136
(hereinafter called the "Property").

B. The Owner has applied for a Permit, Conditioned permit, or Variance to place a
structure on the Property that either (1) does not conform, or (2) may be made
noncompliant by later conversion, to the elevation requirements of Baltimore County
Council Bill #47-10, Parts 123 and 124, construction in areas subject to flooding and
under Permit Number. _____

C. The Owner agrees to record the DECLARATION and certifies and declares that the
Property shall be held, sold and conveyed subject to the covenants, conditions and
restrictions set forth below.

1. The structure or part thereof to which these conditions apply is

2. This structure has been allowed without conformance with the elevation requirement
of the Ordinance. Conversion to habitable space shall not occur unless the enclosed
area below the Flood Protection Elevation (FPE) is brought into full compliance with
this Ordinance. At this site, the Flood Protection Elevation (FPE) is _____ feet
above mean sea level; one foot above (FPE) for new building is _____ feet.

3. Enclosed areas below the Flood Protection Elevation (FPE) shall be used solely for
parking of vehicles, limited storage, or access to the building. All interior walls,
ceilings, and floors below the Flood Protection Elevation (FPE) shall be unfinished
and constructed of flood resistant materials. Mechanical, electrical, or plumbing
devices shall not be installed below the Flood Protection Elevation (FPE).

4. The walls of the enclosed areas below the Flood Protection Elevation (FPE) shall be
equipped with at least two (2) vents which permit the automatic entry and exit of
flood waters with total openings of at least one square inch for every square foot of

enclosed area below flood level. The vents shall be on at least two (2) different walls,
and the bottoms of the vents shall be no more than one foot (12 inches) above grade.

2013-0091-11

**NONCONVERSION AGREEMENT
FOR CERTAIN STRUCTURES IN THE FLOOD PLAIN**

Application has been made for a Permit _____, Conditioned Permit _____,
or Variance _____ to build a _____

which does not conform to the elevation requirements of the Flood Plain Management
Ordinance of County of Baltimore.

PERMIT no. _____

Property Owner Charles A. Boetler / Linne A. D. STREIN

Address 3503 Glenwood Rd Middle River MD 21220

Deed dated _____, Recorded in Liber _____, Folio 14

Tax map 009-1, Block _____, Parcel 144, Lot no. 4

Flood Protection Elevation at the site is _____ feet

Map Panel Number _____, effective date _____

In consideration for the granting of a Permit, Conditioned Permit, or Variance for the
above structure which does not conform to the requirements of the Flood Plain
Management Ordinance of Baltimore County Council Bill no. 49-07, the Property
Owner agrees to the following :

1. That the enclosed area, if permitted, shall be used solely for parking of vehicles,
limited storage, or access to the building and will never be used for human habitation
without first becoming fully compliant with the Flood Plain Management Ordinance
in effect at the time of conversion.
2. That all interior walls, ceilings, and floors below the Flood Protection Elevation shall
be unfinished or constructed of flood resistant materials.
3. That mechanical, electrical, or plumbing devices shall not be installed below the
Flood Protection Elevation. Fuel oil tanks or propane tanks shall be substantially
anchored to prevent flotation.
4. The walls of the enclosed areas below the Flood Protection Elevation shall be
equipped with at least two (2) vents which permit the automatic entry and exit of
flood water with total openings of at least one square inch for every square foot of
enclosed area below flood level. The vents shall be on at least two (2) different walls,
and the bottoms of the vents shall be not more than one (1) foot above grade.

- over -

2013-0091-A



ADMINISTRATIVE ZONING PETITION

FOR ADMINISTRATIVE VARIANCE – OR – ADMINISTRATIVE SPECIAL HEARING

To be filed with the Department of Permits, Approvals and Inspections

To the Office of Administrative Law of Baltimore County for the property located at:

Address 35036 Glenwood Rd which is presently zoned DR 3.5

Deed Reference 0029821 / 1202 10 Digit Tax Account # 15187721060

Property Owner(s) Printed Name(s) CHARLES POEHLER & LINNEA STREIN

(SELECT THE HEARING(S) BY MARKING X AT THE APPROPRIATE SELECTION(S) AND ADDING THE PETITION REQUEST)

Administrative Variances require that the Affidavit on the reverse of this Petition Form be completed / notarized.

The undersigned legal owner(s) of the property situate in Baltimore County and which is described in the description and plat attached hereto and made a part hereof, hereby petition for a

- X ADMINISTRATIVE VARIANCE from section(s) 400.1; 400.3 BCZR To permit a proposed accessory structure (garage) with a height of 21 1/2 feet in lieu of the required 15 feet, and to allow a 0 feet set back in lieu of the required 2 1/2 feet.

of the zoning regulations of Baltimore County, to the zoning law of Baltimore County.

- ADMINISTRATIVE SPECIAL HEARING to approve a waiver pursuant to Sections 32-4-107(b), 32-4-223.(8), and Section 32-4- 416(a)(2): (indicate type of work in this space to raze, alter or construct addition to building)

of the zoning regulations of Baltimore County, to the zoning law of Baltimore County.

Property is to be posted and advertised as prescribed by the zoning regulations.

I, or we, agree to pay expenses of above petition(s), advertising, posting, etc. and further agree to and are to be bounded by the zoning regulations and restrictions of Baltimore County adopted pursuant to the zoning law for Baltimore County.

Legal Owner(s) Affirmation: I / we do so solemnly declare and affirm, under the penalties of perjury, that I / We are the legal owner(s) of the property which is the subject of this / these Petition(s).

Contract Purchaser/Lessee:

Name- Type or Print

Signature

Mailing Address

City

State

Zip Code

Telephone #

Email Address

Attorney for Petitioner

Name- Type or Print

Signature

Mailing Address

City

State

Zip Code

Telephone #

Email Address

Legal Owners:

Charles Poehler / Linnea Strein

Name #1 – Type or Print

Name #2 – Type or Print

Charles Poehler

Signature #1

Linnea Strein

Signature #2

35036 Glenwood Rd Middle River MD

Mailing Address

City

State

21220

Zip Code

410-967-7927

Telephone #

Poehler@Comcast.net

Email Address

Representative to be contacted:

Name – Type or Print

Signature

Mailing Address

City

State

Zip Code

Telephone #

Email Address

A PUBLIC HEARING having formally demanded and/or found to be required, it is ordered by the Office of Administrative Law, of Baltimore County, this _____ day of _____ that the subject matter of this petition be set for a public hearing, advertised, as required by the zoning regulations of Baltimore County and that the property be reposted.

Administrative Law Judge of Baltimore County

CASE NUMBER 2013-0091-A Filing Date 10/14/12 Estimated Posting Date 10/28/12 Reviewer G.H

Affidavit in Support of Administrative Variance

(THIS AFFIDAVIT IS NOT REQUIRED FOR AN HISTORIC ADMINISTRATIVE SPECIAL HEARING)

The undersigned hereby affirms under the penalties of perjury to the Administrative Law Judge of Baltimore County, the following: That the information herein given is within the personal knowledge of the Affiant(s) and that the Affiant(s) is/are competent to testify thereto in the event that a public hearing is scheduled in the future with regard thereto.

That the property is not under an active zoning violation citation and Affiant(s) is/are the resident home owner(s) of this residential lot, or is/are the contract purchaser(s) of this residential lot, who will, upon purchase, reside at the existing dwelling on said property located at:

Address: 3503 Glenwood Rd Middle River MD 21220
Print or Type Address of property City State Zip Code

Based upon personal knowledge, the following are the facts which I/we base the request for an Administrative Variance at the above address. (Clearly state practical difficulty or hardship here)

The current garage is below grade. Every time the tide rises the garage floods thus making it not usable. Also heavy rains
New garage will be 1' above the street grade. The second floor will be
used for storage only.

(If additional space for the petition request or the above statement is needed, label and attach it to this Form)

Charles A. Poehler

Signature of Affiant

Charles A. Poehler

Name- Print or Type

Linnæa D. Strein

Signature of Affiant

LINNEA D. STREIN

Name- Print or Type

The following information is to be completed by a Notary Public of the State of Maryland

STATE OF MARYLAND, COUNTY OF BALTIMORE, to wit:

I HEREBY CERTIFY, this 4 day of Oct 2012, before me a Notary of Maryland, in and for the County aforesaid, personally appeared

Charles Poehler

the Affiant(s) herein, personally known or satisfactorily identified to me as such Affiant(s) (Print name(s) here)

AS WITNESS my hand and Notaries Seal

[Signature]
Notary Public

My Commission Expires 11/20/15

ADMINISTRATIVE VARIANCE INFORMATION SHEET AND DATES

Case Number 2013- 0091 -A Address 3503 Glenwood RD

Contact Person: Gary Hucik Phone Number: 410-887-3391
Planner, Please Print Your Name

Filing Date: 10/16/12 Posting Date: 10/28/12 Closing Date: 11/12/12

Any contact made with this office regarding the status of the administrative variance should be through the contact person (planner) using the case number.

1. **POSTING/COST:** The petitioner must use one of the sign posters on the approved list (on the reverse side of this form) and the petitioner is responsible for all printing/posting costs. Any reposting must be done only by one of the sign posters on the approved list and the petitioner is again responsible for all associated costs. The zoning notice sign must be visible on the property on or before the posting date noted above. It should remain there through the closing date.
2. **DEADLINE:** The closing date is the deadline for an occupant or owner within 1,000 feet to file a formal request for a public hearing. Please understand that even if there is no formal request for a public hearing, the process is not complete on the closing date.
3. **ORDER:** After the closing date, the file will be reviewed by the zoning or deputy zoning commissioner. He may: (a) grant the requested relief; (b) deny the requested relief; or (c) order that the matter be set in for a public hearing. You will receive written notification, usually within 10 days of the closing date if all County agencies' comments are received, as to whether the petition has been granted, denied, or will go to public hearing. The order will be mailed to you by First Class mail.
4. **POSSIBLE PUBLIC HEARING AND REPOSTING:** In cases that must go to a public hearing (whether due to a neighbor's formal request or by order of the zoning or deputy zoning commissioner), notification will be forwarded to you. The sign on the property must be changed giving notice of the hearing date, time and location. As when the sign was originally posted, certification of this change and a photograph of the altered sign must be forwarded to this office.

(Detach Along Dotted Line)

Petitioner: This Part of the Form is for the Sign Poster Only

USE THE ADMINISTRATIVE VARIANCE SIGN FORMAT

Case Number 2013- 0091 -A Address 3503 Glenwood RD

Petitioner's Name Charles Poehler Telephone _____

Posting Date: 10/28/12 Closing Date: 11/12/12

Wording for Sign: To Permit a proposed accessory structure (garage)
with a height of 2 1/2 feet in lieu of the required 15 feet, and
to permit a side yard set back of 0 feet in lieu of the
required 2 1/2 feet.

Revised 7/06/11

**ZONING PROPERTY DESCRIPTION FOR: 3503 GLENWOOD RD MIDDLE
RIVER, MD. 21220**

Beginning at a point on the South side of Glenwood rd. which is 30' wide at the distance of 596'

**West of the centerline of the nearest improved intersecting street Oak Dean Rd. which is 36'
wide.**

**Being Lot# 4, Block (n/a), Section (n/a), in the subdivision of Frog Motor as recorded in
Baltimore County Plat Book # 12, Folio # 14, containing 11232 sq. ft. Located in the 15 Election
District and 6 Council District.**

2013-0091-A

For Newspaper Advertising:

Item Number or Case Number: _____

Petitioner: Charles Poehler

Address or Location: 3503 Glenwood Rd Middle River MD 21220

PLEASE FORWARD ADVERTISING BILL TO:

Name: Charles Poehler

Address: 3503 Glenwood Rd Middle River MD 21220

Telephone Number: 410 967-7927

**CASHIER'S
VALIDATION**

CERTIFICATE OF POSTING

2013-0091-A

RE: Case No.: _____

Petitioner/Developer: _____

Charles Poehler

November 12, 2012

Date of Hearing/Closing: _____

Baltimore County Department of
Permits, Approvals and Inspections
County Office Building, Room 111
111 West Chesapeake Avenue
Towson, Maryland 21204

Attn: Kristen Lewis:

Ladies and Gentlemen:

This letter is to certify under the penalties of perjury that the necessary sign(s) required by law were posted conspicuously on the property located at: _____

3503 Glenwood Rd

October 27, 2012

The sign(s) were posted on _____
(Month, Day, Year)

Sincerely,

October 27, 2012

(Signature of Sign Poster)

(Date)

SSG Robert Black

(Print Name)

1508 Leslie Road

(Address)

Dundalk, Maryland 21222

(City, State, Zip Code)

(410) 282-7940

(Telephone Number)





KEVIN KAMENETZ
County Executive

ARNOLD JABLON
Deputy Administrative Officer
Director, Department of Permits,
Approvals & Inspections

November 14, 2012

Charles Poehler and Linnea Strein
3503 Glenwood Road
Middle River MD 21220

RE: Case Number: 2013-0091 A, Address: 3503 Glenwood Road

Dear Mr. Poehler & Ms. Strein:

The above referenced petition was accepted for processing **ONLY** by the Bureau of Zoning Review, Department of Permits, Approvals, and Inspection (PAI) on October 16, 2012. This letter is not an approval, but only a **NOTIFICATION**.

The Zoning Advisory Committee (ZAC), which consists of representatives from several approval agencies, has reviewed the plans that were submitted with your petition. All comments submitted thus far from the members of the ZAC are attached. These comments are not intended to indicate the appropriateness of the zoning action requested, but to ensure that all parties (zoning commissioner, attorney, petitioner, etc.) are made aware of plans or problems with regard to the proposed improvements that may have a bearing on this case. All comments will be placed in the permanent case file.

If you need further information or have any questions, please do not hesitate to contact the commenting agency.

Very truly yours,

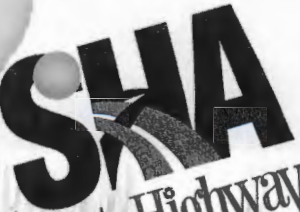
A handwritten signature in black ink, reading "W. Carl Richards, Jr." with a stylized flourish at the end.

W. Carl Richards, Jr.
Supervisor, Zoning Review

WCR: jaf

Enclosures

c: People's Counsel



governor
A. Governor

Administration
MARYLAND DEPARTMENT OF TRANSPORTATION

Darrell B. Mobley, Acting Secretary
Melinda B. Peters, Administrator

Date: 10-22-12

RE: Baltimore County
Item No. 2013-0091-A
Administrative Variance
Charles Roehler & Linnea Stein
3503 Glenwood Road.

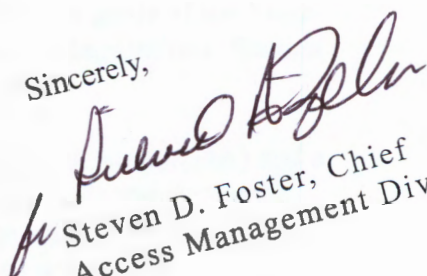
Ms. Kristen Lewis
Baltimore County Office of
Permits and Development Management
County Office Building, Room 109
Towson, Maryland 21204

Dear Ms. Lewis:

Thank you for the opportunity to review your referral request on the subject of the above captioned. We have determined that the subject property does not access a State roadway and is not affected by any State Highway Administration projects. Therefore, based upon available information this office has no objection to Baltimore County Zoning Advisory Committee approval of Item No. 2013-0091-A.

Should you have any questions regarding this matter, please contact Richard Zeller at 410-545-5598 or 1-800-876-4742 extension 5598. Also, you may E-mail him at (rzeller@sha.state.md.us).

Sincerely,


Steven D. Foster, Chief
Access Management Division

SDF/raz

2.

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3. Lo
req
land

ORDER RECEIVED FOR

My telephone number/toll-free number is _____
Maryland Relay Service for Impaired Hearing or Speech 1.800.735.2258 Statewide Toll Free
Address: 707 North Calvert Street • Baltimore, Maryland 21202 • Phone 410.545.0300 • www.road

Debra Wiley - AV - 2013-0091-A - 3503 Glenwood Rd., 21220

From: Debra Wiley
To: Livingston, Jeffrey
Date: 11/23/2012 3:23 PM
Subject: AV - 2013-0091-A - 3503 Glenwood Rd., 21220

Jeff,

In reviewing the file and preparing the Order, it appears this case is located in the CBCA. However, it appears no ZAC comment has been received from your department. The Administrative Variance's closing date was Nov. 12th.

Please respond whether your department is planning to comment.

Thanks.

Debbie Wiley
Legal Administrative Secretary
Office of Administrative Hearings
105 West Chesapeake Avenue, Suite 103
Towson, Md. 21204
410-887-3868
410-887-3468 (fax)
dwiley@baltimorecountymd.gov

Debra Wiley - Re: AV - 2013-0091-A - 3503 Glenwood Rd., 21220

From: Jeffrey Livingston
To: Wiley, Debra
Date: 11/28/2012 3:47 PM
Subject: Re: AV - 2013-0091-A - 3503 Glenwood Rd., 21220
Attachments: ZAC 13-0091-A-EIR.doc

EPS comment attached.

j

>>> Debra Wiley 11/23/2012 3:23 PM >>>
Jeff,

In reviewing the file and preparing the Order, it appears this case is located in the CBCA. However, it appears no ZAC comment has been received from your department. The Administrative Variance's closing date was Nov. 12th.

Please respond whether your department is planning to comment.

Thanks.

Debbie Wiley
Legal Administrative Secretary
Office of Administrative Hearings
105 West Chesapeake Avenue, Suite 103
Towson, Md. 21204
410-887-3868
410-887-3468 (fax)
dwiley@baltimorecountymd.gov

Maryland Department of Assessments and Taxation
Real Property Data Search (vw4.2A)
BALTIMORE COUNTY

[Go Back](#)
[View Map](#)
[New Search](#)
[GroundRent Redemption](#)
[GroundRent Registration](#)

Account Identifier: District - 15 Account Number - 1518721060

Owner Information			
Owner Name:	STREIN LINNEA D POEHLER CHARLES A	Use:	RESIDENTIAL
Mailing Address:	3503 GLENWOOD RD BALTIMORE MD 21220-2917	Principal Residence:	YES
		Deed Reference:	1) /29821/ 00277 2)

Location & Structure Information			
Premises Address	Legal Description		
3503 GLENWOOD RD 0-0000	3503 GLENWOOD RD Waterfront FROG MORTAR POINT		
Map	Grid	Parcel	Sub District
0091	0015	0144	0000
Subdivision	Section	Block	Lot
			4
Assessment Area	Plat No:	Plat Ref:	0012/ 0014
3			

Town	NONE
Ad Valorem	
Tax Class	

Primary Structure Built	Enclosed Area	Property Land Area	County Use
1942	2,436 SF	11,232 SF	34

Stories	Basement	Type	Exterior
2.000000	NO	STANDARD UNIT SIDING	

Value Information				
	Base Value	Value	Phase-in Assessments	
		As Of	As Of	As Of
		01/01/2012	07/01/2012	07/01/2013
Land	241,200	261,200		
Improvements:	197,300	139,200		
Total:	438,500	400,400	400,400	400,400
Preferential Land:	0			0

Transfer Information				
Seller:	MCBRIDE STEPHEN D	Date:	08/30/2010	Price:
Type:	ARMS LENGTH IMPROVED	Deed1:	/29821/ 00277	Deed2:
Seller:	FEDERAL NATIONAL	Date:	06/24/1996	Price:
Type:	ARMS LENGTH IMPROVED	Deed1:	/11661/ 00136	Deed2:
Seller:	CALVERT WILLIAM H,SR	Date:	06/06/1996	Price:
Type:	ARMS LENGTH IMPROVED	Deed1:	/11626/ 00096	Deed2:

Exemption Information			
Partial Exempt Assessments	Class	07/01/2012	07/01/2013
County	000	0.00	
State	000	0.00	
Municipal	000	0.00	0.00

Tax Exempt:	Special Tax Recapture:
Exempt Class:	NONE

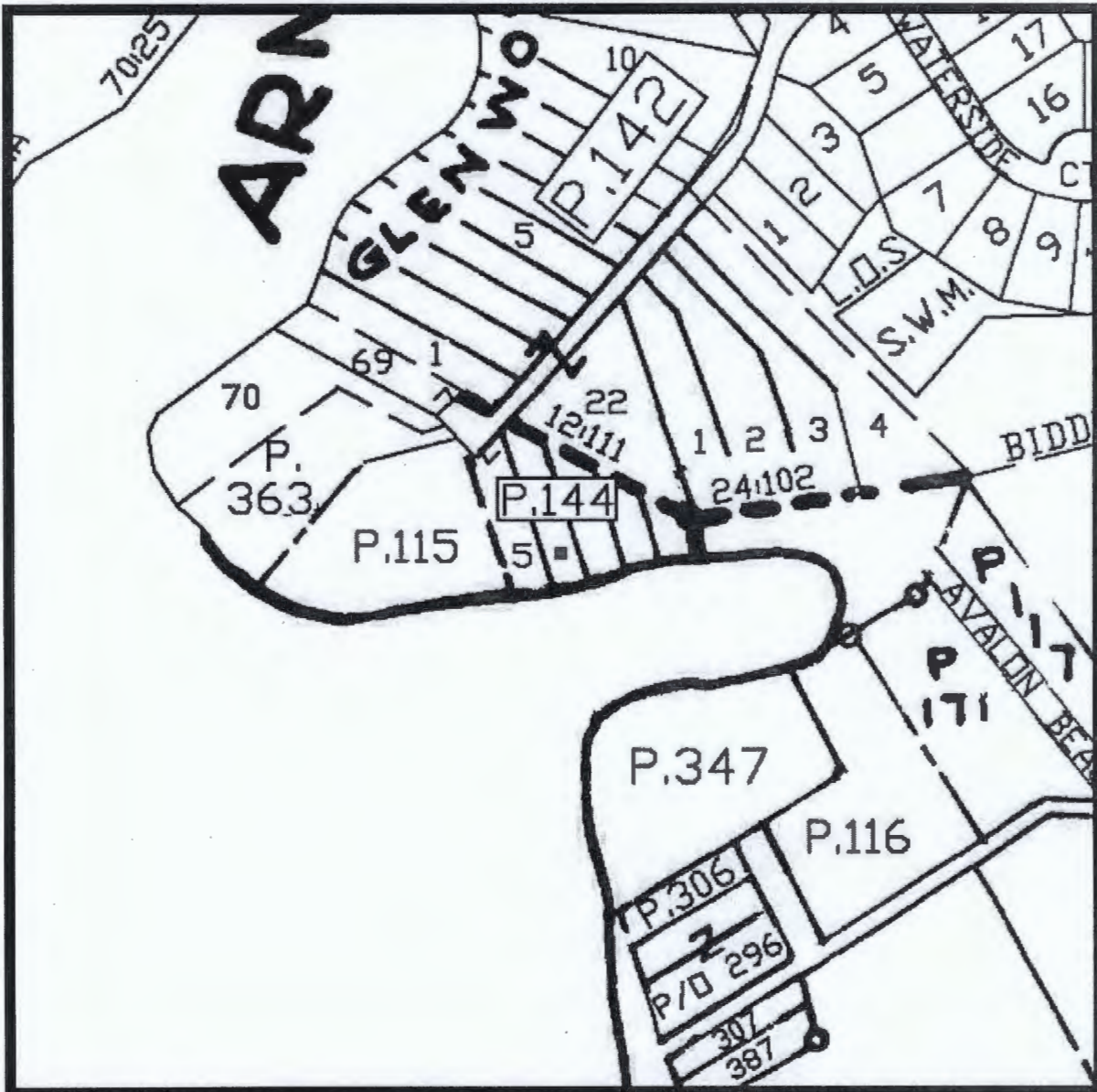
Homestead Application Information	
Homestead Application Status:	Approved 10/05/2010



Maryland Department of Assessments and Taxation
BALTIMORE COUNTY
Real Property Data Search

[Go Back](#)
[View Map](#)
[New Search](#)

District - 15 Account Number - 1518721060



The information shown on this map has been compiled from deed descriptions and plats and is not a property survey. The map should not be used for legal descriptions. Users noting errors are urged to notify the Maryland Department of Planning Mapping, 301 W. Preston Street, Baltimore MD 21201.

If a plat for a property is needed, contact the local Land Records office where the property is located. Plats are also available online through the Maryland State Archives at www.plats.net.

Property maps provided courtesy of the Maryland Department of Planning ©2011.
 For more information on electronic mapping applications, visit the Maryland Department of Planning web site at www.mdp.state.md.us/OurProducts/OurProducts.shtml

M E M O R A N D U M

DATE: January 8, 2013
TO: Zoning Review Office
FROM: Office of Administrative Hearings
RE: Case No. 2013-0091-A - Appeal Period Expired

The appeal period for the above-referenced case expired on December 31, 2012. There being no appeal filed, the subject file is ready for return to the Zoning Review Office and is placed in the 'pick up box.'

c: Case File
Office of Administrative Hearings

Debra Wiley - Opinion and Order - Case No. 2013-0091-A

From: Debra Wiley
To: Poehler@comcast.net
Date: 12/3/2012 12:04 PM
Subject: Opinion and Order - Case No. 2013-0091-A
Attachments: Message from "zoneprt1"

Mr. Poehler,

Per our telephone conversation, please find attached the Order for the above-referenced case. Have a great day !

Debbie Wiley
Legal Administrative Secretary
Office of Administrative Hearings
105 West Chesapeake Avenue, Suite 103
Towson, Md. 21204
410-887-3868
410-887-3468 (fax)
dwiley@baltimorecountymd.gov

CASE NO. 2013- 00917A

CHECKLIST

Support/Oppose/
Conditions/
Comments/
No Comment

Comment
Received

Department

10-24

DEVELOPMENT PLANS REVIEW
(if not received, date e-mail sent _____)

Comments

11-28

DEPS
(if not received, date e-mail sent 11-23-12)

Comments

FIRE DEPARTMENT

PLANNING
(if not received, date e-mail sent _____)

10-22

STATE HIGHWAY ADMINISTRATION

No objection

TRAFFIC ENGINEERING

COMMUNITY ASSOCIATION

ADJACENT PROPERTY OWNERS

ZONING VIOLATION (Case No. _____)

PRIOR ZONING (Case No. _____)

NEWSPAPER ADVERTISEMENT Date: _____

SIGN POSTING Date: 10-27-12 by Beach

PEOPLE'S COUNSEL APPEARANCE Yes ☐ No ☐

PEOPLE'S COUNSEL COMMENT LETTER Yes ☐ No ☐

Comments, if any: _____



2013-0091-A



2013-0091-A



2013-0091A



A-1600-0091-A 2013



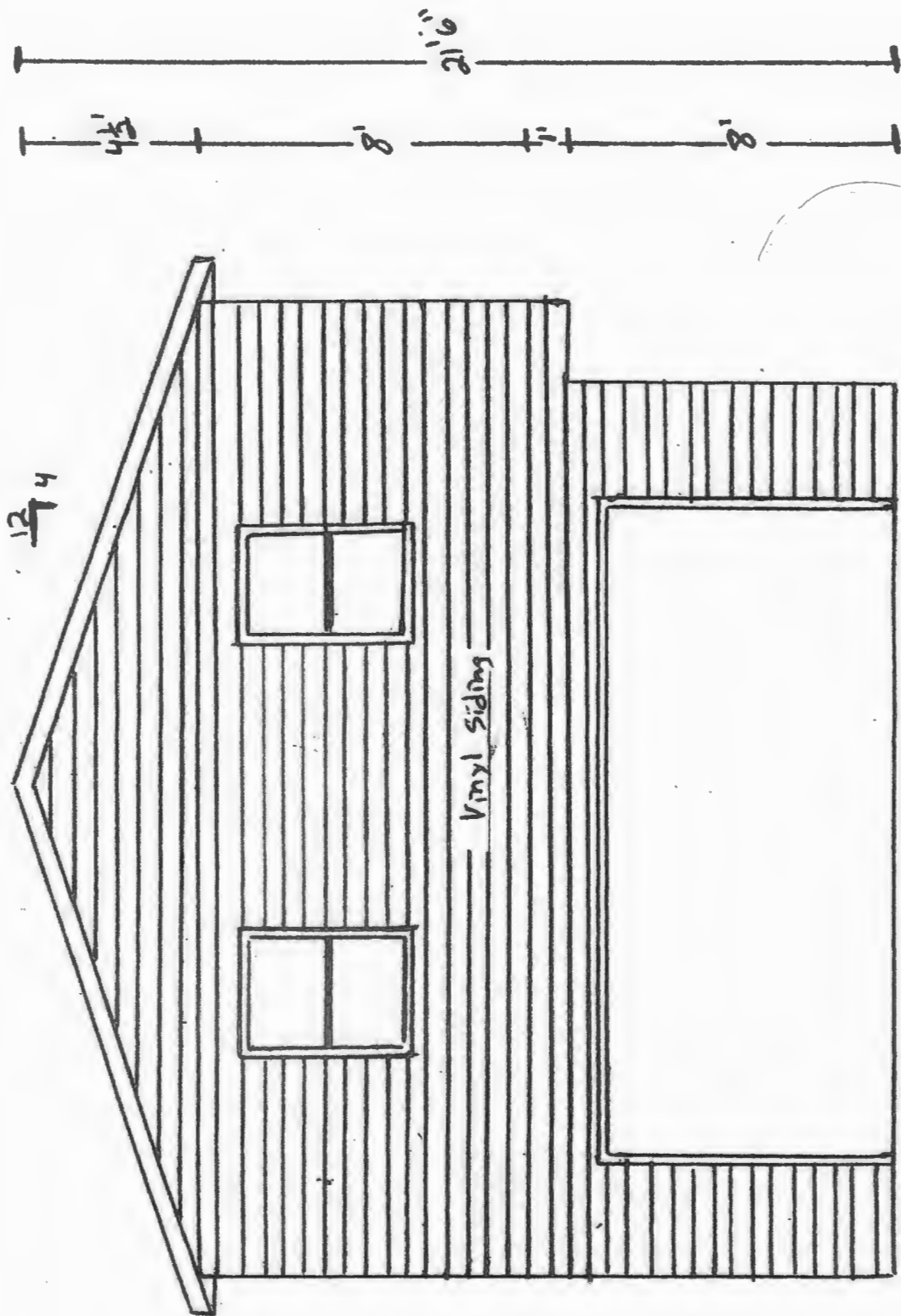
2013-0091-A



2013-0091-A



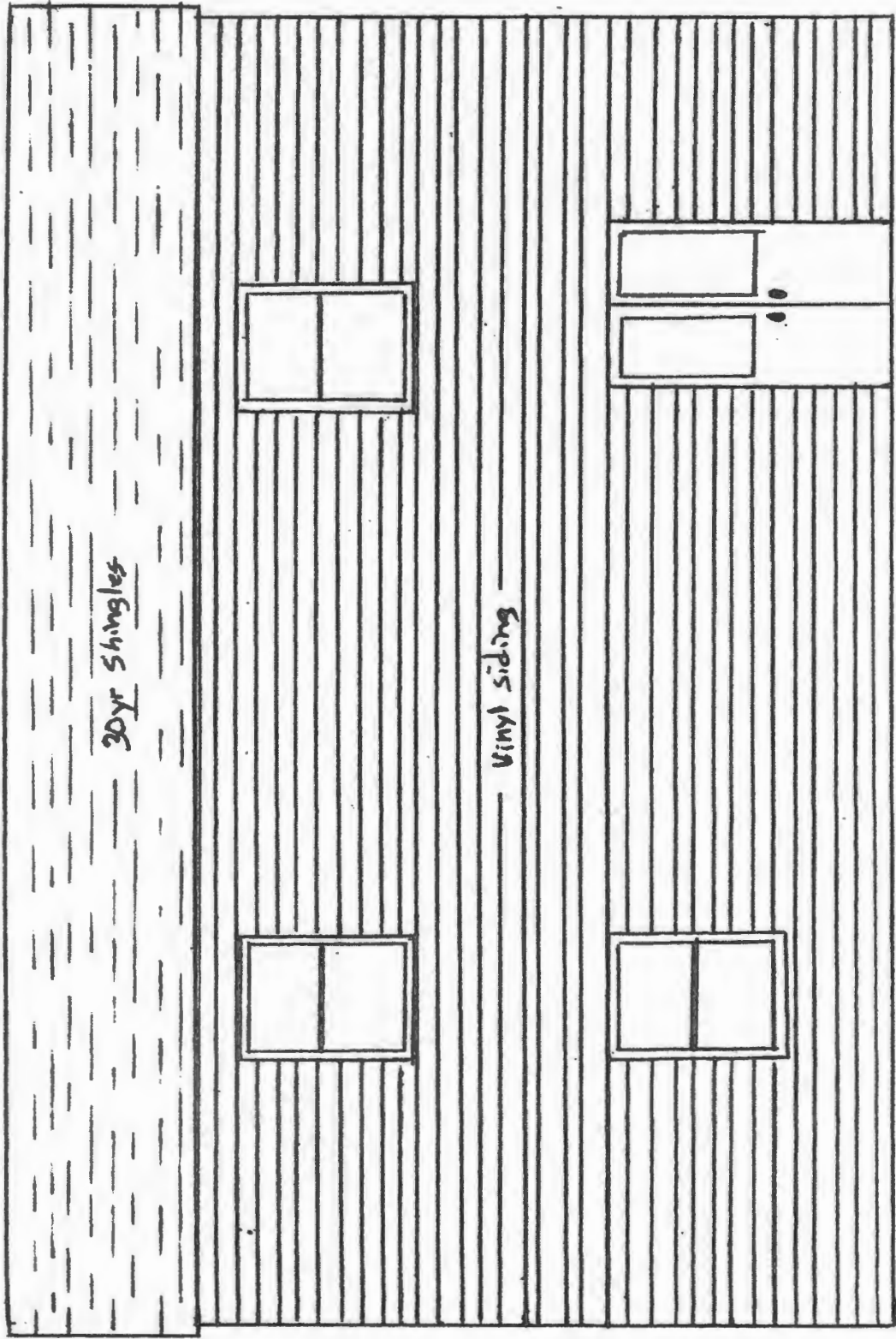
2013-0091-A



Front View

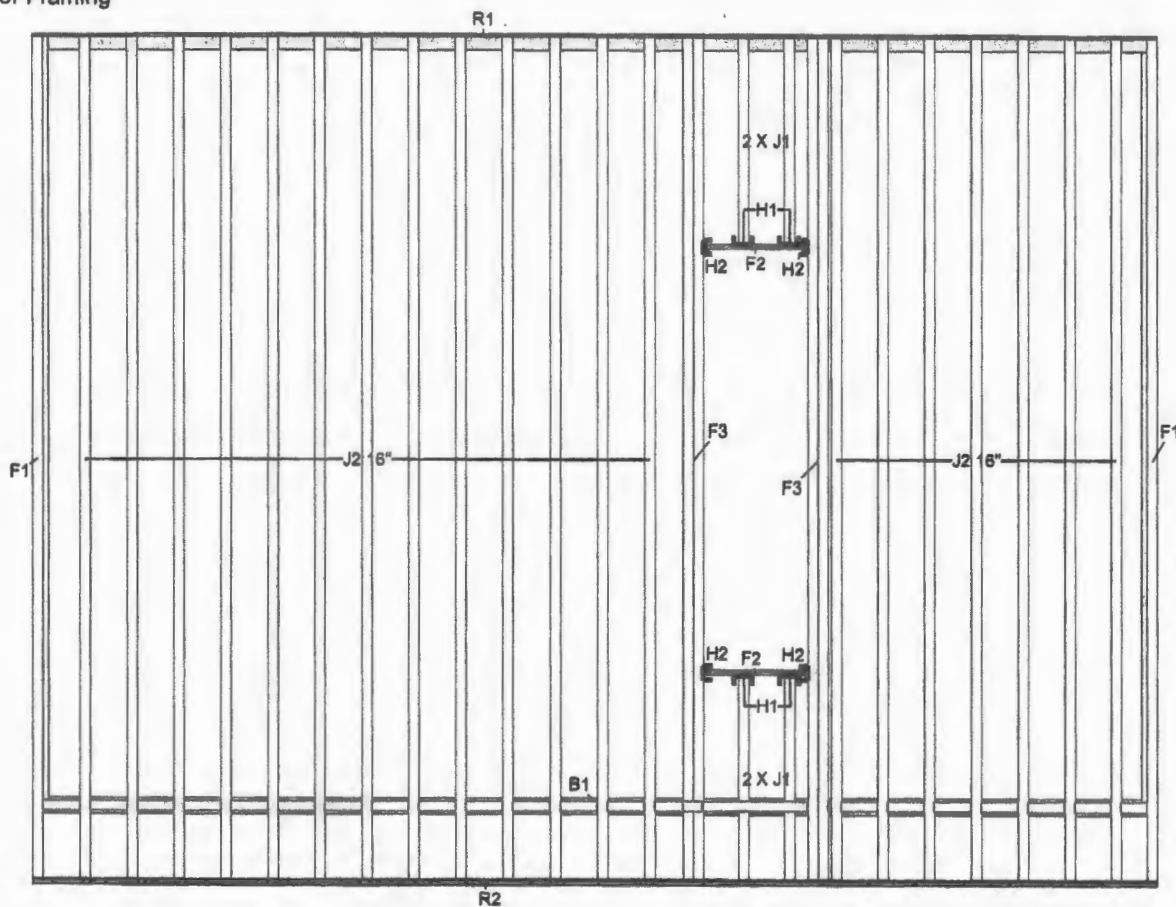
2013-00911-A

JOB: Charles Prohler	DATE: 8-11-12	DRAWN BY: Jonas King	DATE: 12/12/12
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Right Side View Scale 1/4" = 1ft

2nd Floor Framing



2nd Floor Framing					
LVL					
Qty	Label	Description	Width	Depth	Length
2	F2	West Fraser 1.8	1.75	11.875	4
Joist					
Qty	Label	Description	Width	Depth	Length
4	J1	NI-70	3.5	11.875	8
20	J2	NI-70	3.5	11.875	24
4	F3	NI-70	3.5	11.875	24
2	F1	NI-70	3.5	11.875	24
Rim Board					
Qty	Description		Thickness	Depth	Length
4	Norbord Rimboard Plus 1.125"X11.875"		1.125	11.875	18
Beam By Others					
Qty	Label	Description	Width	Depth	Length
Hanger					
Qty	Label	Description	Girder	Supported Mbr.	
4	H1	ITS3.56/11.88	2 10dx1 1/2		
4	H2	MIT11.88	4 16d	4 10dx1 1/2	

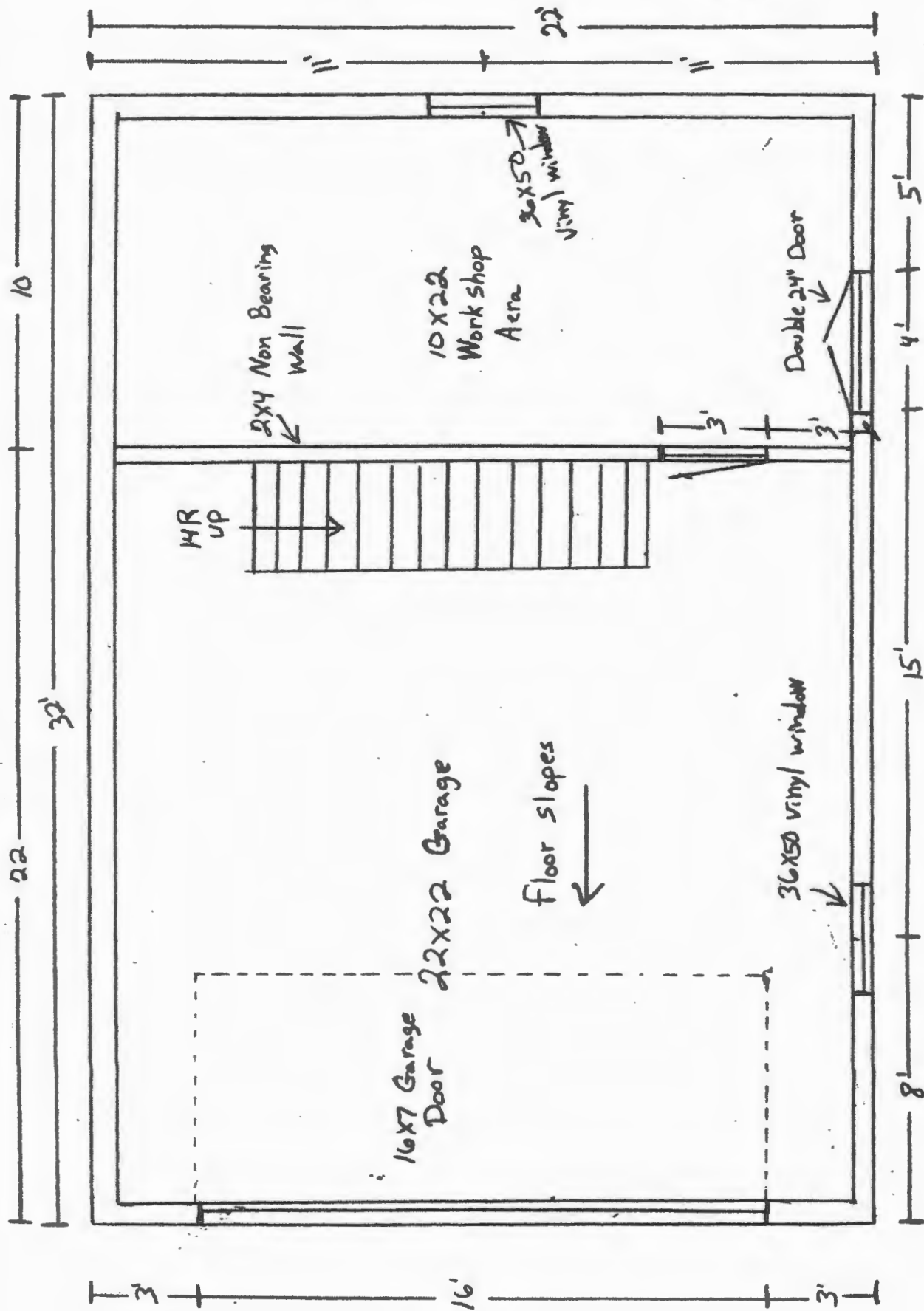


Layout Name		12-0789RR
Design Method		ASD
Description		3503 Glenwood Road Wakefield Builders
Created		8/9/2012 12:00:00 AM
Client		Rigid Ply Rafters
Sales Rep		Eastern Engineered Wood Products
Designer		Glenn Cobb
Shipping		3503 Glenwood Road Wakefield Builders
Project		12-0789RR
Builder's Project		Eastern Engineered Wood Products
		1245 Easton Road Bethlehem, PA 18015 1-800-700-4788

2nd Floor Framing	
Design Method	ASD
Building Code	IBC/IRC
Application	Floor
Loads	
Live	40
Dead	15
Deflection Joist	
LL Span	48'
TL Span	240
LL Cant	180
TL Cant	180
Deflection Girder	
LL Span	360
TL Span	240
LL Cant	180
TL Cant	180
Decking	
Deck	OSB
Fastener	Nailed & Glued
Thickness	3/4"

Legend

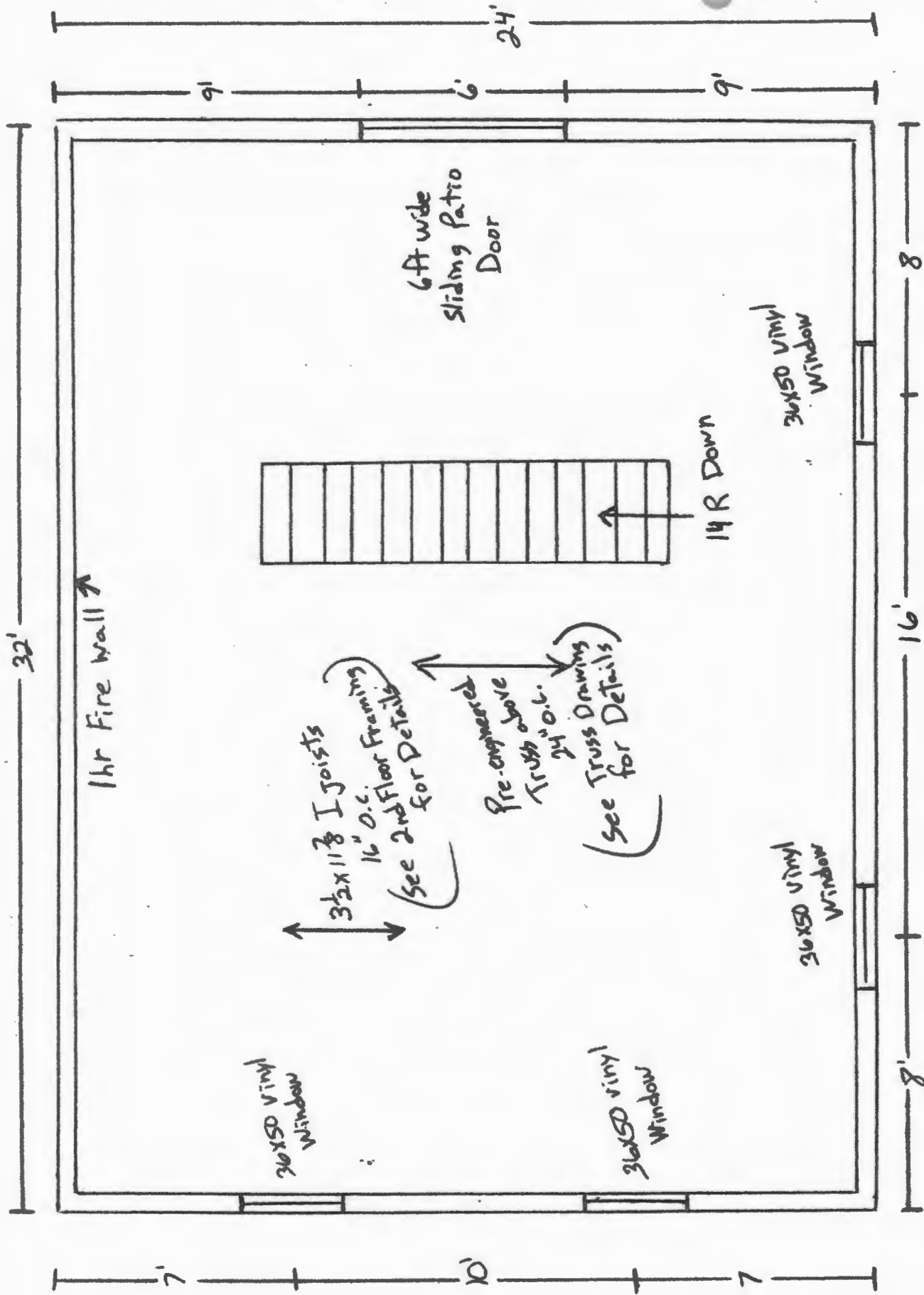
	2x6 Ext
	Norbord Rimboard Plus 1.125" X 11.875"
	NI-70 11.875"
	West Fraser 1.8 1.75" X 11.875"



Scale
1/4" = 1ft

1st Floor Plan

JOB: Charles Prohla	DATE: 8-11-17	DRAWN BY: Jonas King MECHANICAL 130128
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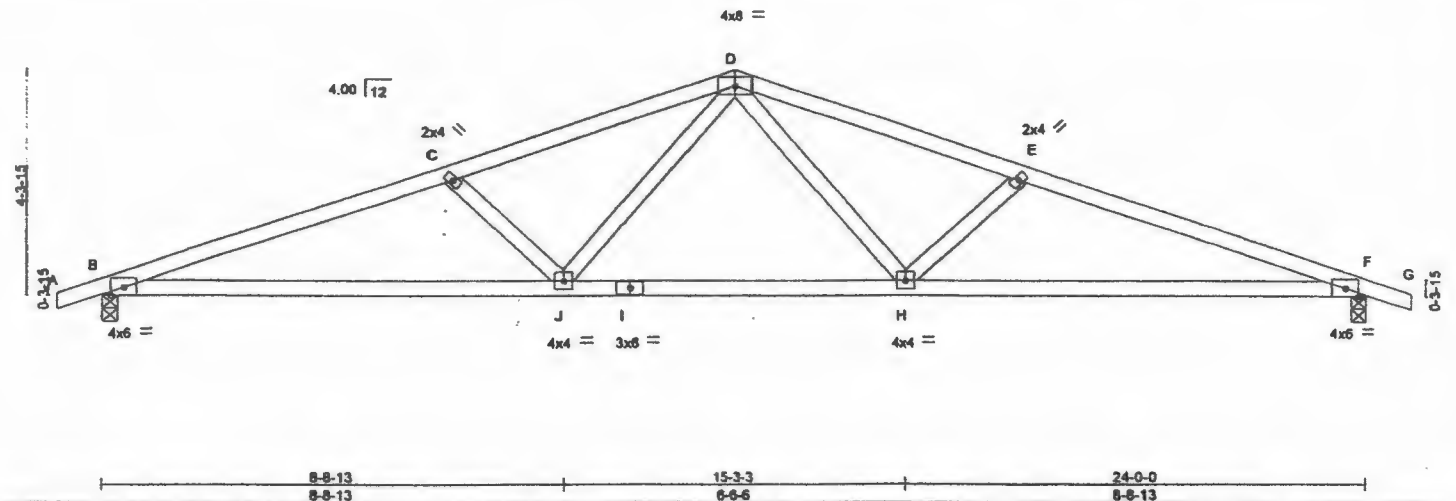
2nd Floor layout Plan Scale 1/4" = 1ft

Job	Truss	Truss Type	Qty	Plt	118677476
MMO20812	30136	FINK	1	1	

RIGIDPLY RAFTERS, INC. (PA), RICHLAND, PA 17087

7.250 s Aug 25 2011 MiTek Industries, Inc. Wed Feb 08 15:58:05 2012 Page 1
ID:26sNtykNWV30_WTx813r5yb6bA-MU9miFCijgXZsn0lok8JSOTeOCaTPD5Yy7AUyozn96G

Scale = 1:41.7



LOADING (psf)	SPACING	CSI	DEFL	in (loc)	V/defl	L/d	PLATES	GRIP
TCLL 40.0	2-0-0	TC 0.90	Vert(LL)	-0.23	B-J	>999	MT20	197/144
TCDL 7.0	Plates Increase 1.15	BC 0.91	Vert(TL)	-0.51	F-H	>563		
BCLL 0.0	Lumber Increase 1.15	WB 0.28	Horz(TL)	0.10	F	n/a		
BCDL 10.0	Rep Stress Incr YES	(Matrix)						
	Code IBC2009/TPI2007						Weight: 90 lb	FT = 20%

LUMBER
TOP CHORD 2 X 4 SPF No.2
BOT CHORD 2 X 4 SYP No.2
WEBS 2 X 4 SYP No.3

BRACING
TOP CHORD
BOT CHORD

Structural wood sheathing directly applied or 1-7-8 oc purlins.
Rigid ceiling directly applied or 2-2-0 oc bracing.

MiTek recommends that Stabilizers and required cross bracing be installed during truss erection, in accordance with Stabilizer Installation guide.

REACTIONS (lb/size) F=1210/0-3-8 (min. 0-1-11), B=1210/0-3-8 (min. 0-1-11)
Max Uplift F=675(LC 6), B=675(LC 6)
Max Grav F=1447(LC 2), B=1447(LC 2).

FORCES (lb) - Max. Comp./Max. Ten. - All forces 250 (lb) or less except when shown.
TOP CHORD B-C=3202/1367, C-D=2732/1192, D-E=2732/1192, E-F=3202/1367
BOT CHORD B-J=-1187/2944, I-J=-713/2027, H-I=-713/2027, F-H=-1187/2944
WEBS C-J=-645/411, D-J=-283/805, D-H=283/805, E-H=-645/411

NOTES

- 1) Unbalanced roof live loads have been considered for this design.
- 2) Wind: ASCE 7-05; 110mph; TCCL=3.5psf; BCDL=5.0psf; h=20ft; Cat. II; Exp C; enclosed; C-C Exterior(2); Lumber DOL=1.33 plate grip DOL=1.33
- 3) TCCL: ASCE 7-05; Pr=40.0 psf (roof live load; Lumber DOL=1.15 Plate DOL=1.15); Pg=40.0 psf (ground snow); Ps=30.8 psf (roof snow; Lumber DOL=1.15 Plate DOL=1.15); Category II; Exp C; Partially Exp.; Ct=1.1
- 4) Roof design snow load has been reduced to account for slope.
- 5) Unbalanced snow loads have been considered for this design.
- 6) This truss has been designed for greater of min roof live load of 12.0 psf or 1.00 times flat roof load of 30.8 psf on overhangs non-concurrent with other live loads.
- 7) This truss has been designed for a 10.0 psf bottom chord live load nonconcurrent with any other live loads.
- 8) * This truss has been designed for a live load of 20.0psf on the bottom chord in all areas where a rectangle 3-6-0 tall by 1-0-0 wide will fit between the bottom chord and any other members.
- 9) This truss is designed in accordance with the 2009 International Building Code section 2306.1 and referenced standard ANSI/TPI 1.

LOAD CASE(S) Standard



February 8, 2012

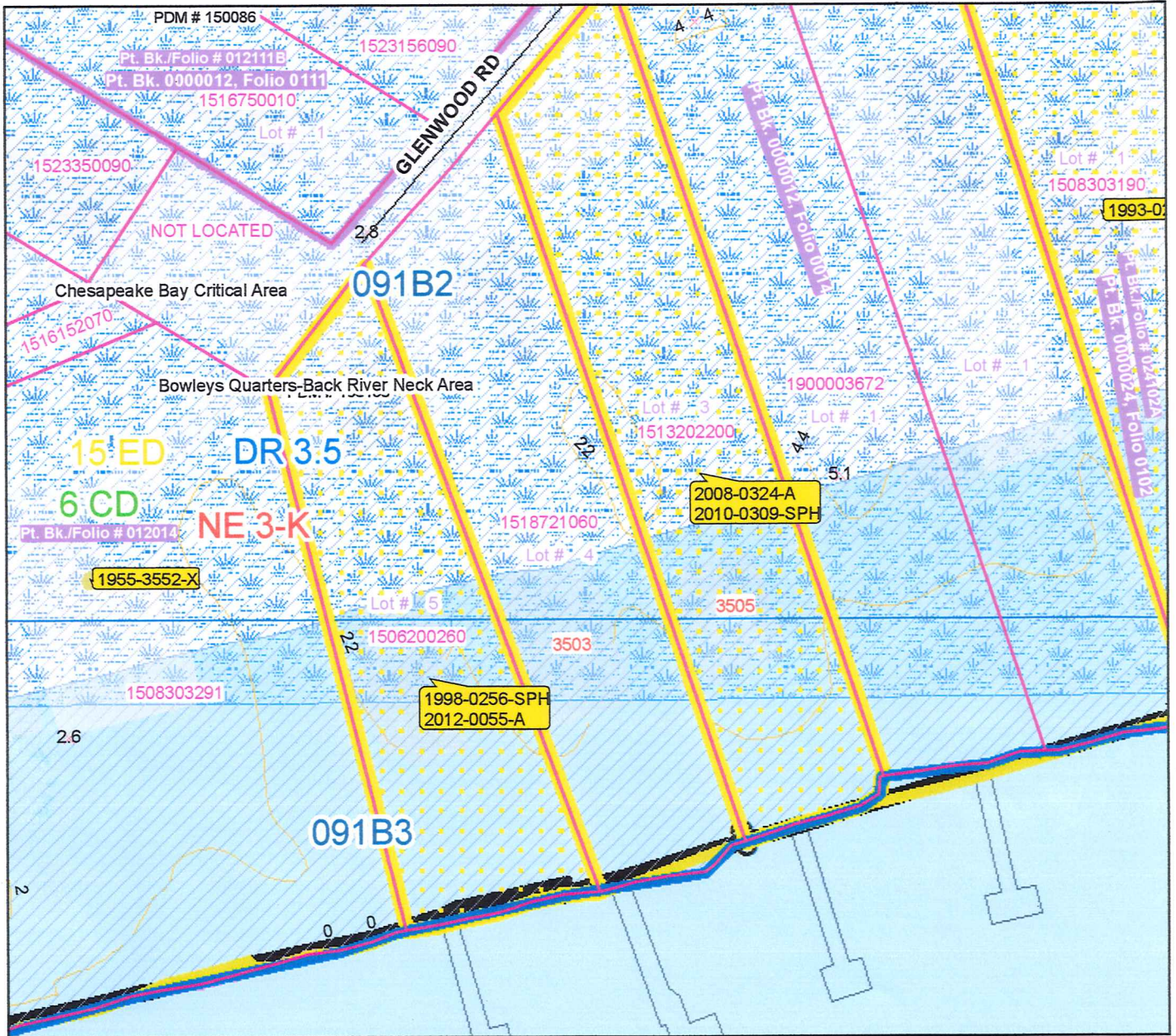
WARNING - Verify design parameters and READ NOTES ON THIS AND INCLUDED MITEK REFERENCE PAGE MII-7473 BEFORE USE.

Design valid for use only with MiTek connectors. This design is based only upon parameters shown, and is for an individual building component. Applicability of design parameters and proper incorporation of component is responsibility of building designer - not truss designer. Bracing shown is for lateral support of individual web members only. Additional temporary bracing to insure stability during construction is the responsibility of the erector. Additional permanent bracing of the overall structure is the responsibility of the building designer. For general guidance regarding fabrication, quality control, storage, delivery, erection and bracing, consult ANSI/TPI1 Quality Criteria, D38-87 and IBC Building Component Safety Information available from Truss Plate Institute, 7800 Street, Suite 312, Alexandria, VA 22314. If Southern Pine (SP or SPP) lumber is specified, the values are those effective 08/01/2012 by ALSC or proposed by SPB.

MiTek

14515 N. Outer Forty, Suite #300
Chesterfield, MO 63017

Elevations and Flood Hazards



Publication Date: October 16, 2012
 Publication Agency: Department of Permits & Development Management
 Projection/Datum: Maryland State Plane,
 FIPS 1900, NAD 1983/91 HARN, US Foot

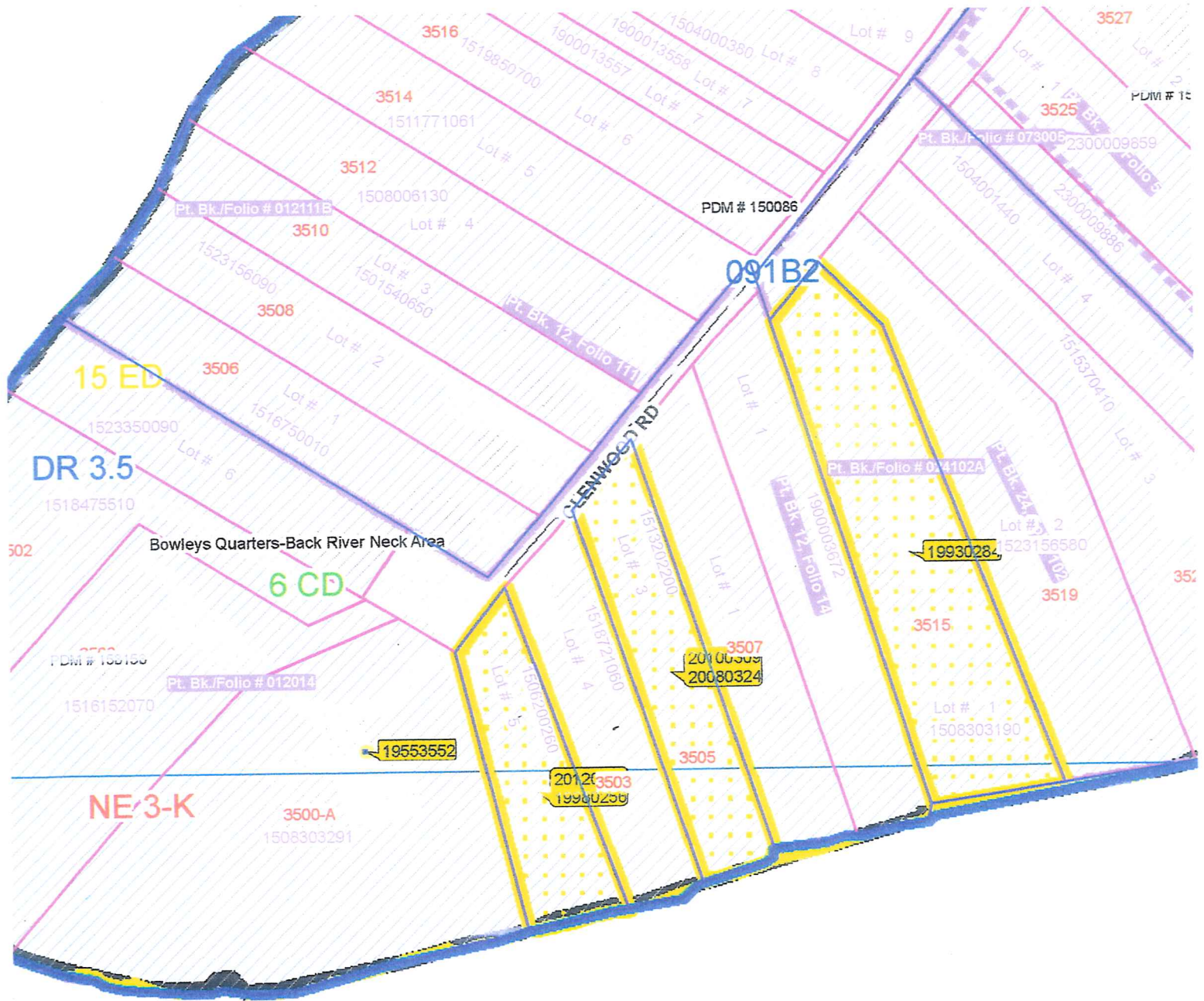


0 50 100
 Feet

1 inch = 50 feet

2013-0091-A

491 596T
105

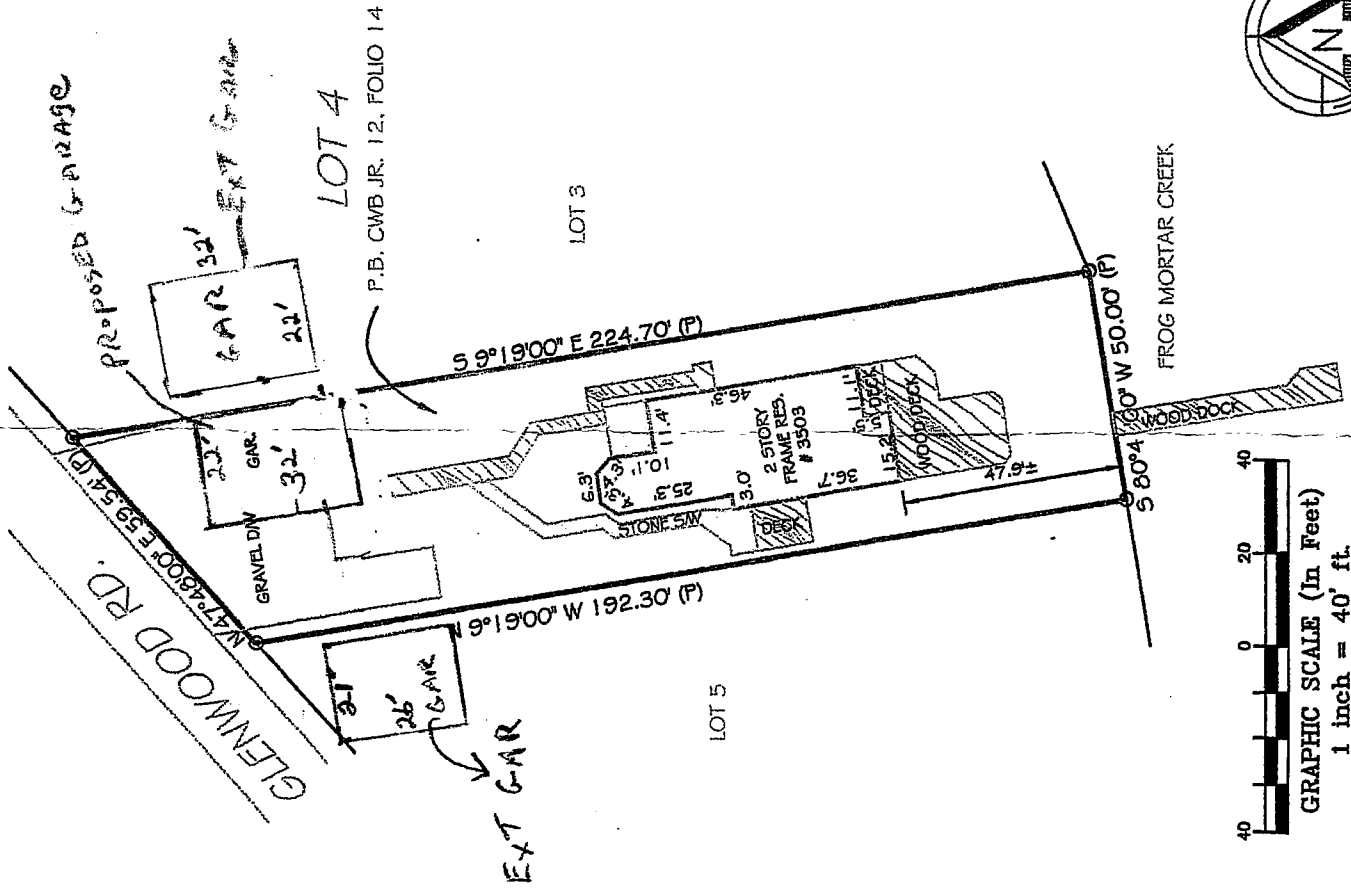


091B3

BMB

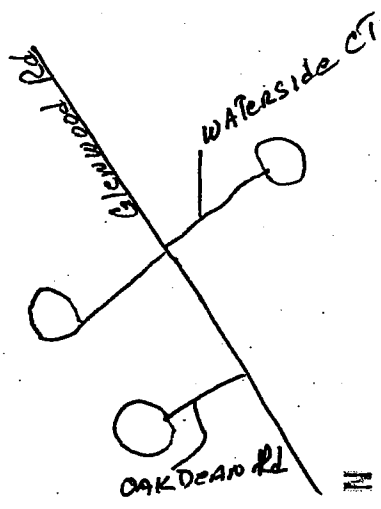
2013-0091-A

ZONING HEARING PLAN FOR VARIANCE FOR SPECIAL HEARING (MARK TYPE REQUESTED WITH X)
ADDRESS 3503 GLENWOOD RD OWNER(S) NAME(S) LINNEA STEIN & Charles Poehler
SUBDIVISION NAME Frog Mortar Point LOT # 34 BLOCK # SECTION #
PLAT BOOK # 12 FOLIO # 14 10 DIGIT TAX # 15187221060 DEED REF. # 29821-100277-



PLAN DRAWN BY Charles Poehler DATE 10/16/12 SCALE: 1 INCH = 40 FEET
2013-0091-A

SITE VICINITY MAP



MAP IS NOT TO SCALE

ZONING MAP# 091B1
SITE ZONED DR.3.5
ELECTION DISTRICT 15
COUNCIL DISTRICT 6
LOT AREA ACRES 123249
OR SQUARE FEET
HISTORIC? NO
IN CECA? Y
IN FLOOD PLAIN? Y
UTILITIES? MARK WITH X
WATER IS:
PUBLIC X PRIVATE
SEWER IS:
PUBLIC X PRIVATE
PRIOR HEARING? 120
IF SO GIVE CASE NUMBER
AND ORDER RESULT BELOW

NO

VIOLATION CASE INFO:

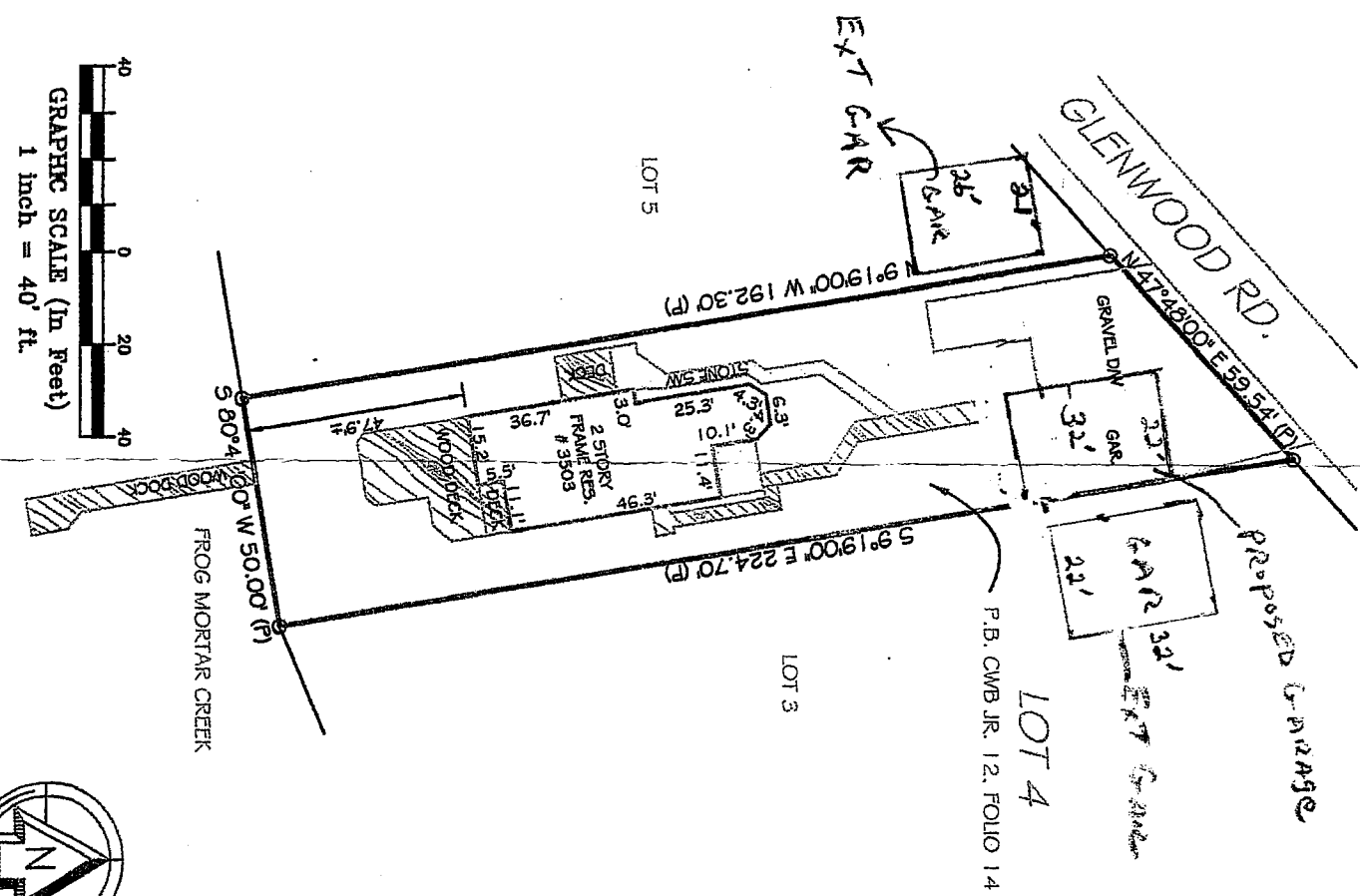
NO

ZONING HEARING PLAN FOR VARIANCE _____ FOR SPECIAL HEARING _____ (MARK TYPE REQUESTED WITH X)

ADDRESS 3503 GLENWOOD RD OWNER(S) NAME(S) LINNEA STEIN & Charles Poehler

SUBDIVISION NAME Frog Mortar Pmt LOT # 34 BLOCK # 1 SECTION # 1

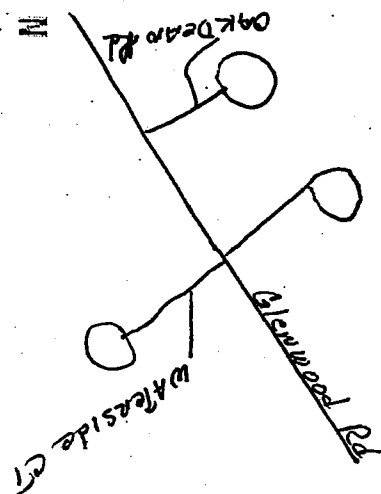
PLAT BOOK # 12 FOLIO # 14 10 DIGIT TAX # 15182221060 DEED REF. # 29821-100222



PLAN DRAWN BY Charles Poehler DATE 10/16/12 SCALE: 1 INCH = 40 FEET

2013-0091-12

SITE VICINITY MAP



MAP IS NOT TO SCALE

ZONING MAP# 091B2

SITE ZONED D.R.3.5

ELECTION DISTRICT 15

COUNCIL DISTRICT 6

LOT AREA ACREAGE 11232 sq ft

OR SQUARE FEET _____

HISTORIC? NO

IN CBCA? Y

IN FLOOD PLAIN? Y

UTILITIES? MARK WITH X

WATER IS: _____

PUBLIC X PRIVATE _____

SEWER IS: _____

PUBLIC X PRIVATE _____

PRIOR HEARING? NO

IF SO GIVE CASE NUMBER

AND ORDER RESULT BELOW

NO

VIOLATION CASE INFO:

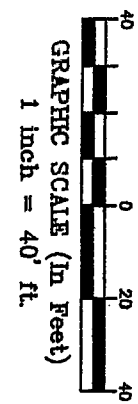
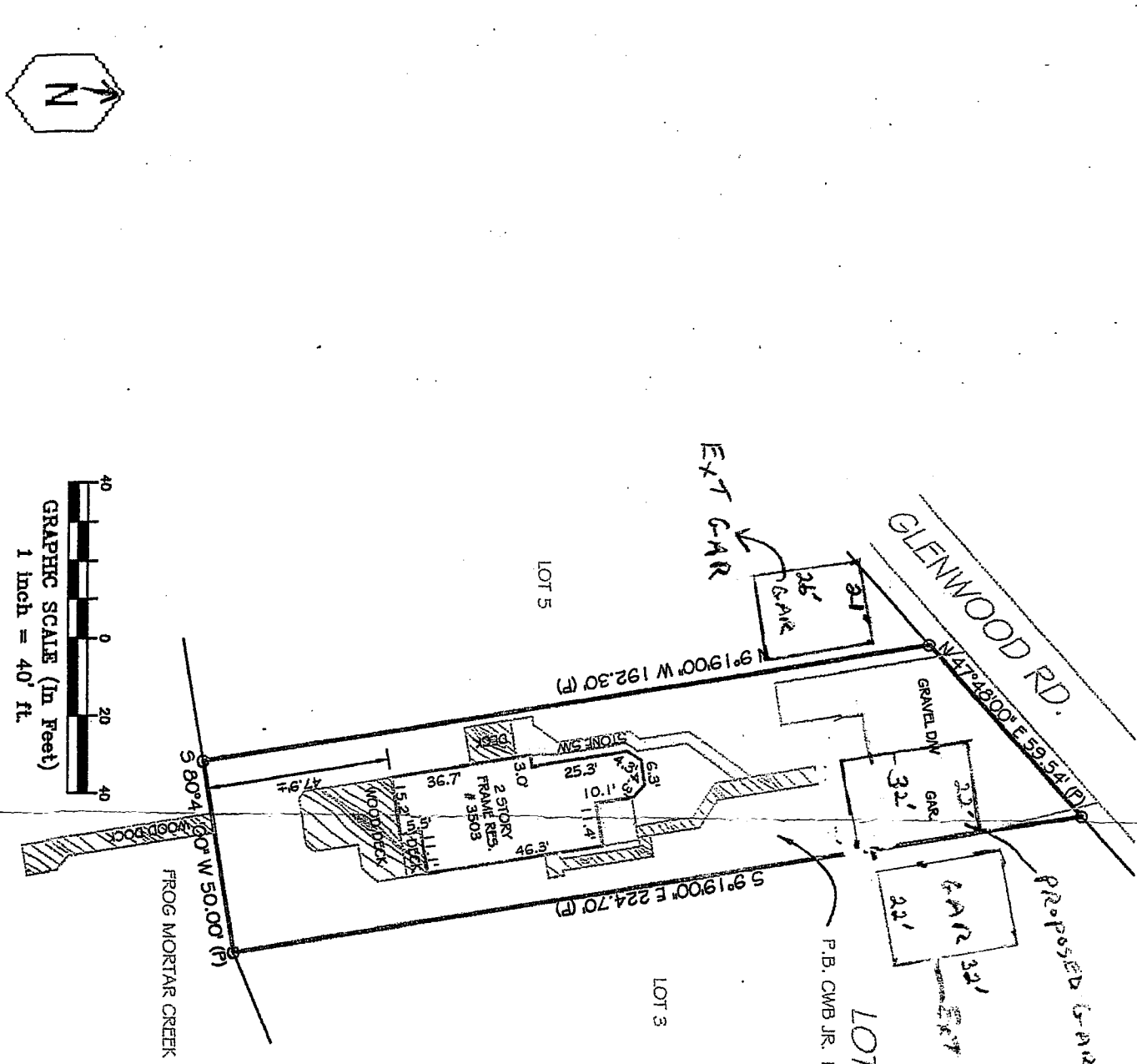
NO

ZONING HEARING PLAN FOR VARIANCE _____ FOR SPECIAL HEARING _____ (MARK TYPE REQUESTED WITH X)

ADDRESS 3503 GLENWOOD RD OWNER(S) NAME(S) LINNEA STEIN & Charles Poehler

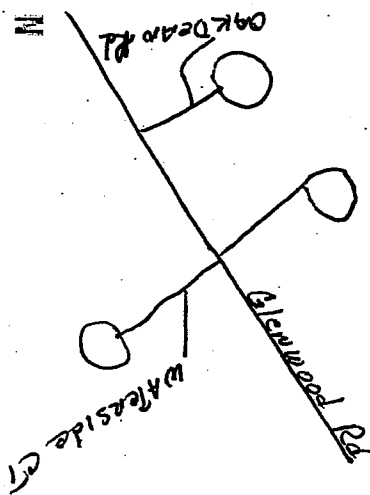
SUBDIVISION NAME Frog Mortar Point LOT # 34 BLOCK # 1 SECTION # 1

PLAT BOOK # 12 FOLIO # 14 10 DIGIT TAX # 15182221060 DEED REF. # 29821-100277



PLAN DRAWN BY Charles Poehler DATE 10/16/12 SCALE: 1 INCH = 40 FEET
2013-0091-A

SITE VICINITY MAP



MAP IS NOT TO SCALE

ZONING MAP# 091B2

SITE ZONED D.R.3.5

ELECTION DISTRICT 15

COUNCIL DISTRICT 6

LOT AREA/ACREAGE 112329

OR SQUARE FEET _____

HISTORIC? NO

IN CBQA? Y

IN FLOOD PLAIN? Y

UTILITIES? MARK WITH X

WATER IS:

PUBLIC X PRIVATE _____

SEWER IS:

PUBLIC X PRIVATE _____

PRIOR HEARING? NO

IF SO GIVE CASE NUMBER

AND ORDER RESULT BELOW

NO

VIOLATION CASE INFO:

NO