



KEVIN KAMENETZ
County Executive

LAWRENCE M. STAHL
Managing Administrative Law Judge
JOHN E. BEVERUNGEN
Administrative Law Judge

September 3, 2014

Karen L. Callahan
8101 Halton Road
Towson, Maryland 21204

RE: Petition for Administrative Variance
Case No. 2015-0032-A
Property: 8101 Halton Road

Dear Ms. Callahan:

Enclosed please find a copy of the decision rendered in the above-captioned matter

In the event any party finds the decision rendered is unfavorable, any party may file an appeal to the Baltimore County Board of Appeals within thirty (30) days of the date of this Order. For further information on filing an appeal, please contact the Baltimore County Office of Administrative Hearings at 410-887-3868.

Sincerely,

A handwritten signature in dark ink, appearing to read "JEB", is written over a horizontal line.

JOHN E. BEVERUNGEN
Administrative Law Judge
for Baltimore County

JEB:dlw
Enclosure

c: Bev True, 3920 London Bridge Road, Sykesville, MD 21784

IN RE: PETITION FOR ADMIN. VARIANCE *
(8101 Halton Road)
8th Election District *
2nd Council District *
Karen L. Callahan *
Petitioner *

BEFORE THE
OFFICE OF ADMINISTRATIVE
HEARINGS FOR
BALTIMORE COUNTY
CASE NO. 2015-0032-A

* * * * *

OPINION AND ORDER

This matter comes before the Office of Administrative Hearings (OAH) as a Petition for Administrative Variance filed by the legal owner of the property, Karen L. Callahan. The Petitioner is requesting Variance relief from §§ 1B01.2 (1963-1975), 205.2 and 205.4 of the Baltimore County Zoning Regulations (B.C.Z.R.) as follows: (1) To permit a garage and addition in the side and rear yards of a dwelling on a corner lot with a front yard setback of 29 ft. to the property line and a front setback of 54 ft. to the centerline of a non-collector road in lieu of the required 40 ft. and 65 ft. respectively; and (2) To permit a rear yard setback of 37 ft. in lieu of the permitted 40 ft. The subject property and requested relief is more fully depicted on the site plan that was marked and accepted into evidence as Petitioner's Exhibit 1.

The Zoning Advisory Committee (ZAC) comments were received and are made part of the record of this case. A ZAC comment was received from the Department of Planning (DOP) on August 26, 2014 indicating no objection to the requested relief; however, certain requirements are to be met.

The Petitioner having filed a Petition for Administrative Variance and the subject property having been posted on August 17, 2014, and there being no request for a public hearing, a decision shall be rendered based upon the documentation presented.

ORDER RECEIVED FOR FILING

Date 9-3-14

By [Signature]

The Petitioner has filed the supporting affidavits as required by Section 32-3-303 of the Baltimore County Code (B.C.C.). Based upon the information available, there is no evidence in the file to indicate that the requested variance would adversely affect the health, safety or general welfare of the public and should therefore be granted. In the opinion of the Administrative Law Judge, the information, photographs, and affidavits submitted provide sufficient facts that comply with the requirements of Section 307.1 of the B.C.Z.R. Furthermore, strict compliance with the B.C.Z.R. would result in practical difficulty and/or unreasonable hardship upon the Petitioner.

Although the Department of Planning did not make any recommendations related to the proposed garage height and usage, I will impose conditions that the garage not be converted into a dwelling unit or apartment, not contain any sleeping quarters, living area, kitchen or bathroom facilities, and not be used for commercial purposes.

Pursuant to the posting of the property and the provisions of both the Baltimore County Code and the Baltimore County Zoning Regulations, and for the reasons given above, the requested variance should be granted.

THEREFORE, IT IS ORDERED, this 3rd day of September, 2014, by the Administrative Law Judge for Baltimore County, that the Petition for Variance relief from §§ 1B01.2 (1963-1975), 205.2 and 205.4 of the Baltimore County Zoning Regulations (B.C.Z.R.) as follows: (1) To permit a garage and addition in the side and rear yards of a dwelling on a corner lot with a front yard setback of 29 ft. to the property line and a front setback of 54 ft. to the centerline of a non-collector road in lieu of the required 40 ft. and 65 ft. respectively; and (2) To permit a rear yard setback of 37 ft. in lieu of the permitted 40 ft., be and is hereby GRANTED.

ORDER RECEIVED FOR FILING

Date 9-3-14

By DW

The relief granted herein shall be subject to the following:

1. Petitioner may apply for her appropriate permits and be granted same upon receipt of this Order; however, Petitioner is hereby made aware that proceeding at this time is at her own risk until such time as the 30-day appellate process from this Order has expired. If, for whatever reason, this Order is reversed, Petitioner would be required to return, and be responsible for returning, said property to its original condition.
2. The Petitioner or subsequent owners shall not convert the subject garage into a dwelling unit or apartment. The structure shall not contain any sleeping quarters, living area, kitchen or bathroom facilities.
3. The garage shall not be used for commercial purposes.
4. The Petitioner must comply with the ZAC comment received from DOP dated August 26, 2014; a copy of which is attached hereto and made a copy hereof.

Any appeal of this decision must be made within thirty (30) days of the date of this Order.



JOHN E. BEVERUNGEN
Administrative Law Judge
for Baltimore County

JEB:dlw

ORDER RECEIVED FOR FILING

Date 9-3-14

By DW

9/1

BALTIMORE COUNTY, MARYLAND

INTER-OFFICE CORRESPONDENCE

TO: Carl Richards
Permits, Approvals and Inspections

DATE: August 18, 2014

FROM: Andrea Van Arsdale
Director, Department of Planning

SUBJECT: 8101 Halton Road

RECEIVED

INFORMATION:

AUG 26 2014

Item Number: 15-032

Petitioner: Karen Callahan

OFFICE OF ADMINISTRATIVE HEARINGS

Zoning: DR 2

Requested Action: Administrative Variance

SUMMARY OF RECOMMENDATIONS:

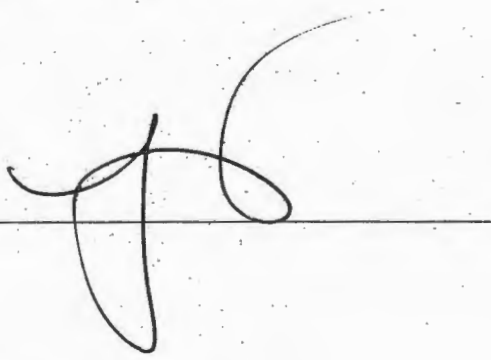
The Department of Planning has reviewed the petitioner's request and accompanying site plan and has no objection to the requested relief. It should be noted that this property is within the Ruxton Riderwood Lake Roland Design Review Panel area.

All residential development in the area is to be reviewed by the Design Review Panel. Additions to existing dwellings are also to be reviewed if they are greater than 50% of the existing square footage.

The Department of Planning will need to see the existing and proposed square footage calculations to determine if the property will have to go through the Design Review Panel for review.

For further information concerning the matters stated here in, please contact Krystle Patchak with the Department of Planning at 410-887-3480.

Prepared by:
AVA/LL



ORDER RECEIVED FOR FILING

Date 9-3-14

By EW



ADMINISTRATIVE ZONING PETITION

FOR ADMINISTRATIVE VARIANCE - OR - ADMINISTRATIVE SPECIAL HEARING

To be filed with the Department of Permits, Approvals and Inspections

To the Office of Administrative Hearings for Baltimore County for the property located at:

Address 8101 HALTON ROAD Currently zoned DB 2/R20
 Deed Reference B51417 1 444 10 Digit Tax Account # 0803052490
 Owner(s) Printed Name(s) KAREN L. CALLAHAN

(SELECT THE HEARING(S) BY MARKING **X** AT THE APPROPRIATE SELECTION(S) AND ADDING THE PETITION REQUEST)

For Administrative Variances, the **Affidavit** on the reverse of this Petition form must be completed and notarized.

The undersigned, who own and occupy the property situate in Baltimore County and which is described in the plan/plat attached hereto and made a part hereof, hereby petition for an:

1. ☒ **ADMINISTRATIVE VARIANCE** from Section(s)

1B01.2, 1963-1975 BCZR 205.2; 205.4

To permit a garage and addition in the side and rear yards of a dwelling on a corner lot with a front yard setback of 29 feet to the property line and a front setback of 54 feet to the centerline of a non-collector road in lieu of the required 40 feet and 65 feet respectively, and to permit a rear yard setback of 37 feet in lieu of the permitted 40 feet.

17(b) of the Baltimore

of the Baltimore County Code, to the development law of Baltimore County.

Property is to be posted and advertised as prescribed by the zoning regulations.

I/we agree to pay expenses of above petition(s), advertising, posting, etc. and further agree to be bound by the zoning regulations and restrictions of Baltimore County adopted pursuant to the zoning law for Baltimore County.

Owner(s)/Petitioner(s):

KAREN CALLAHAN
 Name #1 - Type or Print Name #2 - Type or Print
Karen Callahan
 Signature #1 Signature #2
8101 HALTON RD TOWSON, MD.
 Mailing Address City State
21304 410-446-3417
 Zip Code Telephone # Email Address

Attorney for Owner(s)/Petitioner(s):

Name- Type or Print
 Signature
 Mailing Address City State
 Zip Code Telephone # Email Address

Representative to be contacted:

Bev True
 Name - Type or Print
Bev True
 Signature
3920 London Bridge Rd Sykesville, MD
 Mailing Address City State
21784 410-3980988
 Zip Code Telephone # Email Address

A PUBLIC HEARING having been formally demanded and/or found to be required, it is ordered by the Office of Administrative Hearings for Baltimore County, this 8 day of August, 2015 that the subject matter of this petition be set for a public hearing, advertised, and re-posted as required by the zoning regulations of Baltimore County.

Administrative Law Judge for Baltimore County

CASE NUMBER 2015-0032-A Filing Date 8/8/2015 Estimated Posting Date 8/17/2015 Reviewer 2

CERTIFICATE OF POSTING

Date: 8-17-14

RE: Case Number: 2015-0032-A

Petitioner/Developer: Karen Callahan

Date of Hearing/Closing: 9-1-14

This is to certify under the penalties of perjury that the necessary sign(s) required by law were posted conspicuously on the property located at 8/01 Halton Rd

8-17-14

(Month, Day, Year)

J. Lawrence Pilson
(Signature of Sign Poster)

J. LAWRENCE PILSON

(Printed Name of Sign Poster)

1015 Old Barn Road

(Street Address of Sign Poster)

Parkton, MD 21120

(City, State, Zip Code of Sign Poster)

410-343-1443

(Telephone Number of Sign Poster)



M E M O R A N D U M

DATE: October 7, 2014
TO: Zoning Review Office
FROM: Office of Administrative Hearings
RE: Case No. 2015-0032-A - Appeal Period Expired

The appeal period for the above-referenced case expired on October 3, 2014. There being no appeal filed, the subject file is ready for return to the Zoning Review Office and is placed in the 'pick up box.'

c: Case File
Office of Administrative Hearings



KEVIN KAMENETZ
County Executive

ARNOLD JABLON
Deputy Administrative Officer
Director, Department of Permits,
Approvals & Inspections

September 2, 2014

Karen Callahan
8101 Halton Road
Towson MD 21204

RE: Case Number: 2015-0032 A, Address: 8101 Halton Road

Dear Ms. Callahan:

The above referenced petition was accepted for processing **ONLY** by the Bureau of Zoning Review, Department of Permits, Approvals, and Inspection (PAI) on August 8, 2014. This letter is not an approval, but only a **NOTIFICATION**.

The Zoning Advisory Committee (ZAC), which consists of representatives from several approval agencies, has reviewed the plans that were submitted with your petition. All comments submitted thus far from the members of the ZAC are attached. These comments are not intended to indicate the appropriateness of the zoning action requested, but to ensure that all parties (zoning commissioner, attorney, petitioner, etc.) are made aware of plans or problems with regard to the proposed improvements that may have a bearing on this case. All comments will be placed in the permanent case file.

If you need further information or have any questions, please do not hesitate to contact the commenting agency.

Very truly yours,

A handwritten signature in black ink that reads "W. Carl Richards, Jr." The signature is written in a cursive style with a large, stylized "W" and "R".

W. Carl Richards, Jr.
Supervisor, Zoning Review

WCR: jaf

Enclosures

c: People's Counsel
Bev True, 3920 London Bridge Road, Sykesville MD 21784

Martin O'Malley, Governor
Anthony G. Brown, Lt. Governor



James T. Smith, Jr., Secretary
Melinda B. Peters, Administrator

Date: 8/13/14

Ms. Kristen Lewis
Baltimore County Office of
Permits and Development Management
County Office Building, Room 109
Towson, Maryland 21204

RE: Baltimore County
Item No 2015-0032-A
Administrative Variance
Karen Callahan
8101 Halton Road

Dear Ms. Lewis:

Thank you for the opportunity to review your referral request on the subject of the above captioned. We have determined that the subject property does not access a State roadway and is not affected by any State Highway Administration projects. Therefore, based upon available information this office has no objection to Baltimore County Zoning Advisory Committee approval of Item No. 2015-0032-A.

Should you have any questions regarding this matter, please contact Richard Zeller at 410-545-5598 or 1-800-876-4742 extension 5598. Also, you may E-mail him at (rzeller@sha.state.md.us).

Sincerely,

Steven D. Foster, Chief/
Development Manager
Access Management Division

SDF/raz

My telephone number/toll-free number is _____
Maryland Relay Service for Impaired Hearing or Speech 1.800.735.2258 Statewide Toll Free

Street Address: 707 North Calvert Street • Baltimore, Maryland 21202 • Phone 410.545.0300 • www.roads.maryland.gov

BALTIMORE COUNTY, MARYLAND
INTEROFFICE CORRESPONDENCE

TO: Arnold Jablon, Director
Department of Permits, Approvals
And Inspections

DATE: July 28, 2014

FROM: Dennis A. Kennedy, Supervisor
Bureau of Development Plans Review

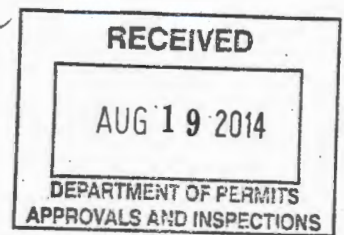
SUBJECT: Zoning Advisory Committee Meeting
For August 18, 2014
Item No. 2015-0023, 0025, 0026, 0027, 0028, 0030 and 0032

The Bureau of Development Plans Review has reviewed the subject zoning items, and we have no comments.

DAK:CEN
cc:file

G:\DevPlanRev\ZAC -No Comments\ZAC08182014 -.doc

8/20/14
8/20/14



BALTIMORE COUNTY, MARYLAND
INTER-OFFICE CORRESPONDENCE

TO: Arnold Jablon, Director
Department of Permits and
Development Management

DATE: August 15, 2014

FROM: Andrea Van Arsdale
Director, Office of Planning

SUBJECT: 8101 Halton Road

INFORMATION:

Item Number: 15-032

Petitioner: Karen Callahan

Zoning: DR 2

Requested Action: Administrative Variance

SUMMARY OF RECOMMENDATIONS:

The Department of Planning has reviewed the petitioner's request for administrative variance. It should be noted that this property is within the Ruxton Riderwood Lake Roland Design Review Panel area.

All residential development in the area is to be reviewed by the Design Review Panel. Additions to existing dwellings are also to be reviewed if they are greater than 50% of the existing square footage.

The Department of Planning will need to see the existing and proposed square footage calculations to determine if the property will have to go through the Design Review Panel for review.

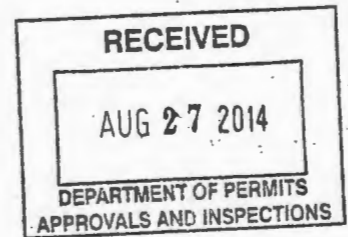
If you have any additional questions please contact Krystle Patchak at the Department of Planning at 410-887-3480.

Prepared by: _____

Division Chief: _____
AVA:kp

8/28/14
CO

BALTIMORE COUNTY, MARYLAND
INTER-OFFICE CORRESPONDENCE



TO: Carl Richards
Permits, Approvals and Inspections

DATE: August 18, 2014

FROM: Andrea Van Arsdale
Director, Department of Planning

SUBJECT: 8101 Halton Road

INFORMATION:

Item Number: 15-032

Petitioner: Karen Callahan

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Prepared by:
AVA/LL

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KEVIN KAMENETZ
County Executive

LAWRENCE M. STAHL
Managing Administrative Law Judge
JOHN E. BEVERUNGEN
Administrative Law Judge

September 3, 2014

RECEIVED

SEP 16 2014

Karen L. Callahan
8101 Halton Road
Towson, Maryland 21204

OFFICE OF ADMINISTRATIVE HEARINGS

RE: Petition for Administrative Variance
Case No. 2015-0032-A
Property: 8101 Halton Road

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Sincerely,

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JOHN E. BEVERUNGEN
Administrative Law Judge
for Baltimore County

JEB:dlw
Enclosure

c: Bev True, 3920 London Bridge Road, Sykesville, MD 21784

IN RE: PETITION FOR ADMIN. VARIANCE

(8101 Halton Road)

8th Election District

2nd Council District

Karen L. Callahan

Petitioner

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BEFORE THE

OFFICE OF ADMINISTRATIVE

HEARINGS FOR

BALTIMORE COUNTY

CASE NO. 2015-0032-A

* * * * *

OPINION AND ORDER

This matter comes before the Office of Administrative Hearings (OAH) as a Petition for Administrative Variance filed by the legal owner of the property, Karen L. Callahan. The Petitioner is requesting Variance relief from §§ 1B01.2 (1963-1975), 205.2 and 205.4 of the Baltimore County Zoning Regulations (B.C.Z.R.) as follows: (1) To permit a garage and addition in the side and rear yards of a dwelling on a corner lot with a front yard setback of 29 ft. to the property line and a front setback of 54 ft. to the centerline of a non-collector road in lieu of the required 40 ft. and 65 ft. respectively; and (2) To permit a rear yard setback of 37 ft. in lieu of the permitted 40 ft. The subject property and requested relief is more fully depicted on the site plan that was marked and accepted into evidence as Petitioner's Exhibit 1.

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The Petitioner having filed a Petition for Administrative Variance and the subject property having been posted on August 17, 2014, and there being no request for a public hearing, a decision shall be rendered based upon the documentation presented.

The relief granted herein shall be subject to the following:

1. Petitioner may apply for her appropriate permits and be granted same upon receipt of this Order; however, Petitioner is hereby made aware that proceeding at this time is at her own risk until such time as the 30-day appellate process from this Order has expired. If, for whatever reason, this Order is reversed, Petitioner would be required to return, and be responsible for returning, said property to its original condition.
2. The Petitioner or subsequent owners shall not convert the subject garage into a dwelling unit or apartment. The structure shall not contain any sleeping quarters, living area, kitchen or bathroom facilities.
3. The garage shall not be used for commercial purposes.
4. The Petitioner must comply with the ZAC comment received from DOP dated August 26, 2014; a copy of which is attached hereto and made a copy hereof.

Any appeal of this decision must be made within thirty (30) days of the date of this Order.



JOHN E. BEVERUNGEN
Administrative Law Judge
for Baltimore County

JEB:dlw

C H E C K L I S T

<u>Comment Received</u>	<u>Department</u>	<u>Support/Oppose/ Conditions/ Comments/ No Comment</u>
<u>7-28</u>	DEVELOPMENT PLANS REVIEW (if not received, date e-mail sent _____)	<u>NC</u>
_____	DEPS (if not received, date e-mail sent _____)	_____
_____	FIRE DEPARTMENT	_____
<u>8-26</u>	PLANNING (if not received, date e-mail sent _____)	<u>C - No objection</u>
<u>8-13</u>	STATE HIGHWAY ADMINISTRATION	<u>No objection</u>
_____	TRAFFIC ENGINEERING	_____
_____	COMMUNITY ASSOCIATION	_____
_____	ADJACENT PROPERTY OWNERS	_____
ZONING VIOLATION	(Case No. _____)	
PRIOR ZONING	(Case No. _____)	
NEWSPAPER ADVERTISEMENT	Date: _____	
SIGN POSTING	Date: <u>8-17-14</u> by <u>Pilson</u>	
PEOPLE'S COUNSEL APPEARANCE	Yes ☐ No ☐	
PEOPLE'S COUNSEL COMMENT LETTER	Yes ☐ No ☐	

Comments, if any: _____

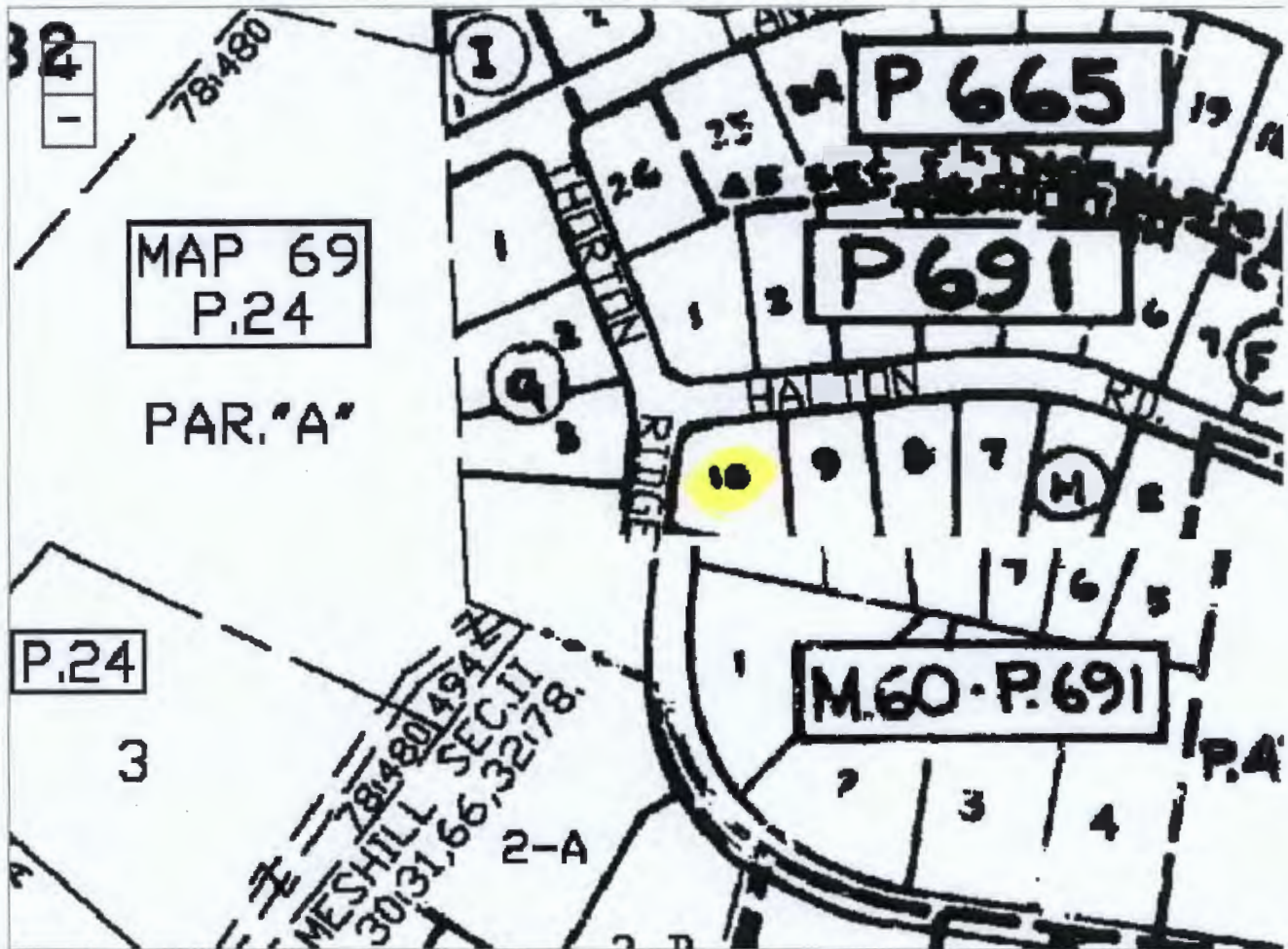
Real Property Data Search (w4)

Guide to searching the database

Search Result for BALTIMORE COUNTY

View Map		View GroundRent Redemption		View GroundRent Registration	
Account Identifier:		District - 08 Account Number - 0803052490			
Owner Information					
Owner Name:		CALLAHAN KAREN L		Use:	RESIDENTIAL
Mailing Address:		8101 HALTON RD		Principal Residence:	YES
		TOWSON MD 21204-		Deed Reference:	/35147/ 00444
Location & Structure Information					
Premises Address:		8101 HALTON RD		Legal Description:	
		0-0000		THORNLEIGH	
Map:	Grid:	Parcel:	Sub District:	Subdivision:	Section:
0060	0021	0691		0000	5
Block:	Lot:	Assessment Year:	Plat No:	Plat Ref:	6
H	10	2014			0031/0024
Special Tax Areas:			Town:		
			Ad Valorem:		
			Tax Class:		
			NONE		
Primary Structure Built	Above Grade Enclosed Area	Finished Basement Area	Property Land Area	County Use	
1964	2,050 SF		21,545 SF	04	
Stories	Basement	Type	Exterior	Full/Half Bath	Garage
2	YES	STANDARD UNIT	1/2 BRICK SIDING	2 full/ 1 half	Last Major Renovation
Value Information					
	Base Value	Value As of 01/01/2014	Phase-in Assessments		
			As of 07/01/2014	As of 07/01/2015	
Land:	156,800	156,800			
Improvements	180,400	181,200			
Total:	337,200	338,000	337,467	337,733	
Preferential Land:	0			0	
Transfer Information					
Seller: COOLE JOHN E		Date: 07/11/2014		Price: \$365,000	
Type: ARMS LENGTH IMPROVED		Deed1: /35147/ 00444		Deed2:	
Seller: JAMES KEELTY & C O INC		Date: 01/13/1967		Price: \$35,200	
Type: ARMS LENGTH IMPROVED		Deed1: /04714/ 00506		Deed2:	
Seller:		Date:		Price:	
Type:		Deed1:		Deed2:	
Exemption Information					
Partial Exempt Assessments:	Class	07/01/2014	07/01/2015		
County:	000	0.00			
State:	000	0.00			
Municipal:	000	0.00 0.00	0.00 0.00		
Tax Exempt:		Special Tax Recapture:			
Exempt Class:		NONE			
Homestead Application Information					
Homestead Application Status: No Application					

Baltimore County

[New Search \(http://sdat.resiusa.org/RealProperty/\)](http://sdat.resiusa.org/RealProperty/)District: **08** Account Number: **0803052490**

The information shown on this map has been compiled from deed descriptions and plats and is not a property survey. The map should not be used for legal descriptions. Users noting errors are urged to notify the Maryland Department of Planning Mapping, 301 W. Preston Street, Baltimore MD 21201.

If a plat for a property is needed, contact the local Land Records office where the property is located. Plats are also available online through the Maryland State Archives at www.plats.net (<http://www.plats.net>).

Property maps provided courtesy of the Maryland Department of Planning ©2011.

For more information on electronic mapping applications, visit the Maryland Department of Planning web site at www.mdp.state.md.us/OurProducts/OurProducts.shtml (<http://www.mdp.state.md.us/OurProducts/OurProducts.shtml>).



(<http://imsweb05.mdp.state.md.us/website/mosp/>)

☒ Loading... Please

Loading... Please Wait.

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9/1

BALTIMORE COUNTY, MARYLAND

INTER-OFFICE CORRESPONDENCE

TO: Carl Richards
Permits, Approvals and Inspections

DATE: August 18, 2014

FROM: Andrea Van Arsdale
Director, Department of Planning

SUBJECT: 8101 Halton Road

RECEIVED

INFORMATION:

Item Number: 15-032

AUG 26 2014

Petitioner: Karen Callahan

OFFICE OF ADMINISTRATIVE HEARINGS

Zoning: DR 2

Requested Action: Administrative Variance

SUMMARY OF RECOMMENDATIONS:

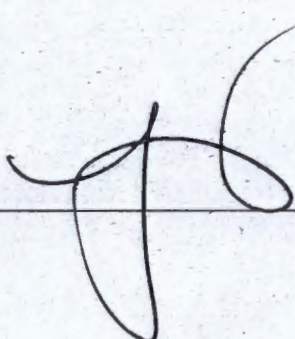
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For further information concerning the matters stated here in, please contact Krystle Patchak with the Department of Planning at 410-887-3480.

Prepared by:
AVA/LL



Liber / Folio
35147 / 444

AFTER RECORDING RETURN TO:
Karen L. Callahan
8101 Halton Road
Towson, MD 21204
Tax ID #: (08) 08-03-052490

DOCUMENT PREPARED BY:
Sage Title Group, LLC
16 Green Meadow Drive, Suite 200
Timonium, MD 21093
File Number: 122006TMS

This Deed, MADE THIS 19th day of June 2014, by and between Alicia A. Cool and Jeffrey A. Cool, Personal Representatives of The Estate of John E. Cool, parties of the first part, and Karen L. Callahan, party of the second part.

WHEREAS, by Letters of Administration from the Register of Wills of Baltimore County, Maryland, issued in the estate of the decedent, Estate Number 171579, the parties of the first part were appointed Personal Representatives for the decedent's estate and are so acting on the date of this Deed, and

WHEREAS the parties of the first part, as Personal Representatives are validly seized and possessed of all lands hereinbelow conveyed.

WITNESSETH, That in consideration of the sum of **THREE HUNDRED SIXTY FIVE THOUSAND AND 00/100 DOLLARS (\$365,000.00)**, the receipt of which is hereby acknowledged, the said parties of the first part do grant and convey to the said party of the second part, in fee simple, all that parcel of ground situated in **Baltimore County, Maryland** and as described as follows, that is to say:

Being known and designated as Lot No. 10, Block H, as shown on a plat entitled "Subdivision Plan - Plat Six - Section Five - Thornleigh" which Plat is dated July 1965 and recorded among the Land Records of Baltimore County in Plat Book Liber OTG No. 31, folio 24.

The improvements thereon being known as 8101 Halton Road, Towson, Maryland.

Tax ID#: (08) 08-03-052490

BEING the same property which by deed dated January 10, 1967 and recorded among the Land Records of Baltimore County, Maryland in Liber No. 4714, folio 506, was granted and conveyed by James Keelty & Co., Inc. unto John E. Cool and Marjorie A. Cool. The said Marjorie A. Cool having since departed this life on or about November 11, 2008, and the same John E. Cool having since departed this life on or about November 6, 2012. Alicia A. Cool and Jeffrey A. Cool were appointed Co-Personal Representatives by Administrative Probate Order for Estate No. 171579.

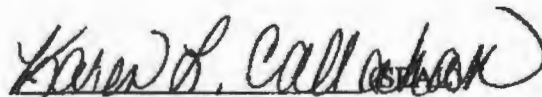
OWNER OCCUPANCY AFFIDAVIT

THE WITHIN GRANTEE DO HEREBY CERTIFY UNDER THE PENALTY OF PERJURY THAT THE LAND CONVEYED HEREIN IS RESIDENTIALLY IMPROVED OWNER-OCCUPIED BY MYSELF AT LEAST 7 OUT OF 12 MONTHS IMMEDIATELY AFTER THE PROPERTY IS CONVEYED AS EVIDENCED BY THE SIGNATURE BELOW

WITNESS the hand and seal of the said party of the second part:

WITNESS:




Karen L. Callahan

STATE OF Maryland, CITY/COUNTY OF Belt to wit:

I HEREBY CERTIFY, that on this _____ day of _____, 20____, before me, the subscriber, a Notary Public of the State of _____ in and for _____ County/City, personally appeared **Karen L. Callahan** known to me (or satisfactorily proven) to be the person whose name is subscribed to the within instrument and acknowledged the foregoing Deed to be her act, and in my presence signed and sealed the same.

IN WITNESS WHEREOF, I hereunto set my hand and official seal:

Notary Public

My Commission Expires:





KEVIN KAMENETZ
County Executive

ARNOLD JABLON
*Deputy Administrative Officer
Director, Department of Permits,
Approvals & Inspections*

September 2, 2014

Karen Callahan
8101 Halton Road
Towson MD 21204

RE: Case Number: 2015-0032 A, Address: 8101 Halton Road

Dear Ms. Callahan:

The above referenced petition was accepted for processing **ONLY** by the Bureau of Zoning Review, Department of Permits, Approvals, and Inspection (PAI) on August 8, 2014. This letter is not an approval, but only a **NOTIFICATION**.

The Zoning Advisory Committee (ZAC), which consists of representatives from several approval agencies, has reviewed the plans that were submitted with your petition. All comments submitted thus far from the members of the ZAC are attached. These comments are not intended to indicate the appropriateness of the zoning action requested, but to ensure that all parties (zoning commissioner, attorney, petitioner, etc.) are made aware of plans or problems with regard to the proposed improvements that may have a bearing on this case. All comments will be placed in the permanent case file.

If you need further information or have any questions, please do not hesitate to contact the commenting agency.

Very truly yours,

A handwritten signature in black ink, reading "W. Carl Richards, Jr." in a cursive style.

W. Carl Richards, Jr.
Supervisor, Zoning Review

WCR: jaf

Enclosures

c: People's Counsel
Bev True, 3920 London Bridge Road, Sykesville MD 21784

Martin O'Malley, Governor
Anthony G. Brown, Lt. Governor



Maryland Department of Transportation

James T. Smith, Jr., Secretary
Melinda B. Peters, Administrator

Date: 8/13/14

Ms. Kristen Lewis
Baltimore County Office of
Permits and Development Management
County Office Building, Room 109
Towson, Maryland 21204

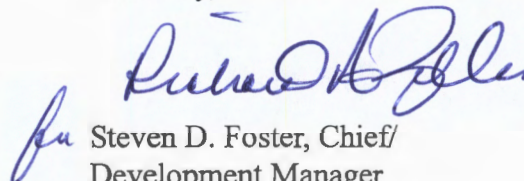
RE: Baltimore County
Item No 2015-0032-A
Administrative Variance
Karen Callahan
8101 Halton Road

Dear Ms. Lewis:

Thank you for the opportunity to review your referral request on the subject of the above captioned. We have determined that the subject property does not access a State roadway and is not affected by any State Highway Administration projects. Therefore, based upon available information this office has no objection to Baltimore County Zoning Advisory Committee approval of Item No. 2015-0032-A.

Should you have any questions regarding this matter, please contact Richard Zeller at 410-545-5598 or 1-800-876-4742 extension 5598. Also, you may E-mail him at (rzeller@sha.state.md.us).

Sincerely,


Steven D. Foster, Chief/
Development Manager
Access Management Division

SDF/raz

My telephone number/toll-free number is _____
Maryland Relay Service for Impaired Hearing or Speech 1.800.735.2258 Statewide Toll Free

Street Address: 707 North Calvert Street • Baltimore, Maryland 21202 • Phone 410.545.0300 • www.roads.maryland.gov

BALTIMORE COUNTY, MARYLAND
INTEROFFICE CORRESPONDENCE

TO: Arnold Jablon, Director
Department of Permits, Approvals
And Inspections

FROM: Dennis A. Kennedy, Supervisor
Bureau of Development Plans Review

SUBJECT: Zoning Advisory Committee Meeting
For August 18, 2014
Item No. 2015-0023, 0025, 0026, 0027, 0028, 0030 and 0032

DATE: July 28, 2014

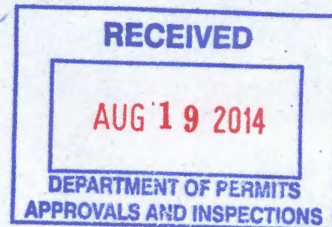
The Bureau of Development Plans Review has reviewed the subject zoning items, and we have no comments.

DAK:CEN
cc:file

G:\DevPlanRev\ZAC -No Comments\ZAC08182014 -.doc

BALTIMORE COUNTY, MARYLAND

INTER-OFFICE CORRESPONDENCE



TO: Arnold Jablon, Director
Department of Permits and
Development Management

DATE: August 15, 2014

FROM: Andrea Van Arsdale
Director, Office of Planning

SUBJECT: 8101 Halton Road

INFORMATION:

Item Number: 15-032

Petitioner: Karen Callahan

Zoning: DR 2

Requested Action: Administrative Variance

SUMMARY OF RECOMMENDATIONS:

The Department of Planning has reviewed the petitioner's request for administrative variance. It should be noted that this property is within the Ruxton Riderwood Lake Roland Design Review Panel area.

All residential development in the area is to be reviewed by the Design Review Panel. Additions to existing dwellings are also to be reviewed if they are greater than 50% of the existing square footage.

The Department of Planning will need to see the existing and proposed square footage calculations to determine if the property will have to go through the Design Review Panel for review.

If you have any additional questions please contact Krystle Patchak at the Department of Planning at 410-887-3480.

Prepared by: _____

Division Chief: _____
AVA:kp

8/18
COG

BALTIMORE COUNTY, MARYLAND
INTER-OFFICE CORRESPONDENCE



TO: Carl Richards
Permits, Approvals and Inspections

DATE: August 18, 2014

FROM: Andrea Van Arsdale
Director, Department of Planning

SUBJECT: 8101 Halton Road

INFORMATION:

Item Number: 15-032

Petitioner: Karen Callahan

Zoning: DR 2

Requested Action: Administrative Variance

SUMMARY OF RECOMMENDATIONS:

The Department of Planning has reviewed the petitioner's request and accompanying site plan and has no objection to the requested relief. It should be noted that this property is within the Ruxton Riderwood Lake Roland Design Review Panel area.

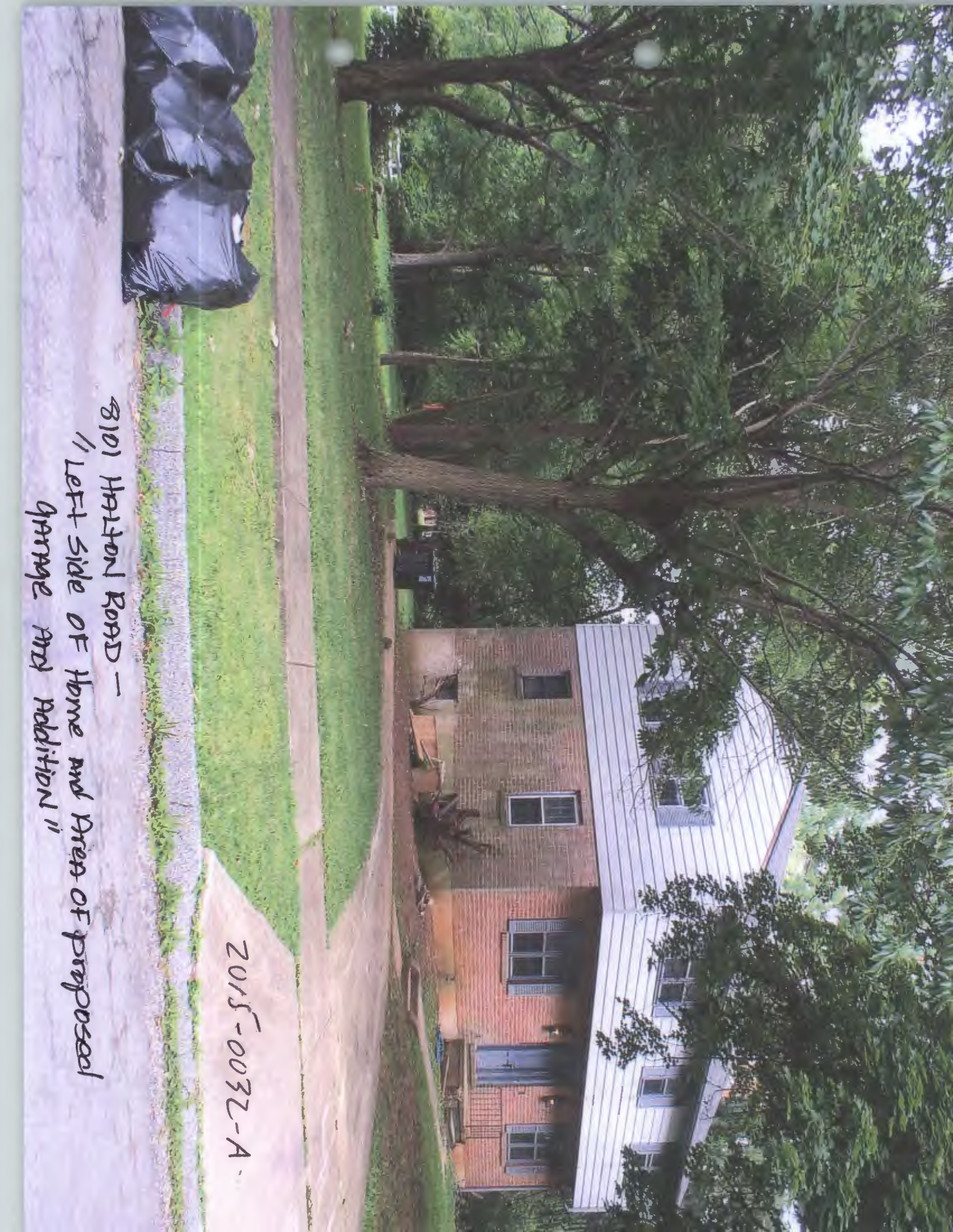
All residential development in the area is to be reviewed by the Design Review Panel. Additions to existing dwellings are also to be reviewed if they are greater than 50% of the existing square footage.

The Department of Planning will need to see the existing and proposed square footage calculations to determine if the property will have to go through the Design Review Panel for review.

For further information concerning the matters stated here in, please contact Krystle Patchak with the Department of Planning at 410-887-3480.

Prepared by:
AVA/LL

A large, stylized handwritten signature in black ink, written over a horizontal line.



2015-0032-A

8101 Halston Road -
"Left side of home and Area of proposed
garage and addition"

- 8101 HAYDEN RD
"Looking Right From Driveway"

2015-0032-A



2015-0032-A
8101 HATTON ROAD
Right Side of Property



8101 HALSTON ROAD
"Front View"
of
Existing Home



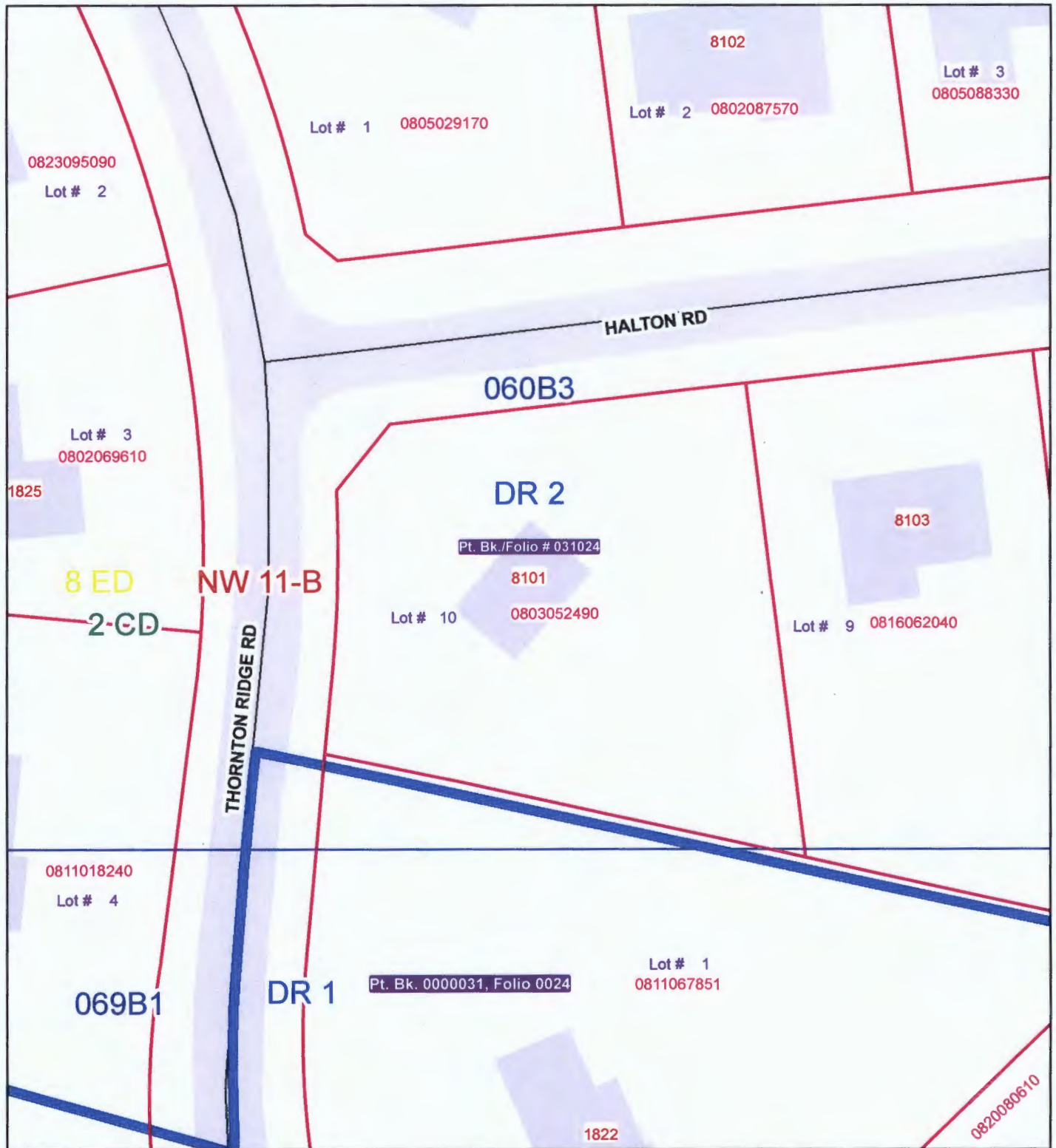
2015-0032-A

2015-06-32-A

8101 HANCOCK RD -
Right Side of Home & Rear of Property //



8101 Holton Road



Publication Date: 7/29/2014



Publication Agency: Permits, Approvals & Inspections
 Projection/Datum: Maryland State Plane,
 FIPS 1900, NAD 1983/91 HARN, US Foot



0 12.5 25 50 75 100 Feet

1 inch = 50 feet

Affidavit in Support of Administrative Variance

(THIS AFFIDAVIT IS NOT REQUIRED FOR AN HISTORIC ADMINISTRATIVE SPECIAL HEARING)

The undersigned hereby affirms under the penalties of perjury and upon personal knowledge to the Administrative Law Judge for Baltimore County, that the information herein given is true and correct and that the undersigned is/are competent to testify in the event that a public hearing is scheduled in the future with regard thereto. In addition, the undersigned hereby affirms that the property is not the subject of an active Code Enforcement case and that the residential property described below is owned and occupied by the undersigned.

Address: 8101 HALTON RD TOWSON MD 21204
Print or Type Address of property City State Zip Code

Based upon personal knowledge, the following are the facts upon which I/we base the request for an Administrative Variance at the above address. (Clearly state practical difficulty or hardship here)

I would like to add a family room, mud room, laundry room, porch and 2 car attached garage to our existing home. Due to the unusual placement and design of our home on this lot, it's difficult to place this addition on the lot anywhere else. We are asking to allow an attached garage on the side and addition on the rear of the house to accommodate our family needs, the much needed space would relieve an existing hardship. This house is the most unattractive on the street, and the proposed addition will add value and beauty to the existing neighborhood.

(If additional space for the petition request or the above statement is needed, label and attach it to this Form)

Karen Callahan
Signature of Owner (Affiant)

KAREN CALLAHAN
Name- Print or Type

X
Signature of Owner (Affiant)

Name- Print or Type

The following information is to be completed by a Notary Public of the State of Maryland

STATE OF MARYLAND, COUNTY OF BALTIMORE, to wit:

I HEREBY CERTIFY, this 29 day of July, 2014, before me a Notary of Maryland, in and for the County aforesaid, personally appeared:

Print name(s) here: Dale Little

the Affiant(s) herein, personally known or satisfactorily identified to me as such Affiant(s).

AS WITNESS my hand and Notaries Seal

Dale Little
Notary Public

My Commission Expires

My Commission Expires

5/14/2016

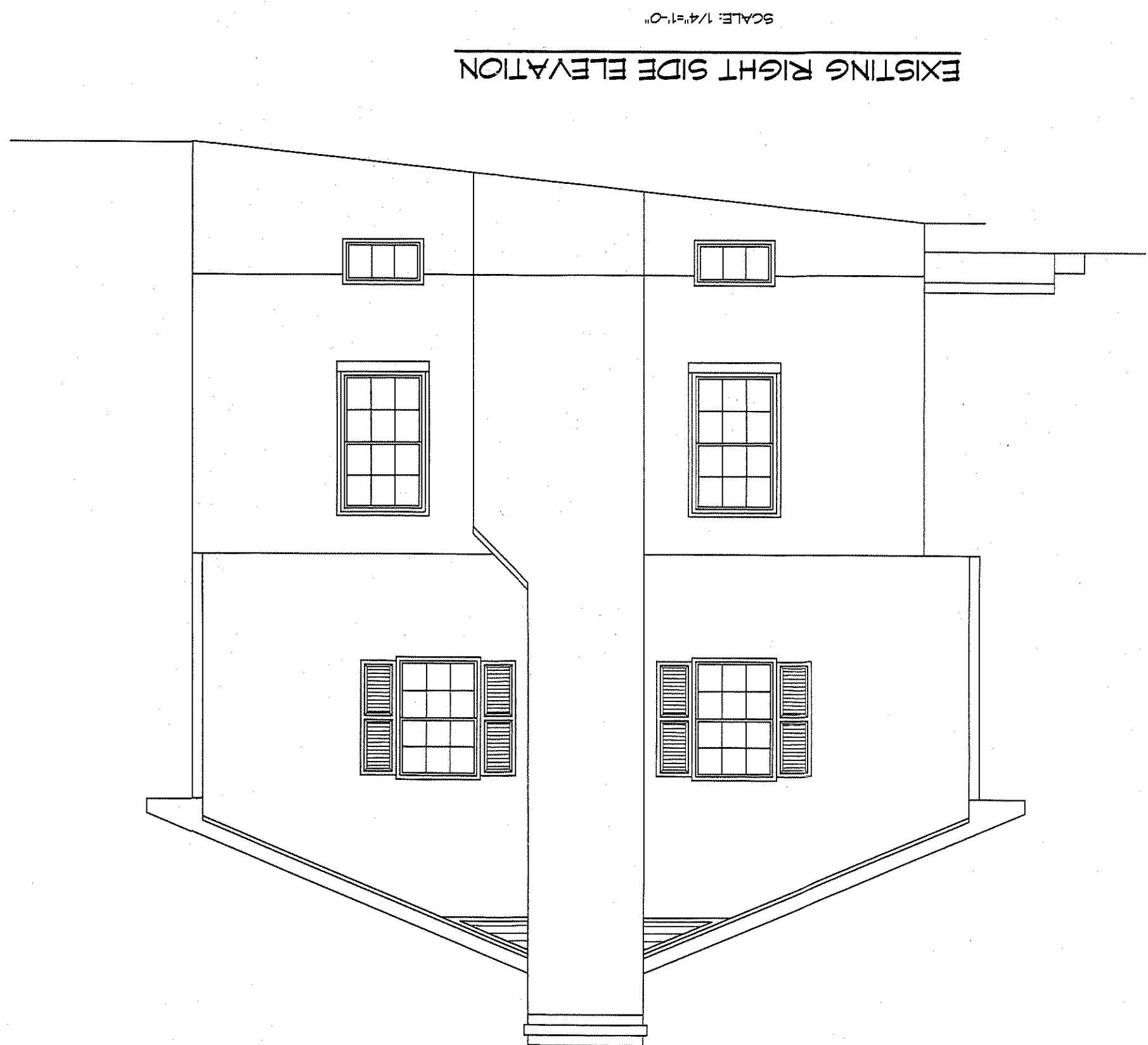
0032-A

REV. 5/8/2014

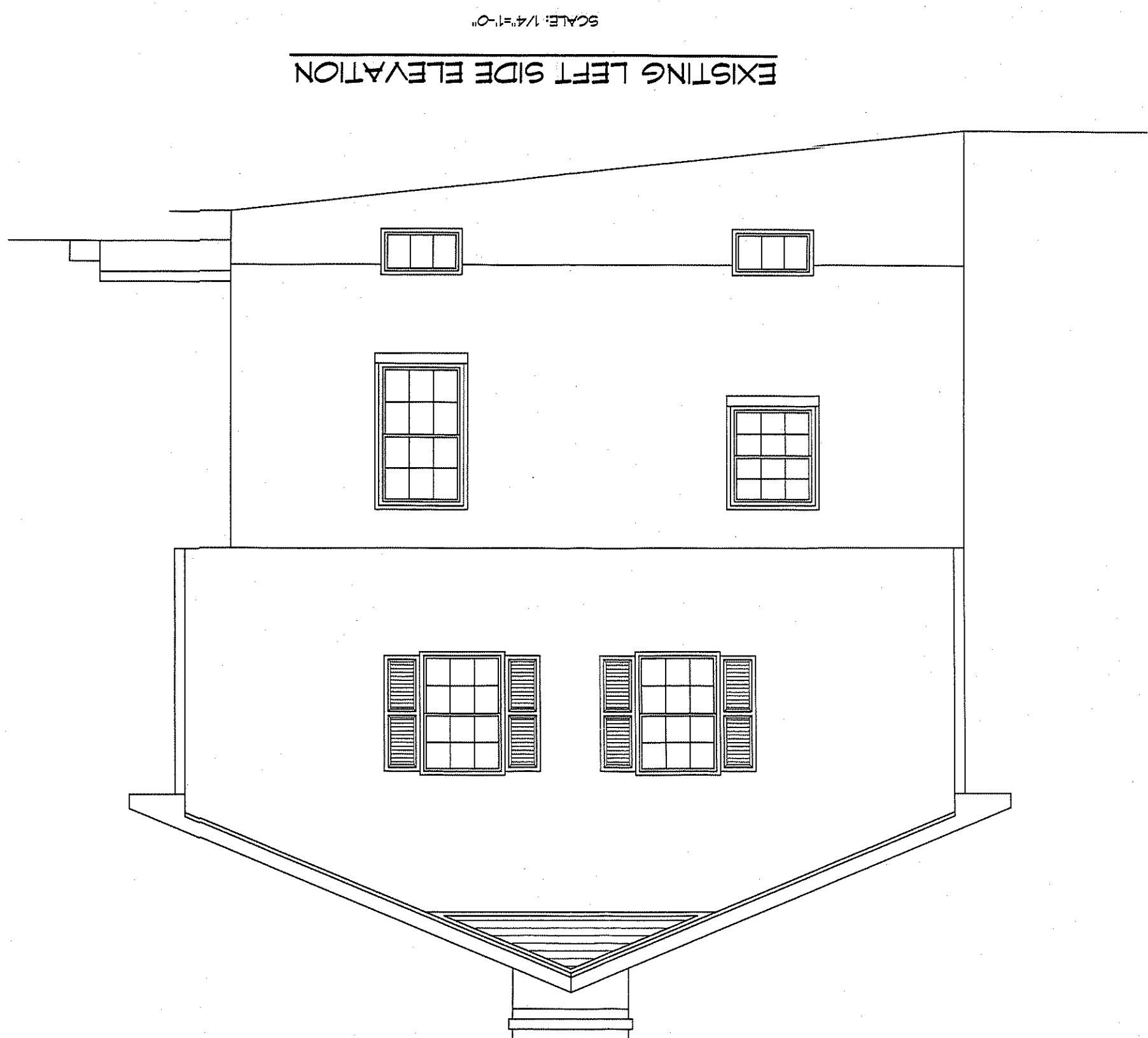
CASE NO.
2015-0033-A

ZONING DESCRIPTION FOR 8101 HALTON ROAD

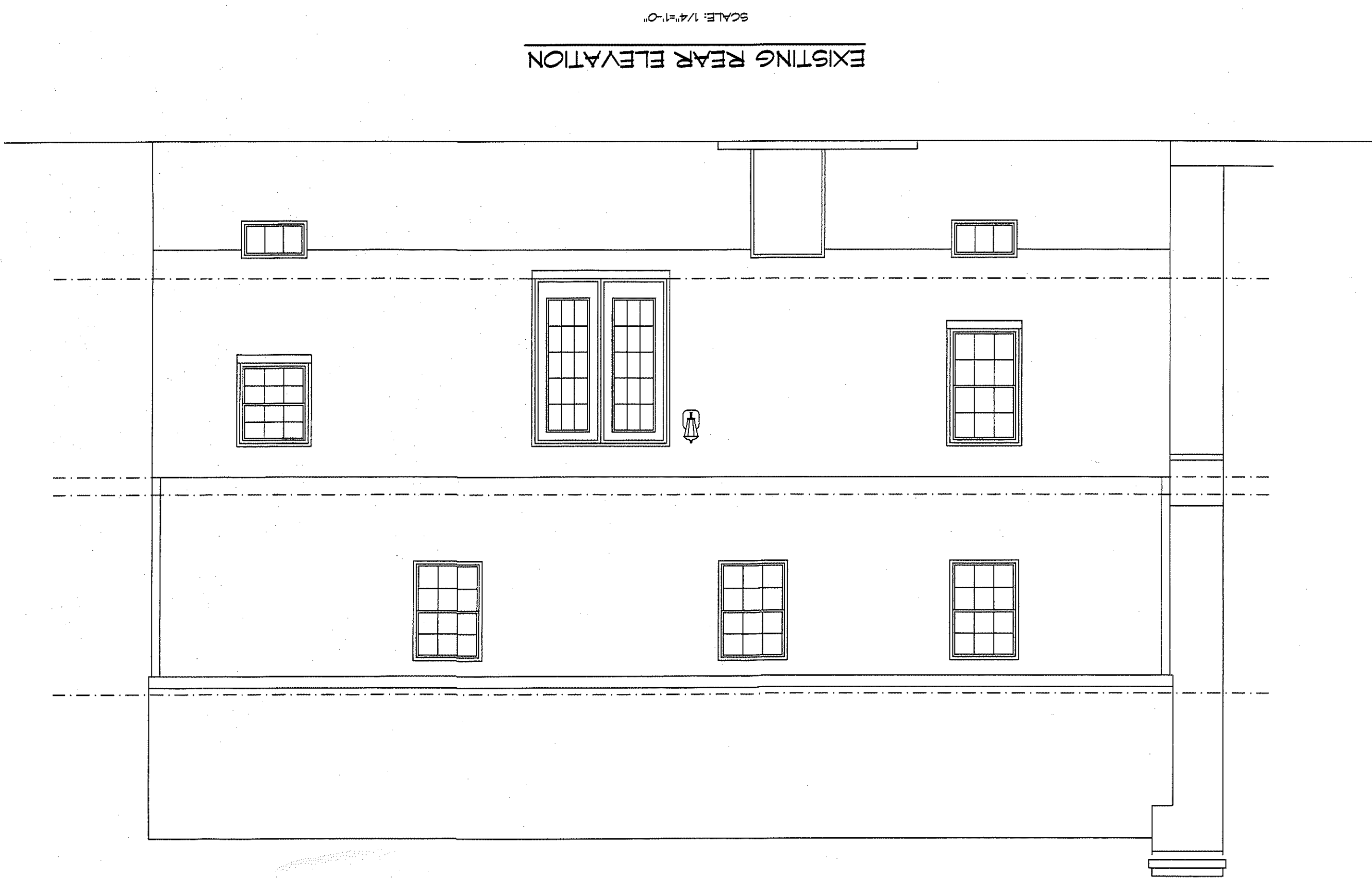
Beginning at a point on the South Side of Halton Road which is 20' wide at the distance of 25' East of the centerline of the nearest improved intersecting street Thornton Ridge Road which is 30' wide. Being Lot# 10 Block H, Section 5 in the Subdivision of Thornleigh as recorded in the Baltimore County Plat Book 31, Folio 24 containing 21,245 SF and located in the 8th Election District 2nd Councilmanic District.



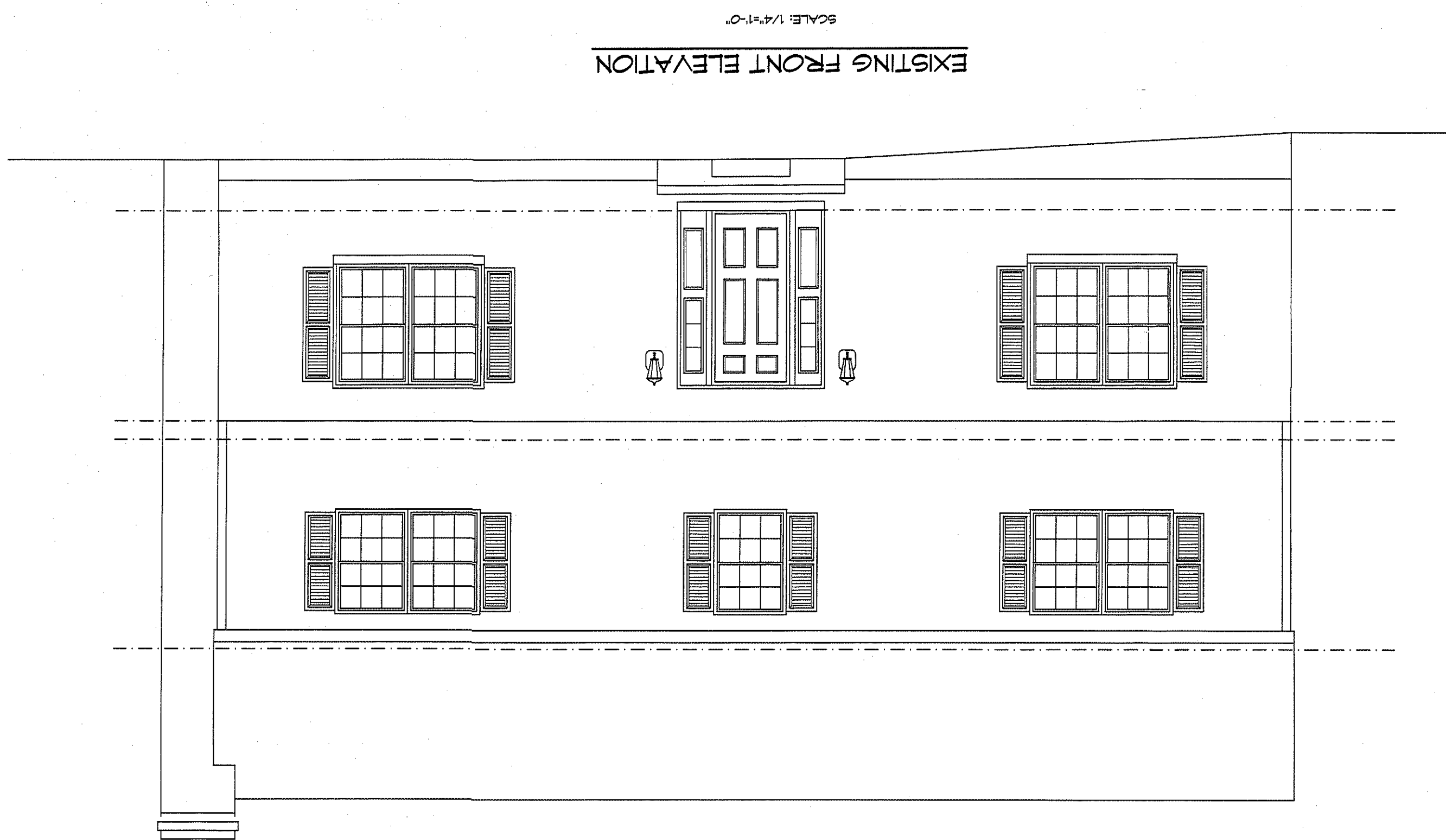
EXISTING RIGHT SIDE ELEVATION



EXISTING LEFT SIDE ELEVATION



EXISTING REAR ELEVATION



EXISTING FRONT ELEVATION

PRELIMINARY REVIEW DESIGN

PROJECT ADDRESS:
8101 HALTON ROAD
TOWSON, MD 21204
BALTIMORE COUNTY, MD

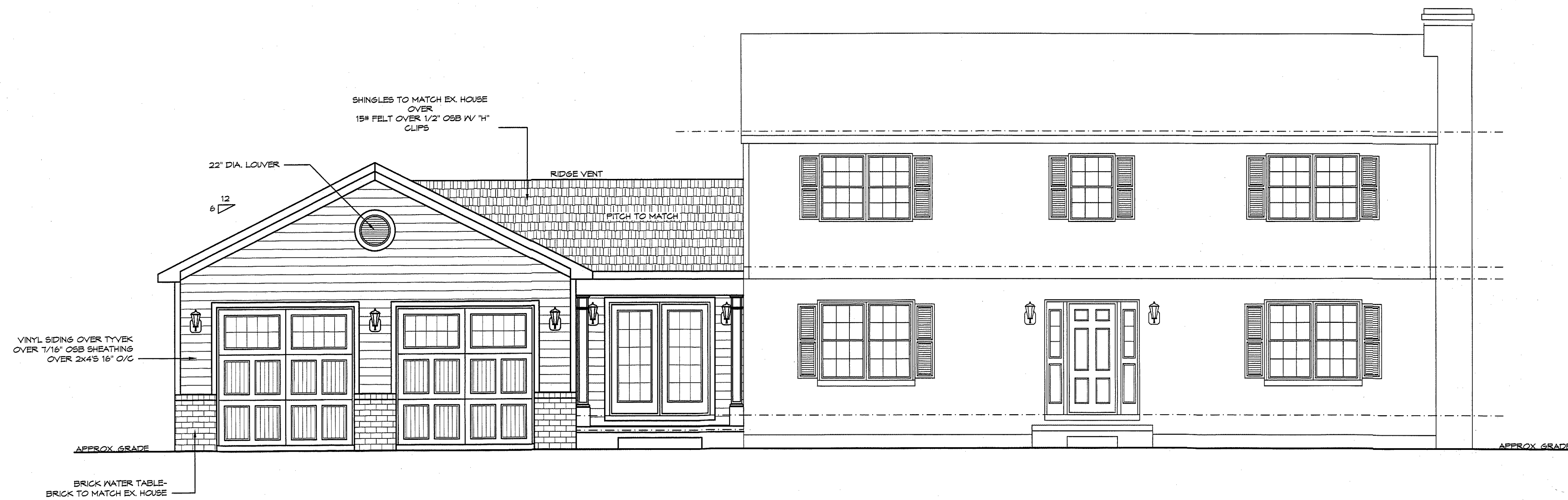
REMODELING & ADDITIONS TO
THE CALLAHAN RESIDENCE

GHL CUSTOM HOME
DESIGN INC.
PO BOX 237 FINKSBURG, MD 21048
PHONE 410-833-8320

SCALE: 1/4" = 1'-0"
DATE: 7/2014
SHEET NO.: 1 OF 1

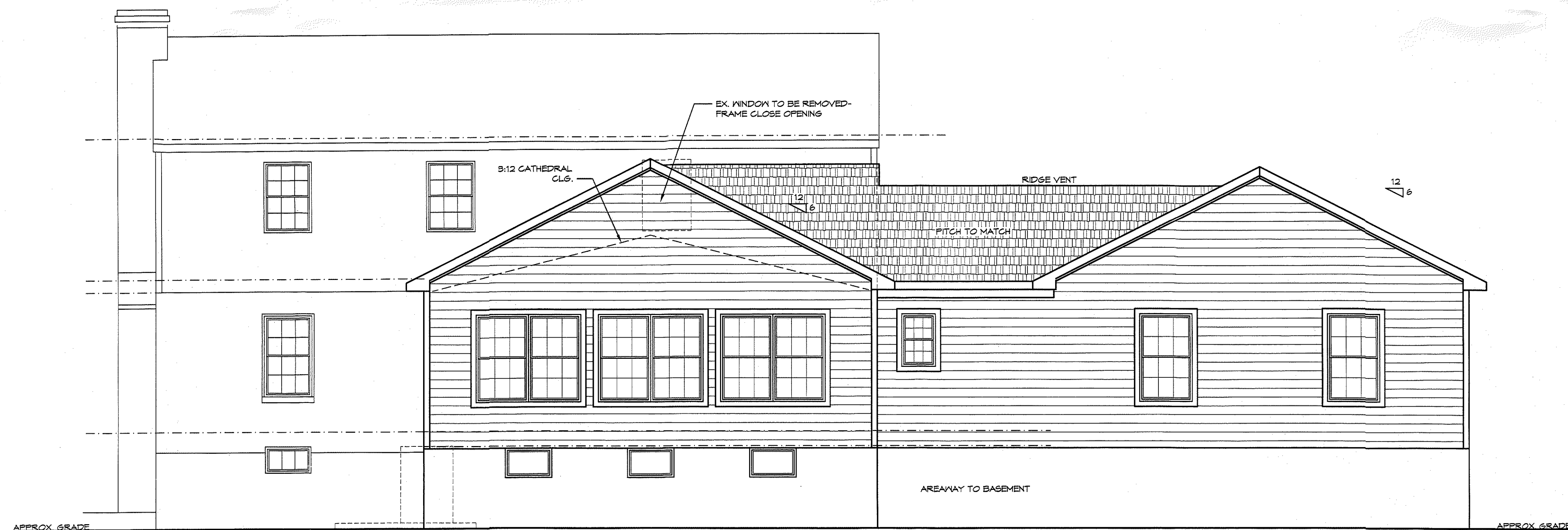
FILE CALLAHAN ADDITIONS

CASE #
2015-0032A



PROPOSED FRONT ELEVATION

SCALE: 1/4"=1'-0"



PROPOSED REAR ELEVATION

SCALE: 1/4"=1'-0"

PRELIMINARY REVIEW DESIGN

REMODELING & ADDITIONS TO THE CALLAHAN RESIDENCE

PROJECT ADDRESS:
8101 HALTON ROAD
TOWSON, MD 21204
BALTIMORE COUNTY, MD

FILE: CALLAHAN ADDITIONS

SCALE: 1/4" = 1'-0"

DATE: 7/2014

SHEET NO: 1 OF 1

GBL CUSTOM HOME
DESIGN INC.
PO BOX 237 FINKSBURG, MD 21048
PHONE 410-833-8320

GENERAL STRUCTURAL NOTES

1. GENERAL

A. ALL CONSTRUCTION SHALL CONFORM WITH THE PROVISIONS OF THE 2012 INTERNATIONAL RESIDENTIAL CODE FOR ONE AND TWO FAMILY DWELLINGS.

B. DESIGN LIVE LOADS:

ROOF..... 30 PSF
FLOORS..... 40 PSF
SLEEPING AREAS..... 30 PSF

2. FOUNDATIONS

A. FOOTINGS ARE DESIGNED FOR AN ALLOWABLE SOIL BEARING CAPACITY OF 2000 PSF. FOOTINGS SHALL BEAR ON NATURAL UNDISTURBED SOIL, 1'-0" BELOW ORIGINAL GRADE. THE BOTTOM OF EXTERIOR FOOTINGS SHALL BE A MINIMUM OF 2'-6" BELOW FINISHED GRADE. CONTRACTOR TO VERIFY THE ALLOWABLE SOIL PRESSURE IN THE FIELD. IF FOUND TO BE LESS THAN 2000 PSF, THE FOOTINGS WILL HAVE TO BE REDESIGNED.

3. CAST IN PLACE CONCRETE

A. ALL CONCRETE WORK SHALL CONFORM TO THE LATEST APPROVED (BY LOCAL GOVERNMENT) EDITIONS OF THE FOLLOWING A.C.I. AND A.S.T.M. DOCUMENTS:

ACI-301 SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS
ACI-318 BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE

B. ALL CONCRETE, EXCEPT AS NOTED, SHALL BE (Pc=3,000 PSI) STONE AGGREGATE CONCRETE AT 28 DAYS. ALL CONCRETE EXPOSED TO THE WEATHER SHALL BE AIR ENTRAINED.

C. SLABS ON GROUND SHALL BE 4" THICK CONCRETE REINFORCED WITH 5"x6" W1.4XW1.4 WAF OVER 6 MIL POLYETHYLENE VAPOR BARRIER AND 4" WASHED GRAVEL UNLESS OTHERWISE NOTED.

4. MASONRY

A. ALL MASONRY CONSTRUCTION AND MATERIALS USED THEREIN (CONCRETE MASONRY, CLAY MASONRY, MORTAR, GROUT AND STEEL REINFORCEMENT) SHALL CONFORM TO "BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES" (ACI 530-02/ASCE 5-12/TMS 402-42) AND "SPECIFICATIONS FOR MASONRY STRUCTURES" (ACI 530.1-92/ASCE 6-92/TMS 602-92) IN ALL RESPECTS.

B. MASONRY BEARING WALLS SHALL CONSIST OF STANDARD HOLLOW UNITS CONFORMING TO ASTM C 90 UNLESS OTHERWISE NOTED. WHERE SOLID UNITS ARE REQUIRED, PROVIDE UNITS CONFORMING TO ASTM C 145.

C. ALL MORTAR SHALL CONFORM TO THE REQUIREMENTS FOR PROPORTIONS, MIXING, STRENGTH AND APPLICATION FOR PORTLAND CEMENT/LIME TYPE "S" MORTAR AS DESCRIBED IN ACI 530-02.

D. ALL GROUT FILL IN MASONRY WALLS SHALL CONFORM TO ASTM C 476. SLUMP RANGE 8-11". PLACE GROUT IN 5'-0" MAXIMUM FOUR HEIGHTS AND CONSOLIDATE BY MECHANICAL VIBRATION.

E. PROVIDE 8" DEPTH OF 100 % SOLID MASONRY BELOW ALL JOIST OR SLAB BEARING LINES. PROVIDE 16" HIGH X 16" LONG 100 % SOLID MASONRY BELOW ALL LINTELS AND BEAMS UNLESS NOTED OTHERWISE.

F. ALL MASONRY WALLS SHALL BE REINFORCED WITH NO. 1 GAGE TRUSS TYPE GALVANIZED DUR-O-WALL SPACED VERTICALLY AT 16" O.C. UNO. LAP ALL DUR-O-WALL 6" MINIMUM. PROVIDE CORNER AND TEE PIECES AT ALL INTERSECTIONS.

G. LOOSE LINTELS FOR MASONRY WALLS SHALL BE FOR EACH 4" WIDTH OF MASONRY ONE STEEL ANGLE AS FOLLOWS:

0'-0" TO 3'-0" 3-1/2" X 3-1/2" X 5/16"
3'-1" TO 5'-0" 4" X 3-1/2" X 5/16"
5'-1" TO 6'-6" 5" X 3-1/2" X 3/8"
6'-7" TO 8'-0" 6" X 3-1/2" X 3/8"

ALL ANGLES SHALL HAVE THEIR SHORT LEGS OUTSTANDING AND 6" MINIMUM BEARING.

5. STRUCTURAL STEEL

A. ALL STRUCTURAL STEEL SHALL CONFORM TO ASTM SPECIFICATION A-36 (LATEST LOCAL APPROVED). ALL STEEL SHALL BE DETAILED, FABRICATED, AND ERECTED IN ACCORDANCE WITH THE AISC MANUAL, AISC SPECIFICATION AND AISC CODE OF STANDARD PRACTICE.

B. ALL WELDED CONNECTIONS SHALL BE DONE WITH E70XX ELECTRODES. SHOP AND FIELD WELDS SHALL BE MADE BY APPROVED CERTIFIED WELDERS AND SHALL CONFORM TO THE AMERICAN WELDING SOCIETY CODE FOR BUILDINGS AWS D11. WELDS SHALL DEVELOP THE FULL STRENGTH OF MATERIALS BEING WELDED UNLESS OTHERWISE NOTED.

6. WOOD

A. STRUCTURAL SOLID WOOD RAFTERS, JOISTS, BEAMS AND STUDS SHALL BE HEM FIR #2 OR SPRUCE PINE FIR #2 SURFACED DRY AT A MAXIMUM OF 14 % MOISTURE CONTENT. ALL LUMBER EXPOSED TO WEATHER SHALL BE PRESSURE TREATED SOUTHERN PINE #2. ALL FABRICATION, ERECTION, OTHER PROCEDURES, AND MINIMUM UNIT STRESSES SHALL CONFORM TO THE CURRENT NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION.

B. WOOD TRUSSES SHALL BE DESIGNED, FABRICATED AND ERECTED IN ACCORDANCE WITH THE NATIONAL DESIGN STANDARD FOR METAL PLATE CONNECTED WOOD TRUSS CONSTRUCTION (ANSI/TPI 1) AND COMMENTARY AND RECOMMENDATIONS FOR HANDLING, INSTALLING AND BRACING METAL PLATE CONNECTED WOOD TRUSSES (HIB-41) AS PUBLISHED BY THE TRUSS PLATE INSTITUTE AND IN ACCORDANCE WITH THE 1991 EDITION OF THE NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION.

C. WOOD TRUSSES AND ENGINEERED FLOOR JOISTS ARE TO BE DESIGNED BY THE SUPPLIER. SHOP DRAWINGS SHALL BE SUBMITTED TO THE ENGINEER/ARCHITECT FOR REVIEW. ALL TRUSSES AND JOISTS SHALL BE DESIGNED TO LIMIT THE BEARING STRESS TO 425 PSI WHEN MEMBERS BEAR ON STUD WALLS. PROVIDE MEMBERS OF ADEQUATE WIDTH OR METAL CONNECTIONS TO LIMIT STRESSES TO THE SPECIFIED VALUE.

D. ALL LAMINATED VENEER LUMBER (LVL) OR PARALLEL STRAND LUMBER (PSL) SHALL HAVE THE FOLLOWING MINIMUM PROPERTIES: Fc=2500psi, Fv=285psi, E=1,900,000psi, Fc=2510psi(PARALLEL), Fc=1900psi(PERPENDICULAR).

E. ALL DOUBLE MEMBERS SHALL BE NAILED TOGETHER WITH 2 ROWS OF 16d NAILS SPACED AT 12" O.C. ALL TRIPLE MEMBERS SHALL BE NAILED TOGETHER WITH 3 ROWS OF 16d NAILS SPACED AT 12" O.C. NAILED FROM EACH SIDE.

F. PROVIDE DOUBLE JOISTS AT PARALLEL PARTITIONS WHERE PARTITION LENGTH EXCEEDS 1/3 JOIST SPAN.

G. ALL NAILS ARE TO BE COMMON WIRE NAILS. NAILING OF ALL FRAMING SHALL BE AS SPECIFIED IN THE CONTRACT DOCUMENTS BUT IN NO CASE SHALL BE LESS THAN THE RECOMMENDED NAILING SCHEDULE CONTAINED IN THE 2000 INTERNATIONAL RESIDENTIAL CODE. ALL MULTIPLE STUD POSTS ARE TO BE NAILED TOGETHER WITH 12d NAILS @ 5" O.C. STAGGERED.

H. PROVIDE BRIDGING SPACED AT 48" O.C. IN FIRST TWO JOIST, RAFTER OR TRUSS SPACES WHEN FRAMING IS PARALLEL TO EXTERIOR WALL. NAIL SHEATHING (FLOOR, CEILING OR ROOF) TO BRIDGING AND NAIL BRIDGING TO EXTERIOR WALL PLATE. PROVIDE ONE ROW OF BRIDGING BETWEEN ALL FLOOR AND ROOF JOISTS FOR EACH 8'-0" OF SPAN. PROVIDE SOLID BLOCKING OR A CONTINUOUS RIM JOIST AT THE BEARING OF JOISTS, RAFTERS OR TRUSSES ON WOOD PLATES.

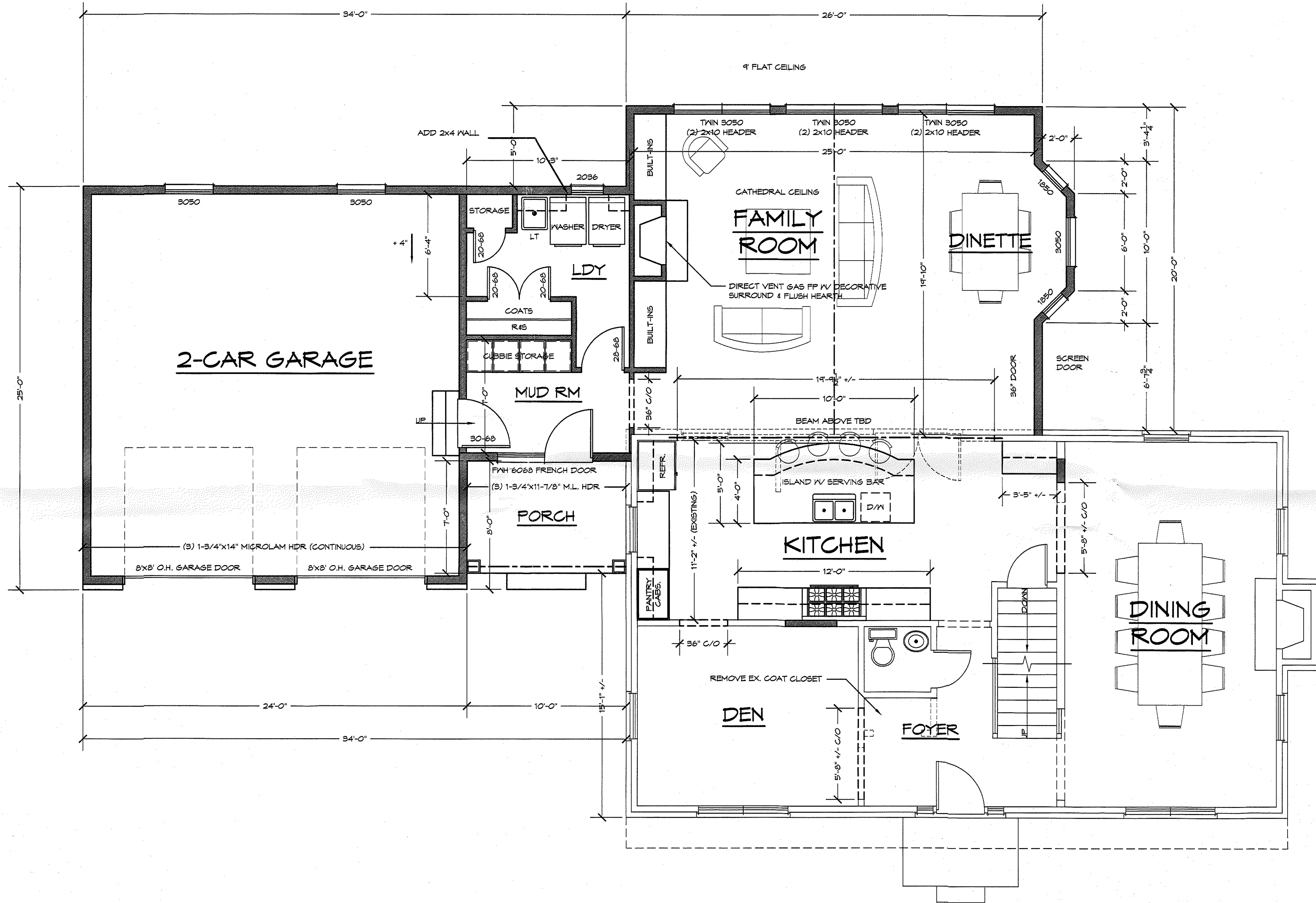
I. PROVIDE THE FOLLOWING JAMB STUDS AT ALL BEARING WALL OPENINGS UNLESS NOTED OTHERWISE:

0'-3" OPENING 1 JACK STUD, 1 KING STUD
3'-1" - 6'-0" OPENING 2 JACK STUDS, 1 KING STUD
6'-1" - 9'-0" OPENING 2 JACK STUDS, 2 KING STUDS

PROVIDE DOUBLE STUDS AT ALL CORNERS AND BENEATH ALL GIRDER TRUSSES AND WOOD BEAMS UNLESS NOTED OTHERWISE ON PLANS. WOOD BEAMS, GIRDER TRUSSES AND HEADERS SHALL BEAR THE FULL DEPTH OF POSTS AND JACK STUDS.

J. ALL POSTS (MULTIPLE STUDS OR SOLID POST) SUPPORTING BEAMS, WALL HEADERS OR GIRDER TRUSSES, SHALL BE BLOCKED SOLID FOR THE FULL LENGTH AND WIDTH OF POSTS AT ALL INTERSECTIONS WITH FLOORS AS REQUIRED TO PROVIDE CONTINUOUS SUPPORT TO TOP OF FOUNDATION WALLS OR BEAMS. POSTS SHOWN ON UPPER LEVELS FLOORS SHALL ALSO BE INSTALLED ON THE LOWER LEVELS IN LINE WITH THE POST ABOVE DOWN TO FOUNDATION WALLS OR BEAMS.

K. ALL FLUSH JOIST TO BEAM OR BEAM TO BEAM CONNECTIONS SHALL BE MADE WITH JOIST OR BEAM HANGERS TO SUPPORT THE LOAD CAPACITY INDICATED ON THE PLANS OR THE FULL CAPACITY OF THE JOIST OR BEAM. HANGERS SHALL BE PROVIDED BY SIMPSON STRONG TIE OR USP LUMBER CONNECTORS. THE SUPPLIER SHALL DESIGN ALL HANGERS FOR THE CAPACITY STATED. INSTALL ALL HANGERS IN STRICT CONFORMANCE TO THE MANUFACTURER'S INSTRUCTIONS. FILL ALL NAIL OR BOLT HOLES USING THE SPECIFIED NAILS AND BOLTS ONLY.



PROPOSED FIRST FLOOR PLAN

SCALE: 1/4"=1'-0"

PROPOSED WINDOWS SHOWN ARE ANDERSEN 200 SERIES.

	EXISTING FRAME WALL TO REMAIN
	EXISTING FRAME WALL TO BE REMOVED
	PROPOSED FRAME WALL

PRELIMINARY REVIEW DESIGN

REMODELING & ADDITIONS TO
THE CALLAHAN RESIDENCE

PROJECT ADDRESS:
8101 HALTON ROAD
TOWSON, MD 21204
BALTIMORE COUNTY, MD

SCALE: 1/4" = 1'-0"

DATE: 7/2014

SHEET NO: 1 OF 1

GBL CUSTOM HOME
DESIGN INC.

PO BOX 237 FINKSBURG, MD 21048

PHONE 410-833-8320

LEGEND:

Outline of plot shown thus: _____

Boundary of road shown thus: _____

Lot lines shown thus: _____

Lot numbers shown thus: 6

House numbers shown thus: "1100"

Block numbers shown thus: (C)

Coordinate numbers shown thus: 175

Easements for utilities & drainage shown thus: EA UT EASEMENT

Setback lines shown thus: _____

NOTES:
The sheets and records are shown herein and
the mention thereof in deeds are for the purpose
of description only and the same are not intended
to be dedicated to public use, the fee simple to
the lands thereof is expressly reserved in the
Grants of the land to which this plot is attached
their heirs and assigns.

Certificates are returned to owners of Baltimore
County, Maryland as follows: Based on patents 120071 & 12008
2-A-007-1464.000.35 2-A-007-1463.45
2-A-007-1464.000.35 2-A-007-1463.45
2-A-007-1464.000.35 2-A-007-1463.45
All documents shown are for 2744444 & 2744444.

OWNERS CERTIFICATE:
 Certification is hereby made that all the requirements of the Annotated Code of Maryland Chapter 1016 Acts of 1965 have been complied with on this plot.

Samuel S. Kelly
 VICE PRESIDENT - THORNTON INC.

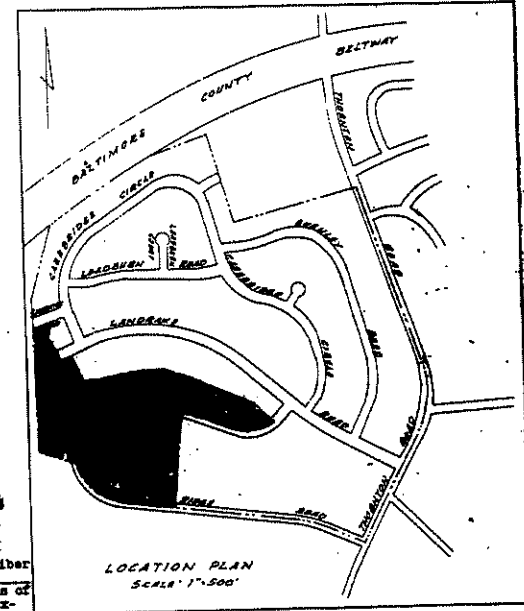
CERTIFICATION:
 Certification is hereby made that this plot was computed by Donald L. Brown and that it meets the requirements of Section 2-5 Article 17 of the Annotated Code of Maryland 1967 Supplement.

APPROVED BY BALTIMORE COUNTY HEALTH DEPARTMENT
W. J. [Signature]
 DEPUTY STATE AND COUNTY HEALTH OFFICER

APPROVED AS TO ALIGNMENT AND LOCATION OF STREETS:
11/23/65 J. P. [Signature]
 ROAD ENGINEER OF SALT CO. ID.

APPROVED BY BALTIMORE COUNTY PLANNING BOARD
4/22/63 George E. Jurek
DIRECTOR

Q.T.G. 31 FOLIO 24
RECEIVED for Record
DEC 18 1965 at A.M.
P.M.
same day recorded in liber
Q.T.G. No. _____ folio _____
One of the _____ Records of
Baltimore County and ex-
amined, per _____



SUBDIVISION PLAN
PLAT SIX
SECTION FIVE
THORNLEIGH
BALTIMORE COUNTY, MD. ~ ELECT. DIST. N° 8
SCALE 1" = 50' ~ JULY 1965

THORNLEIGH INC- OWNER
1624 YORK ROAD, LUTHERVILLE, MD.

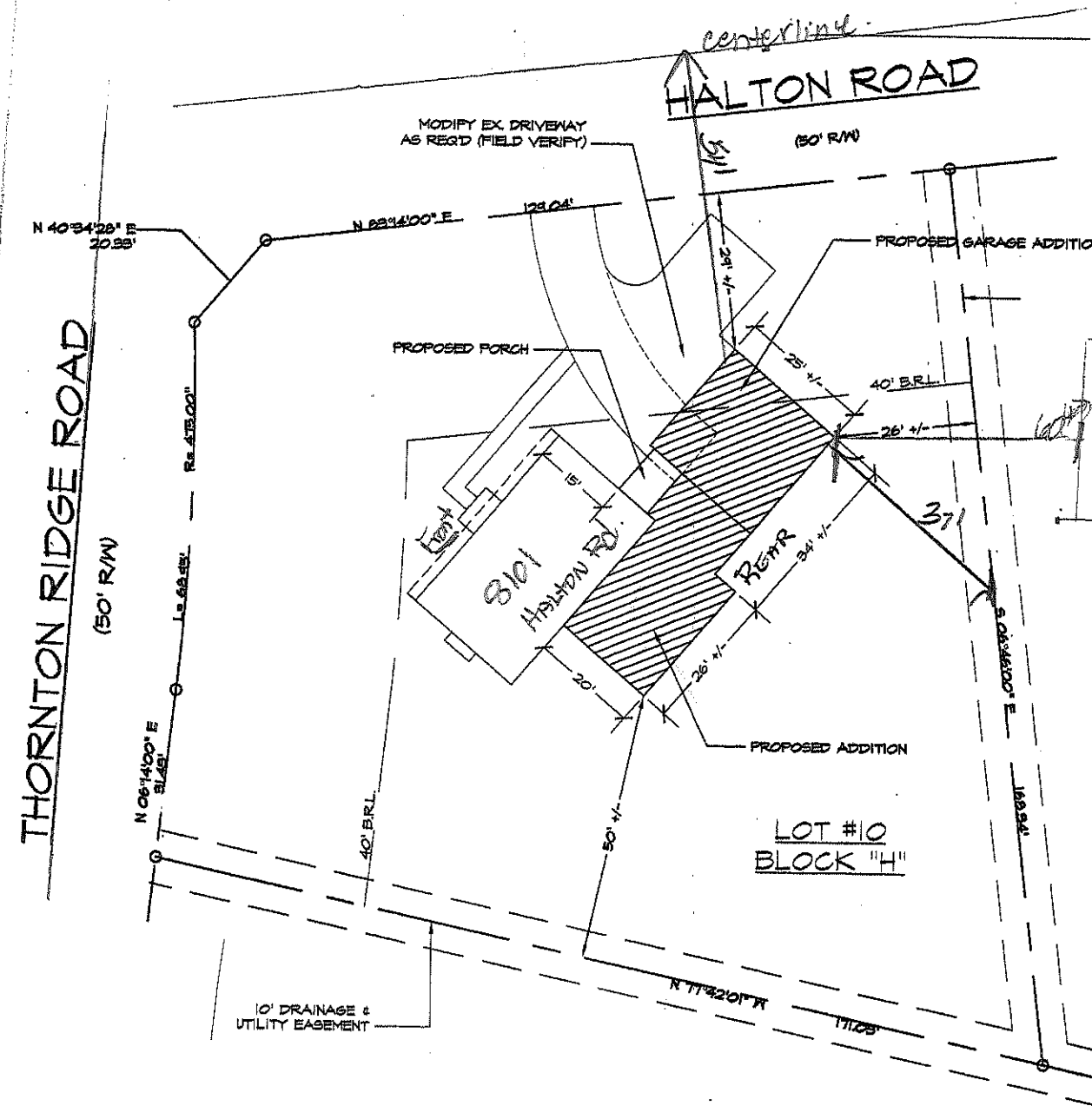
DONALD L. BROWN
LAND SURVEYOR- REG. NO. 3423
1624 YORK ROAD, LUTHERVILLE, MD.

ZONING HEARING PLAN FOR VARIANCE ☒ FOR SPECIAL HEARING _____ (MARK TYPE REQUESTED WITH X)

ADDRESS 8101 HALTON ROAD OWNER(S) NAME(S) KAREN L. CALLAHAN

SUBDIVISION NAME Thornleigh LOT # 10 BLOCK # H SECTION # 5

PLAT BOOK # 31 FOLIO # 24 10 DIGIT TAX # 0903052490 DEED REF. # 351471-444

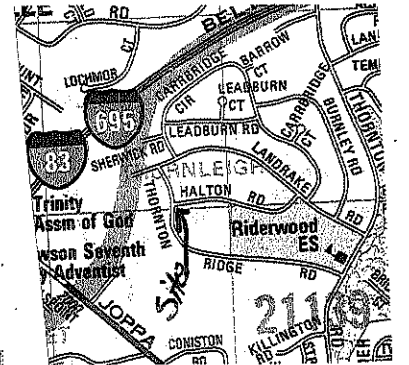


PLAN DRAWN BY Bev True

DATE 8/4/14 SCALE: 1 INCH = 30 FEET

CASE No. 2015-0033A

SITE VICINITY MAP



MAP IS NOT TO SCALE

ZONING MAP# 060B3

SITE ZONED DR3

ELECTION DISTRICT 8

COUNCIL DISTRICT 2

LOT AREA ACREAGE _____

OR SQUARE FEET 21,545

HISTORIC? NO

IN CBCA? NO

IN FLOOD PLAIN? NO

UTILITIES? MARK WITH X

WATER IS:

PUBLIC ☒ PRIVATE _____

SEWER IS:

PUBLIC ☒ PRIVATE _____

PRIOR HEARING? NO

IF SO GIVE CASE NUMBER
AND ORDER RESULT BELOW

Per. Ecr.

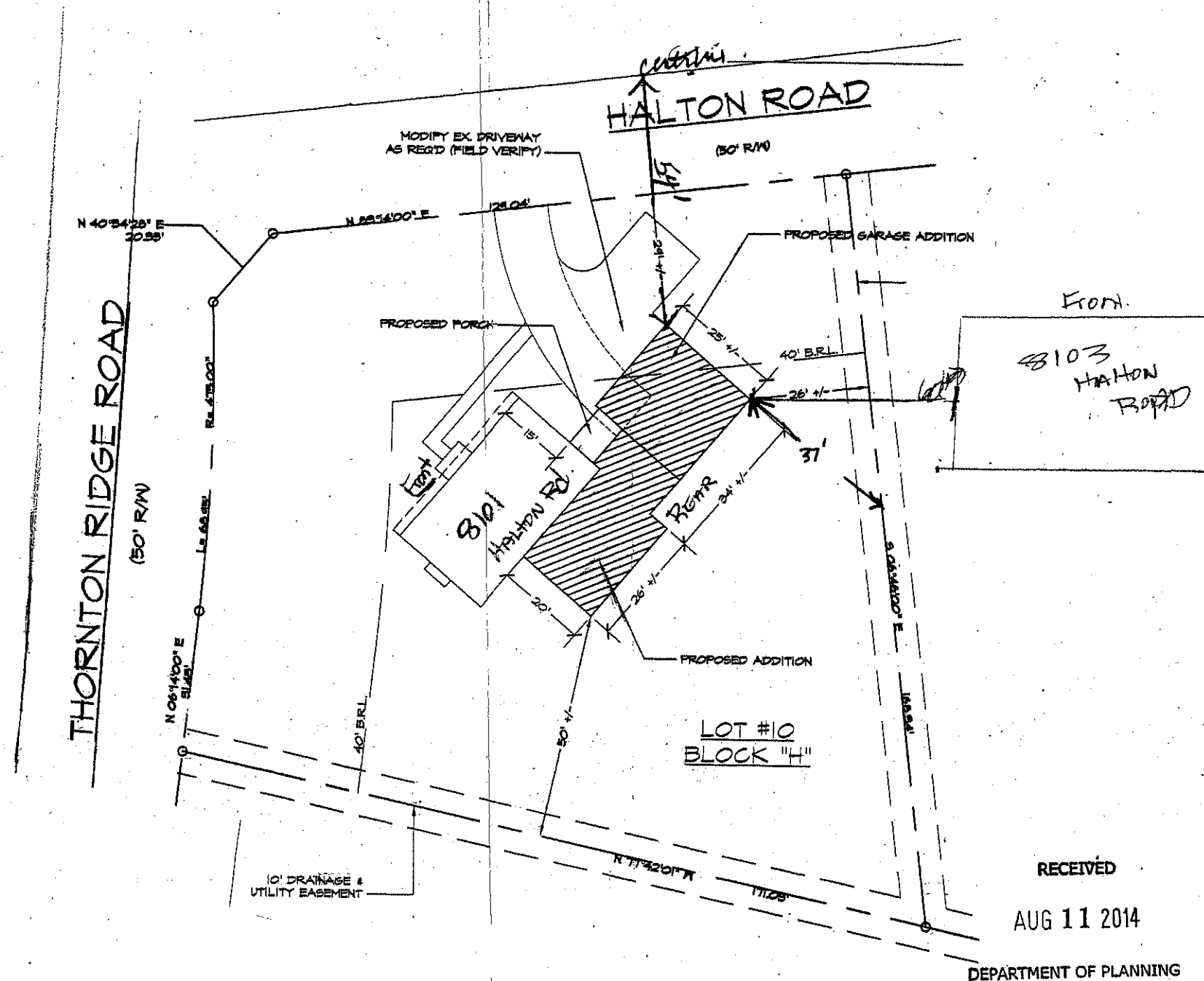
1

ZONING HEARING PLAN FOR VARIANCE ☒ FOR SPECIAL HEARING _____ (MARK TYPE REQUESTED WITH X)

ADDRESS 8101 HALTON ROAD OWNER(S) NAME(S) KAREN L. CALLAHAN

SUBDIVISION NAME Thornleigh LOT # 10 BLOCK # 4 SECTION # 5

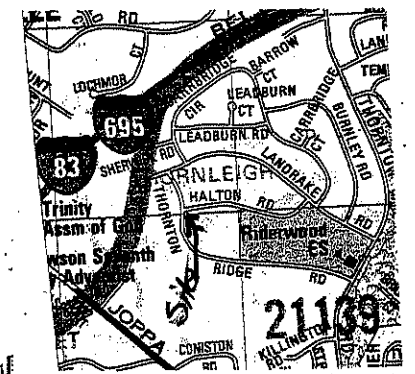
PLAT BOOK # 31 FOLIO # 24 10 DIGIT TAX # 0803052490 DEED REF. # 351471-444



PLAN DRAWN BY Bev True

DATE 8/4/14 SCALE: 1 INCH = 30 FEET

SITE VICINITY MAP



N



MAP IS NOT TO SCALE

ZONING MAP# 060B3

SITE ZONED DR2

ELECTION DISTRICT 8

COUNCIL DISTRICT 2

LOT AREA ACREAGE _____

OR SQUARE FEET 21,545

HISTORIC? NO

IN CBCA? NO

IN FLOOD PLAIN? NO

UTILITIES? MARK WITH X

WATER IS:

PUBLIC ☒ PRIVATE _____

SEWER IS:

PUBLIC ☒ PRIVATE _____

PRIOR HEARING? NO

IF SO GIVE CASE NUMBER

AND ORDER RESULT BELOW

RECEIVED
AUG 11 2014
DEPARTMENT OF PLANNING

CASE NO 2013-0032A