

IN THE MATTER OF  
THE APPLICATION OF  
ROBERT C. WALDHAUSER -LEGAL OWNER /  
PETITIONER FOR SPECIAL HEARING ON  
PROPERTY LOCATED AT  
1500-1508 RIDERWOOD DRIVE

8<sup>TH</sup> ELECTION DISTRICT  
3<sup>RD</sup> COUNCILMANIC DISTRICT

\* BEFORE THE  
\* BOARD OF APPEALS  
\* OF  
\* BALTIMORE COUNTY  
\* CASE NO. 14-115-SPH

\* \* \* \* \*

**ORDER OF DISMISSAL**

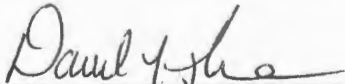
This matter comes to the Board of Appeals by way of an appeal filed by David W. Billingsley, of Central Drafting and Design, from a final decision of the Administrative Law Judge dated May 21, 2014, in which the requested zoning relief was granted with conditions.

**WHEREAS**, the Board is in receipt of a hand delivered letter of voluntary withdrawal of appeal filed on September 10, 2014, by David W. Billingsley, of Central Drafting and Design, said Appellant (a copy of which is attached hereto and made a part hereof); and

**WHEREAS**, said Appellant requests that the appeal taken in this matter be withdrawn and dismissed without prejudice as of September 10, 2014;

**IT IS ORDERED** this 22<sup>nd</sup> day of September, 2014 by the Board of Appeals of Baltimore County that the appeal taken in Case No. 14-115-SPH be and the same is hereby **DISMISSED without prejudice**.

**BOARD OF APPEALS  
OF BALTIMORE COUNTY**

  
\_\_\_\_\_  
David L. Thurston, Chairman



County Board of Appeals of Baltimore County

JEFFERSON BUILDING  
SECOND FLOOR, SUITE 203  
105 WEST CHESAPEAKE AVENUE  
TOWSON, MARYLAND, 21204  
410-887-3180  
FAX: 410-887-3182



September 22, 2014

David W. Billingsley  
Central Drafting and Design  
601 Charwood Court  
Edgewood, Maryland 21040

RE: In the Matter of: Robert C. Waldhauser  
Case No: 14-115-SPH

Dear Mr. Billingsley:

Enclosed please find a copy of the Order of Dismissal issued this date by the Board of Appeals of Baltimore County in the above subject matter.

Any petition for judicial review from this decision must be made in accordance with Rule 7-201 through Rule 7-210 of the *Maryland Rules*, **WITH A PHOTOCOPY PROVIDED TO THIS OFFICE CONCURRENT WITH FILING IN CIRCUIT COURT.** Please note that all **Petitions for Judicial Review filed from this decision should be noted under the same civil action number.** If no such petition is filed within 30 days from the date of the enclosed Order, the subject file will be closed.

Very truly yours,

Krysundra "Sunny" Cannington  
Administrator

KLC/tam  
Enclosure

c: Robert C. Waldhauser  
Eric Rockel  
Al Fischer  
Mel Timmons  
Julie Szymaszek, President/Lutherville Community Association  
Office of People's Counsel  
Lawrence M. Stahl, Managing Administrative Law Judge  
Arnold Jablon, Director/PAI  
Andrea Van Arsdale, Director/Department of Planning  
Edward Adams, Jr., Director/DPW  
Nancy West, Assistant County Attorney  
Michael Field, County Attorney/Office of Law



## Board of Appeals of Baltimore County

JEFFERSON BUILDING  
SECOND FLOOR, SUITE 203  
105 WEST CHESAPEAKE AVENUE  
TOWSON, MARYLAND, 21204  
410-887-3180  
FAX: 410-887-3182

September 12, 2014

David W. Billingsley  
Central Drafting and Design  
601 Charwood Court  
Edgewood, MD 21040

RE: *In the Matter of: Robert C. Waldhauser, Legal Owner*  
Withdrawal of Appeal  
Case No. 14-115-SPH

Dear Mr. Billingsley:

This office is in receipt of your correspondence dated September 10, 2014 in which you request that your appeal of June 20, 2014, in the above case matter be withdrawn and dismissed.

This letter is to advise you that by copy of this letter, the Protestants, Mr. Rockel, Mr. Fischer, and Mr. Timmons are being notified of your request to withdrawal your appeal.

This matter is currently scheduled for Tuesday, September 23, 2014 and will be removed from the Board's docket in accordance with your withdrawal request. An Order of Dismissal will follow in the near future.

Please contact this office upon receipt of this letter, if you have any questions or concerns in regard to the withdrawal of your appeal, or I can be of any further assistance.

Very truly yours,

A handwritten signature in cursive script that reads "Sunny Cannington".

Krysundra "Sunny" Cannington  
Administrator

c: Robert C. Waldhauser  
Al Fischer  
Julie Szymaszek, President/Lutherville Community Association  
Office of People's Counsel  
Eric Rockel  
Mel Timmons

**CENTRAL DRAFTING AND DESIGN**  
**601 CHARWOOD COURT**  
**EDGEWOOD, MARYLAND 21040**  
**(410) 679-8719 FAX (410) 679-1298**

**RECEIVED**  
SEP 10 2014

BALTIMORE COUNTY  
BOARD OF APPEALS

September 10, 2014

Board of Appeals of Baltimore County  
Jefferson Building, Suite 203  
105 West Chesapeake Avenue  
Towson, Maryland 21204

RE: Robert C. Waldhauser  
1500 – 1508 Riderwood Drive  
Case No. 2014-0115-SPH  
Your File No. 71354.06

Gentlemen:

I wish to have my Petition for Appeal of the referenced case withdrawn and dismissed without prejudice.

Thanks you for your cooperation in this matter.

Very truly yours,

*David W. Billingsley*

David W. Billingsley

Cc: Robert C. Waldhauser  
John G. Packard



**CENTRAL DRAFTING AND DESIGN, INC.**  
**601 CHARWOOD COURT**  
**EDGEWOOD, MARYLAND 21040**  
**(410) 679-8719 FAX (410) 679-1298**

June 13, 2014

John E. Beverungen (by email)  
Administrative Law Judge for Baltimore County  
Office of Administrative Hearings  
105 West Chesapeake Avenue, Suite 103  
Towson, Md. 21204

RE: MOTION FOR RECONSIDERATION  
1500 – 1508 RIDERWOOD AVENUE  
CASE NO. 2014- 0115-SPH

Judge Beverungen:

Reference is made to your order dated May 21, 2014 in which you granted the Petitioner's request to permit fill to be placed in a riverine floodplain and to permit a retaining wall to be constructed in a riverine floodplain in lieu of the required 20 foot setback from a riverine floodplain. The relief was granted subject to compliance with items 2, 3 and 4 set forth in the DPW memorandum dated November 22, 2013.

As you are aware, as required by the Department of Public Works, this office has submitted a 100 Year Floodplain Analysis to determine if the construction of the retaining wall and placement of the fill would alter the water surface elevation of the 100 storm event. The study determined that the wall, as constructed, does not alter the water surface elevations upstream, along the constructed wall or downstream and creates no offsite impact from an increased risk of flooding.

The Department of Public Works was provided with the location of field run cross sections in the area of the wall. The supplemental cross sections were added to the Roland Run Hydraulic Model prepared for Baltimore County by Wallace Montgomery.

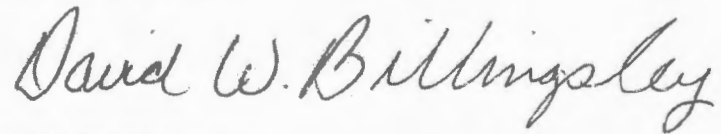
It is our belief that the information provided in the analysis, represents a substantial amount of the data and the associated costs, needed for the revision of the flood study prepared by the County engineering contractor. Obviously, some costs will be incurred but not to the extent requested by the Department of Public Works.

PAGE TWO

Based on the above, we are requesting that consideration be given to reduce the fixed deposit to be made to Baltimore County to revise the flood study from \$ 15,000 to \$2,500.

Thank you for your consideration in this matter.

Very truly yours,

A handwritten signature in cursive script that reads "David W. Billingsley". The signature is written in dark ink and is positioned below the closing "Very truly yours,".

David W. Billingsley

Cc: David Thomas, DPW  
Eric Rockell  
Geoffrey A. Tizard II  
Robert Waldhauser  
Peoples Counsel

IN RE: **PETITION FOR SPECIAL HEARING** \*  
**(1500-1508 Riderwood Dr.)** \*  
8<sup>th</sup> Election District \*  
3<sup>rd</sup> Councilmanic District \*  
Robert C. Waldhauser/*Legal Owner* \*  
Petitioner \*

BEFORE THE  
OFFICE OF  
ADMINISTRATIVE HEARINGS  
FOR BALTIMORE COUNTY  
**Case No. 2014-0115-SPH**

\* \* \* \* \*

**OPINION AND ORDER**

This matter comes before the Office of Administrative Hearings (OAH) for consideration of a Petition for Special Hearing filed by David Billingsley, on behalf of the legal owner, Robert C. Waldhauser. The Petition was filed pursuant to § 500.7 of the Baltimore County Zoning Regulations (“B.C.Z.R.”) seeking: (1) a waiver pursuant to B.C.Z.R. §500.6; §3112.0 (Building Code); and Baltimore County Code (B.C.C.) §§ 32-4-414 & 32-4-107(a); (2) to permit fill to be placed in a riverine floodplain; and (3) to permit a retaining wall to be constructed in a riverine floodplain in lieu of the required 20 ft. setback from a riverine floodplain.

Appearing at the public hearing in support of the requests was Robert C. Waldhauser, property owner, and David Billingsley, from Central Drafting & Design, Inc, who prepared the site plan and is assisting the Petitioner in the permitting process. Several citizens attended the hearing and opposed the Petition. The Petition was advertised and posted as required by the Baltimore County Zoning Regulations. Zoning Advisory Committee (ZAC) comments were received from the Bureau of Development Plans Review (DPR) dated November 20, 2013 and from Department of Public Works (DPW) dated November 22, 2013.

The subject property is zoned BL, and is improved with a commercial building and parking lot identified as #1500-1508 Riderwood Drive. The Petitioner’s property adjoins land owned by a church, and Mr. Billingsley stated that the owners of the church property approached Petitioner

ORDER RECEIVED FOR FILING

Date 5/21/14  
By Den

to seek his assistance with the erosion taking place between these properties. The Petitioner obtained permits from Baltimore County and began constructing a retaining wall at the rear (north) portion of his existing parking lot. That wall was apparently 90% complete when Dave Thomas, an engineer employed by Baltimore County, contacted Petitioner and told him to cease construction because the permits were issued in error. The point of contention concerns whether or not the retaining wall and fill material would increase the risk of flooding, and the Petitioner sought a "waiver" to allow the improvements to remain in the floodplain.

The hearing was concluded on January 10, 2014, and Petitioner was to obtain from a licensed engineer a study and certification that the improvements would not increase the risk of flooding. The Petitioner submitted such a study to the DPW, and it is sealed by Geoffrey A. Tizard, II, P.E. The Director of DPW, by memorandum dated November 22, 2013, indicated that agency did not oppose the waiver, but the memorandum also set forth several conditions that agency requested to be included in any Order. Jeanette Tansey, R.L.A., on behalf of DPR, also indicated her agency did not object to the granting of the waiver.

Eric Rockel and other neighbors opposed the relief, and expressed dismay at the number of errors committed by Baltimore County in the processing of permits for this property. Mr. Rockel also noted that Lutherville has a history of flooding problems, and he submitted a map (Protestants' Exhibit 1) showing that Baltimore County has purchased certain parcels in the area due to flooding concerns. Mr. Rockel also stated that flood insurance rates in the area are high, and he did not believe the Petitioner could satisfy the "exceptional hardship" standard which must be met before a waiver can be granted. BCC § 32-8-303(a)(2). The Office of Administrative Hearings (OAH) also received a letter dated March 4, 2014 indicating the Lutherville Community Association did not support Petitioner's requests.

ORDER RECEIVED FOR FILING

Date

5/21/14

By

den



Floodplain issues are exceedingly complex, regulated by State, County and Federal law, and require the expertise of professional engineers. In this case, Petitioner has submitted a certification from a professional engineer that the improvements will not increase the risk of flooding. The neighbors express concern about this point, but they did not present any expert testimony to the contrary. Smith Sand & Gravel, Inc. v. Dept. of Water Resources, 270 Md. 652, 665 n.1 (1974)(questions concerning boundaries of and potential impacts upon flood plain must be resolved by "competent engineering study"). Mr. Billingsley argues, in opposition to Mr. Rockel's point, that the Petitioner has established the requisite exceptional hardship in that both Petitioner and the church have had to contend with the slope and associated erosion between the properties, which has been exacerbated by people riding dirt bikes and ATVs in the area.

The community does not believe this was the impetus for the improvements; they believe Petitioner wanted to expand his parking lot. But there is no indication that the Petitioner does not have sufficient parking for the commercial building on site, and in any event it does not seem like the 2,809 square feet would provide much in the way of additional parking. Assuming the erosion problems existed as testified by Petitioner, then it is arguable that without relief or the waiver such a condition would present an exceptional hardship to the owner of the commercial property.

At bottom, I do not believe the improvements are unattractive or mar the appearance of the community. To the contrary, I think the photos show that the wall improves the look of the property. I am mindful that aesthetics are not the primary consideration here, and that is why I am inclined to rely upon the opinion of the engineer as concerns the potential for increased

ORDER RECEIVED FOR FILING

Date

5/21/14

By

Den



flooding. I will incorporate the conditions proposed by the DPW in its November 22, 2013 memorandum, which will provide further assurances to the community.

THEREFORE, IT IS ORDERED this 21<sup>st</sup> day of May 2014, by this Administrative Law Judge, that the Petition for Special Hearing pursuant to § 500.7 of the Baltimore County Zoning Regulations ("B.C.Z.R.") seeking: (1) a waiver pursuant to §500.6 (BCZR); §3112.0 (Building Code); and Baltimore County Code (B.C.C.) §§ 32-4-414 & 32-4-107(a); (2) to permit fill to be placed in a riverine floodplain; and (3) to permit a retaining wall to be constructed in a riverine floodplain in lieu of the required 20 ft. setback from a riverine floodplain, be and is hereby GRANTED.

The relief granted herein shall be subject to the following:

1. Petitioner may apply for appropriate permits and be granted same upon receipt of this Order; however, Petitioner is hereby made aware that proceeding at this time is at his own risk until such time as the 30-day appellate process from this Order has expired. If, for whatever reason, this Order is reversed, Petitioner would be required to return, and be responsible for returning, said property to its original condition.
2. Petitioner must comply with items 2, 3, & 4 set forth in the DPW memorandum attached hereto and incorporated herein.

Any appeal of this decision must be made within thirty (30) days of the date of this Order.

JOHN E. BEVERUNGEN  
Administrative Law Judge  
for Baltimore County

JEB/sln

ORDER RECEIVED FOR FILING

Date 5/21/14

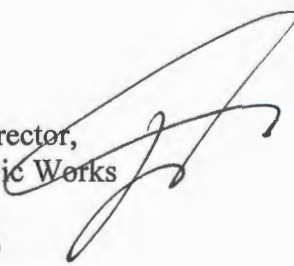
By sen

BALTIMORE COUNTY, MARYLAND

INTER OFFICE CORRESPONDENCE

**TO:** Arnold Jablon, Director, Permits & Development Management  
And Deputy County Administrative Officer

**ATTN:** Kristen Matthews  
MS 1105

**FROM:** Edward Adams, Director,  
Department of Public Works 

**DATE:** November 22, 2013

**SUBJECT:** Case No. 2014-0115-SPH  
1500-1508 Riderwood Drive (Tax Account No. 25-00-009886)  
Waldhauser Property

Section 32-8-303 (c) of the Baltimore County Code concerning waivers to the floodplain regulations says, "In considering a waiver action, comments from the state coordinating office and the County Department of Public Works shall be taken into account and maintained with the permit file." This memo is the comment from the Department of Public Works for the subject waiver.

The fill and retaining wall have been constructed in a riverine floodplain area. The floodplain area is delineated on the Federal Flood Insurance Rate Map 240010-0245F, effective August 2, 2011. The wall construction is substantially complete at the time of this writing.

Please note that the ZAC agenda incorrectly designates this case as not being in floodplain.

Section 32-4-414 of the Baltimore County Code prohibits development in the riverine floodplain. DPW Design Manual Plate DF-1 requires a minimum setback from structure walls to the 100-year floodplain. In order to receive a favorable recommendation from this office the petitioner must:

1. Provide certification by a licensed Professional Engineer that the construction creates **no** offsite impact from increased risk of flooding, with supporting calculations, for County Review & Approval.
2. Provide all supporting documentation for the flood certification and a \$15,000 fixed deposit to allow the County to revise a flood study presently in progress by a County engineering contractor.

ORDER RECEIVED FOR FILING

Date 5/21/14

By Den

3. Acquire the necessary State and Federal permits to do work in the waterway and provide evidence of same to the County.
4. Submit a Letter of Map Revision based on Fill (LOMR-F) to amend the Federal Flood Insurance Rate Map to reflect the change to the floodplain and receive approval for same.
5. Address all community concerns with respect to the petition to the satisfaction of the Administrative Law Judge.

**This department takes no exception to approval of the waiver, subject to the conditions noted above, and requests that the conditions be included in the Administrative Law Judge's order.**

ECA/DLT/s

Attachment: Portion of FIRM map 240010-0245F

CC: Kevin Wagner, State Coordinating Office, Maryland Department of Natural Resources; Peter Zimmerman, Peoples Counsel; Dennis Kennedy, Chief, Development Plan Review Bureau; David Billingsley, Central Drafting & Design, Inc.

ORDER RECEIVED FOR FILING

Date 5/21/14

By DLN

KEVIN KAMENETZ  
County Executive



LAWRENCE M. STAHL  
Managing Administrative Law Judge  
JOHN E. BEVERUNGEN  
Administrative Law Judge

May 21, 2014

Robert Waldhauser  
40 Henry Avenue  
Baltimore, Maryland 21236

RE: Petition for Special Hearing  
Property: 1500-1580 Riderwood Dr.  
Case No.: 2014-0115-SPH

Dear Mr. Waldhauser:

Enclosed please find a copy of the decision rendered in the above-captioned matter.

In the event any party finds the decision rendered is unfavorable, any party may file an appeal to the Baltimore County Board of Appeals within thirty (30) days of the date of this Order. For further information on filing an appeal, please contact the Baltimore County Office of Administrative Hearings at 410-887-3868.

Sincerely,

A handwritten signature in black ink, appearing to read "JEB", with a long horizontal flourish extending to the right.

JOHN E. BEVERUNGEN  
Administrative Law Judge  
for Baltimore County

JEB:sln  
Enclosure

c: David Billingsley, 601 Charwood Ct., Edgewood, Maryland 21040  
Eric Rockel, 1610 Riderwood Dr., Lutherville, Maryland 21093  
Al Fischer, 1605 Trebor Ct., Lutherville, Maryland 21093  
Mel Timmons, 1715 Greenspring Drive, Lutherville, Maryland 21093





# PETITION FOR ZONING HEARING(S)

To be filed with the Department of Permits, Approvals and Inspections

To the Office of Administrative Law of Baltimore County for the property located at:

Address 1500-1508 RIDERWOOD DRIVE which is presently zoned BL  
Deed References: L. 33690 F. 49 10 Digit Tax Account # 2500009886  
Property Owner(s) Printed Name(s) ROBERT C. WALDHAUSER

(SELECT THE HEARING(S) BY MARKING **X** AT THE APPROPRIATE SELECTION AND PRINT OR TYPE THE PETITION REQUEST)

The undersigned legal owner(s) of the property situate in Baltimore County and which is described in the description and plan attached hereto and made a part hereof, hereby petition for:

1.  a **Special Hearing** under Section 500.7 of the Zoning Regulations of Baltimore County, to determine whether or not the Zoning Commissioner should approve

*SEE ATTACHED*

2.  a **Special Exception** under the Zoning Regulations of Baltimore County to use the herein described property for

3.  a **Variance** from Section(s)

of the zoning regulations of Baltimore County, to the zoning law of Baltimore County, for the following reasons: (Indicate below your hardship or practical difficulty or indicate below "TO BE PRESENTED AT HEARING". If you need additional space, you may add an attachment to this petition)

*TO BE PRESENTED AT HEARING*

Property is to be posted and advertised as prescribed by the zoning regulations.

I, or we, agree to pay expenses of above petition(s), advertising, posting, etc. and further agree to and are to be bounded by the zoning regulations and restrictions of Baltimore County adopted pursuant to the zoning law for Baltimore County.

Legal Owner(s) Affirmation: I / we do so solemnly declare and affirm, under the penalties of perjury, that I / We are the legal owner(s) of the property which is the subject of this / these Petition(s).

### Contract Purchaser/Lessee:

Name- Type or Print

Signature

Mailing Address City State

Zip Code Telephone # Email Address

### Attorney for Petitioner:

Name- Type or Print

Signature

Mailing Address City State

Zip Code Telephone # Email Address

### Legal Owners (Petitioners):

ROBERT C. WALDHAUSER

Name #1 - Type or Print Name #2 - Type or Print

*Robert Waldhauser*

Signature #1 Signature #2

40 HENRY AVENUE BALTO., MO.

Mailing Address City State

21236

Zip Code Telephone # Email Address

### Representative to be contacted:

DAVID BILLINGSLEY

Name - Type or Print

Signature

601 CHARWOOD CT EDGEWOOD, MO.

Mailing Address City State

21040 (410)679-8719, dwb0200@yahoo.com

Zip Code Telephone # Email Address

CASE NUMBER 2014-015

Filing Date 11/8/13

Do Not Schedule Dates: \_\_\_\_\_

Reviewer G.H.



a waiver pursuant to Section 500.6 (BCZR); Section 3112.0 (Building Code); and Sections 32-4-414, 32-4-107 (a)(2), 32-8-301 (BCC) to permit fill to be placed in a riverine floodplain and to permit a retaining wall to be constructed in a riverine floodplain in lieu of the required 20 foot setback from a riverine floodplain.

## ZONING DESCRIPTION

### **PARCEL AT REAR OF 1500 – 1510 RIDERWOOD DRIVE**

Beginning approximately 290 feet northeast of Seminary Avenue and 122 feet northwest of Riderwood Drive, thence:

- (1) S 56° 43' 00" W 147.87 feet, thence
- (2) N 63° 00' 00" W 28.00 feet, thence
- (3) N 60° 53' 43" E 162.18 feet, thence
- (4) S 33° 17' 00" E 12.50 feet to the place of beginning.

Containing 2809 square feet or 0.0645 acre of land, more or less.°

2014-0115 SPH

**BALTIMORE COUNTY, MARYLAND**  
**OFFICE OF BUDGET AND FINANCE**  
**MISCELLANEOUS CASH RECEIPT**

No. **105022**  
 Date: **11/8/13**

**PAID RECEIPT**

BUSINESS ACTUAL TIME DRW  
 11/08/2013 11/08/2013 08:51:52 5  
 5 NEG5 WALKIN TRSDS LFB  
 RECEIPT # 706521 11/08/2013 OFLW  
 Dept 5 529 ZONING VERIFICATION  
 NO. 105022  
 Recpt Tot \$500.00  
 \$500.00 CX 1.00 CA  
 Baltimore County, Maryland

Fund	Dept	Unit	Sub Unit	Rev Source/ Obj	Sub Rev/ Obj	Dept	Obj	BS Acct	Amount
001	806	0000		6150					500.00

Total: 500.00

Rec From: Dave Billingsley  
 For: Special Hearing Cas  
2014-0115-SPH

DISTRIBUTION  
 WHITE - CASHIER    PINK - AGENCY    YELLOW - CUSTOMER    GOLD - ACCOUNTING  
 PLEASE PRESS HARD!!!!

**CASHIER'S  
 VALIDATION**

**Bruce E. Doak Consulting, LLC**

3801 Baker Schoolhouse Road  
Freeland, MD 21053  
o 443-900-5535 m 410-419-4906  
bdoak@bruceedoakconsulting.com

**CERTIFICATE OF POSTING**

December 22, 2013

Re:

Case Number: 2014- 0115-SPH

Petitioner / Owner: Robert Waldhauser

Date of Hearing: January 10, 2014

Baltimore County Department of Permits, Approvals & Inspections  
County Office Building  
111 West Chesapeake Avenue, Room 111  
111 West Chesapeake Avenue Towson, MD 21204

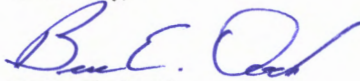
Attention: Kristen Lewis

Ladies and Gentlemen,

This letter is to certify under the penalties of perjury that the necessary sign(s) required by law were posted conspicuously on the property located at **1500 – 1508 Riderwood Drive**.

The sign(s) were posted on **December 20, 2013**.

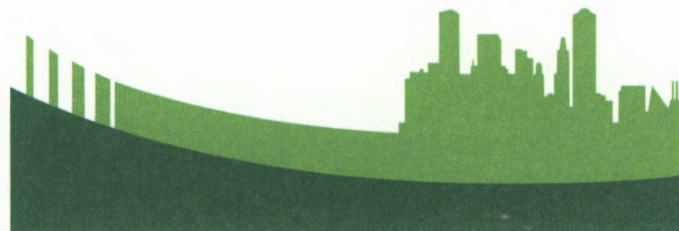
Sincerely,



Bruce E. Doak

MD Property Line Surveyor #531

**See the attached sheet(s) for the photos of the posted sign(s)**



Land Use Expert and Surveyor

# ZONING NOTICE

**CASE NO. 2014-0115-SPH**

**A PUBLIC HEARING WILL BE HELD BY THE  
ADMINISTRATIVE LAW JUDGE IN TOWSON  
MARYLAND**

**PLACE: Room 205 JEFFERSON BUILDING  
105 W. CHESAPEAKE AVENUE  
TOWSON, MD 21204**

**DATE&TIME: Friday January 10, 2014 11:00AM**

**SPECIAL HEARING** for a waiver pursuant to Section 50036 (BCZR), Section 3112.0 (Building Code) and to permit fill to be placed in a riverine floodplain and to permit a retaining wall to be constructed in a riverine floodplain in lieu of the required 20 foot setback from a riverine floodplain..

**POSTPONEMENTS DUE TO WEATHER OR OTHER CONDITIONS ARE SOMETIMES NECESSARY. TO CONFIRM THE HEARING CALL 410-687-3391. THE HEARING IS HANDICAPPED ACCESSIBLE**

**DO NOT REMOVE THIS SIGN AND POST UNTIL THE DAY OF THE HEARING UNDER PENALTY OF LAW.**







**THE BALTIMORE SUN  
MEDIA GROUP**

Baltimore, Maryland 21278-0001

December 19, 2013

THIS IS TO CERTIFY, that the annexed advertisement was published in the following newspaper published in Baltimore County, Maryland, ONE TIME, said publication appearing on December 19, 2013

The Jeffersonian

THE BALTIMORE SUN MEDIA GROUP

By: Susan Wilkinson

*Susan Wilkinson*

**NOTICE OF ZONING HEARING**

The Administrative Law Judges of Baltimore County, by authority of the Zoning Act and Regulations of Baltimore County will hold a public hearing in Towson, Maryland on the property identified herein as follows:

**Case: #2014-0115-SPH**

1500-1508 Riderwood Drive

NW/s Riderwood Drive, 290 ft. +/- of the centerline of W. Seminary Avenue

8th Election District - 3rd Councilmanic District

Legal Owner(s): Robert Waldhauser

**Special Hearing** for a waiver pursuant to Section 50036 (BCZR), Section 3112.0 (Building Code) and to permit fill to be placed in a riverine floodplain and to permit a retaining wall to be constructed in a riverine floodplain in lieu of the required 20 foot setback from a riverine floodplain.

**Hearing: Friday, January 10, 2014 at 1:30 p.m. in Room 206, Jefferson Building, 105 West Chesapeake Avenue, Towson 21204.**

ARNOLD JABLON, DIRECTOR OF PERMITS, APPROVALS AND INSPECTIONS FOR BALTIMORE COUNTY

NOTES: (1) Hearings are Handicapped Accessible; for special accommodations Please Contact the Administrative Hearings Office at (410) 887-3868.

(2) For information concerning the File and/or Hearing, Contact the Zoning Review Office at (410) 887-3391.

12/259 December 19

962569

**BALTIMORE COUNTY, MARYLAND**  
**OFFICE OF BUDGET AND FINANCE**  
**MISCELLANEOUS CASH RECEIPT**

No. 94643  
 Date: 6/20/14

PAID RECEIPT  
 BALANCE WHEN PAID  
 6/20/2014 12:00:00 PM  
 RECEIVED BY: [unclear]  
 RECEIPT # 32034 6/20/2014  
 BALTIMORE COUNTY, MARYLAND  
 RECEIPT FOR  
 RECEIVED BY: [unclear]  
 BALTIMORE COUNTY, MARYLAND

Fund	Dept	Unit	Sub Unit	Rev Source/ Obj	Sub Rev/ Sub Obj	Dept Obj	BS Acct	Amount
001	806	000			6150			265.00

Total: 265.00

Rec From: Central Drafting - David Biedingley  
 For: Case # 2014-0115-SPH  
CK # 8158  
1500-1580 Riderul M.

**DISTRIBUTION**  
 WHITE - CASHIER    PINK - AGENCY    YELLOW - CUSTOMER    GOLD - ACCOUNTING  
 PLEASE PRESS HARD!!!!

**CASHIER'S  
 VALIDATION**

**CENTRAL DRAFTING AND DESIGN  
601 CHARWOOD COURT  
EDGEWOOD, MARYLAND 21040  
(410) 679-8719 FAX (410) 679-1298**

June 20, 2014

Office of Administrative Hearings  
105 West Chesapeake Avenue, Suite 103  
Towson, Maryland 21204

**RECEIVED**

**JUN 20 2014**

**OFFICE OF ADMINISTRATIVE HEARINGS**

RE: 1500 – 1508 RIDERWOOD DRIVE  
CASE NO. 2014-0115-SPH

Gentlemen:

We wish to file an appeal of the decision rendered for the referenced case. The appropriate fee is enclosed with this request.

Thank you for your consideration in this matter.

Very truly yours,



David W. Billingsley

Cc: Robert Waldhauser



TO: PATUXENT PUBLISHING COMPANY  
Tuesday, December 10, 2013 Issue - Jeffersonian

Please forward billing to:

Central Drafting & Design  
Attn: David Billingsley  
601 Charwood Ct  
Edgewood, MD 21040

410-679-8719

---

## NOTICE OF ZONING HEARING

The Administrative Law Judge of Baltimore County, by authority of the Zoning Act and Regulations of Baltimore County, will hold a public hearing in Towson, Maryland on the property identified herein as follows:

**CASE NUMBER: 2014-0115-SPH**

1500-1508 Riderwood Drive

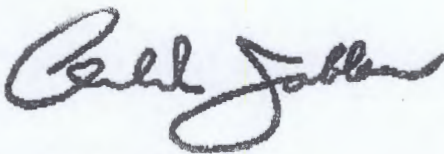
NW/s Riderwood Drive, 290 ft. +/- NE of the centerline of W. Seminary Avenue

8<sup>th</sup> Election District – 3<sup>rd</sup> Councilmanic District

Legal Owners: Robert Waldhauser

Special Hearing for a waiver pursuant to Section 50036 (BCZR), Section 3112.0 (Building Code) and to permit fill to be placed in a riverine floodplain and to permit a retaining wall to be constructed in a riverine floodplain in lieu of the required 20 foot setback from a riverine floodplain.

Hearing: Monday, December 30, 2013 at 1:30 p.m. in Room 206, Jefferson Building,  
105 West Chesapeake Avenue, Towson 21204



Arnold Jablon  
Director of Permits, Approvals and Inspections for Baltimore County

- NOTES: (1) HEARINGS ARE HANDICAPPED ACCESSIBLE; FOR SPECIAL ACCOMODATIONS, PLEASE CONTACT THE ADMINISTRATIVE HEARINGS OFFICE AT 410-887-3868.
- (2) FOR INFORMATION CONCERNING THE FILE AND/OR HEARING, CONTACT THE ZONING REVIEW OFFICE AT 410-887-3391.



KEVIN KAMENETZ  
County Executive

December 2, 2013

ARNOLD JABLON  
Deputy Administrative Officer  
Director, Department of Permits,  
Approvals & Inspections

## NOTICE OF ZONING HEARING

The Administrative Law Judges of Baltimore County, by authority of the Zoning Act and Regulations of Baltimore County, will hold a public hearing in Towson, Maryland on the property identified herein as follows:

**CASE NUMBER: 2014-0115-SPH**

1500-1508 Riderwood Drive

NW/s Riderwood Drive, 290 ft. +/- NE of the centerline of W. Seminary Avenue

8<sup>th</sup> Election District – 3<sup>rd</sup> Councilmanic District

Legal Owners: Robert Waldhauser

Special Hearing for a waiver pursuant to Section 50036 (BCZR), Section 3112.0 (Building Code) and to permit fill to be placed in a riverine floodplain and to permit a retaining wall to be constructed in a riverine floodplain in lieu of the required 20 foot setback from a riverine floodplain.

Hearing: Monday, December 30, 2013 at 1:30 p.m. in Room 206, Jefferson Building,  
105 West Chesapeake Avenue, Towson 21204

A handwritten signature in black ink, appearing to read "Arnold Jablon".

Arnold Jablon  
Director

AJ:kl

C: Robert Waldhauser, 40 Henry Avenue, Baltimore 21236  
David Billingsley, 601 Charwood Court, Edgewood 21040

- NOTES: (1) **THE PETITIONER MUST HAVE THE ZONING NOTICE SIGN POSTED BY AN APPROVED POSTER ON THE PROPERTY BY TUESDAY, DECEMBER 10, 2013.**
- (2) HEARINGS ARE HANDICAPPED ACCESSIBLE; FOR SPECIAL ACCOMMODATIONS PLEASE CALL THE ADMINISTRATIVE HEARINGS OFFICE AT 410-887-3868.
- (3) FOR INFORMATION CONCERNING THE FILE AND/OR HEARING, CONTACT THE ZONING REVIEW OFFICE AT 410-887-3391.



**DEPARTMENT OF PERMITS AND DEVELOPMENT MANAGEMENT  
ZONING REVIEW**

**ADVERTISING REQUIREMENTS AND PROCEDURES FOR ZONING HEARINGS**

The Baltimore County Zoning Regulations (BCZR) require that notice be given to the general public/neighborhood property owners relative to property which is the subject of an upcoming zoning hearing. For those petitions which require a public hearing, this notice is accomplished by posting a sign on the property (responsibility of the petitioner) and placement of a notice in a newspaper of general circulation in the County, both at least fifteen (15) days before the hearing.

Zoning Review will ensure that the legal requirements for advertising are satisfied. However, the petitioner is responsible for the costs associated with these requirements. The newspaper will bill the person listed below for the advertising. This advertising is due upon receipt and should be remitted directly to the newspaper.

**OPINIONS MAY NOT BE ISSUED UNTIL ALL ADVERTISING COSTS ARE PAID.**

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**For Newspaper Advertising:**

Item Number or Case Number: 2014-0115-SPH  
Petitioner: ROBERT WALDHAUSER  
Address or Location: REAR OF 1500-1510 RIDERWOOD DRIVE

PLEASE FORWARD ADVERTISING BILL TO:

Name: CENTRAL DRAFTING & DESIGN  
Address: 601 CHARWOOD CT  
EDGEWOOD MD 21040  
Telephone Number: (410) 679-8719



KEVIN KAMENETZ  
County Executive  
December 12, 2013

ARNOLD JABLON  
Deputy Administrative Officer  
Director, Department of Permits,  
Approvals & Inspections

## NOTICE OF ZONING HEARING

The Administrative Law Judges of Baltimore County, by authority of the Zoning Act and Regulations of Baltimore County, will hold a public hearing in Towson, Maryland on the property identified herein as follows:

**CASE NUMBER: 2014-0115-SPH**

1500-1508 Riderwood Drive  
NW/s Riderwood Drive, 290 ft. +/- NE of the centerline of W. Seminary Avenue  
8<sup>th</sup> Election District – 3<sup>rd</sup> Councilmanic District  
Legal Owners: Robert Waldhauser

Special Hearing for a waiver pursuant to Section 50036 (BCZR), Section 3112.0 (Building Code) and to permit fill to be placed in a riverine floodplain and to permit a retaining wall to be constructed in a riverine floodplain in lieu of the required 20 foot setback from a riverine floodplain.

Hearing: Friday, January 10, 2014 at 11:00 a.m. in Room 206, Jefferson Building,  
105 West Chesapeake Avenue, Towson 21204

A handwritten signature in black ink, appearing to read "Arnold Jablon".

Arnold Jablon  
Director

AJ:kl

C: Robert Waldhauser, 40 Henry Avenue, Baltimore 21236  
David Billingsley, 601 Charwood Court, Edgewood 21040

- NOTES: (1) **THE PETITIONER MUST HAVE THE ZONING NOTICE SIGN POSTED BY AN APPROVED POSTER ON THE PROPERTY BY SAT., DECEMBER 21, 2013.**
- (2) HEARINGS ARE HANDICAPPED ACCESSIBLE; FOR SPECIAL ACCOMMODATIONS PLEASE CALL THE ADMINISTRATIVE HEARINGS OFFICE AT 410-887-3868.
- (3) FOR INFORMATION CONCERNING THE FILE AND/OR HEARING, CONTACT THE ZONING REVIEW OFFICE AT 410-887-3391.

TO: PATUXENT PUBLISHING COMPANY  
Thursday, December 19, 2013 Issue - Jeffersonian

Please forward billing to:

Central Drafting & Design  
Attn: David Billingsley  
601 Charwood Ct  
Edgewood, MD 21040

410-679-8719

---

## NOTICE OF ZONING HEARING

The Administrative Law Judge of Baltimore County, by authority of the Zoning Act and Regulations of Baltimore County, will hold a public hearing in Towson, Maryland on the property identified herein as follows:

**CASE NUMBER: 2014-0115-SPH**

1500-1508 Riderwood Drive

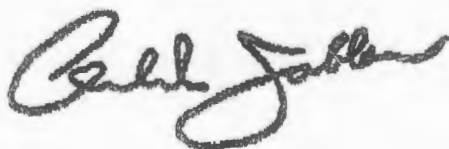
NW/s Riderwood Drive, 290 ft. +/- NE of the centerline of W. Seminary Avenue

8<sup>th</sup> Election District – 3<sup>rd</sup> Councilmanic District

Legal Owners: Robert Waldhauser

Special Hearing for a waiver pursuant to Section 50036 (BCZR), Section 3112.0 (Building Code) and to permit fill to be placed in a riverine floodplain and to permit a retaining wall to be constructed in a riverine floodplain in lieu of the required 20 foot setback from a riverine floodplain.

Hearing: Friday, January 10, 2014 at 1:30 p.m. in Room 206, Jefferson Building,  
105 West Chesapeake Avenue, Towson 21204



Arnold Jablon

Director of Permits, Approvals and Inspections for Baltimore County

- NOTES: (1) HEARINGS ARE HANDICAPPED ACCESSIBLE; FOR SPECIAL ACCOMODATIONS, PLEASE CONTACT THE ADMINISTRATIVE HEARINGS OFFICE AT 410-887-3868.
- (2) FOR INFORMATION CONCERNING THE FILE AND/OR HEARING, CONTACT THE ZONING REVIEW OFFICE AT 410-887-3391.





## Board of Appeals of Baltimore County

JEFFERSON BUILDING  
SECOND FLOOR, SUITE 203  
105 WEST CHESAPEAKE AVENUE  
TOWSON, MARYLAND, 21204  
410-887-3180  
FAX: 410-887-3182

July 2, 2014

### **NOTICE OF ASSIGNMENT**

**IN THE MATTER OF:** Robert C. Waldhauser  
1500-1508 Riderwood Drive  
14-115-SPH 8<sup>th</sup> Election District; 3<sup>rd</sup> Councilmanic District

RE: Petition for Special Hearing requesting:  
1) Waiver pursuant to B.C.Z.R. §500.6; §3112.0 (Building Code); and B.C.C. §§ 32-4-414 & 32-4-107(a); and  
2) to permit fill to be placed in a riverine floodplain; and  
3) to permit a retaining wall to be constructed in a riverine floodplain in lieu of the required 20 ft. setback from a riverine floodplain.

5/21/14 Order and Opinion of the ALJ wherein the Petition for Special Hearing was granted, with conditions.

6/13/14 Motion for Reconsideration filed by David W. Billingsley, on behalf of Petitioner, requesting fixed deposit to be made to Baltimore County be reduced from \$15,000.00 to \$2,500.00.

6/20/14 Response from Judge Beverungen advising he is unable to reduce the deposit.

**ASSIGNED FOR: TUESDAY, SEPTEMBER 23, 2014, AT 10:00 A.M.**

**LOCATION:** Hearing Room #2, Second Floor, Suite 206  
Jefferson Building, 105 W. Chesapeake Avenue, Towson

**NOTICE:** This appeal is an evidentiary hearing; therefore, parties should consider the advisability of retaining an attorney.

Please refer to the Board's Rules of Practice & Procedure, Appendix B, Baltimore County Code.

**IMPORTANT:** No postponements will be granted without sufficient reasons; said requests must be in writing and in compliance with Rule 2(b) of the Board's Rules. No postponements will be granted within 15 days of scheduled hearing date unless in full compliance with Rule 2(c).

If you have a disability requiring special accommodations, please contact this office at least one week prior to hearing date.

For further information, including our inclement weather policy, please visit our website [www.baltimorecountymd.gov/Agencies/appeals/index.html](http://www.baltimorecountymd.gov/Agencies/appeals/index.html)

**Krysundra "Sunny" Cannington  
Administrator**

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c: See attached Distribution List



Notice of Assignment  
Distribution List  
July 2, 2014  
Page 2

Petitioner/LO	: Robert C. Waldhauser
Protestants	: Eric Rockel, Al Fischer, Mel Timmons

David W. Billingsley/Central Drafting and Design  
Julie Szymaszek, President/Lutherville Community Association

Office of People's Counsel  
Lawrence M. Stahl, Managing Administrative Law Judge  
Arnold Jablon, Director/PAI  
Andrea Van Arsdale, Director/Department of Planning  
Edward Adams, Jr., Director/DPW  
Nancy West, Assistant County Attorney  
Michael Field, County Attorney, Office of Law



KEVIN KAMENETZ  
*County Executive*

ARNOLD JABLON  
*Deputy Administrative Officer  
Director, Department of Permits,  
Approvals & Inspections*

January 8, 2014

Robert C. Waldhauser  
40 Henry Avenue  
Baltimore MD 21236

RE: Case Number: 2014-0115 SPH, Address: 1500-1508 Riderwood Drive

Dear Mr. Waldhauser:

The above referenced petition was accepted for processing **ONLY** by the Bureau of Zoning Review, Department of Permits, Approvals, and Inspection (PAI) on November 8, 2013. This letter is not an approval, but only a **NOTIFICATION**.

The Zoning Advisory Committee (ZAC), which consists of representatives from several approval agencies, has reviewed the plans that were submitted with your petition. All comments submitted thus far from the members of the ZAC are attached. These comments are not intended to indicate the appropriateness of the zoning action requested, but to ensure that all parties (zoning commissioner, attorney, petitioner, etc.) are made aware of plans or problems with regard to the proposed improvements that may have a bearing on this case. All comments will be placed in the permanent case file.

If you need further information or have any questions, please do not hesitate to contact the commenting agency.

Very truly yours,

A handwritten signature in black ink that reads "W. Carl Richards, Jr." in a cursive style.

W. Carl Richards, Jr.  
Supervisor, Zoning Review

WCR: jaf

Enclosures

c: People's Counsel  
David Billingsley, 601 Charwood Court, Edgewood MD 21040

Martin O'Malley, Governor |  
Anthony G. Brown, Lt. Governor



James T. Smith, Jr., Secretary  
Melinda B. Peters, Administrator

Date: 11-20-13

Ms. Kristen Lewis  
Baltimore County Office of  
Permits and Development Management  
County Office Building, Room 109  
Towson, Maryland 21204


RE: Baltimore County  
Item No. 2014-0115-SPH  
Special Hearing  
Robert C. Waldhauser  
1500-1508 Riderwood Drive

Dear Ms. Lewis:

Thank you for the opportunity to review your referral request on the subject of the above captioned. We have determined that the subject property does not access a State roadway and is not affected by any State Highway Administration projects. Therefore, based upon available information this office has no objection to Baltimore County Zoning Advisory Committee approval of Item No. 2014-0115-SPH.

Should you have any questions regarding this matter, please contact Richard Zeller at 410-545-5598 or 1-800-876-4742 extension 5598. Also, you may E-mail him at (rzeller@sha.state.md.us).

Sincerely,

  
for Steven D. Foster, Chief/  
Development Manager  
Access Management Division

SDF/raz

My telephone number/toll-free number is \_\_\_\_\_  
Maryland Relay Service for Impaired Hearing or Speech 1.800.735.2258 Statewide Toll Free

**BALTIMORE COUNTY, MARYLAND**  
**INTEROFFICE CORRESPONDENCE**

**TO:** Arnold Jablon, Director  
Department of Permits, Approvals  
And Inspections

**FROM:** <sup>DAK</sup> Dennis A. Kennedy, Supervisor  
Bureau of Development Plans Review

**SUBJECT:** Zoning Advisory Committee Meeting  
For November 25, 2013  
Item No. 2014-0115

**DATE:** November 20, 2013

The Bureau of Development Plans Review has reviewed the subject zoning item and we have the following comment.

The Director of Public Works will comment on this.

DAK: CEN.  
Cc: file.  
ZAC-ITEM NO 14-0115-11252013.doc



**From:** Jeanette Tansey  
**To:** kmatthews@baltimorecountymd.gov  
**Date:** 11/14/2013 4:39 PM  
**Subject:** ZAC Agenda due 11/25/13

Following are the comments for the Department of Recreation and Parks regarding Local Open Space on the above noted agenda:

2014-0115-SPH - This appears to be within the Roland Run environmental greenway, therefore approval is not recommended.

2014-0116-SPHA - No comment

2014-0117-A - No comment

2014-0118-A - No comment

2014-0119-A - No comment

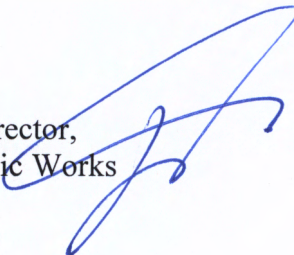
Jeanette M. S. Tansey, R.L.A.  
Development Plans Review  
Department of Permits, Approvals and Inspections  
111 W. Chesapeake Ave, Rm 119  
Towson, MD 21204  
410-887-3751  
410-887-2877 Fax  
jtansey@baltimorecountymd.gov

BALTIMORE COUNTY, MARYLAND

INTER OFFICE CORRESPONDENCE

**TO:** Arnold Jablon, Director, Permits & Development Management  
And Deputy County Administrative Officer

**ATTN:** Kristen Matthews  
MS 1105

**FROM:** Edward Adams, Director,  
Department of Public Works 

**DATE:** November 22, 2013

**SUBJECT:** Case No. 2014-0115-SPH  
1500-1508 Riderwood Drive (Tax Account No. 25-00-009886)  
Waldhauser Property

Section 32-8-303 (c) of the Baltimore County Code concerning waivers to the floodplain regulations says, "In considering a waiver action, comments from the state coordinating office and the County Department of Public Works shall be taken into account and maintained with the permit file." This memo is the comment from the Department of Public Works for the subject waiver.

The fill and retaining wall have been constructed in a riverine floodplain area. The floodplain area is delineated on the Federal Flood Insurance Rate Map 240010-0245F, effective August 2, 2011. The wall construction is substantially complete at the time of this writing.

Please note that the ZAC agenda incorrectly designates this case as not being in floodplain.

Section 32-4-414 of the Baltimore County Code prohibits development in the riverine floodplain. DPW Design Manual Plate DF-1 requires a minimum setback from structure walls to the 100-year floodplain. In order to receive a favorable recommendation from this office the petitioner must:

1. Provide certification by a licensed Professional Engineer that the construction creates **no** offsite impact from increased risk of flooding, with supporting calculations, for County Review & Approval.
2. Provide all supporting documentation for the flood certification and a \$15,000 fixed deposit to allow the County to revise a flood study presently in progress by a County engineering contractor.

3. Acquire the necessary State and Federal permits to do work in the waterway and provide evidence of same to the County.
4. Submit a Letter of Map Revision based on Fill (LOMR-F) to amend the Federal Flood Insurance Rate Map to reflect the change to the floodplain and receive approval for same.
5. Address all community concerns with respect to the petition to the satisfaction of the Administrative Law Judge.

**This department takes no exception to approval of the waiver, subject to the conditions noted above, and requests that the conditions be included in the Administrative Law Judge's order.**

ECA/DLT/s

Attachment: Portion of FIRM map 240010-0245F

CC: Kevin Wagner, State Coordinating Office, Maryland Department of Natural Resources; Peter Zimmerman, Peoples Counsel; Dennis Kennedy, Chief, Development Plan Review Bureau; David Billingsley, Central Drafting & Design, Inc.





0.2% ANNUAL CHANCE  
FLOOD DISCHARGE  
CONTAINED IN CULVERT

JOINS PANEL 0265

43 63 000m N

43 64 000m N

43 65 000m N



PANEL 0245F

# FIRM

FLOOD INSURANCE RATE MAP

BALTIMORE COUNTY,  
MARYLAND  
UNINCORPORATED AREAS

PANEL 245 OF 580

(SEE MAP INDEX FOR FIRM PANEL LAYOUT)

CONTAINS:

<u>COMMUNITY</u>	<u>NUMBER</u>	<u>PANEL</u>	<u>SUFFIX</u>
BALTIMORE COUNTY	240010	0245	F

Notice to User: The Map Number shown below should be used when placing map orders; the Community Number shown above should be used on insurance applications for the subject community.



MAP NUMBER

2400100245F

MAP REVISED  
AUGUST 2, 2011

Federal Emergency Management Agency

the following address



RE: PETITION FOR SPECIAL HEARING \* BEFORE THE OFFICE  
 1500-1508 Riderwood Drive; NW/S Riderwood \*  
 Drive, 290' NW of c/line W. Seminary Avenue\* OF ADMINISTRATIVE  
 8<sup>th</sup> Election & 3<sup>rd</sup> Councilmanic Districts HEARINGS FOR  
 Legal Owner(s): Robert C. Waldhauser \*  
 Petitioner(s) \* BALTIMORE COUNTY  
 \* 2014-115-SPH

\* \* \* \* \*

**ENTRY OF APPEARANCE**

Pursuant to Baltimore County Charter § 524.1, please enter the appearance of People’s Counsel for Baltimore County as an interested party in the above-captioned matter. Notice should be sent of any hearing dates or other proceedings in this matter and the passage of any preliminary or final Order. All parties should copy People’s Counsel on all correspondence sent and all documentation filed in the case.

RECEIVED  
 NOV 25 2013  
 .....

*Peter Max Zimmerman*

\_\_\_\_\_  
 PETER MAX ZIMMERMAN  
 People’s Counsel for Baltimore County

*Carole S Demilio*

\_\_\_\_\_  
 CAROLE S. DEMILIO  
 Deputy People’s Counsel  
 Jefferson Building, Room 204  
 105 West Chesapeake Avenue  
 Towson, MD 21204  
 (410) 887-2188

**CERTIFICATE OF SERVICE**

I HEREBY CERTIFY that on this 25th day of November, 2013, a copy of the foregoing Entry of Appearance was mailed to David Billingsley, Central Drafting & Design, Inc, 601 Charwood Court, Edgewood, Maryland 21040, Representative for Petitioner(s).

*Peter Max Zimmerman*

\_\_\_\_\_  
 PETER MAX ZIMMERMAN  
 People’s Counsel for Baltimore County



KEVIN KAMENETZ  
County Executive

LAWRENCE M. STAHL  
Managing Administrative Law Judge  
JOHN E. BEVERUNGEN  
Administrative Law Judge

June 23, 2014

RECEIVED  
JUN 23 2014

BALTIMORE COUNTY  
BOARD OF APPEALS

Robert Waldhauser  
40 Henry Avenue  
Baltimore, Maryland 21236

RE: **APPEAL TO BOARD OF APPEALS**  
Case No. 2014-0115-SPHA  
Location: 1500-1508 Riderwood Dr.

Dear Mr. Waldhauser:

Please be advised that an appeal of the above-referenced case was filed in this Office on June 20, 2014. All materials relative to the case have been forwarded to the Baltimore County Board of Appeals ("Board").

If you are the person or party taking the appeal, you should notify other similarly interested parties or persons known to you of the appeal. If you are an attorney of record, it is your responsibility to notify your client.

If you have any questions concerning this matter, please do not hesitate to contact the Board at 410-887-3180.

Sincerely,

LAWRENCE M. STAHL  
Managing Administrative Law Judge  
for Baltimore County

LMS/sln

c: Baltimore County Board of Appeals  
People's Counsel for Baltimore County  
David Billingsley, 601 Charwood Ct., Edgewood, Maryland 21040  
Eric Rockel, 1610 Riderwood Dr., Lutherville, Maryland 21093  
Al Fischer, 1605 Trebor Ct., Lutherville, Maryland 21093  
Mel Timmons, 1715 Greenspring Drive, Lutherville, Maryland 21093  
Office of Administrative Hearings  
105 West Chesapeake Avenue, Suite 103 | Towson, Maryland 21204 | Phone 410-887-3868 | Fax 410-887-3468  
[www.baltimorecountymd.gov](http://www.baltimorecountymd.gov)

APPEAL

Petitions for Special Hearing  
(1500-1508 Riderwood Dr.)  
8<sup>th</sup> Election District – 3<sup>rd</sup> Councilmanic District  
Legal Owner: Robert Waldhauser  
Case No. 2014-0115-SPH

RECEIVED

JUN 23 2014

BALTIMORE COUNTY  
BOARD OF APPEALS

- ✓ Petition for Special Hearing (November 8, 2013)
- ✓ Zoning Description of Property
- ✓ Notice of Zoning Hearing (December 12, 2013)
- ✓ Certificate of Publication (December 19, 2013)
- ✓ Certificate of Posting (December 20, 2013) Bruce Doak
- ✓ Entry of Appearance by People's Counsel (November 25, 2013)
- ✓ Petitioner(s) Sign-in Sheet – One
- ✓ Citizen(s) Sign-in Sheet – One
- ✓ Zoning Advisory Committee Comments
- ✓ Petitioner(s) Exhibits -
  - ✓ 1. Plan
  - ✓ 2. SDAT Record
  - ✓ 3. Deed 1500-08 Riderwood
  - ✓ 4. SDAT Record
  - ✓ 5. Deed- prop. From Church
  - ✓ 6. DRC plan
  - ✓ 7. DRC approval
  - ✓ 8. Plan for bldg. permit
  - ✓ 9. Landscape plan
  - ✓ 10. Grading permit
  - ✓ 11. Building permit-wall
  - ✓ 12. 12a-12d photos
  - ✓ 13. 13a-13h: photos
  - ✓ 14. Aerial photos
  - ✓ 15. Aerial photo
  - ✓ 16. Cross section
- ✓ Protestants' Exhibits –
  - ✓ 1. Map w/shaded A,B & C portions
  - ✓ 2. FEMA letter of map amdt.
- ✓ Miscellaneous (Not Marked as Exhibits) –e-mails and letter

Administrative Law Judge Order and Letter (GRANTED on May 21, 2014)

Request for Motion for Reconsideration from: June 13, 2014 from David W. Billingsley Central Drafting and Design, Inc.

Administrative Law Judge e-mail on Motion for Reconsideration (unable to reduce the deposit amount, June 20, 2014)

Notice of Appeal --June 20, 2014, David Billingsley from Central Drafting and Design



**Address List**

*Petitioner:*

Robert C. Waldhauser  
40 Henry Avenue  
Baltimore, MD 21236

David W. Billingsley  
Central Drafting and Design  
601 Charwood Court  
Edgewood, MD 21040

*Protestants:*

Eric Rockel  
1610 Riderwood Drive  
Lutherville, MD 21093

Al Fischer  
1605 Trebor Court  
Lutherville, MD 21093

Mel Timmons  
1715 Greenspring Drive  
Lutherville, MD 21093

*Interested Person:*

Julie Szymaszek, President  
Lutherville Community Association  
P.O. Box 6  
Lutherville, MD 21094

*Interoffice:*

Office of People's Counsel  
Lawrence M. Stahl, Managing Administrative Law Judge  
Arnold Jablon, Director/PAI  
Andrea Van Arsdale, Director/Department of Planning  
Edward Adams, Jr., Director/DPW  
Nancy West, Assistant County Attorney -  
Michael Field, County Attorney, Office of Law

**From:** David Billingsley <dwb0209@yahoo.com>  
**To:** Kristen Lewis <klewis@baltimorecountymd.gov>  
**Date:** 12/5/2013 4:15 PM  
**Subject:** 1500 - 1508 Riderwood Drive Case No. 2014-0115-SPH

Kristen

Per our discussion this morning, please cancel the hearing for the referenced case. I will stop by tomorrow or Monday to get a couple of dates that may be available after the first of the year.

Thanks

Dave Billingsley  
Central Drafting and Design  
(410) 679-8719 Office  
(410) 458-1401 Cell

**Administrative Hearings - 1500 - 1508 Riderwood Drive Case No. 2014-0115-SPH**

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**From:** David Billingsley <dwb0209@yahoo.com>  
**To:** "administrativehearings@baltimorecountymd.gov" <administrativehearings@b...>  
**Date:** 1/9/2014 12:18 PM  
**Subject:** 1500 - 1508 Riderwood Drive Case No. 2014-0115-SPH  
**Attachments:** Tansey - Riserwood.pdf

---

Please place the attached correspondence in the subject case folder

Thanks

**Dave Billingsley**  
**Central Drafting and Design**  
**(410) 679-8719 Office**  
**(410) 458-1401 Cell**

**CENTRAL DRAFTING AND DESIGN, INC.**

**601 CHARWOOD COURT  
EDGEWOOD, MARYLAND 21040  
(410) 679-8719 FAX (410) 679-1298**

January 9, 2014

Jeanette M. S. Tansey, R.L.A.  
Development Plans Review  
Department of Permits, Approvals and Inspections  
111 W. Chesapeake Avenue, Room 119  
Towson, Md. 21204

RE: Riderwood Drive Retaining Wall  
Case No. 2014-0115-SPH

Dear Ms. Tansey:

Per our discussion, it is my understanding that you have no objection to the granting of a waiver to permit the subject stone retaining wall (between 4 and 7 feet high) constructed on property not owned by Baltimore County within the Roland Run Greenway.

If you concur with the above, please sign below in the space provided.

Thank you for your cooperation.

Very truly yours,

*David W. Billingsley*

David W. Billingsley

I concur with the above:

*Jeanette M. S. Tansey*  
Jeanette Tansey R.L.A./  
PROJECT MANAGER, DPR  
FOR RECREATION & PARKS

*1.9.14*

Date



**John Beverungen - Case No. 2014-115-SPH**

---

**From:** John Beverungen  
**To:** dwb0209@yahoo.com; erockel@earthlink.net; jffischer3@comcast.net; mel...  
**Date:** 1/10/2014 4:01 PM  
**Subject:** Case No. 2014-115-SPH  
**CC:** David Thomas; Debra Wiley; Sherry Nuffer

---

To all:

The hearing in the above case was concluded today. As discussed, the Petitioner will have 6 weeks (until February 21st) in which to submit to the Department of Public Works and this Office a certification from a licensed professional engineer that the retaining wall construction creates no off-site impact from increased risk of flooding, as detailed in item #1 of the DPW memorandum dated November 22, 2013, which is included in the case file,

Mr. Rockel will be provided a copy of the certification, and he will be given the opportunity to present the matter to the Lutherville-Timonium community association. Thereafter, he should contact the undersigned and indicate what action, if any, the community took with respect to the Petition in this case.

John Beverungen  
ALJ

**John Beverungen - Re: Case No. 2014-0115-SPH**

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**From:** John Beverungen  
**To:** David Billingsley  
**Date:** 2/18/2014 10:53 AM  
**Subject:** Re: Case No. 2014-0115-SPH  
**CC:** David Thomas; Eric Rockel

---

Mr. Billingsley,

I will extend the due date for the study and certification until March 17, 2014, as requested.

John Beverungen  
ALJ

>>> David Billingsley <dwb0209@yahoo.com> 2/12/2014 7:12 AM >>>  
Judge Beverungen:

Due to the recent weather, we have not completed the field work necessary to revise the flood study as discussed at the hearing. I am requesting that the time to submit the study and certification be extended until March 17, 2014.

I spoke to Eric Rockel yesterday and he has no objection to the extension.  
Thank you for your consideration.

**Dave Billingsley**  
**Central Drafting and Design**  
**(410) 679-8719 Office**  
**(410) 458-1401 Cell**

**Debra Wiley - Re: Case 2014-0115-SPH, Property Owner, Robert Waldhauser**

---

**From:** John Beverungen  
**To:** erockearthlink.net  
**Date:** 4/8/2014 2:04 PM  
**Subject:** Re: Case 2014-0115-SPH, Property Owner, Robert Waldhauser  
**CC:** David Thomas; Debra Wiley; Sherry Nuffer

---

Mr. Rockel,

Thanks for your e-mail. I have not received anything further on this case. I am copying Dave Thomas, and would ask if he would please update me with the status of this matter.

John Beverungen  
ALJ

>>> "erockearthlink.net" <erockel@earthlink.net> 4/8/2014 12:58 PM >>>

I was wondering if you have received the engineering review of the floodplain impacts concerning the above referenced case? I had no problem with the engineer's request to extend the study time before submitting the findings, but it seems to me that at almost 3 months since the close of the hearing on Jan. 10th that the case should come to a close if the material is still forthcoming.

Eric Rockel



**Debra Wiley - Re: Case 2014-0115-SPH, Property Owner, Robert Waldhauser**

---

**From:** David Thomas  
**To:** Beverungen, John  
**Date:** 4/14/2014 10:42 AM  
**Subject:** Re: Case 2014-0115-SPH, Property Owner, Robert Waldhauser  
**CC:** Billingsley, Dave; Nuffer, Sherry; Wiley, Debra; erockearthlink.net

---

I met with David Billingsley 9:00 AM this morning 4/14/14 and gave him the computer files needed from the Roland Run Hydraulic Study so his firm can verify whether there is any impact on floodplain elevations from the wall in question. I personally checked the files to make sure they run in the HEC-RAS application software to be used for this purpose.

I made it clear to Mr. Billingsley that his response to Judge Beverungen is seriously behind schedule and that to avoid any increase to the risk of an adverse decision for failure to respond in a timely fashion he must get results to us no later than the end of this week.

Dave Thomas

David L. Thomas  
Baltimore County DPW  
[\(410\) 887-3984](tel:(410)887-3984)

>>> John Beverungen 4/8/2014 2:04 PM >>>  
Mr. Rockel,

Thanks for your e-mail. I have not received anything further on this case. I am copying Dave Thomas, and would ask if he would please update me with the status of this matter.

John Beverungen  
ALJ

>>> "erockearthlink.net" <erockel@earthlink.net> 4/8/2014 12:58 PM >>>

I was wondering if you have received the engineering review of the floodplain impacts concerning the above referenced case? I had no problem with the engineer's request to extend the study time before submitting the findings, but it seems to me that at almost 3 months since the close of the hearing on Jan. 10th that the case should come to a close if the material is still forthcoming.

Eric Rockel

**John Beverungen - Case No. 2014-0115-SPH Riderwood Drive**

---

**From:** David Billingsley <dwb0209@yahoo.com>  
**To:** John Beverungen <jbeverungen@baltimorecountymd.gov>, Dave Thomas <dthoma...>  
**Date:** 4/18/2014 4:20 PM  
**Subject:** Case No. 2014-0115-SPH Riderwood Drive  
**CC:** Eric Rockel <erockel@earthlink.net>

---

Gentlemen:

As Dave Thomas mentioned in his email on Monday, we met in his office to review problems my office was having in entering the revised data into the HEC-RAS portion of the flood study. Dave re-copied the existing input data onto a new disc and the problem has been resolved. The new field data is being added this morning and I should have the revised print out later this afternoon. It is my intention to forward the data to Dave by email, then follow up with a disc, plan and sealed certification Monday afternoon or Tuesday morning. I will copy all with same.

I apologize for the delay in getting the information submitted earlier. I do understand the importance in bringing this issue to a close so the order can be written and any other issues resolved.

Thank you all for your cooperation and patience in this matter. There will be no additional delays.

**Dave Billingsley**  
**Central Drafting and Design**  
**(410) 679-8719 Office**  
**(410) 458-1401 Cell**

**Debra Wiley - Re: Case 2014-0115-SPH, Property Owner, Robert Waldhauser**

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**From:** David Thomas  
**To:** Beverungen, John  
**Date:** 5/14/2014 1:59 PM  
**Subject:** Re: Case 2014-0115-SPH, Property Owner, Robert Waldhauser  
**CC:** Curtis, Terry; Nuffer, Sherry; Wiley, Debra; erocklearthlink.net  
**Attachments:** Waiver Comments ECA to AJ signed.pdf

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Judge Beverungen,

Our office received a flood study dated April 21, 2014 for this case. It was reviewed and some comments were generated, but the study itself is sealed by a PE and indicates no increase in flooding due to the construction of the wall in question. Since we have a sealed study, the engineer of record, Geoffrey A. Tizard II, PE License No. 15453, may be considered legally responsible for a finding of no impact to the floodplain due to the wall. That means condition 1 in the attached memo is essentially satisfied.

Although we will send review comments to the engineer, I suggest that the remaining conditions of the attached memo may be considered now so that the case may be completed.

Dave Thomas

David L. Thomas  
Baltimore County DPW  
(410) 887-3984

>>> John Beverungen 4/8/2014 2:04 PM >>>  
Mr. Rockel,

Thanks for your e-mail. I have not received anything further on this case. I am copying Dave Thomas, and would ask if he would please update me with the status of this matter.

John Beverungen  
ALJ

>>> "erocklearthlink.net" <erockel@earthlink.net> 4/8/2014 12:58 PM >>>

I was wondering if you have received the engineering review of the floodplain impacts concerning the above referenced case? I had no problem with the engineer's request to extend the study time before submitting the findings, but it seems to me that at almost 3 months since the close of the hearing on Jan. 10th that the case should come to a close if the material is still forthcoming.

Eric Rockel



**Sherry Nuffer - Re: 1500 - 1508 Riderwood Drive Case no. 2014-0115-SPH**

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**From:** John Beverungen  
**To:** David Billingsley  
**Date:** 6/20/2014 11:33 AM  
**Subject:** Re: 1500 - 1508 Riderwood Drive Case no. 2014-0115-SPH  
**CC:** David Thomas; Sherry Nuffer

---

Mr. Billingsley,

I am in receipt of your June 13, 2014 letter, and apologize for the delay in my response. I am unable to reduce the deposit amount set forth in the Order, and would leave that matter to the discretion of the Department of Public Works. I will forward a copy of your correspondence to Mr. Thomas for his consideration.

John Beverungen

>>> David Billingsley <dwb0209@yahoo.com> 6/14/2014 5:33 PM >>>  
Judge Beverungen

Please see attached

Thank you

**Dave Billingsley**  
**Central Drafting and Design**  
**(410) 679-8719 Office**  
**(410) 458-1401 Cell**

# Lutherville

March 4, 2014

Judge John Beverungen  
Office of Administrative Hearings  
105 West Chesapeake Avenue, Ste 103  
Towson, MD 21204

RECEIVED

MAR 06 2014

OFFICE OF ADMINISTRATIVE HEARINGS

RE: Case 2014-115-SPH  
Property of Robert Waldhauser, Petitioner

Dear Judge Beverungen:

At its February Board Meeting, the Lutherville Community Association considered the petition made by Mr. Waldhauser to place fill within the riverine floodplain, as well as to permit a retaining wall within that floodplain. The Board concluded that we cannot support Mr. Waldhauser's request for the reasons outlined below.

There are several reasons why the Lutherville Community Association cannot support Mr. Waldhauser's request, including that Mr. Waldhauser should have known that this retaining wall construction, and its associated fill, was in the floodplain prior to the commencement of construction. Mr. Waldhauser and professionals working for him received a "letter of map amendment" from the Federal Emergency Management Administration (FEMA) on or about January 12, 2012, approximately sixteen months before the construction began. In that letter FEMA clearly stated that the flood elevation was at 309.7 feet. Yet the base of the wall sits at elevations varying from 306 feet to 308.6 feet. In other words, the entire length of the wall was built at an elevation below the level of possible flood waters when construction began in the middle of 2013. Regardless of the engineering study that is being performed by Mr. Waldhauser's consultant currently, the flood plain elevation currently, and at the time that construction began, indicates that this wall was not built to current regulations restricting construction within the floodplain.

Secondly, our Association does not believe that the reason for this wall's construction was to alleviate erosion on the adjoining property. If erosion was the primary consideration, there were several remedies that could have been employed to prevent such erosion, including the construction of a concrete curb to retain stormwater on the original site, the construction of a stone lined or concrete swale that would be free of erosion or vegetating the original slope, beyond the original parking lot, in order to better stabilize that ground.

Lutherville  
Community Association

Post Office Box 6  
Lutherville, Maryland 21094



# Lutherville

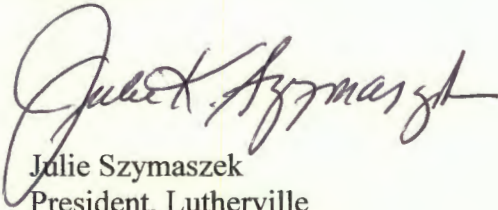
Page Two  
Letter to Judge Beverungen

It is the collective assessment of our Board members that this retaining wall construction was commenced in order to provide more parking spaces on Mr. Waldhauser's property. Currently, he only has 30 spaces for a 12,000 square foot building in a commercially zoned area, and we believe the retaining wall construction is part of a desire to expand the parking in order to attract a new commercial tenant for the property.

Finally, as was recounted at the hearing, this immediate area has been subject to significant flooding in the past. Within half a block of Mr. Waldhauser's property, the County felt compelled to purchase five homes due to their location in the floodplain during the 1980s. Several other properties on the west side of this Roland Run are in close proximity to the floodplain limits as well. Our community association does not want to set a precedent that would allow construction within the floodplain, especially since other properties that were allowed to be built prior to the current regulations could endure additional consequences from flooding in the future.

We hope that you will consider our input in arriving at a decision, and we thank you for seeking our viewpoint.

Sincerely,



Julie Szymaszek  
President, Lutherville  
Community Association

Cc: D. Billingsley  
E. Rockel

Lutherville  
Community Association

Post Office Box 6  
Lutherville, Maryland 21094









Environmental Map

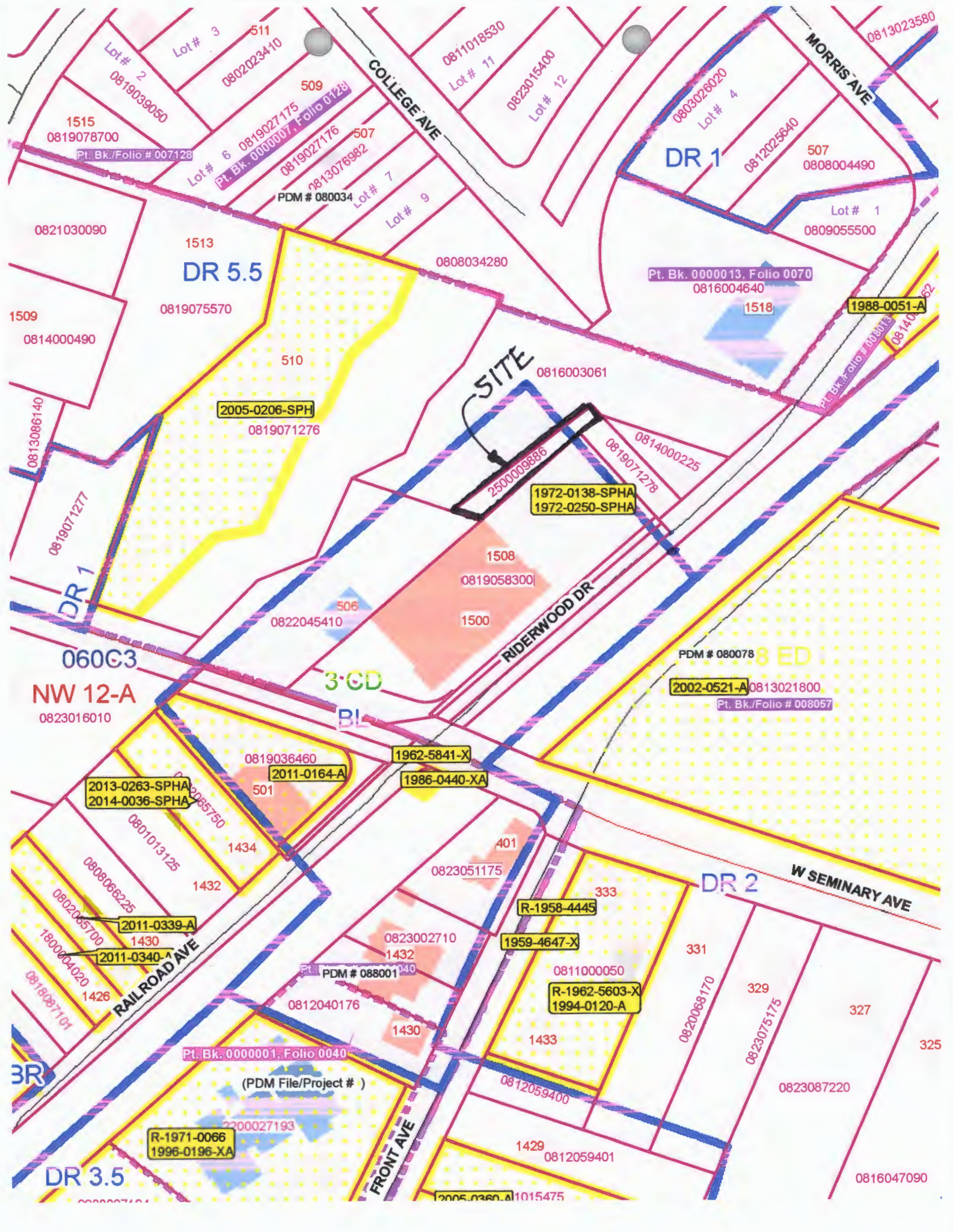
*Prof. # 1*

Created by  
Baltimore County  
My Neighborhood



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2013-0263-SPHA  
2014-0036-SPHA

2005-0206-SPH

1972-0138-SPHA  
1972-0250-SPHA

1962-5841-X  
1986-0440-XA

2002-0521-A

R-1958-4445

1959-4647-X

R-1962-5603-X  
1994-0120-A

R-1971-0066  
1996-0196-XA

2005-0380-A  
1015475

SITE

1988-0051-A

ED

DR 2

DR 5.5

DR 1

DR 3.5

060G3  
NW 12-A

3-CD  
BL

BR

MORRIS AVE

COLLEGE AVE

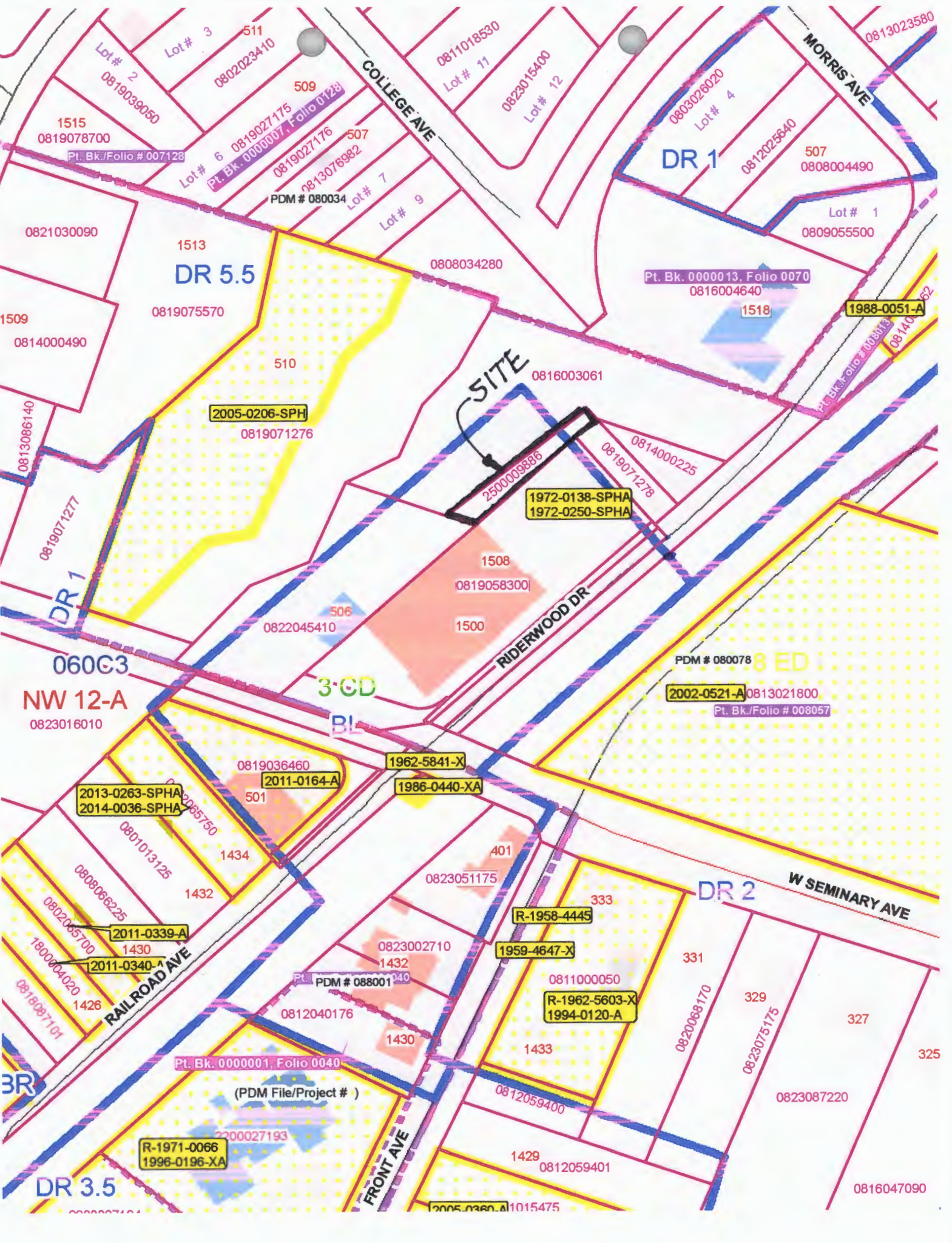
RIDERWOOD DR

W SEMINARY AVE

RAILROAD AVE

FRONT AVE

(PDM File/Project # )







# Federal Emergency Management Agency

Washington, D.C. 20472

## LETTER OF MAP AMENDMENT DETERMINATION DOCUMENT (REMOVAL)

COMMUNITY AND MAP PANEL INFORMATION		LEGAL PROPERTY DESCRIPTION
COMMUNITY	BALTIMORE COUNTY, MARYLAND (Unincorporated Areas)	A parcel of land, as described in the Deed, recorded in Book 002056, Page 143, in the Office of the Clerk of the Circuit Court, Baltimore County, Maryland (TID: 08-19-058300)
	COMMUNITY NO.: 240010	
AFFECTED MAP PANEL	NUMBER: 2400100245F DATE: 8/2/2011	
FLOODING SOURCE: TRIBUTARY OF ROLAND RUN		APPROXIMATE LATITUDE & LONGITUDE OF PROPERTY: 39.432, -76.632 SOURCE OF LAT & LONG: ESRI: FEMA GEOCODE/GOOGLE MAPS      DATUM: NAD 83

### DETERMINATION

LOT	BLOCK/ SECTION	SUBDIVISION	STREET	OUTCOME WHAT IS REMOVED FROM THE SFHA	FLOOD ZONE	1% ANNUAL CHANCE FLOOD ELEVATION (NAVD 88)	LOWEST ADJACENT GRADE ELEVATION (NAVD 88)	LOWEST LOT ELEVATION (NAVD 88)
--	--	--	1500-1508 Riderwood Drive	Structure	X (shaded)	309.7 feet	310.5 feet	--


**Special Flood Hazard Area (SFHA)** - The SFHA is an area that would be inundated by the flood having a 1-percent chance of being equaled or exceeded in any given year (base flood).

**ADDITIONAL CONSIDERATIONS** (Please refer to the appropriate section on Attachment 1 for the additional considerations listed below.)

PORTIONS REMAIN IN THE FLOODWAY  
STUDY UNDERWAY

This document provides the Federal Emergency Management Agency's determination regarding a request for a Letter of Map Amendment for the property described above. Using the information submitted and the effective National Flood Insurance Program (NFIP) map, we have determined that the structure(s) on the property(ies) is/are not located in the SFHA, an area inundated by the flood having a 1-percent chance of being equaled or exceeded in any given year (base flood). This document amends the effective NFIP map to remove the subject property from the SFHA located on the effective NFIP map; therefore, the Federal mandatory flood insurance requirement does not apply. However, the lender has the option to continue the flood insurance requirement to protect its financial risk on the loan. A Preferred Risk Policy (PRP) is available for buildings located outside the SFHA. Information about the PRP and how one can apply is enclosed.

This determination is based on the flood data presently available. The enclosed documents provide additional information regarding this determination. If you have any questions about this document, please contact the FEMA Map Assistance Center toll free at (877) 336-2627 (877-FEMA MAP) or by letter addressed to the Federal Emergency Management Agency, LOMC Clearinghouse, 6730 Santa Barbara Court, Elkridge, MD 21075.

  
 Luis Rodriguez, P.E., Chief  
 Engineering Management Branch  
 Federal Insurance and Mitigation Administration

Prot.  
 Appeals  
 2



# Federal Emergency Management Agency

Washington, D.C. 20472

## LETTER OF MAP AMENDMENT DETERMINATION DOCUMENT (REMOVAL)

### ATTACHMENT 1 (ADDITIONAL CONSIDERATIONS)

#### **PORTIONS OF THE PROPERTY REMAIN IN THE FLOODWAY (This Additional Consideration applies to the preceding 1 Property.)**

A portion of this property is located within the Special Flood Hazard Area and the National Flood Insurance Program (NFIP) regulatory floodway for the flooding source indicated on the Determination/Comment Document while the subject of this determination is not. The NFIP regulatory floodway is the area that must remain unobstructed in order to prevent unacceptable increases in base flood elevations. Therefore, no construction may take place in an NFIP regulatory floodway that may cause an increase in the base flood elevation, and any future construction or substantial improvement on the property remains subject to Federal, State/Commonwealth, and local regulations for floodplain management. The NFIP regulatory floodway is provided to the community as a tool to regulate floodplain development. Modifications to the NFIP regulatory floodway must be accepted by both the Federal Emergency Management Agency (FEMA) and the community involved. Appropriate community actions are defined in Paragraph 60.3(d) of the NFIP regulations. Any proposed revision to the NFIP regulatory floodway must be submitted to FEMA by community officials. The community should contact either the Regional Director (for those communities in Regions I-IV, and VI-X), or the Regional Engineer (for those communities in Region V) for guidance on the data which must be submitted for a revision to the NFIP regulatory floodway. Contact information for each regional office can be obtained by calling the FEMA Map Assistance Center toll free at (877) 336-2627 (877-FEMA MAP) or from our web site at <http://www.fema.gov/about/regoff.htm>.

#### **STUDY UNDERWAY (This Additional Consideration applies to all properties in the LOMA DETERMINATION DOCUMENT (REMOVAL))**

This determination is based on the flood data presently available. However, the Federal Emergency Management Agency is currently revising the National Flood Insurance Program (NFIP) map for the community. New flood data could be generated that may affect this property. When the new NFIP map is issued it will supersede this determination. The Federal requirement for the purchase of flood insurance will then be based on the newly revised NFIP map.

This attachment provides additional information regarding this request. If you have any questions about this attachment, please contact the FEMA Map Assistance Center toll free at (877) 336-2627 (877-FEMA MAP) or by letter addressed to the Federal Emergency Management Agency, LOMA Clearinghouse, 6730 Santa Barbara Court, Elkridge, MD 21075.



Luis Rodriguez, P.E., Chief  
Engineering Management Branch  
Federal Insurance and Mitigation Administration







Case No.: 2014-0115-SPH

Exhibit Sheet

ALN  
5-21-14

Petitioner/Developer

Protestant

No. 1	Plan	Map w/ shaded A, B + C portions
No. 2	SDAT record	FEMA letter of map amdt.
No. 3	Deed - 1500-08 Riderwood	
No. 4	SDAT record	
No. 5	Deed - prop. from Church	
No. 6	DRC plan	
No. 7	DRC approval	
No. 8	Plan for bldg. permit	
No. 9	Landscape plan	
No. 10	Grading permit	
No. 11	Building permit - wall	
No. 12	12a-12d photos	

↓ (over)

**PETITIONER'S EXHIBITS**

**1500 – 1508 RIDERWOOD DRIVE**

**CASE NO. 2014 – 0115-SPH**

1. PLAT TO ACCOMPANY PETITION DATED NOV. 1, 2013 (NO CHANGES)
2. SDAT REAL PROPERTY DATA SEARCH FOR 1500 – 1508 RIDERWOOD DRIVE
3. DEED OF RECORD FOR 1500 – 1508 RIDERWOOD DRIVE
4. SDAT REAL PROPERTY DATA SEARCH FOR PARCEL ACQUIRED FROM CHURCH
5. DEED OF RECORD FOR PROPERTY ACQUIRED FROM CHURCH
6. PLAT TO ACCOMPANY DRC REQUEST FOR ACQUISITION OF PROPERTY FROM CHURCH
7. DRC APPROVAL LETTER FOR ACQUISITION OF PROPERTY FROM CHURCH
8. PLAN WHICH ACCOMPANIED BUILDING PERMIT APPLICATION FOR RETAINING WALL AND GRADING FOR PARKING LOT ADDITION (B805512 AND B805513)
9. COPY OF APPROVED LANDSCAPE PLAN REQUIRED FOR DPR APPROVAL OF RETAINING WALL AND GRADING PERMIT
10. COPY OF APPROVED GRADING PERMIT FOR PARKING LOT ADDITION (B805512)
11. COPY OF APPROVED BUILDING PERMIT FOR RETAINING WALL (B805513)
- 12a – 12d. PHOTOS OF SITE PRIOR TO WALL BEING CONSTRUCTED
- 13a – 13h. PHOTOS OF SITE AFTER WALL BEING CONSTRUCTED
14. AERIAL PHOTO SHOWING WALL LOCATION (SCALE: 1 INCH = 30 FEET)
15. AERIAL PHOTO SHOWING WALL LOCATION (SCALE: 1 INCH = 100 FEET +/-)
16. CROSS SECTION THRU WALL



Maryland Department of Assessments and Taxation  
 Real Property Data Search (vw3.1A)  
 BALTIMORE COUNTY

[Go Back](#)  
[View Map](#)  
[New Search](#)  
[GroundRent](#)  
[Redemption](#)  
[GroundRent](#)  
[Registration](#)

**Account Identifier:** District - 08 Account Number - 0819058300

**Owner Information**

**Owner Name:** WALDHAUSER ROBERT C **Use:** COMMERCIAL  
**Mailing Address:** 40 HENRY AVE **Principal Residence:** NO  
 BALTIMORE MD 21236-4203 **Deed Reference:** 1) /22056/ 00143  
 2)

**Location & Structure Information**

**Premises Address:** 1508 RIDERWOOD DR  
 0-0000  
**Legal Description:** .736 AC  
 RIDERWOOD DR  
 NW COR SEMINARY AV

Map	Grid	Parcel	Sub District	Subdivision	Section	Block	Lot	Assessment Area	Plat No: Plat Ref:
0060	0017	0126		0000				2	

**Special Tax Areas:**  
 Town: NONE  
 Ad Valorem Tax Class

Primary Structure Built	Enclosed Area	Property Land Area	County Use
1972	12,040 SF	32,060 SF	06

**Stories:** **Basement:** **Type:** STORAGE WAREHOUSE **Exterior:**

**Value Information**

	Base Value	Value As Of 01/01/2011	Phase-in Assessments	
			As Of 07/01/2010	As Of 07/01/2011
<b>Land</b>	961,800	897,600		
<b>Improvements:</b>	539,200	523,600		
<b>Total:</b>	1,501,000	1,421,200	1,501,000	1,421,200
<b>Preferential Land:</b>	0			0

**Transfer Information**

**Seller:** PARVIZIAN ABDOLREZA/SIMIN **Date:** 06/17/2005 **Price:** \$1,500,000  
**Type:** ARMS LENGTH IMPROVED **Deed1:** /22056/ 00143 **Deed2:**  
**Seller:** LEVINSON FAMILY PARTNERSHIP **Date:** 03/24/1999 **Price:** \$700,000  
**Type:** ARMS LENGTH IMPROVED **Deed1:** /13622/ 00441 **Deed2:**  
**Seller:** LEARS PRISCILLA R,ET AL **Date:** 07/08/1992 **Price:** \$570,000  
**Type:** ARMS LENGTH IMPROVED **Deed1:** /09269/ 00679 **Deed2:**

**Exemption Information**

Partial Exempt Assessments	Class	07/01/2011	07/01/2012
<b>County</b>			0.00
<b>State</b>			0.00
<b>Municipal</b>			0.00

**Tax Exempt:** **Special Tax Recapture:**  
**Exempt Class:** \* NONE \*

PETITIONER'S  
 EXHIBIT NO. 2

#1

**THIS DEED**, made this 9th day of June, 2005, by and between Abdolreza Parvizian and Simin Parvizian, husband and wife; and Ali Akbar Parvizian and Sudabeth Parvizian, husband and wife, parties of the first part, and Robert C. Waldhauser, party of the second part.

WITNESSETH, that in consideration of the sum of \$1,500,000.00, the said parties of the first part do grant and convey to the said Robert C. Waldhauser, Sole Owner his/her heirs, personal representatives/successors and assigns, in fee simple, all that piece or parcel of land situate, in BALTIMORE COUNTY, Maryland, and described as follows, to wit;

Beginning for the same at the base of a 3/4" pipe found on the northerly right of way of Maryland Route 131, Seminary Avenue, thence from the POINT OF BEGINNING so fixed and binding reversely on the third and second lines of a Deed to the Levinson Family Partnership, a Maryland General Partnership, dated July 7, 1992 and recorded in the Land Records of Baltimore County, Maryland in Liber 9269 at folio 679, as now surveyed by Morris & Ritchie Associates, Inc., with the bearings referred to the Baltimore County Metropolitan District, Coordinate System;

1. North 48 degrees 42'02" East, 330.97 feet to a standard marker set;
2. South 41 degrees 29'48" East, 104.31 feet passing through an existing wood fence, to the westerly right of way of Riderwood - Lutherville Drive, as set forth by a Deed to Baltimore County, Maryland from Clemens H. Lears, III et al, dated July 26, 1972, and recorded in the aforementioned Land Records in Liber 5294 at folio 658, thence binding on the said right of way;
3. South 48 degrees 41'02" West, 248.73 feet, to the aforementioned right of way of Maryland Route 131, Seminary Avenue, as set forth by a Deed from Priscilla Ryan Lears, et al to the State Highway Administration of the Department of Transportation, State of Maryland, dated February 3, 1991 and recorded in the aforementioned Land Records in Liber 8730 at folio 790, thence binding on the said right of way the following four courses and distances, viz;
4. North 46 degrees 21'12" West, 2.06 feet.
5. 36.02 feet along the arc of a curve to the right, having a radius of 33.00 feet and being subtended by a chord of South 74 degrees 54'58" West, 34.26 feet,
6. 44.61 feet along the arc of a curve to the right, having a radius of 1,086.00, and being subtended by a chord of North 72 degrees 38'15" West, 44.61 feet,
7. North 71 degrees 27'38" West, 56.70 feet to the POINT OF BEGINNING.

Containing 0.717 acres of Land more or less.

BEING the same property as described in a Deed dated February 25, 1999 and recorded among the Land Records of Baltimore County in Liber SM 13622 folio 441, was granted and conveyed by The Levinson Family Partnership, a Maryland General Partnership, also known of record as The Levinson Family Partnership, unto Abdolreza Parvizian and Simin Parvizian, his wife and Ali Akbar Parvizian and Sudabeh Parvizian, his wife.

TOGETHER WITH the buildings thereupon, and the rights, alleys, ways, waters, privileges, appurtenances and advantages thereto belonging or in anywise appertaining.

TO HAVE AND TO HOLD the property hereby conveyed unto the party of the second part, Robert C. Waldhauser, Sole Owner his/her personal representatives, heirs and assigns, in fee simple, forever.

AND the parties of the first part hereby covenants that they have not done or suffered to be done any act, matter or thing whatsoever, to encumber the property hereby conveyed; that they will warrant specially the property hereby granted; and that they will execute such further assurances of the same as may be requisite.



Real Property Data Search ( w2)

[Search Help](#)

Search Result for BALTIMORE COUNTY

[View Map](#)      [View GroundRent Redemption](#)      [View GroundRent Registration](#)

**Account Identifier:** District - 08 Account Number - 2500009886

Owner Information

<b>Owner Name:</b>	WALDHAUSER ROBERT C	<b>Use:</b>	RESIDENTIAL
<b>Mailing Address:</b>	40 HENRY AVE BALTIMORE MD 21236-	<b>Principal Residence:</b>	NO
		<b>Deed Reference:</b>	1) /33690/ 00049 2)

Location & Structure Information

<b>Premises Address:</b>	SEMINARY AVE 0-0000	<b>Legal Description:</b>	.0645 AC REAR 220 FT NER SEMINARY AVE 330 FT E GREEN SPRING DR						
<b>Map:</b>	<b>Grid:</b>	<b>Parcel:</b>	<b>Sub District:</b>	<b>Subdivision:</b>	<b>Section:</b>	<b>Block:</b>	<b>Lot:</b>	<b>Assessment Year:</b>	<b>Plat No:</b>
0060	17	0931		0000				2014	
									<b>Plat Ref:</b>
									NONE

Special Tax Areas:

**Town:** NONE  
**Ad Valorem:**  
**Tax Class:**

<b>Primary Structure Built</b>	<b>Above Grade Enclosed Area</b>	<b>Finished Basement Area</b>	<b>Property Land Area</b>	<b>County Use</b>
			2,809 SF	04

<b>Stories</b>	<b>Basement</b>	<b>Type</b>	<b>Exterior</b>	<b>Full/Half Bath</b>	<b>Garage</b>	<b>Last Major Renovation</b>

Value Information

	<u>Base Value</u>	<u>Value</u>	<u>Phase-in Assessments</u>	
		<u>As of</u>	<u>As of</u>	<u>As of</u>
		01/01/2011	07/01/2013	07/01/2014
<b>Land:</b>	2,800	2,800		
<b>Improvements</b>	0	0		
<b>Total:</b>	2,800	2,800	2,800	
<b>Preferential Land:</b>	0			

Transfer Information

<b>Seller:</b> PARKVILLE CONGREGATION OF	<b>Date:</b> 05/30/2013	<b>Price:</b> \$35,000
<b>Type:</b> ARMS LENGTH VACANT	<b>Deed1:</b> /33690/ 00049	<b>Deed2:</b>
<b>Seller:</b> STORM WILLIAM HENRY JR	<b>Date:</b> 11/28/1969	<b>Price:</b> \$0
<b>Type:</b> NON-ARMS LENGTH OTHER	<b>Deed1:</b> /05055/ 00271	<b>Deed2:</b>
<b>Seller:</b>	<b>Date:</b>	<b>Price:</b>
<b>Type:</b>	<b>Deed1:</b>	<b>Deed2:</b>

Exemption Information

<b>Partial Exempt Assessments:</b>	<b>Class</b>	<b>07/01/2013</b>	<b>07/01/2014</b>
<b>County:</b>	000	0.00	
<b>State:</b>	000	0.00	
<b>Municipal:</b>	000	0.00	0.00
<b>Tax Exempt:</b>		<b>Special Tax Recapture:</b>	
<b>Exempt Class:</b>		NONE	

Homestead Application Information

**Homestead Application Status:** No Application

1. This screen allows you to search the Real Property database and display property records.
2. Click [here](#) for a glossary of terms.
3. Deleted accounts can only be selected by Property Account Identifier.
4. While we have confidence in the accuracy of these records, the Department makes no warranties, expressed or implied, regarding the information.

PETITIONER'S  
EXHIBIT NO. 4



Part of Tax ID (08)0816003061

THIS DEED, MADE THIS 17<sup>th</sup> day of May in the year Two Thousand Thirteen by and between the Parkville Congregation of Jehovah's Witnesses, Inc., a Maryland Religious Corporation, known of record as Parkville Congregation of Jehovah's Witnesses, Grantor, party of the first part, and Robert C. Waldhauser, Grantee, party of the second part.

WITNESSETH, That in consideration of the sum of THIRTY FIVE THOUSAND DOLLARS (\$35,000.00) and other good and valuable consideration, the said party of the first part does grant and convey to the said party of the second part (but subject to the conditions, restrictions and covenants hereinafter set forth which shall be binding on and run with the land and be binding on any future owner or grantee of the land), his personal representatives and assigns, in fee simple, certain property situate in Baltimore County, Maryland and described as follows, that is to say:

**SEE LEGAL DESCRIPTION AND DRAWING** entitled "Parcel to Be Conveyed by Parkville Congregation of Jehovah's Witnesses", attached hereto and incorporated herein as Exhibit A and Exhibit A-1.

BEING a portion of the property which by Deed dated November 26, 1969 and recorded among the Land Records of Baltimore County in Liber 5055, folio 271, was granted and conveyed by William Henry Storm, Jr. and Dorothy Mae Storm, his wife unto the Grantor herein.

The division of this property having been approved by Baltimore County in DRC Number 050713-LLA1, a copy of said approval is attached hereto and made a part hereof as Exhibit B.

TOGETHER with the rights, alleys, ways, waters, privileges, appurtenances and advantages thereto belonging, or in anywise appertaining.

PETITIONER'S  
EXHIBIT NO. 5



PETITIONER'S  
EXHIBIT NO. 7

KEVIN KAMENETZ  
County Executive

April 30, 2013

ARNOLD JABLON  
Deputy Administrative Officer  
Director, Department of Permits,  
Approvals & Inspections

David W. Billingsley  
Central Drafting & Design, Inc.  
601 Charwood Court  
Edgewood, MD 21040

Re: Parkville Cong. Jehovah's Witnesses, 1514 Riderwood Dr., 21093  
DRC Number: 050713-LLA1, District 8c3

Dear Sir/Madam:

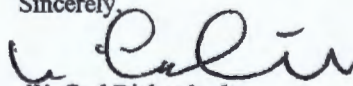
Pursuant to Section 32-4-106(a)(1) of the Baltimore County Code, this letter constitutes an administrative order and decision on the request you filed with this department.

Your request has been submitted for careful review and consideration to the Director and Zoning Office. It has been determined that your proposal:

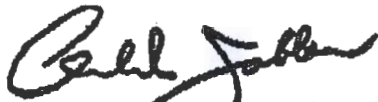
- meets the requirements of a limited exemption under Section 32-4-106(a)(1)(viii)BCC.
- meets the requirements of a limited exemption under Section 32-4-106(a)(1)(ii) or (a)(1)(v). (All future uses will require Zoning and Development approval)
- does not meet the requirements of a limited exemption under Section 32-4-106(a)(1)BCC. You will be notified if your project can be scheduled for the next open DRC meeting and any additional requirements for review.
- needs additional materials/information for review. Contact Carl Richards or Joseph Merrey at 410-887-3391.
- does not reach the scope or extent that would require Baltimore County development approval.
- all or a portion of the property is located within the Chesapeake Bay Critical Area, therefore prior to recording deeds or submitting a record plat you are required to apply for Lot Consolidation and Reconfiguration through the Dept. of Environmental Protection and Sustainability (Comar 27.01.02.08)

When recording deeds in the land records, please attach this letter and the survey plat as exhibits. Also, if the property(s) are improved or any Baltimore County permits are applied for or anticipated in the future, the following approval agencies should be contacted to resolve any possible development issues: Development Plans Review – 410-887-3751, Planning 410-887-3480, Environmental Protection & Sustainability – 410-887-5859

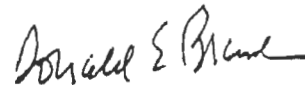
  
Arnold Jablon Initial

Sincerely,  
  
W. Carl Richards, Jr.  
Zoning Supervisor

**BALTIMORE COUNTY, MARYLAND**  
DEPARTMENT OF PERMITS, APPROVALS, AND INSPECTIONS



Arnold Jablon, Deputy Administrative Officer  
& Director



Donald E Brand, Building Engineer

**BUILDING PERMIT**  
-----

PERMIT #: B805512 CONTROL #: GRC- DIST: 08 PREC: 01  
DATE ISSUED: 03/01/2013 TAX ACCOUNT #: 0816003061 CLASS: 01

PLANS: CONST 00 PLOT 8 R PLAT 0 DATA 0 ELEC NO PLUM NO  
LOCATION: 1518 RIDERWOOD DR  
SUBDIVISION: 300 E GREEN SPRING DR

**OWNERS INFORMATION**

NAME: WALDHAUSER, ROBERT  
ADDR: 1508 RIDERWOOD DR; LUTHERVILLE 21093

**TENANT:**

CONTR: TBD

ENGR:

SELLR: PARKVILLE CONGREGATION OF JEHOVAH'S WITNESSES

WORK: GRADING OF 3250SF FOR FUTURE PARKING LOT  
EXTENSION. THIS PERMIT EXPIRES TWO YEARS FROM  
ISSUE DATE.

BLDG. CODE:

RESIDENTIAL CATEGORY:

OWNERSHIP: PRIVATELY OWNED

PROPOSED USE: FUTURE PARKING LOT EXTENSION AND GRADING  
EXISTING USE: PARKING LOT

TYPE OF IMPRV: OTHER

USE: OTHER - NON-RESIDENTIAL

FOUNDATION:

BASEMENT:

SEWAGE: PUBLIC EXIST

WATER: PUBLIC EXIST

**LOT SIZE AND SETBACKS**  
-----

SIZE: 34848SF

FRONT STREET:

SIDE STREET:

FRONT SETB: NC

SIDE SETB: NC

SIDE STR SETB:

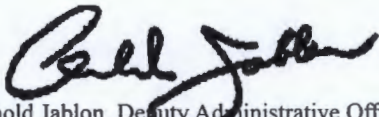
REAR SETB: NC

**PETITIONER'S**  
**EXHIBIT NO. 10**

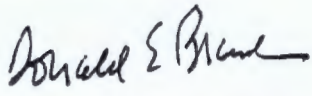
**PLEASE REFER TO PERMIT NUMBER WHEN MAKING INQUIRIES**



**BALTIMORE COUNTY, MARYLAND**  
DEPARTMENT OF PERMITS, APPROVALS, AND INSPECTIONS

  
Arnold Jablon, Deputy Administrative Officer  
& Director



  
Donald E Brand, Building Engineer

BUILDING PERMIT  
-----

PERMIT #: B805513 CONTROL #: RRC- DIST: 08 PREC: 01  
DATE ISSUED: 02/22/2013 TAX ACCOUNT #: 0816003061 CLASS: 01

PLANS: CONST 03 PLOT 7 R PLAT 0 DATA 3 ELEC NO PLUM NO  
LOCATION: 1518 RIDERWOOD DR  
SUBDIVISION: 300 E GREEN SPRING DR

OWNERS INFORMATION

NAME: WALDHAUSER, ROBERT  
ADDR: 1508 RIDERWOOD DR; LUTHERVILLE 21093

TENANT:

CONTR: TBD

ENGR:

SELLR: PARKVILLE CONGREGATION OF JEHOVAHS WITNESSES

WORK: CONSTRUCT STONE RETAINING WALL 0-6.5' HIGH,  
155LF ALONG SE SIDE OF EX CHURCH PARKING LOT.  
SUBJECT TO: MUST FOLLOW ALL RETAINING WALL  
CHECKLIST AND CONSTRUCTION PHASE SERVICE  
REQUIREMENTS. 3 CHECKLISTS ATTACHED. FENCE OR  
RAILING MAY BE REQ'D FOR WALL OVER 4' HIGH.

BLDG. CODE:

RESIDENTIAL CATEGORY:

OWNERSHIP: PRIVATELY OWNED

PROPOSED USE: PARKING LOT AND RETAINING WALL  
EXISTING USE: PARKING LOT AND CHURCH

TYPE OF IMPRV: OTHER

USE: CHURCH, OTHER RELIGIOUS BUILDING

FOUNDATION: BASEMENT:

SEWAGE: PUBLIC EXIST

WATER: PUBLIC EXIST

LOT SIZE AND SETBACKS  
-----

SIZE: 34848SF

FRONT STREET:

SIDE STREET:

FRONT SETB: NC

SIDE SETB: NC

SIDE STR SETB:

REAR SETB: NC



PETITIONER'S  
EXHIBIT NO. 11

PLEASE REFER TO PERMIT NUMBER WHEN MAKING INQUIRIES





121



121





12c



12d





13a



13b





13c



13d





13g



13f





13 h



13 g



PETITIONER'S  
EXHIBIT NO. 14



45 Feet



RIDERWOOD DRIVE

Created By  
Baltimore County  
My Neighborhood



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PETITIONER'S  
EXHIBIT NO. 15



149 Feet



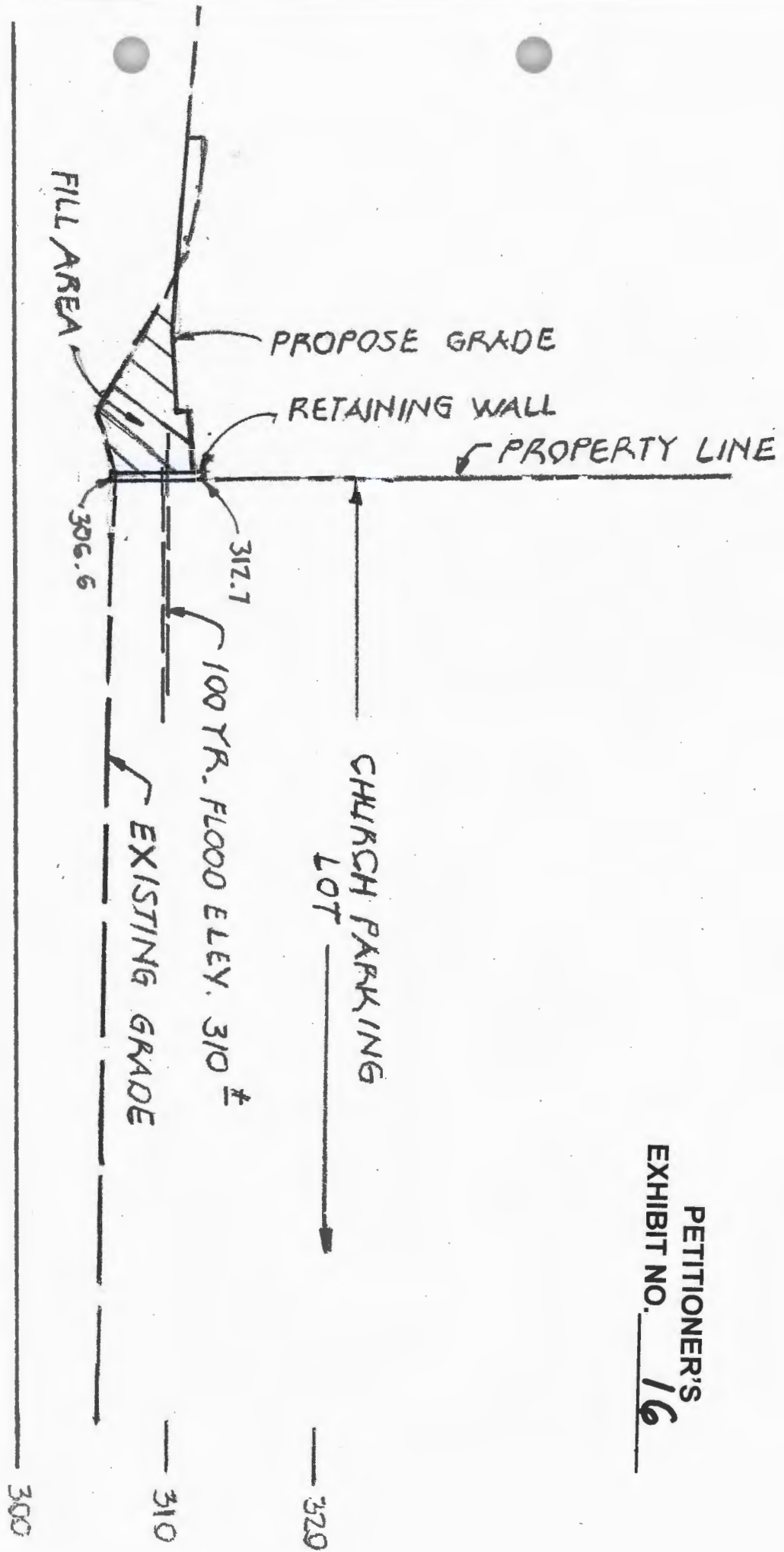
RIDERWOOD DRIVE

Created By  
Baltimore County  
My Neighborhood



This data is only for general information purposes only. This data may be inaccurate or contain errors or omissions. Baltimore County, Maryland does not warrant the accuracy or reliability of the data and disclaims all warranties with regard to the data, including but not limited to, all warranties, express or implied, of merchantability and fitness for any particular purpose. Baltimore County, Maryland disclaims all obligation and liability for damages, including but not limited to, actual, special, indirect, and consequential damages, attorneys' and experts' fees, and court costs incurred as a result of, arising from or in connection with the use of or reliance upon this data.

PETITIONER'S  
EXHIBIT NO. 16



# CROSS SECTION THRU WALL

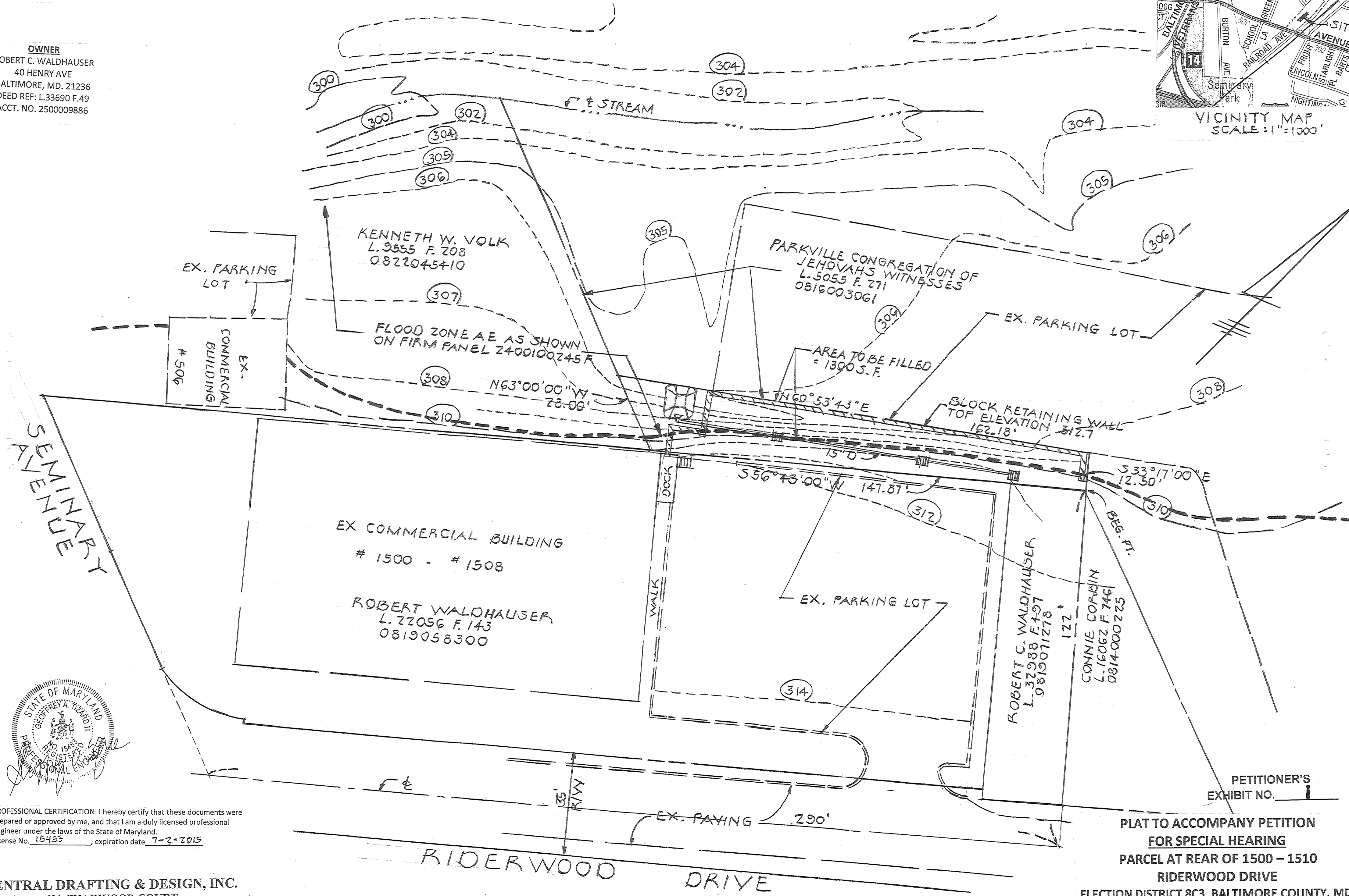
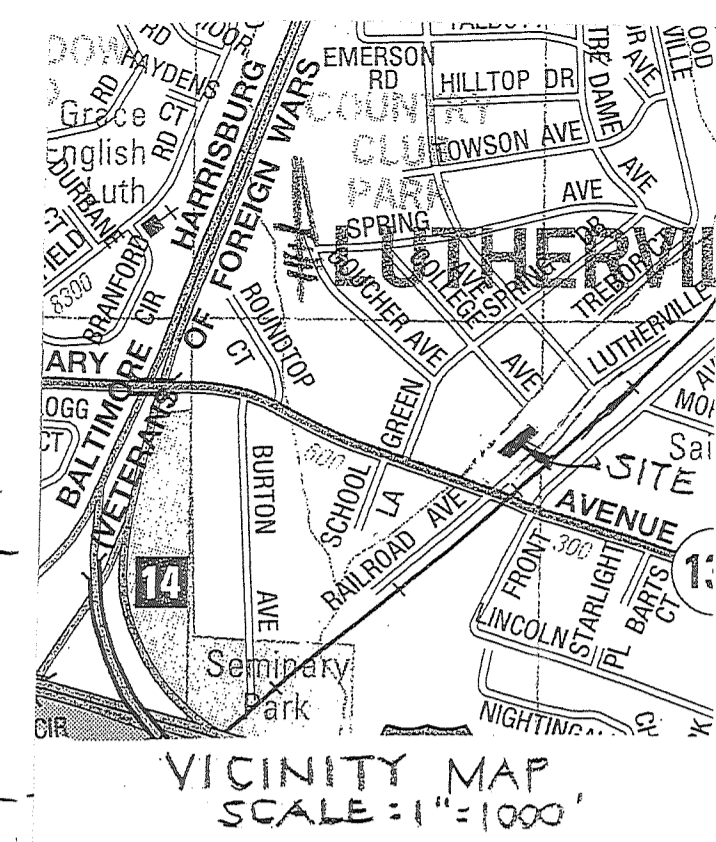
SCALE : 1" = 10'



**NOTES**

1. ZONING.....BL (MAP NO. 060C3)
2. AREA .....2809 S.F. = 0.0645 ACRE
3. NO PREVIOUS ZONING HISTORY OR VIOLATIONS
4. PORTION OF SITE IS LOCATED IN A 100 YEAR FLOOD ZONE
5. NO HISTORIC STRUCTURES EXIST
6. PUBLIC WATER AND SEWER

**OWNER**  
 ROBERT C. WALDHAUSER  
 40 HENRY AVE  
 BALTIMORE, MD. 21236  
 DEED REF: L.33690 F.49  
 ACCT. NO. 2500009886

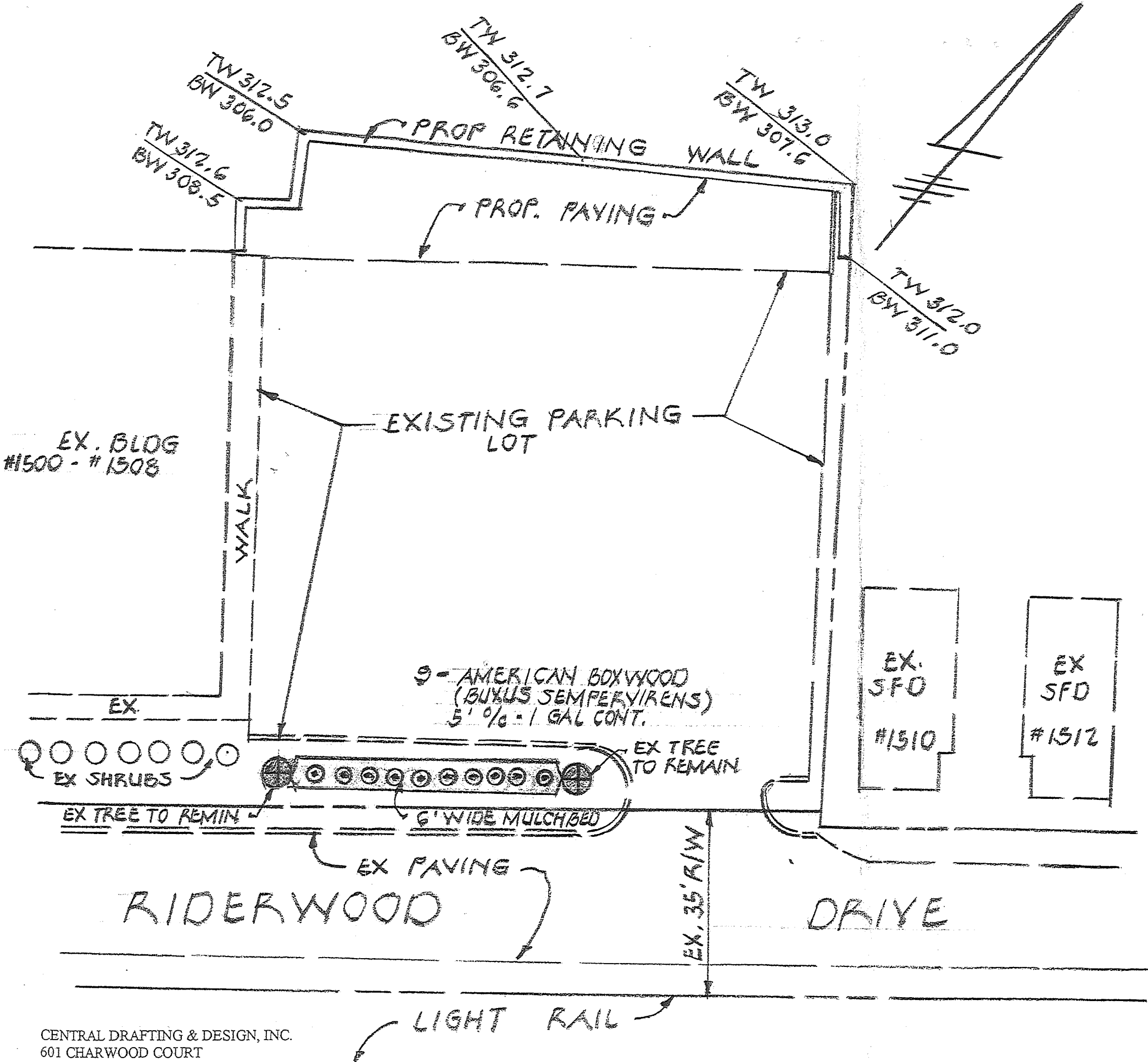


PROFESSIONAL CERTIFICATION: I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.  
 License No. 15453 expiration date 7-2-2015

**CENTRAL DRAFTING & DESIGN, INC.**  
 601 CHARWOOD COURT  
 EDGEWOOD, MD 21040  
 (410) 679-8719

PETITIONER'S EXHIBIT NO. 1

**PLAT TO ACCOMPANY PETITION FOR SPECIAL HEARING**  
**PARCEL AT REAR OF 1500 - 1510 RIDERWOOD DRIVE**  
 ELECTION DISTRICT 8C3 BALTIMORE COUNTY, MD.  
 SCALE: 1 INCH = 20 FEET NOVEMBER 1, 2013



EX. BLDG  
#1500 - #1508

EX SHRUBS

EX TREE TO REMIN

9 - AMERICAN BOXWOOD  
(BUXUS SEMPERVIRENS)  
5' 0/8" = 1 GAL CONT.

EX TREE TO REMAIN

EX PAVING

RIDERWOOD

DRIVE

LIGHT RAIL

CENTRAL DRAFTING & DESIGN, INC.  
601 CHARWOOD COURT  
EDGEWOOD, MD 21040  
(410) 679-8719

Final Landscape Plan  
Owner Certification Form

I certify that I have reviewed this Final Landscape Plan; that I am aware of the regulations presented in the Baltimore County Landscape Manual; and I agree to comply with these regulations and all applicable policy, guidelines and ordinances. I agree to certify the implementation of this approved Final Landscape Plan upon completion of the landscape installation prior to PWA closeout if applicable or not later than one (1) year from the date of approval of this plan to the Department of Permits and Development Management, Development Plans Review, Room 207, County Office Building, 111 W. Chesapeake Avenue, Towson, MD 21204.

*Robert Waldhauser* ROBERT WALDHAUSER  
Applicant Signature 2-21-13 Date Print Name

1508 RIDERWOOD DRIVE  
Address (Print) Street

LUTHERVILLE MD. 21093  
City State Zip

PDM # \_\_\_\_\_ Permit # B80551Z

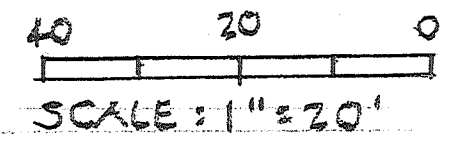
Final Landscape Plan  
Landscape Architect Certification Form

It is certified that this landscape plan is in compliance with all plans previously approved by Baltimore County and the Baltimore County comments attendant thereto.

*Jean Tansey* Signature *JEAN TANSEY* Print Name

2-22-13  
Date

Affix Seal



PETITIONER'S  
EXHIBIT NO. 9

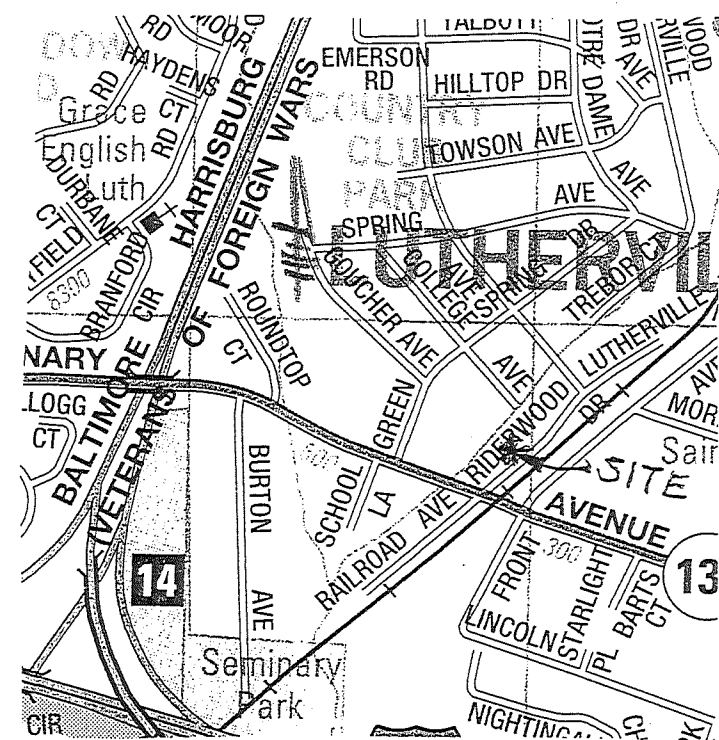
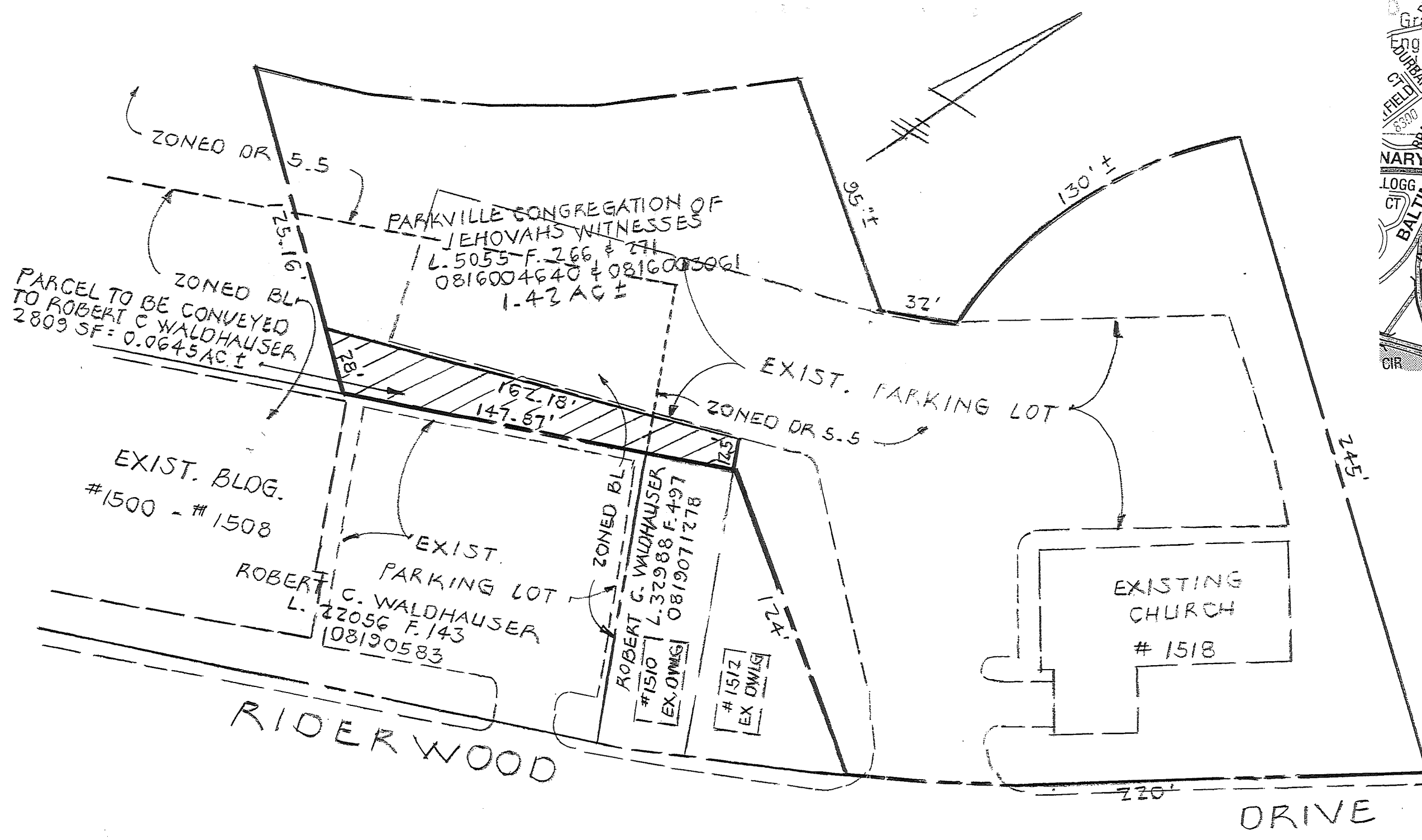
APPROVED Final Landscape Plan  
Baltimore County  
Dept. of Permits, Approvals & Inspections

*Jeanette M. Stern-Tansey* 2-22-13  
Jeanette M. Stern-Tansey, R.L.A. Date

**FINAL  
LANDSCAPE PLAN**  
**1500 - 1508 RIDERWOOD DRIVE**  
**PERMIT NO. B80551Z**

**ELECTION DISTRICT 8C3 BALTIMORE COUNTY, MD.**  
**SCALE: 1 INCH = 20 FEET FEBRUARY 21, 2013**



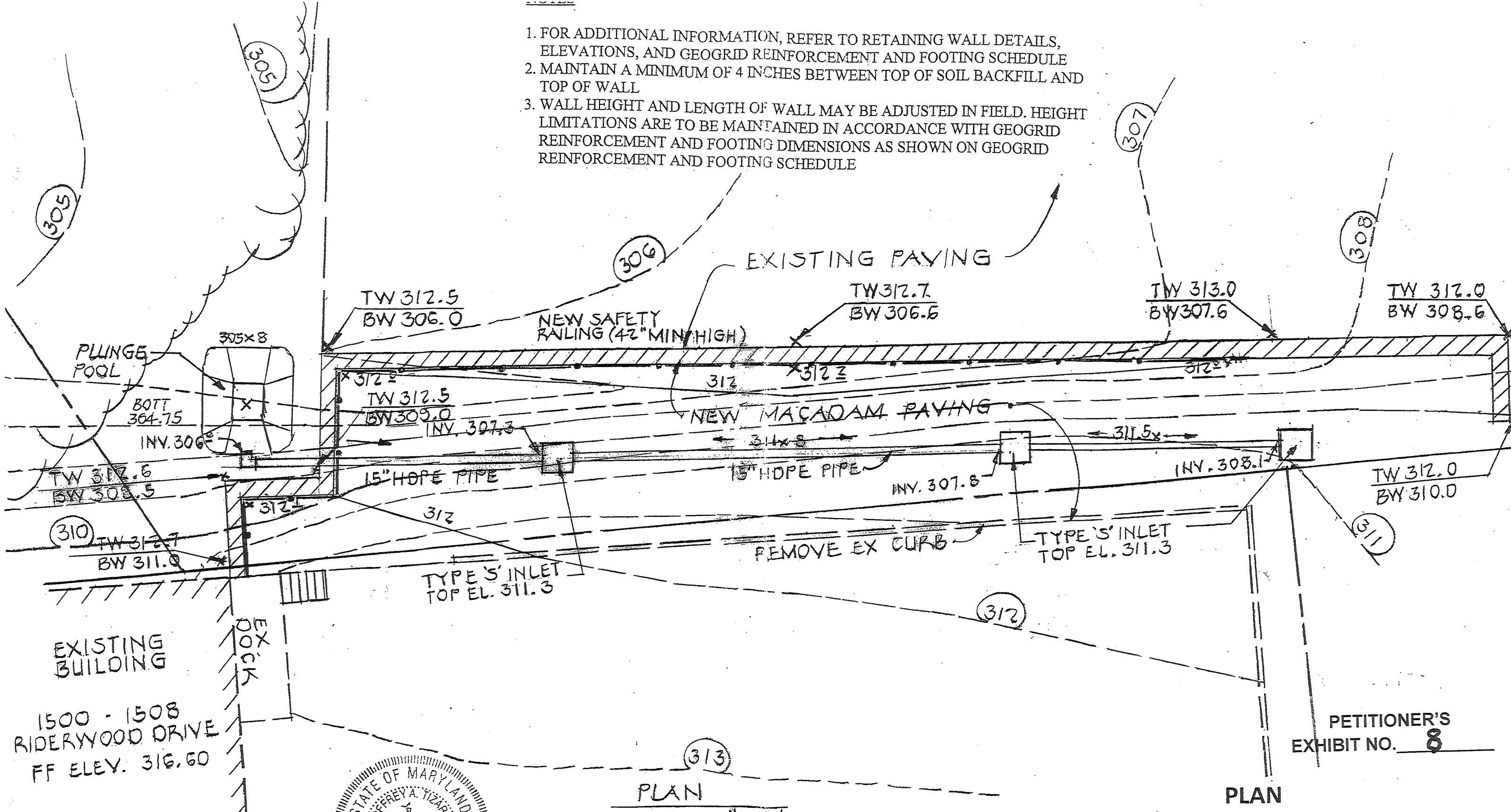


**OWNER**  
 PARKVILLE CONGREGATION OF  
 JEHOVAHS WITNESSES  
 1518 RIDERWOOD DRIVE  
 LUTHERVILLE, MD. 21093  
 DEED REF: L.5055 F. 266 & 271  
 ACCT. NO. 0816004640 & 0816003061

PETITIONER'S  
 EXHIBIT NO. 6

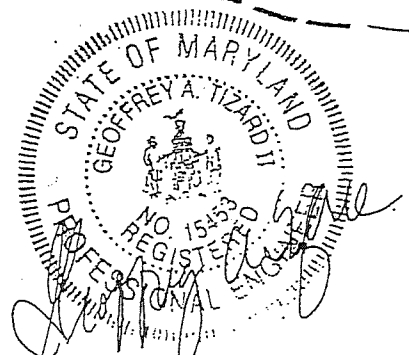
**PLAT TO ACCOMPANY DRC REQUEST**  
**PARKVILLE CONGREGATION OF**  
**JEHOVAHS WITNESSES**  
**1518 RIDERWOOD DRIVE**  
**ELECTION DISTRICT 8C3 BALTIMORE COUNTY, MD.**  
**SCALE: 1 INCH = 40 FEET APRIL 11, 2013**

1. FOR ADDITIONAL INFORMATION, REFER TO RETAINING WALL DETAILS, ELEVATIONS, AND GEOGRID REINFORCEMENT AND FOOTING SCHEDULE
2. MAINTAIN A MINIMUM OF 4 INCHES BETWEEN TOP OF SOIL BACKFILL AND TOP OF WALL
3. WALL HEIGHT AND LENGTH OF WALL MAY BE ADJUSTED IN FIELD. HEIGHT LIMITATIONS ARE TO BE MAINTAINED IN ACCORDANCE WITH GEOGRID REINFORCEMENT AND FOOTING DIMENSIONS AS SHOWN ON GEOGRID REINFORCEMENT AND FOOTING SCHEDULE



1500 - 1508  
RIDERWOOD DRIVE  
FF ELEV. 316.60

PETITIONER'S  
EXHIBIT NO. **8**



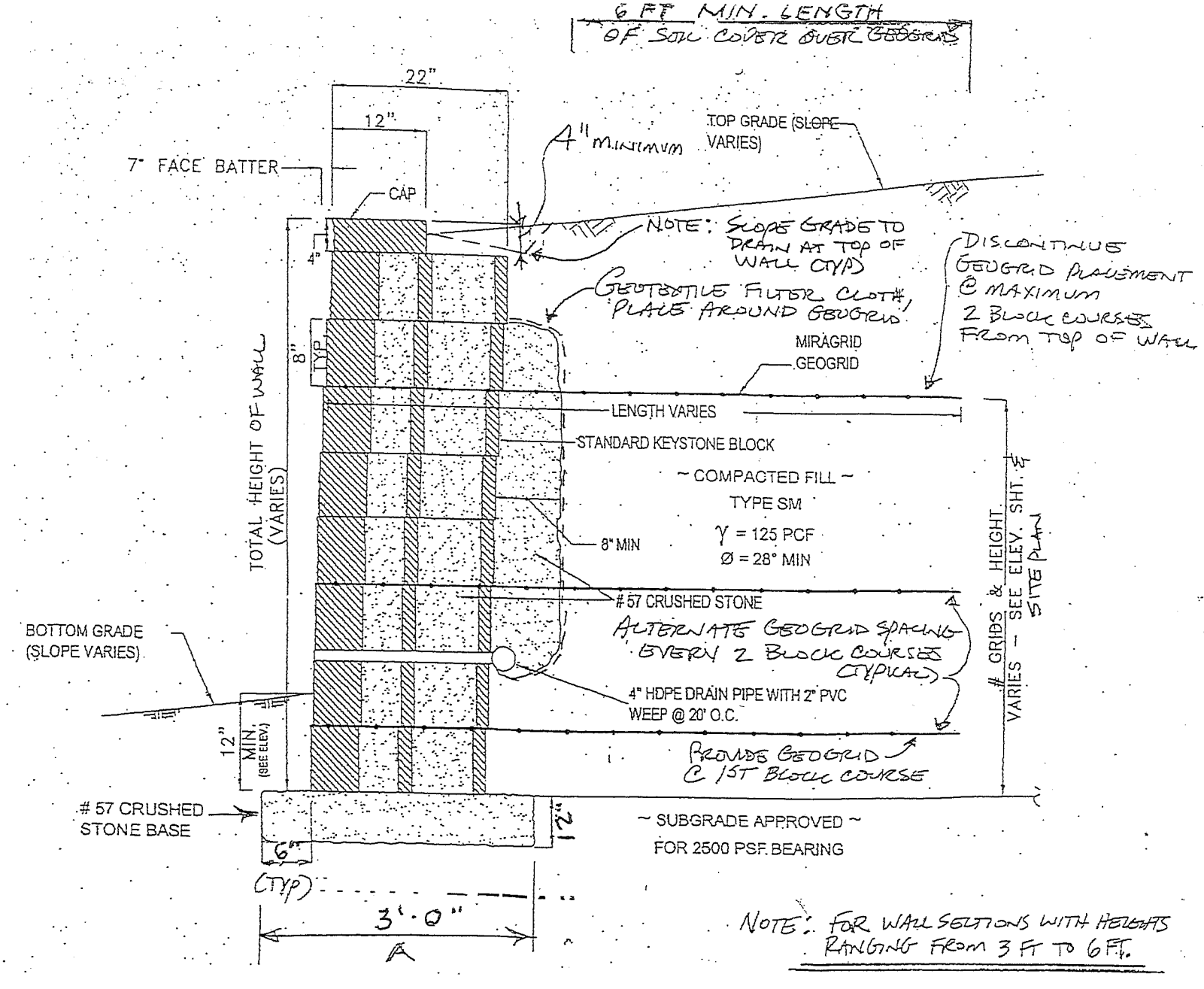
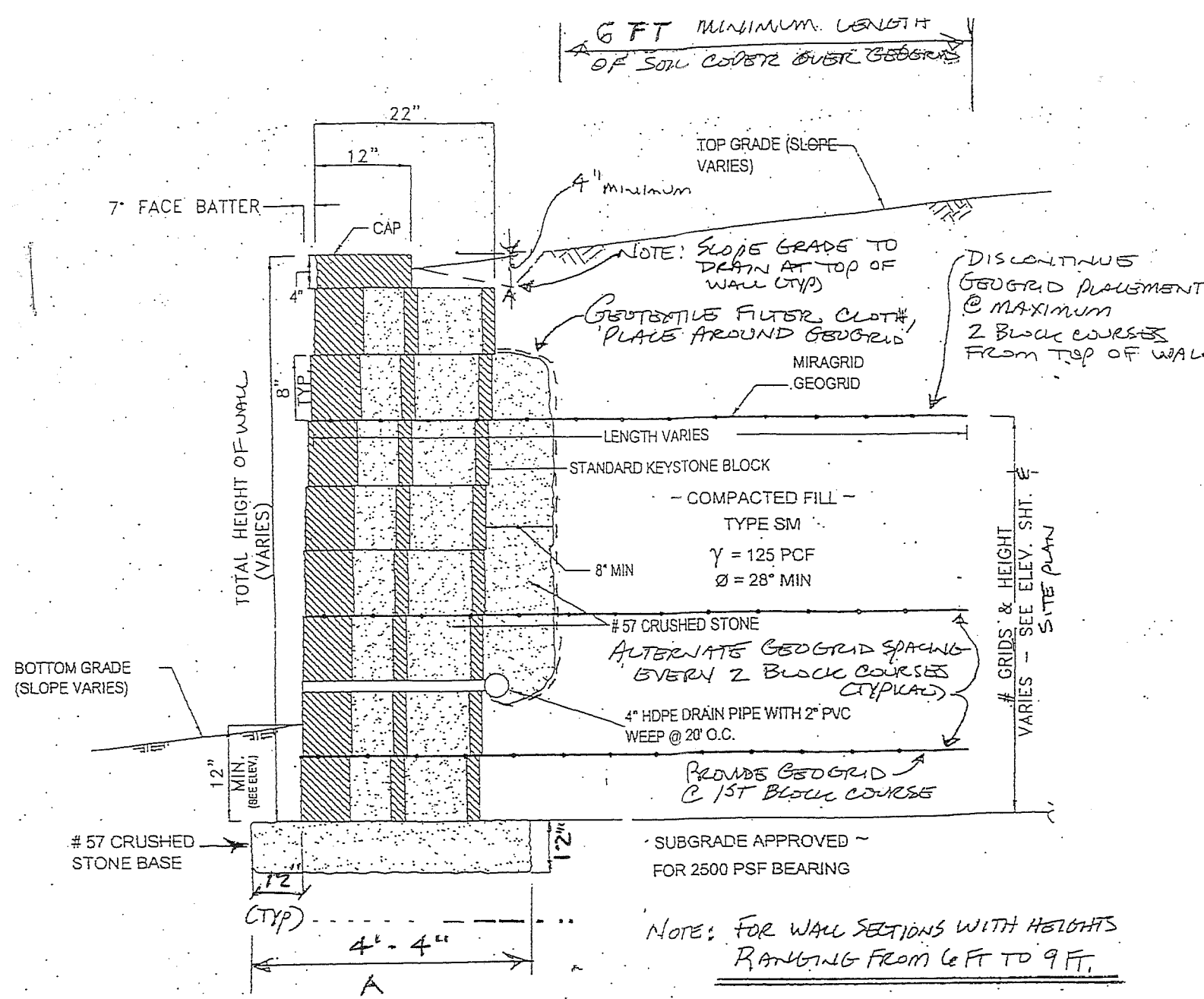
"Professional Certification: I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the state of Maryland, License No. 15453, Expiration Date: July 2, 2013."

PLAN  
SCALE = 1" = 10'

RETAINING WALL AND PARKING LOT ADDITION  
1500 - 1508 RIDERWOOD DRIVE  
ELECTION DISTRICT 8C3  
BALTIMORE COUNTY, MD.  
OCTOBER 2, 2012

CENTRAL DRAFTING & DESIGN, INC.  
601 CHARWOOD COURT  
EDGEWOOD, MD 21040  
(410) 679-8719





**GEOGRID REINFORCEMENT AND FOOTING SCHEDULE**

TOTAL WALL HEIGHT (FT)	GEOGRID TYPE REQUIRED	NUMBER OF SOIL REINFORCEMENT LAYERS REQUIRED	MINIMUM LENGTH OF SOIL COVER OVER EACH GEOGRID LAYER (FT)	FOOTING DIMENSIONS	
				"A" (INCHES)	"B" (INCHES)
2 FEET	None	0	6'	36"	12"
3 FEET	MIRAGRID 2XT	2	6'	36"	12"
3 to 4 FEET	MIRAGRID 3XT	3	6'	36"	12"
4 to 5 FEET	MIRAGRID 3XT	4	6'	36"	12"
5 to 6 FEET	MIRAGRID 3XT	5	6'	36"	12"
6 to 7 FEET	MIRAGRID 3XT	5	6'	52"	12"
7 to 8 FEET	MIRAGRID 5XT	6	6'	52"	12"
8 to 9 FEET	MIRAGRID 5XT	6	6'	52"	12"

**SECTIONS AND DETAILS  
RETAINING WALL  
1500 - 1510 RIDERWOOD DRIVE  
ELECTION DISTRICT 8C3  
BALTIMORE COUNTY, MD.  
OCTOBER 2, 2012  
2 OF 3**

CENTRAL DRAFTING & DESIGN, INC.  
601 CHARWOOD COURT  
EDGEWOOD, MD 21040  
(410) 679-8719

**REINFORCED MODULAR BLOCK  
RETAINING WALL CONSTRUCTION SPECIFICATIONS**

**General**

Geosynthetic reinforcement soil reinforcement shall be installed into a modular block retaining wall system to provide for anchorage into the soil backfill and stability of the retaining wall system. The geosynthetic material must be identified, handled, stored, and installed in such a manner that its physical property values are not affected and that the design conditions are met as intended.

**Material Identification, Storage, and Handling**

The geosynthetic material shall be rolled on cores having sufficient strength to avoid collapse or other damage from normal use. Each roll shall be wrapped with plastic covering to protect the geosynthetic from damage during shipping and handling, and shall be identified with a durable gummed label, or the equivalent, clearly readable on the outside of the wrapping for the roll. The label shall identify the manufacturer's name, the style number, and the roll number.

The Contractor shall prevent damage to the wrapping, core, label, and the geosynthetic material, while unloading or transferring the geosynthetic from one location to another. If the geosynthetic material is to be stored for an extended period of time, the geosynthetic material shall be located and placed in a manner that ensures the integrity of the wrapping, core, and label as well as the physical properties of the geosynthetic material. The geosynthetic material shall be stored in an elevated position, off the ground, laying flat or standing on end while ensuring that it is adequately covered and protected from ultraviolet radiation, sunlight, chemicals, fire or flames including welding sparks, temperatures in excess of 160°F, and human or animal destruction.

**Foundation Soil/Subgrade Preparation**

The foundation soil/subgrade shall be excavated to the lines and grades as shown on the Construction Drawings or as directed by the Engineer. Over-excavated areas shall be filled with compacted backfill material. The foundation soil/subgrade shall be proof rolled prior to backfill and placement of the geosynthetic material. This exercise should be performed prior to the installation of each subsequent geosynthetic soil reinforcement layer. The soil backfill shall be compacted to 95% of optimum dry density to AASHTO T99. It is recommended that cohesive soils be compacted in maximum eight (8) inch compacted lifts and granular soil in maximum twelve (12) inch compacted lifts.

**Geosynthetic Material**

Geosynthetic soil reinforcement material shall be Miragrid 2XT, and Miragrid 5XT, or equal, for use in the locations as shown on the Construction Drawings.

**Masonry Block**

Masonry block for retaining wall construction shall be Keystone Concrete block, ASTM C90 Normal Weight concrete, with a minimum compressive strength of 1,900 psi. Concrete block shall be installed in accordance with the manufacturer's recommendations and installation procedures in the locations as shown on the Construction Drawings. Block facing shall be as specified by the Owner.

**Geosynthetic Installation**

Prior to unrolling the geosynthetic material, verify the roll identification, length, installation orientation, and the installation location with the Construction Drawings. Inspect the geosynthetic material for damage or defects, once it is unrolled. Damage that occurs to the geosynthetic material during storage, handling, or installation shall be repaired as directed by the Engineer.

The geosynthetic soil reinforcement material shall be placed at the proper elevation and orientation as shown on the Construction Drawings and as specified by the wall manufacturer, or as directed by the Engineer. Correct orientation of the geosynthetic material is of extreme importance and shall be verified by the Contractor. The geosynthetic soil reinforcement material shall be cut to length as shown on the Construction Drawings using a razor knife, scissors, sharp knife, or equivalent.

After the geosynthetic material has been placed, it shall be tensioned by hand until taut, free of wrinkles, and lying flat. Adjacent geosynthetic panels, in the case of 100 percent coverage in plan view, shall be connected as necessary to ensure 100 percent coverage, unless otherwise specified on the Construction Drawings. Adjacent geosynthetic panels shall be butted on one another and connected as required. Joint spacings are entirely contingent upon the Contractor's ability to prevent wrinkles or separation of panels during fill placement. Geosynthetic panels may be secured in-place with staples, pins, sand bags, or backfill as required by fill properties, fill placement procedures, or weather conditions, or as directed by the Engineer.

The geosynthetic material shall not be spliced in the primary strength direction through overlap, sewing, or mechanical connection. The geosynthetic material shall be installed on one continuous piece with the primary strength direction extending the full length of the reinforced area.

Place only that amount of geosynthetic material required for immediately pending work to prevent undue damage. After a layer of geosynthetic material has been placed, the succeeding layer of soil shall be placed, compacted, and prepared as appropriate. After the specified soil layer has been placed, the next geosynthetic soil reinforcement layer shall be installed. This process shall be repeated for each subsequent layer of geosynthetic and soil.

**Backfill Placement**

The geosynthetic shall be placed directly on the horizontal surface of a compacted fill and covered with the next layer of fill. Deployment of fill should be performed as directed by the Engineer. Soil fill shall be compacted to 95 percent of optimum dry density, and plus or minus two percentage points of the optimum moisture content, according to AASHTO T-99. It is recommended that cohesive soils be compacted in minimum six (6) to maximum nine (9) inch compacted lifts and granular soils in minimum nine (9) to maximum twelve (12) inch compacted lifts.

Backfill shall be placed, spread, and compacted in such a manner that minimizes the development of wrinkles in and/or movement of the geosynthetic soil reinforcement material. Care shall be taken to control the timing and rate of placement of fill material to ensure that damage does not occur due to compaction or site vehicles traveling on the exposed geosynthetic material.

Backfill placement within three (3) feet of the wall face shall typically be compacted with hand equipment. Density testing shall be made every soil lift or as directed by the Engineer. Backfill shall be graded away from the wall crest and rolled at the end of each workday to prevent ponding of water on the surface of the reinforced mass. The site shall be maintained to prevent the flow of water from overtopping the wall crest during construction and after the completion of the wall.

Rubber-tired vehicles can be driven at slow speeds, less than ten (10) mph and in straight paths over the exposed geosynthetic material without causing damage to the geosynthetic. Sudden braking and sharp turning shall be avoided. Tracked construction equipment shall not be operated directly upon the geosynthetic soil reinforcement material. A minimum fill soil thickness of six (6) inches is required prior to operation of tracked vehicles over the geosynthetic material. Turning of tracked vehicles shall be kept to a minimum to prevent tracks from displacing the fill and damaging the geosynthetic material.

**Drainage**

An aggregate drainage layer shall be installed behind the wall as shown on the Construction Drawings to provide drainage of the backfilled soils and prevent the development of a saturated soil fill behind the wall.



062004341U

L. 3055 F. 271  
0816003061

FLOOD ZONE AE AS SHOWN  
ON FIRM PANEL Z400100245 F

EX. PARKING LOT

AREA TO BE FILLED  
= 1300 S.F.

BLOCK RETAINING WALL  
TOP ELEVATION 312.7  
162.18'

N63°00'00"W  
28.00'

N60°53'43"E

S33°17'00"E  
12.50'

S56°43'00"W 147.87'

12c

DOCK

12b

12d

EX. PARKING LOT

BEG. PT.

COMMERCIAL BUILDING

# 1500 - # 1508

ROBERT WALDHAUSER

L. 22056 F. 143  
0819058300

ROBERT C. WALDHAUSER  
L. 32988 F. 497  
0819071278

CONNIE CORREIN  
L. 16062 F. 746  
0814000225

PETITIONER'S  
EXHIBIT NO. 12a-12d

**PHOTOS PRIOR  
TO WALL**

PLAT TO ACCOMPANY PETITION  
FOR SPECIAL HEARING  
PARCEL AT REAR OF 1500 - 1510

RIDERWOOD DRIVE  
ELECTION DISTRICT 8C3 BALTIMORE COUNTY  
SCALE: 1 INCH = 20 FEET NOVEMBER 1, 20

RIDERWOOD DRIVE

35' R/W

EX. PAVING 290'

122'

312

314

308

306

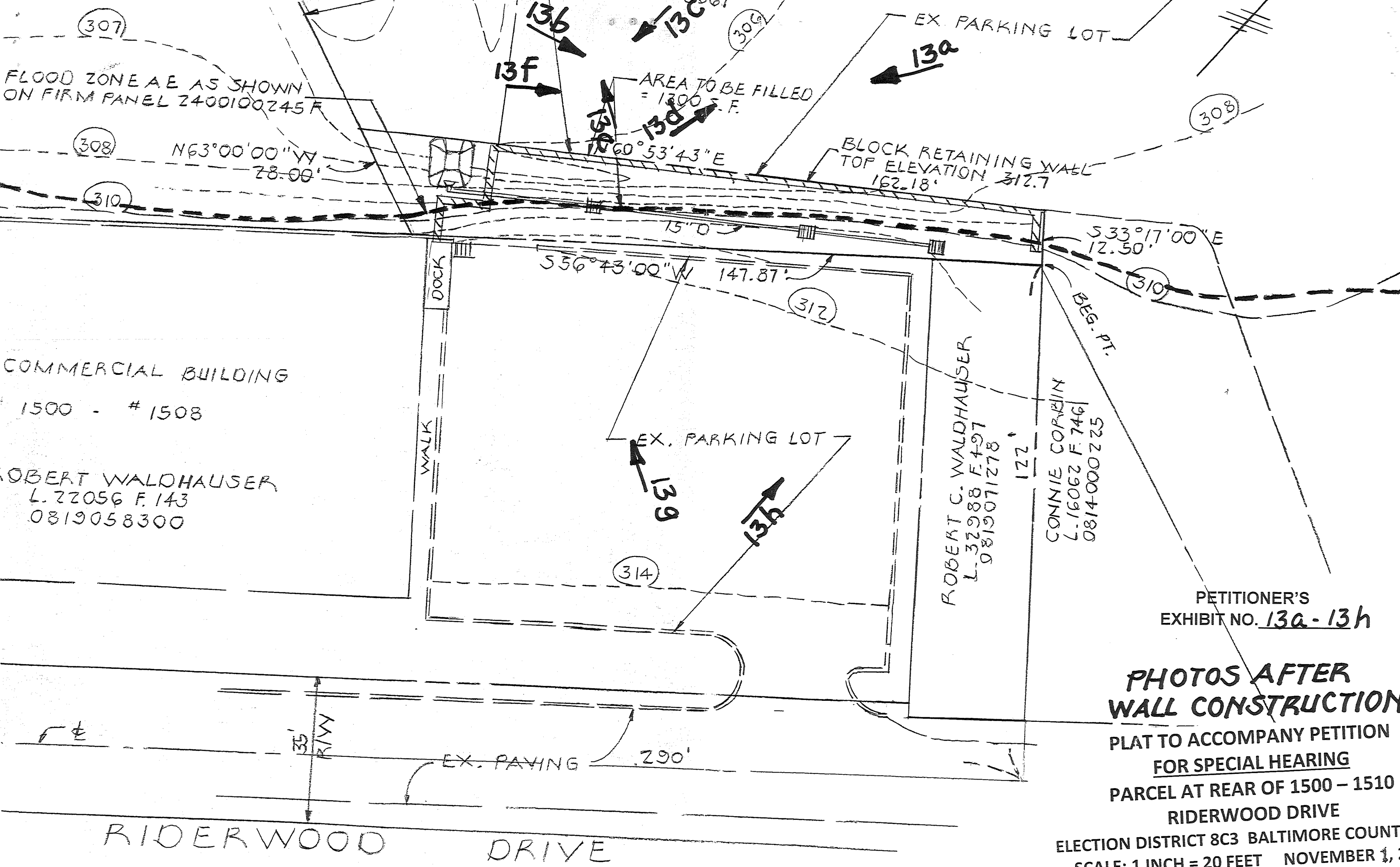
307

308

310

310

202204341U



FLOOD ZONE AE AS SHOWN ON FIRM PANEL Z400100245 F

L-5055 F. 271 "BUSINESSES" 0816003061

AREA TO BE FILLED = 1300 S.F.

BLOCK RETAINING WALL TOP ELEVATION 312.7 162.18'

COMMERCIAL BUILDING

1500 - # 1508

ROBERT WALDHAUSER L. 22056 F. 143 0819058300

ROBERT C. WALDHAUSER L. 32988 F. 497 0819071278

CONNIE CORBIN L. 16062 F. 746 0814-000225

PETITIONER'S EXHIBIT NO. 13a-13h

PHOTOS AFTER WALL CONSTRUCTION

PLAT TO ACCOMPANY PETITION FOR SPECIAL HEARING PARCEL AT REAR OF 1500 - 1510

RIDERWOOD DRIVE

ELECTION DISTRICT 8C3 BALTIMORE COUNTY

SCALE: 1 INCH = 20 FEET NOVEMBER 1, 20