



KEVIN KAMENETZ
County Executive

LAWRENCE M. STAHL
Managing Administrative Law Judge
JOHN E. BEVERUNGEN
Administrative Law Judge

October 10, 2014

Troy Griffin
212 Neel Avenue
Reisterstown, Maryland 21136

RE: Petition for Administrative Variance
Case No. 2015-0046-A
Property: 212 Neel Avenue

Dear Mr. Griffin:

Enclosed please find a copy of the decision rendered in the above-captioned matter

In the event any party finds the decision rendered is unfavorable, any party may file an appeal to the Baltimore County Board of Appeals within thirty (30) days of the date of this Order. For further information on filing an appeal, please contact the Baltimore County Office of Administrative Hearings at 410-887-3868.

Sincerely,

A handwritten signature in black ink, appearing to read "JEB", is written over the printed name of John E. Beverungen.

JOHN E. BEVERUNGEN
Administrative Law Judge
for Baltimore County

JEB:dlw
Enclosure

c: Bev True, 3920 London Bridge Road, Sykesville, MD 21784

IN RE: PETITION FOR ADMIN. VARIANCE *

(212 Neel Avenue)

4th Election District *

3rd Council District *

Troy Griffin *

Petitioner *

BEFORE THE

OFFICE OF ADMINISTRATIVE

HEARINGS FOR

BALTIMORE COUNTY

CASE NO. 2015-0046-A

* * * * *

OPINION AND ORDER

This matter comes before the Office of Administrative Hearings (OAH) as a Petition for Administrative Variance filed by the legal owner of the property, Troy Griffin. The Petitioner is requesting Variance relief from §§ 1B01.2.C.1.b and 303.1 of the Baltimore County Zoning Regulations (B.C.Z.R.), to permit a front addition and an open front porch with a front setback of 25 ft. and 17 ft. in lieu of the required 32.5 ft. and 24.3 ft. respectively. The subject property and requested relief is more fully depicted on the site plan that was marked and accepted into evidence as Petitioner's Exhibit 1.

The Zoning Advisory Committee (ZAC) comments were received and are made part of the record of this case. There were no adverse ZAC comments received from any of the County reviewing agencies.

The Petitioner having filed a Petition for Administrative Variance and the subject property having been posted on September 12, 2014, and there being no request for a public hearing, a decision shall be rendered based upon the documentation presented.

The Petitioner has filed the supporting affidavits as required by Section 32-3-303 of the Baltimore County Code (B.C.C.). Based upon the information available, there is no evidence in the file to indicate that the requested variance would adversely affect the health, safety or general welfare of the public and should therefore be granted. In the opinion of the Administrative Law

By

Date

ORDER RECEIVED FOR FILING

Judge, the information, photographs, and affidavits submitted provide sufficient facts that comply with the requirements of Section 307.1 of the B.C.Z.R. Furthermore, strict compliance with the B.C.Z.R. would result in practical difficulty and/or unreasonable hardship upon the Petitioner.

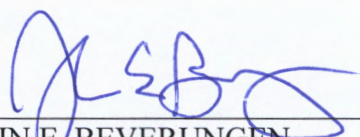
Pursuant to the posting of the property and the provisions of both the Baltimore County Code and the Baltimore County Zoning Regulations, and for the reasons given above, the requested variance should be granted.

THEREFORE, IT IS ORDERED, this 10th day of October, 2014, by the Administrative Law Judge for Baltimore County, that the Petition for Variance seeking Variance relief from §§ 1B01.2.C.1.b and 303.1 of the Baltimore County Zoning Regulations (B.C.Z.R.), to permit a front addition and an open front porch with a front setback of 25 ft. and 17 ft. in lieu of the required 32.5 ft. and 24.3 ft. respectively, be and is hereby GRANTED.

The relief granted herein shall be subject to the following:

- Petitioner may apply for his appropriate permits and be granted same upon receipt of this Order; however, Petitioner is hereby made aware that proceeding at this time is at his own risk until such time as the 30-day appellate process from this Order has expired. If, for whatever reason, this Order is reversed, Petitioner would be required to return, and be responsible for returning, said property to its original condition.

Any appeal of this decision must be made within thirty (30) days of the date of this Order.



JOHN E. BEVERUNGEN
Administrative Law Judge
for Baltimore County

JEB:dlw

ORDER RECEIVED FOR FILING

Date 10-10-14



ADMINISTRATIVE ZONING PETITION

FOR ADMINISTRATIVE VARIANCE – OR – ADMINISTRATIVE SPECIAL HEARING

To be filed with the Department of Permits, Approvals and Inspections

To the Office of Administrative Hearings for Baltimore County for the property located at:

Address 212 NEEL AVE. REISTERSTOWN MD Currently zoned DR-3.5/RC-5

Deed Reference 35143 100450

10 Digit Tax Account # 0403049141

Owner(s) Printed Name(s) TROY GRIFFIN

(AKA) 212 3rd Ave.

(SELECT THE HEARING(S) BY MARKING ☒ AT THE APPROPRIATE SELECTION(S) AND ADDING THE PETITION REQUEST)

For Administrative Variances, the Affidavit on the reverse of this Petition form must be completed and notarized.

The undersigned, who own and occupy the property situate in Baltimore County and which is described in the plan/plat attached hereto and made a part hereof, hereby petition for an:

1. ☒ **ADMINISTRATIVE VARIANCE** from Section(s)

of Section: 1B01.2.C.1b; 303.1

2. To permit a front addition and an open front porch with front setback of 25 feet and 17 feet in

lieu of the permitted 32.5 feet and 24.3 feet respectively.

of the Baltimore County Code, to the development law of Baltimore County.

Property is to be posted and advertised as prescribed by the zoning regulations.

I/we agree to pay expenses of above petition(s), advertising, posting, etc. and further agree to be bound by the zoning regulations and restrictions of Baltimore County adopted pursuant to the zoning law for Baltimore County.

Owner(s)/Petitioner(s):

TROY GRIFFIN

Name #1 – Type or Print

Name #2 – Type or Print

[Signature]
Signature #1

[Signature]
Signature #2

212 NEEL AVE
Mailing Address

REISTERSTOWN MD
City State

21136 410 984 0215
Zip Code Telephone #

[Email Address]
Email Address

Attorney for Owner(s)/Petitioner(s):

Name- Type or Print

Signature

Mailing Address

City

State

Zip Code

Telephone #

Email Address

Representative to be contacted:

Dev True

Name – Type or Print

[Signature]
Signature

3920 London Bridge Rd Sykesville, MD
Mailing Address City State

21784 413 398 0988
Zip Code Telephone #

[Email Address]
Email Address

A PUBLIC HEARING having been formally demanded and/or found to be required, it is ordered by the Office of Administrative Hearings for Baltimore County, this 9 day of September, 2014 that the subject matter of this petition be set for a public hearing, advertised, and re-posted as required by the zoning regulations of Baltimore County.

Administrative Law Judge for Baltimore County

CASE NUMBER 2015-0046-A

Filing Date 9/3/2014

Estimated Posting Date 9/14/14

Reviewer [Signature]

Affidavit in Support of Administrative Variance

(THIS AFFIDAVIT IS NOT REQUIRED FOR AN HISTORIC ADMINISTRATIVE SPECIAL HEARING)

The undersigned hereby affirms under the penalties of perjury and upon personal knowledge to the Administrative Law Judge for Baltimore County, that the information herein given is true and correct and that the undersigned is/are competent to testify in the event that a public hearing is scheduled in the future with regard thereto. In addition, the undersigned hereby affirms that the property is not the subject of an active Code Enforcement case and that the residential property described below is owned and occupied by the undersigned.

Address: 213 NEEL AVE Reisterstown MD 21134
Print or Type Address of property City State Zip Code

Based upon personal knowledge, the following are the facts upon which I/we base the request for an Administrative Variance at the above address. (Clearly state practical difficulty or hardship here)

Due to the placement of our home on this lot (Septic located in rear of lot) we are unable to put the much needed addition on the rear, only on the front. The addition with porch and carport will add beauty to the neighborhood and our home being updated will add value to the neighboring properties. The addition will provide the needed space for our family.

(If additional space for the petition request or the above statement is needed, label and attach it to this Form)

Signature of Owner (Affiant)

TROY GRIFFIN
Name- Print or Type

Signature of Owner (Affiant)

Name- Print or Type

The following information is to be completed by a Notary Public of the State of Maryland

STATE OF MARYLAND, COUNTY OF BALTIMORE, to wit:

I HEREBY CERTIFY, this 25th day of August, 2014, before me a Notary of Maryland, in and for the County aforesaid, personally appeared:

Print name(s) here:

Troy Griffin

the Affiant(s) herein, personally known or satisfactorily identified to me as such Affiant(s).

AS WITNESS my hand and Notaries Seal

TAMRA L. WHITEMAN
NOTARY PUBLIC
CARROLL COUNTY
MARYLAND

My Commission Expires Jan. 25, 2015

Notary Public

My Commission Expires

0046-A

REV. 5/8/2014

ZONING DESCRIPTION FOR 212 NEEL AVENUE

Beginning at a point on the North side of Neel Avenue which is 50' wide at the distance of 25' West of the centerline of the nearest improved intersecting street 3rd Street which is 50' wide. Being Lot# 23, Section C, in the Subdivision of Goshen as recorded in the Baltimore County Plat Book 19, Folio 58 containing 11,761 SF. Located in the 4th Election District 3rd Council District.

**CASHIER'S
VALIDATION**

ADMINISTRATIVE VARIANCE INFORMATION SHEET AND DATES

Case Number 2015- 0046 -A Address 212 Neel Ave
Contact Person: LEONARD Wasilewski Phone Number: 410-887-3391
Planner, Please Print Your Name
Filing Date: 9/3/14 Posting Date: 9/14/14 Closing Date: 9/29/14

Any contact made with this office regarding the status of the administrative variance should be through the contact person (planner) using the case number.

1. **POSTING/COST:** The petitioner must use one of the sign posters on the approved list (on the reverse side of this form) and the petitioner is responsible for all printing/posting costs. Any reposting must be done only by one of the sign posters on the approved list and the petitioner is again responsible for all associated costs. The zoning notice sign must be visible on the property on or before the posting date noted above. It should remain there through the closing date.
2. **DEADLINE:** The closing date is the deadline for an occupant or owner within 1,000 feet to file a formal request for a public hearing. Please understand that even if there is no formal request for a public hearing, the process is not complete on the closing date.
3. **ORDER:** After the closing date, the file will be reviewed by the zoning or deputy zoning commissioner. He may: (a) grant the requested relief; (b) deny the requested relief; or (c) order that the matter be set in for a public hearing. You will receive written notification, usually within 10 days of the closing date if all County agencies' comments are received, as to whether the petition has been granted, denied, or will go to public hearing. The order will be mailed to you by First Class mail.
4. **POSSIBLE PUBLIC HEARING AND REPOSTING:** In cases that must go to a public hearing (whether due to a neighbor's formal request or by order of the zoning or deputy zoning commissioner), notification will be forwarded to you. The sign on the property must be changed giving notice of the hearing date, time and location. As when the sign was originally posted, certification of this change and a photograph of the altered sign must be forwarded to this office.

(Detach Along Dotted Line)

Petitioner: This Part of the Form is for the Sign Poster Only

USE THE ADMINISTRATIVE VARIANCE SIGN FORMAT

Case Number 2015- 0046 -A Address 212 Neel Ave
Petitioner's Name Troy Griffin Telephone 410 984-6215
Posting Date: 9/14/14 Closing Date: 9/29/14
Wording for Sign: _____

_____ To permit a front addition and an open front porch with front setback of 25 feet and 17 feet in _____
_____ lieu of the permitted 32.5 feet band 24.3 feet respectively. _____

Revised 7/18/14

CERTIFICATE OF POSTING

Date: 9-12-14

RE: Case Number: 2015-0046-A

Petitioner/Developer: Troy Griffin

Date of Hearing/Closing: 9-29-14

This is to certify under the penalties of perjury that the necessary sign(s) required by law were posted conspicuously on the property located at 212 Neel Ave

The signs(s) were posted on 9-12-14
(Month, Day, Year)

J. Lawrence Pilson
(Signature of Sign Poster)

J. LAWRENCE PILSON
(Printed Name of Sign Poster)

ATTACH PHOTOGRAPH

1015 Old Barn Road
(Street Address of Sign Poster)

Parkton, MD 21120
(City, State, Zip Code of Sign Poster)

410-343-1443
(Telephone Number of Sign Poster)

ZONING NOTICE

ADMINISTRATIVE

VARIANCE

CASE # 2015-0046-H

TO PERMIT A FRONT ADDITION AND AN
OPEN FRONT PORCH WITH FRONT SETBACK OF
25 FEET AND 7 FEET IN LEO OF THE REAR
NOTED 32.0 FEET AND 24.2 FEET. 08/27/2015

PUBLIC HEARING ?

PURSUANT TO SECTION 26-127(b)(1), BALTIMORE COUNTY CODE,
AN ELIGIBLE INDIVIDUAL OR GROUP MAY

REQUEST A PUBLIC HEARING CONCERNING
THE PROPOSED VARIANCE, PROVIDED THE REQUEST IS

RECEIVED IN THE ZONING REVIEW BUREAU BEFORE
5:00 P.M. ON 11/27/15

ADDITIONAL INFORMATION IS AVAILABLE AT THE DEPARTMENT OF

PERMITS AND DEVELOPMENT MANAGEMENT, COUNTY OFFICE BUILDING,

111 WEST CHESAPEAKE AVE., TOWSON, MD 21204, (410) 887-3391

NO NOT REMOVE THIS SIGN AND POST UNTIL AFTER ABOVE DATE, UNDER PENALTY OF LAW

HANDICAPPED ACCESSIBLE

NO NOT REMOVE THIS SIGN AND POST UNTIL AFTER ABOVE DATE, UNDER PENALTY OF LAW

MEMORANDUM

DATE: November 12, 2014
TO: Zoning Review Office
FROM: Office of Administrative Hearings
RE: Case No. 2015-0046-A – Appeal Period Expired

The appeal period for the above-referenced case expired on November 10, 2014. There being no appeal filed, the subject file is ready for return to the Zoning Review Office and is placed in the 'pick up box.'

c: ✓ Case File
Office of Administrative Hearings

Troy Griffin
212 Neel Avenue
Reisterstown, MD 21136

TO: Office of Administrative Hearings
105 West Chesapeake Ave, Suite 103
Towson, MD 21204

RECEIVED

OCT 06 2014

October 3, 2014

OFFICE OF ADMINISTRATIVE HEARINGS

Ref: Administrative Zoning Case # 2015-0046-A

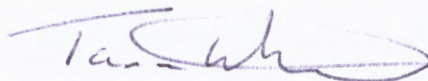
For: Property Located at 212 Neel Ave

I live in the house at 212 Neel Ave. I also own another home my parents reside in at my Sykesville home. I am asking to improve my home that I live in located at Neel Ave. This house is severely run down and a eye sore to the community and needs to be brought up to current codes and standards to accommodate my family needs and will enhance the neighborhood.

Thank you,



Troy Griffin



TAMRA L. WHITEMAN
NOTARY PUBLIC
CARROLL COUNTY
MARYLAND
My Commission Expires Jan. 25, 2015



212 Neel Ave -
Front View From Street and
neighbor on left side

CASE 2015-00416 A



CASE 20151004A

212 - NEEL AVE
View From Front of House
Looking Right to neighbor
Area of proposed front
addition

CHECKLISTComment
ReceivedDepartmentSupport/Oppose/
Conditions/
Comments/
No Comment9-12DEVELOPMENT PLANS REVIEW
(if not received, date e-mail sent _____)NCDEPS
(if not received, date e-mail sent _____)

FIRE DEPARTMENT

PLANNING
(if not received, date e-mail sent _____)9-8

STATE HIGHWAY ADMINISTRATION

No objection

TRAFFIC ENGINEERING

COMMUNITY ASSOCIATION

ADJACENT PROPERTY OWNERS

ZONING VIOLATION (Case No. _____)

PRIOR ZONING (Case No. _____)

NEWSPAPER ADVERTISEMENT Date: _____

SIGN POSTING Date: 9-12-14 by PilsonPEOPLE'S COUNSEL APPEARANCE Yes ☐ No ☐PEOPLE'S COUNSEL COMMENT LETTER Yes ☐ No ☐

Comments, if any: 10/2 @ 9:29 AM. Deb W. spoke to Ben True, PerSDAT, Pet.
does not reside @ address. Denied Ms. True AV can only be processed
w/owner - occupied residence. Need justification or affidavit.

Guide to searching the database

[View Map](#) [View GroundRent Redemption](#) [View GroundRent Registration](#)

10/1/2014

Baltimore County

New Search (<http://sdat.resiusa.org/RealProperty>)District: **04** Account Number: **0403049141**

The information shown on this map has been compiled from deed descriptions and plats and is not a property survey. The map should not be used for legal descriptions. Users noting errors are urged to notify the Maryland Department of Planning Mapping, 301 W. Preston Street, Baltimore MD 21201.

If a plat for a property is needed, contact the local Land Records office where the property is located. Plats are also available online through the Maryland State Archives at www.plats.net (<http://www.plats.net>).

Property maps provided courtesy of the Maryland Department of Planning ©2011.

For more information on electronic mapping applications, visit the Maryland Department of Planning web site at www.mdp.state.md.us/OurProducts/OurProducts.shtml (<http://www.mdp.state.md.us/OurProducts/OurProducts.shtml>).



(<http://imsweb05.mdp.state.md.us/website/mosp/>)

☒ Loading... Please

Loading... Please Wait.

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KEVIN KAMENETZ
County Executive

ARNOLD JABLON
Deputy Administrative Officer
Director, Department of Permits,
Approvals & Inspections

September 30, 2014

Troy Griffin
212 Neel Avenue
Reisterstown MD 21136

RE: Case Number: 2015-0046 A, Address: 212 Neel Avenue

Dear Mr. Griffin:

The above referenced petition was accepted for processing **ONLY** by the Bureau of Zoning Review, Department of Permits, Approvals, and Inspection (PAI) on September 3, 2014. This letter is not an approval, but only a **NOTIFICATION**.

The Zoning Advisory Committee (ZAC), which consists of representatives from several approval agencies, has reviewed the plans that were submitted with your petition. All comments submitted thus far from the members of the ZAC are attached. These comments are not intended to indicate the appropriateness of the zoning action requested, but to ensure that all parties (zoning commissioner, attorney, petitioner, etc.) are made aware of plans or problems with regard to the proposed improvements that may have a bearing on this case. All comments will be placed in the permanent case file.

CASE # 2015-0046-A

DEPTHS IN RESIDENCE ZONES
NOT IMPROVED
Zoning Regulations

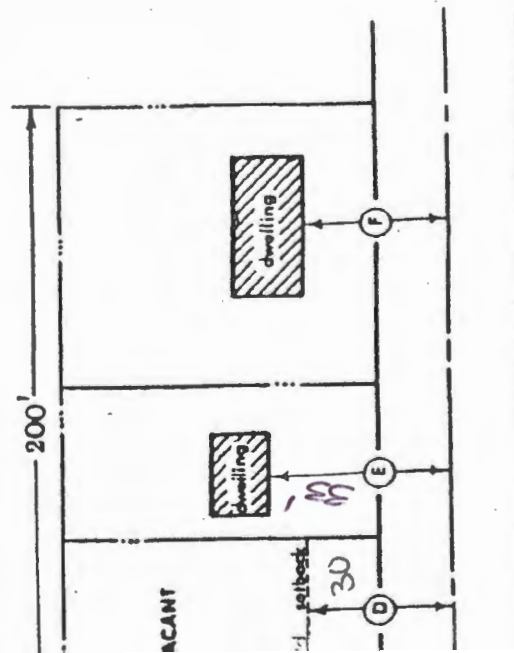
Per Troy Griffin - Troy Griffin, OWNER

applicant's name
212 Neel Ave
building address
9-3-14
date

NORMAL REQUIRED SETBACKS
D.R. 2 - 65 ft.
D.R. 3.5 - 55 ft.
D.R. 5.5 - 50 ft.

REQUIRED FRONT
SETBACK
(averaged)
= 38.5

25% of 32.5 = 24.3



Martin O'Malley, Governor
Anthony G. Brown, Lt. Governor



James T. Smith, Jr., Secretary
Melinda B. Peters, Administrator

Date: 9/8/14

Ms. Kristen Lewis
Baltimore County Office of
Permits and Development Management
County Office Building, Room 109
Towson, Maryland 21204

RE: Baltimore County
Item No 2015-0046-A
Administrative Variance
Troy Griffin
212 Neel Avenue.

Dear Ms. Lewis:

Thank you for the opportunity to review your referral request on the subject of the above captioned. We have determined that the subject property does not access a State roadway and is not affected by any State Highway Administration projects. Therefore, based upon available information this office has no objection to Baltimore County Zoning Advisory Committee approval of Item No. 2015-0046-A.

Should you have any questions regarding this matter, please contact Richard Zeller at 410-545-5598 or 1-800-876-4742 extension 5598. Also, you may E-mail him at (rzeller@sha.state.md.us).

Sincerely,

Steven D. Foster, Chief/
Development Manager
Access Management Division

SDF/raz

My telephone number/toll-free number is _____
Maryland Relay Service for Impaired Hearing or Speech 1.800.735.2258 Statewide Toll Free

Street Address: 707 North Calvert Street • Baltimore, Maryland 21202 • Phone 410.545.0300 • www.roads.maryland.gov

BALTIMORE COUNTY, MARYLAND
INTEROFFICE CORRESPONDENCE

TO: Arnold Jablon, Director
Department of Permits, Approvals
And Inspections

FROM: ~~DAK~~ Dennis A. Kennedy, Supervisor
Bureau of Development Plans Review

SUBJECT: Zoning Advisory Committee Meeting
For September 15, 2014
Item No. 2015-0044, 0045, 0046, 0047 and 0048

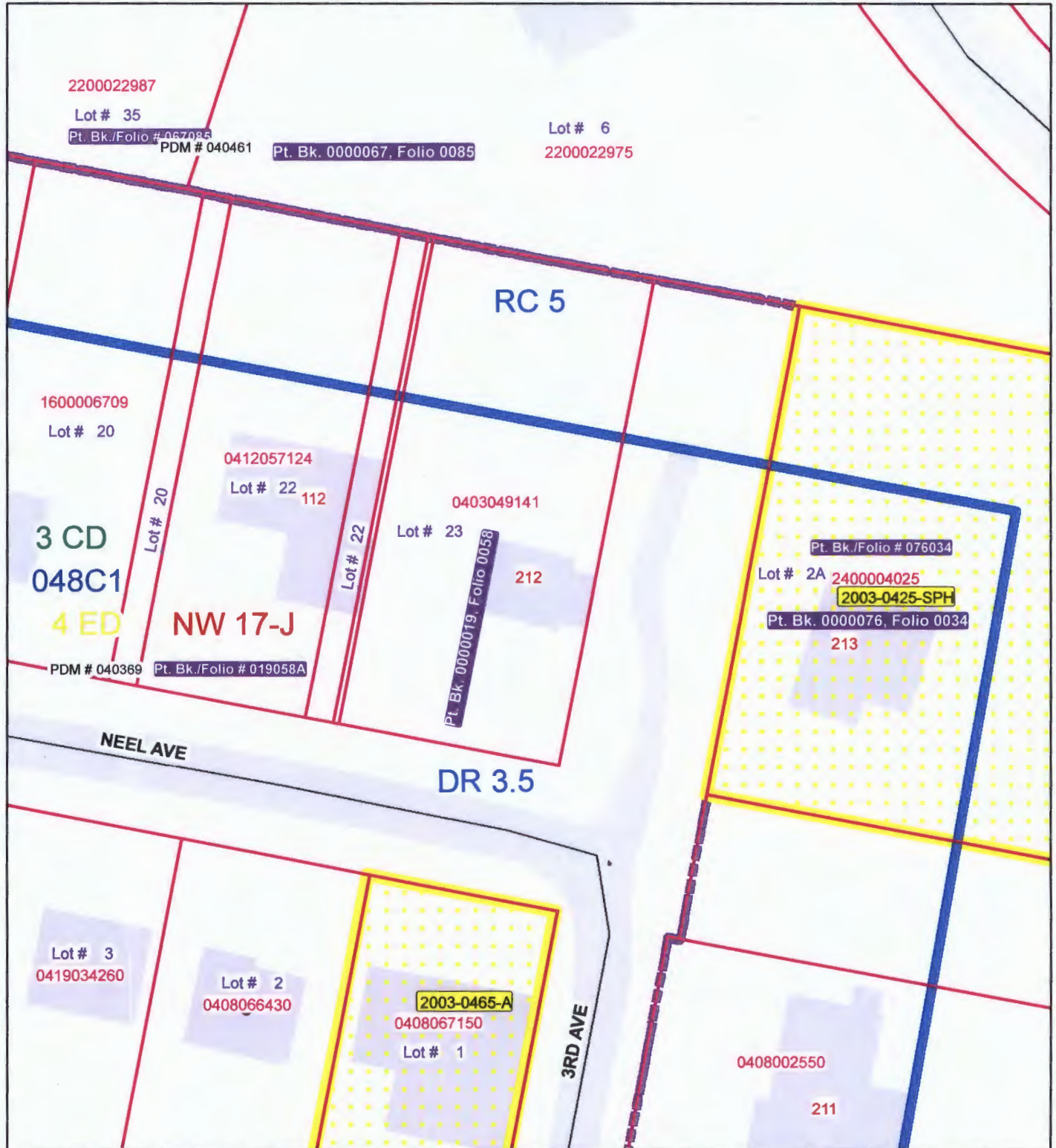
DATE: September 12, 2014

The Bureau of Development Plans Review has reviewed the subject zoning items, and we have no comments.

DAK:CEN
cc:file

G:\DevPlanRev\ZAC -No Comments\ZAC09152014 -.doc

212 Neel Avenue 2015-0046-A



Publication Date: 9/3/2014

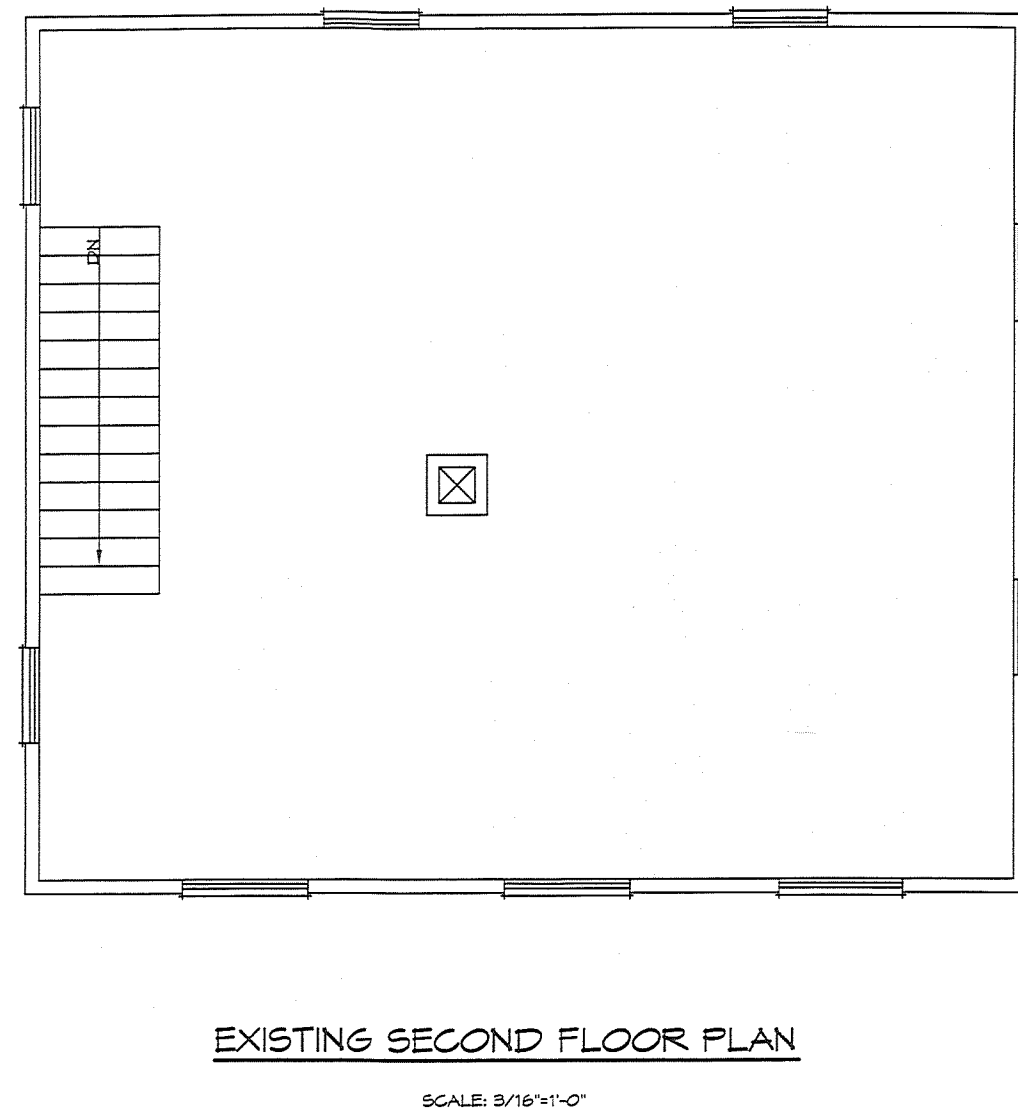
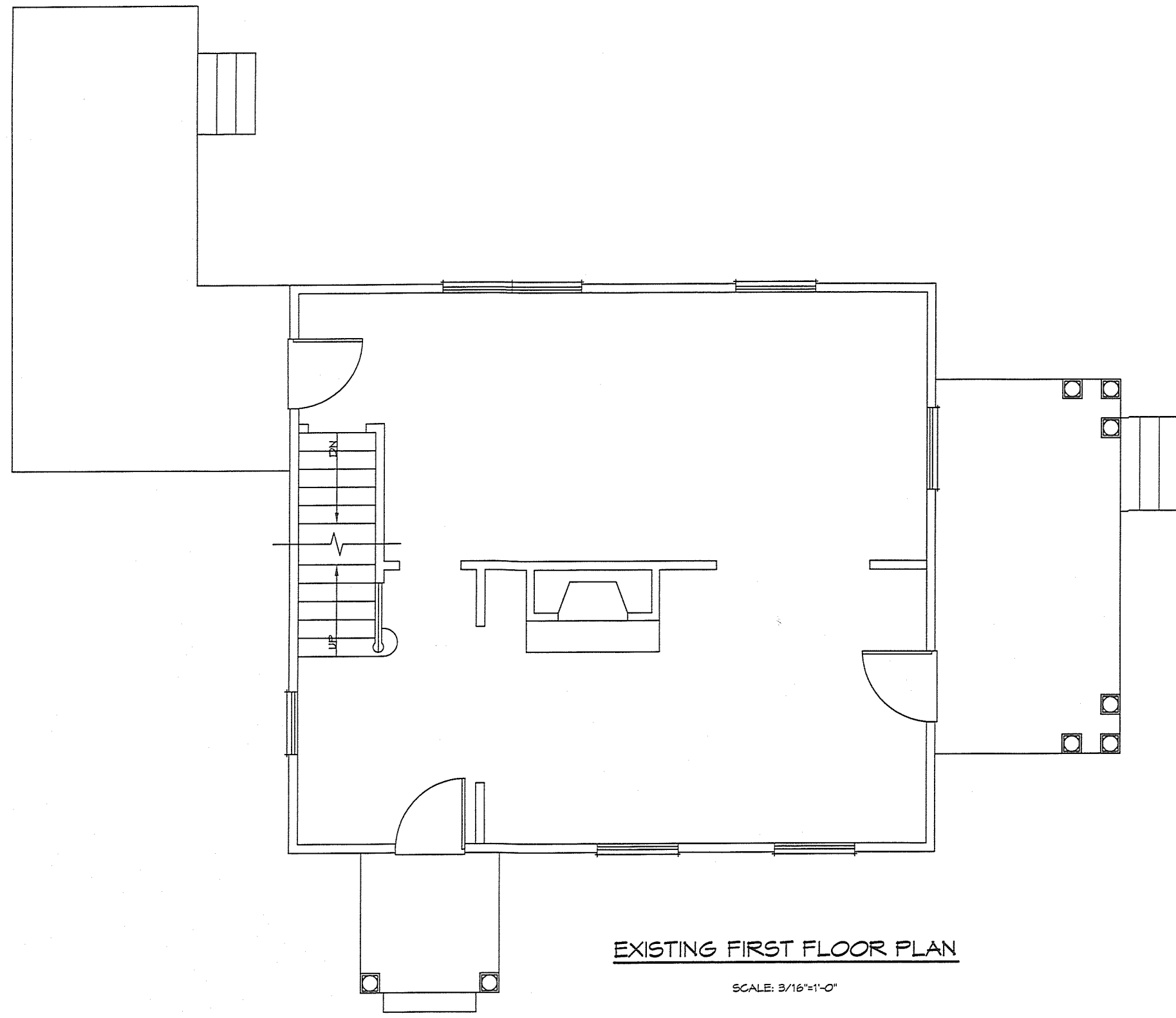


Publication Agency: Permits, Approvals & Inspections
Projection/Datum: Maryland State Plane,
FIPS 1900, NAD 1983/91 HARN, US Foot



0 12.5 25 50 75 100 Feet

1 inch = 50 feet



FILE: TROY GRIFFIN - 212 NEEL AVE

SCALE: NOTED

DATE: 8/2014

SHEET NO: 1 OF 1

GEL CUSTOM HOME
DESIGN INC.

PO BOX 237 FINKSBURG, MD 21048

PHONE 410-833-8320

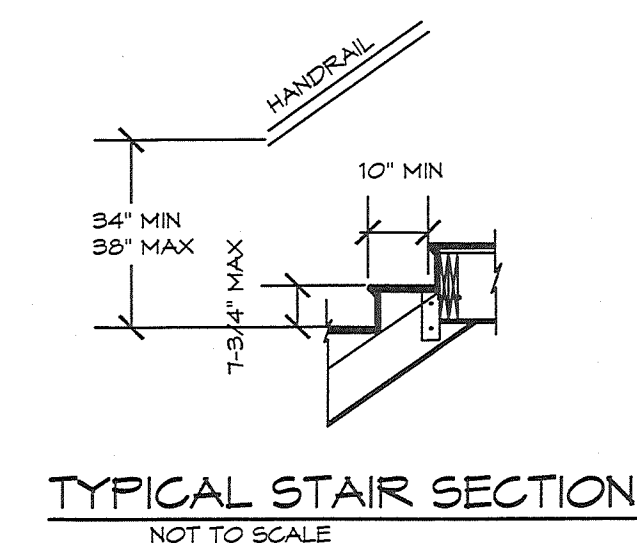
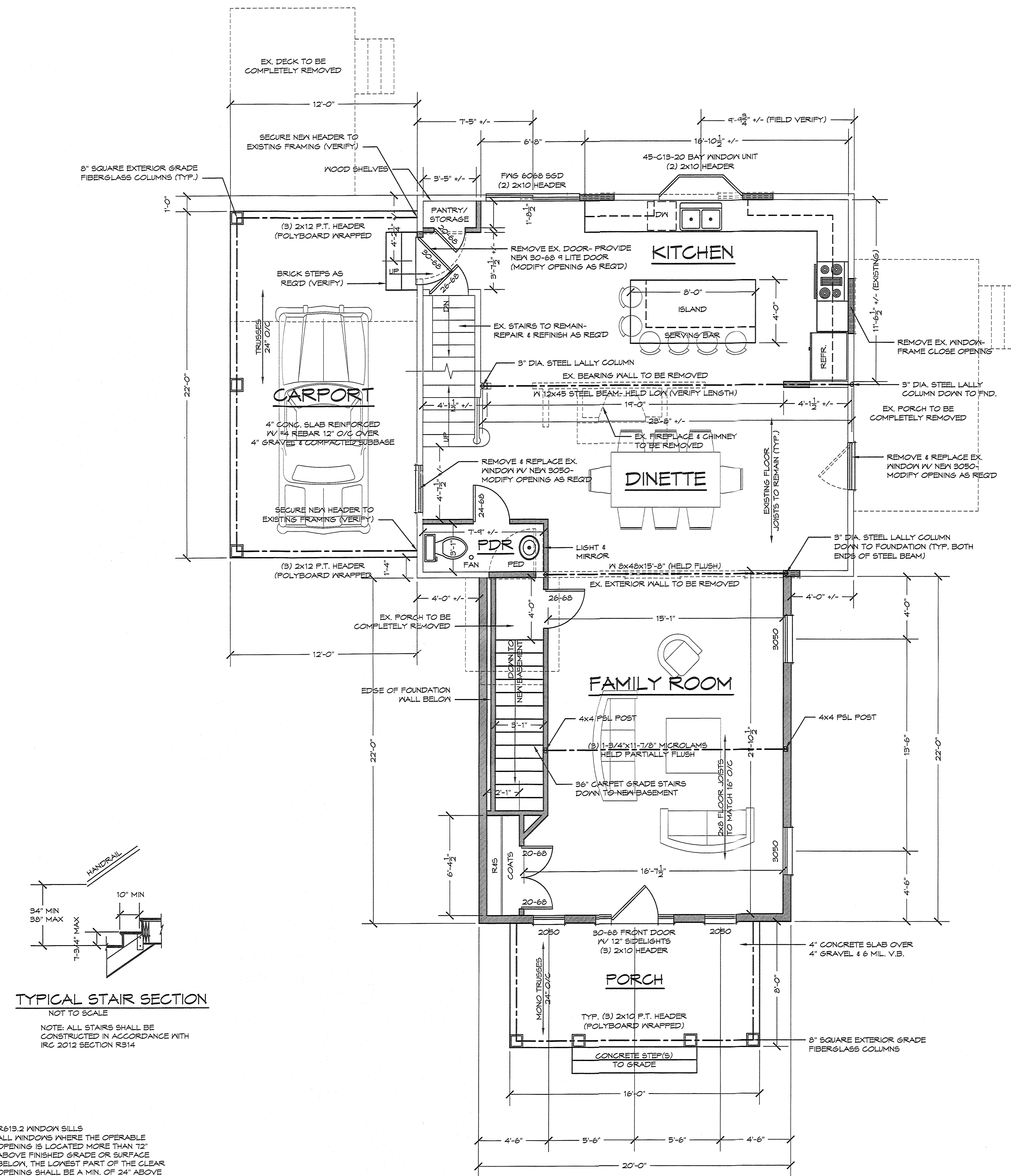
PROJECT ADDRESS:
212 NEEL AVENUE
REISTERSTOWN, MD 21186
BALTIMORE COUNTY, MD

REVISED 8/24/2014
REVISED 8/20/2014

REMODELING & ADDITIONS TO

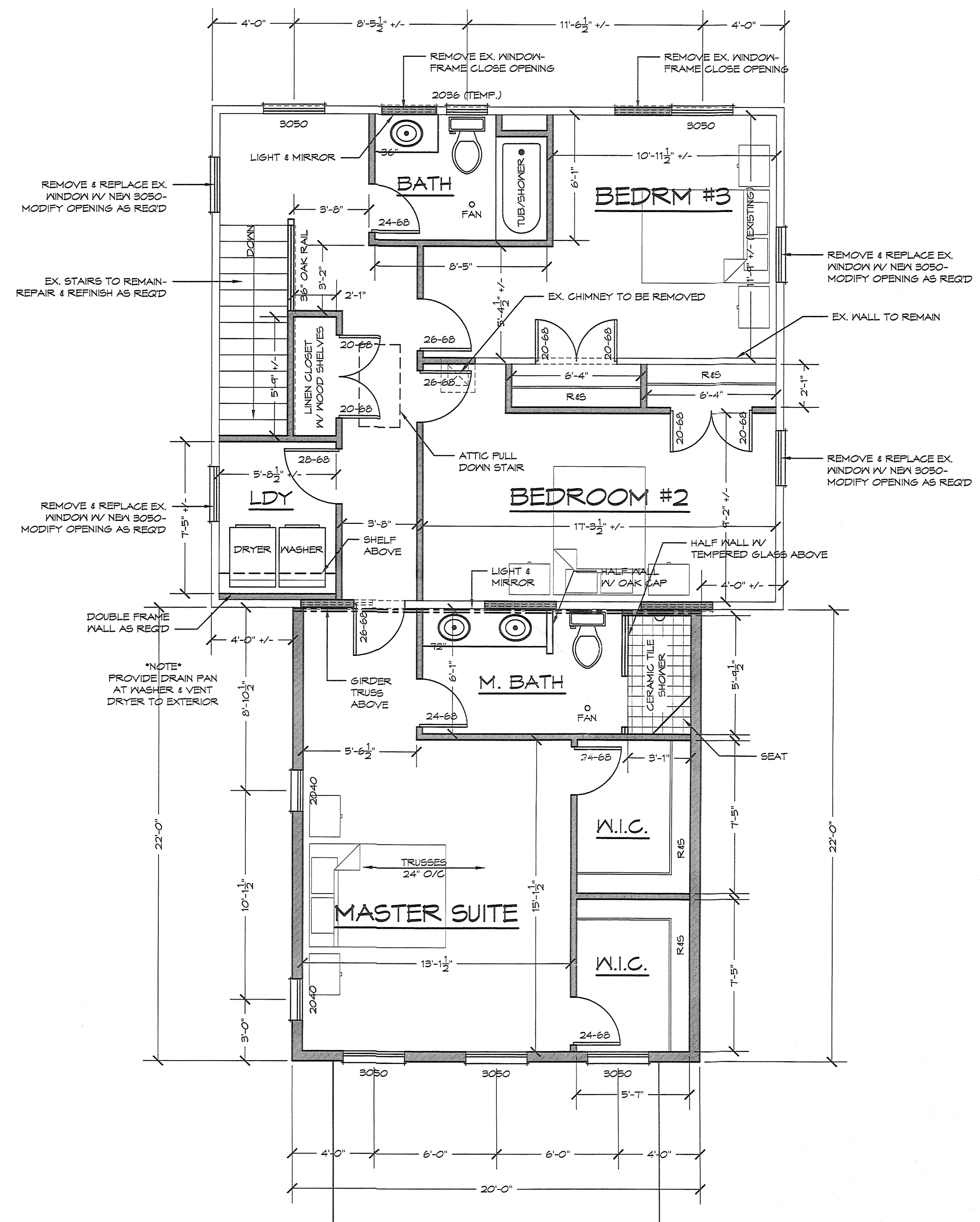
212 NEEL AVENUE

CASE # 2015-0046A



R613.2 WINDOW SILLS
ALL WINDOWS WHERE THE OPERABLE
OPENING IS LOCATED MORE THAN 72"
ABOVE FINISHED GRADE OR SURFACE
BELOW, THE LOWEST PART OF THE CLEAR
OPENING SHALL BE A MIN. OF 24" ABOVE
THE FINISHED FLOOR OF THE ROOM IN
WHICH THE WINDOW IS LOCATED. GLAZING
BETWEEN THE FLOOR AND 24" SHALL BE
FIXED OR HAVE OPENINGS THROUGH
WHICH A 4" DIA. SPHERE CANNOT PASS,

EXCEPTIONS:
1. WINDOWS WHOSE OPENINGS WILL NOT ALLOW A 4" DIA. SPHERE TO PASS THROUGH THE OPENING WHEN THE OPENING IS IN ITS LARGEST OPENED POSITION
2. OPENINGS THAT ARE PROVIDED WITH WINDOW GUARDS THAT COMPLY WITH ASTM F 2006 OF F 2090



REMODELING & ADDITIONS TO
212 NEEL AVENUE

PROJECT ADDRESS:
212 NEEL AVENUE
REISTERSTOWN, MD 21136

BALTIMORE COUNTY, MD

REVISED 8/29/2014
REVISED 8/20/2014

**GBL CUSTOM HOME
DESIGN INC.**
PO BOX 237 FINKSBURG, MD 21048
PHONE 410-833-8320

SCALE: 1/4" = 1'-0"
DATE: 8/2014
SHEET NO.: 2 OF 7

FILE: TROY GRIFFIN - 212 NEEL AVE

GENERAL STRUCTURAL NOTES

1. GENERAL

A. ALL CONSTRUCTION SHALL CONFORM WITH THE PROVISIONS OF THE 2012 INTERNATIONAL RESIDENTIAL CODE FOR ONE AND TWO FAMILY DWELLINGS.

B. DESIGN LIVE LOADS:

ROOF..... 30 PSF
FLOORS..... 40 PSF
SLEEPING AREAS..... 30 PSF

2. FOUNDATIONS

A. FOOTINGS ARE DESIGNED FOR AN ALLOWABLE SOIL BEARING CAPACITY OF 2000 PSF. FOOTINGS SHALL BEAR ON NATURAL UNDISTURBED SOIL, 1'-0" BELOW ORIGINAL GRADE. THE BOTTOM OF EXTERIOR FOOTINGS SHALL BE A MINIMUM OF 2'-6" BELOW FINISHED GRADE. CONTRACTOR TO VERIFY THE ALLOWABLE SOIL PRESSURE IN THE FIELD. IF FOUND TO BE LESS THAN 2000 PSF, THE FOOTINGS WILL HAVE TO BE REDESIGNED.

3. CAST IN PLACE CONCRETE

A. ALL CONCRETE WORK SHALL CONFORM TO THE LATEST APPROVED (BY LOCAL GOVERNMENT) EDITIONS OF THE FOLLOWING A.C.I. AND A.S.T.M. DOCUMENTS:

ACI-301 SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS
ACI-318 BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE

B. ALL CONCRETE, EXCEPT AS NOTED, SHALL BE (FC=3,000 PSI) STONE AGGREGATE CONCRETE AT 28 DAYS. ALL CONCRETE EXPOSED TO THE WEATHER SHALL BE AIR ENTRAINED.

C. SLABS ON GROUND SHALL BE 4" THICK CONCRETE REINFORCED WITH 6"x6" #1.4X#1.4 WAF OVER 6 MIL POLYETHYLENE VAPOR BARRIER AND 4" WASHED GRAVEL UNLESS OTHERWISE NOTED.

4. MASONRY

A. ALL MASONRY CONSTRUCTION AND MATERIALS USED THEREIN (CONCRETE MASONRY, CLAY MASONRY, MORTAR, GROUT AND STEEL REINFORCEMENT) SHALL CONFORM TO 'BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES' (ACI 530-42/ASCE 5-42/TMS 402-42) AND 'SPECIFICATIONS FOR MASONRY STRUCTURES' (ACI 530.1-42/ASCE 6-42/TMS 602-42) IN ALL RESPECTS.

B. MASONRY BEARING WALLS SHALL CONSIST OF STANDARD HOLLOW UNITS CONFORMING TO ASTM C 90 UNLESS OTHERWISE NOTED. WHERE SOLID UNITS ARE REQUIRED, PROVIDE UNITS CONFORMING TO ASTM C 145.

C. ALL MORTAR SHALL CONFORM TO THE REQUIREMENTS FOR PROPORTIONS, MIXING, STRENGTH AND APPLICATION FOR PORTLAND CEMENT/LIME TYPE 'S' MORTAR AS DESCRIBED IN ACI 530-42.

D. ALL GROUT FILL IN MASONRY WALLS SHALL CONFORM TO ASTM C 476. SLUMP RANGE 8-11". PLACE GROUT IN 5'-0" MAXIMUM FOUR HEIGHTS AND CONSOLIDATE BY MECHANICAL VIBRATION.

E. PROVIDE 8" DEPTH OF 100 % SOLID MASONRY BELOW ALL JOIST OR SLAB BEARING LINES. PROVIDE 16" HIGH X 16" LONG 100 % SOLID MASONRY BELOW ALL LINTELS AND BEAMS UNLESS NOTED OTHERWISE.

F. ALL MASONRY WALLS SHALL BE REINFORCED WITH NO. 9 GAGE TRUSS TYPE GALVANIZED DUR-O-WALL SPACED VERTICALLY AT 16" O.C. U.N.O. LAP ALL DUR-O-WALL 6" MINIMUM. PROVIDE CORNER AND TEE PIECES AT ALL INTERSECTIONS.

G. LOOSE LINTELS FOR MASONRY WALLS SHALL BE FOR EACH 4" WIDTH OF MASONRY ONE STEEL ANGLE AS FOLLOWS:

0'-0" TO 3'-0" 3'-1/2" X 3'-1/2" X 3/16"
3'-1" TO 5'-0" 4" X 3'-1/2" X 3/16"
5'-1" TO 6'-6" 5" X 3'-1/2" X 3/8"
6'-7" TO 8'-0" 6" X 3'-1/2" X 3/8"

ALL ANGLES SHALL HAVE THEIR SHORT LEGS OUTSTANDING AND 6" MINIMUM BEARING.

5. STRUCTURAL STEEL

A. ALL STRUCTURAL STEEL SHALL CONFORM TO ASTM SPECIFICATION A-36 (LATEST LOCAL APPROVED). ALL STEEL SHALL BE DETAILED, FABRICATED, AND ERECTED IN ACCORDANCE WITH THE AISC MANUAL, AISC SPECIFICATION AND AISC CODE OF STANDARD PRACTICE.

B. ALL WELDED CONNECTIONS SHALL BE DONE WITH E70XX ELECTRODES. SHOP AND FIELD WELDS SHALL BE MADE BY APPROVED CERTIFIED WELDERS AND SHALL CONFORM TO THE AMERICAN WELDING SOCIETY CODE FOR BUILDINGS AND D1.1. WELDS SHALL DEVELOP THE FULL STRENGTH OF MATERIALS BEING WELDED UNLESS OTHERWISE NOTED.

6. WOOD

A. STRUCTURAL SOLID WOOD RAFTERS, JOISTS, BEAMS AND STUDS SHALL BE HEM FIR #2 OR SPRUCE PINE FIR #2 SURFACED DRY AT A MAXIMUM OF 14 % MOISTURE CONTENT. ALL LUMBER EXPOSED TO WEATHER SHALL BE PRESSURE TREATED SOUTHERN PINE #2. ALL FABRICATION, ERECTION, OTHER PROCEDURES, AND MINIMUM UNIT STRESSES SHALL CONFORM TO THE CURRENT NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION.

B. WOOD TRUSSES SHALL BE DESIGNED, FABRICATED AND ERECTED IN ACCORDANCE WITH THE NATIONAL DESIGN STANDARD FOR METAL PLATE CONNECTED WOOD TRUSS CONSTRUCTION (ANSI/TRF 1) AND COMMENTARY AND RECOMMENDATIONS FOR HANDLING, INSTALLING AND BRACING METAL PLATE CONNECTED WOOD TRUSSES (HB-41) AS PUBLISHED BY THE TRUSS PLATE INSTITUTE AND IN ACCORDANCE WITH THE 1991 EDITION OF THE NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION.

C. WOOD TRUSSES AND ENGINEERED FLOOR JOISTS ARE TO BE DESIGNED BY THE SUPPLIER. SHOP DRAWINGS SHALL BE SUBMITTED TO THE ENGINEER/ARCHITECT FOR REVIEW. ALL TRUSSES AND JOISTS SHALL BE DESIGNED TO LIMIT THE BEARING STRESS TO 425 PSI WHEN MEMBERS BEAR ON STUD WALLS. PROVIDE MEMBERS OF ADEQUATE WIDTH OR METAL CONNECTIONS TO LIMIT STRESSES TO THE SPECIFIED VALUE.

D. ALL LAMINATED VENEER LUMBER (LVL) OR PARALLEL STRAND LUMBER (PSL) SHALL HAVE THE FOLLOWING MINIMUM PROPERTIES: Fb=2600psi, Fv=285psi, E=1,400,000psi, Fc=2510psi(PARALLEL), Fc=130psi(PERPENDICULAR).

E. ALL DOUBLE MEMBERS SHALL BE NAILED TOGETHER WITH 2 ROWS OF 16d NAILS SPACED AT 12" O.C. ALL TRIPLE MEMBERS SHALL BE NAILED TOGETHER WITH 3 ROWS OF 16d NAILS SPACED AT 12" O.C. NAILED FROM EACH SIDE.

F. PROVIDE DOUBLE JOISTS AT PARALLEL PARTITIONS WHERE PARTITION LENGTH EXCEEDS 1/3 JOIST SPAN.

G. ALL NAILS ARE TO BE COMMON WIRE NAILS. NAILING OF ALL FRAMING SHALL BE AS SPECIFIED IN THE CONTRACT DOCUMENTS BUT IN NO CASE SHALL BE LESS THAN THE RECOMMENDED NAILING SCHEDULE CONTAINED IN THE 2000 INTERNATIONAL RESIDENTIAL CODE. ALL MULTIPLE STUD POSTS ARE TO BE NAILED TOGETHER WITH 12d NAILS @ 6" O.C. STAGGERED.

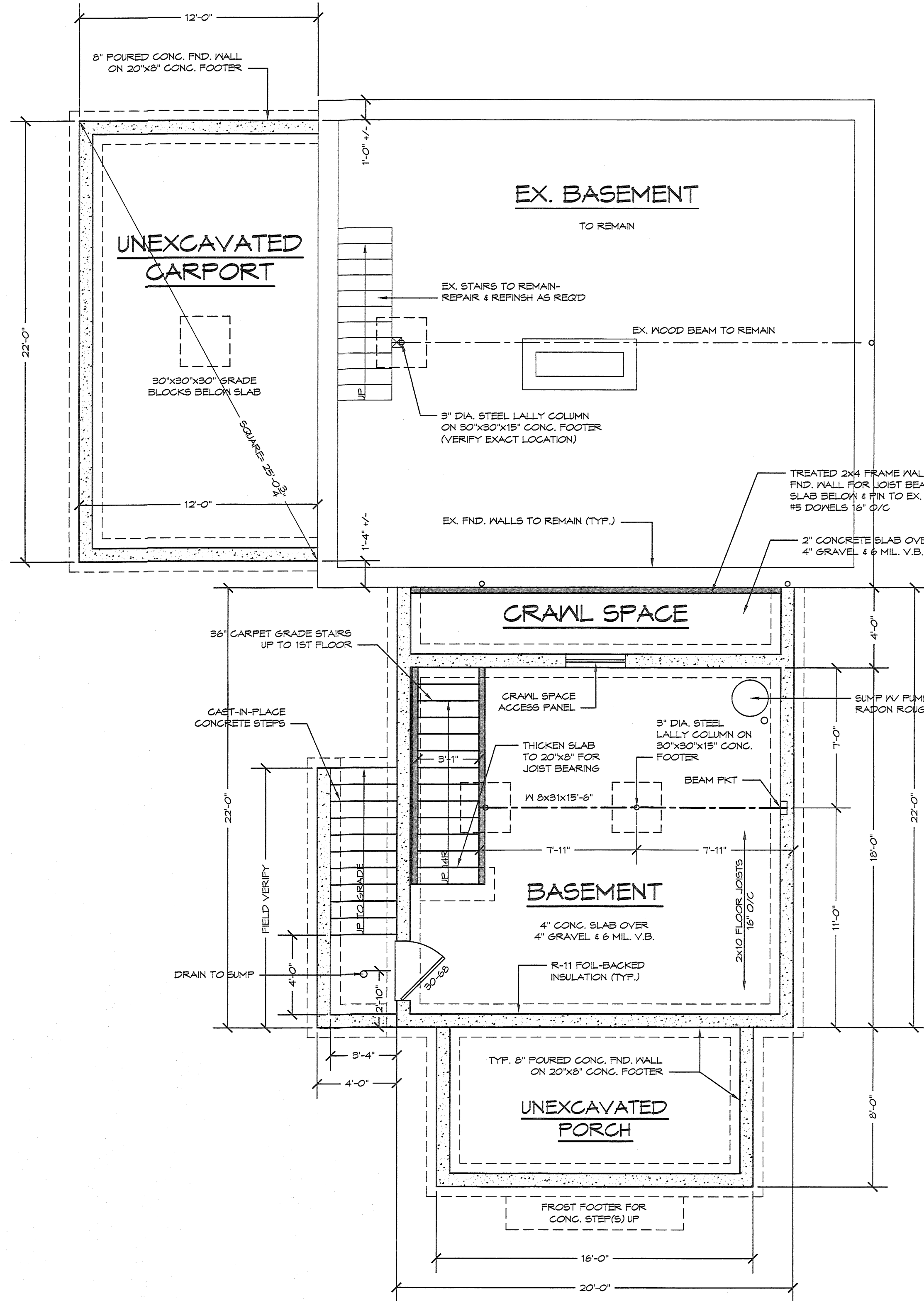
H. PROVIDE BRIDGING SPACED AT 48" O.C. IN FIRST TWO JOIST, RAFTER OR TRUSS SPACES WHEN FRAMING IS PARALLEL TO EXTERIOR WALL. NAIL SHEATHING (FLOOR, CEILING OR ROOF) TO BRIDGING AND NAIL BRIDGING TO EXTERIOR WALL PLATE. PROVIDE ONE ROW OF BRIDGING BETWEEN ALL FLOOR AND ROOF JOISTS FOR EACH 8'-0" OF SPAN. PROVIDE SOLID BLOCKS OR A CONTINUOUS RM JOIST AT THE BEARING OF JOISTS, RAFTERS OR TRUSSES ON WOOD PLATES.

I. PROVIDE THE FOLLOWING JAMB STUDS AT ALL BEARING WALL OPENINGS UNLESS NOTED OTHERWISE:
0-3' OPENING 1 JACK STUD, 1 KING STUD
3'-1" - 6'-0" OPENING 2 JACK STUDS, 1 KING STUD
6'-1" - 9'-0" OPENING 2 JACK STUDS, 2 KING STUDS

PROVIDE DOUBLE STUDS AT ALL CORNERS AND BENEATH ALL GIRDER TRUSSES AND WOOD BEAMS UNLESS NOTED OTHERWISE ON PLANS. WOOD BEAMS, GIRDER TRUSSES AND HEADERS SHALL BEAR THE FULL DEPTH OF POSTS AND JACK STUDS.

J. ALL POSTS (MULTIPLE STUDS OR SOLID POST) SUPPORTING BEAMS, WALL HEADERS OR GIRDER TRUSSES, SHALL BE BLOCKED SOLID FOR THE FULL LENGTH AND WIDTH OF POSTS AT ALL INTERSECTIONS WITH FLOORS AS REQUIRED TO PROVIDE CONTINUOUS SUPPORT TO TOP OF FOUNDATION WALLS OR BEAMS. POSTS SHOWN ON UPPER LEVELS FLOORS SHALL ALSO BE INSTALLED ON THE LOWER LEVELS IN LINE WITH THE POST ABOVE DOWN TO FOUNDATION WALLS OR BEAMS.

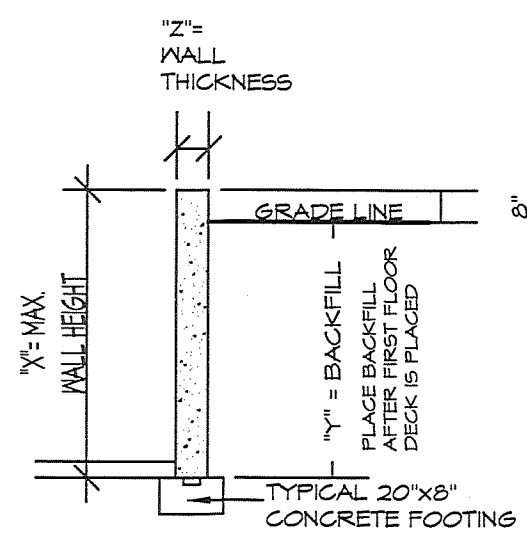
K. ALL FLUSH JOIST TO BEAM OR BEAM TO BEAM CONNECTIONS SHALL BE MADE WITH JOIST OR BEAM HANGERS TO SUPPORT THE LOAD CAPACITY INDICATED ON THE PLANS OR THE FULL CAPACITY OF THE JOIST OR BEAM. HANGERS SHALL BE PROVIDED BY SIMPSON STRONG TIE OR USP LUMBER CONNECTORS. THE SUPPLIER SHALL DESIGN ALL HANGERS FOR THE CAPACITY STATED. INSTALL ALL HANGERS IN STRICT CONFORMANCE TO THE MANUFACTURER'S INSTRUCTIONS. FILL ALL NAIL OR BOLT HOLES USING THE SPECIFIED NAILS AND BOLTS ONLY.



PROPOSED FOUNDATION PLAN

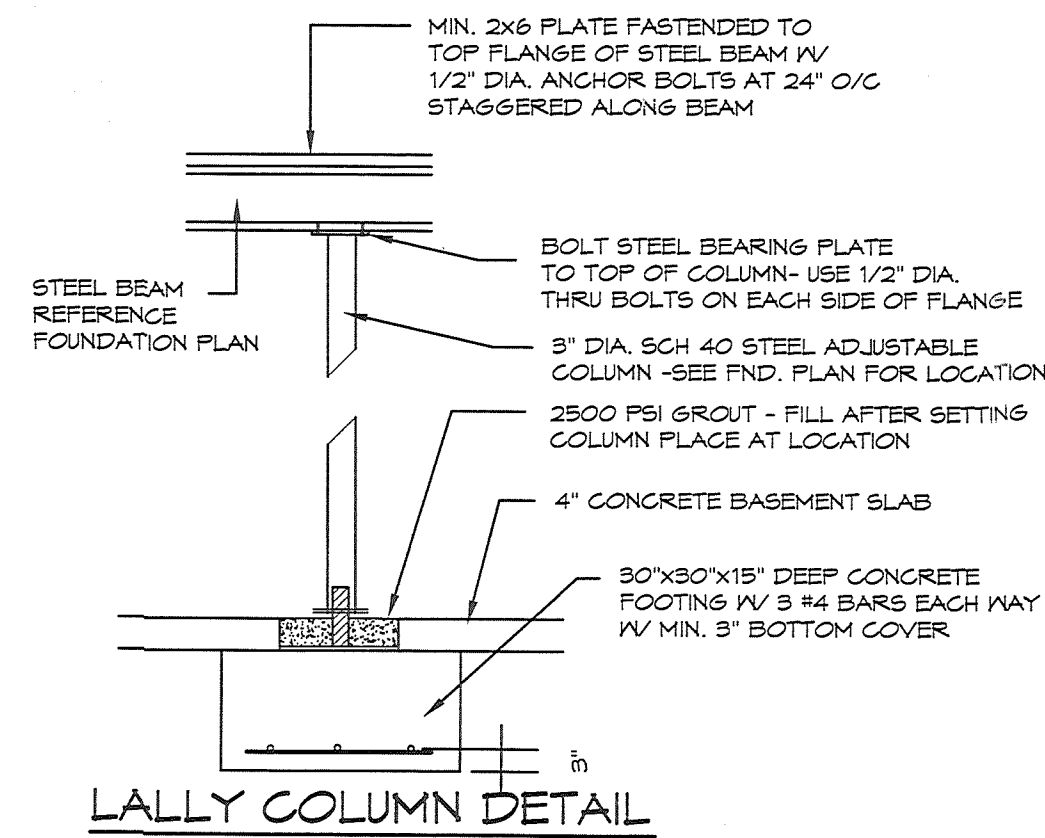
SCALE: 1/4"=1'-0"

TABLE R404.1.1(5) PER IRC 2012 CONCRETE FOUNDATION WALLS				
MAXIMUM WALL HEIGHT "X" (FEET)	MAXIMUM UNBALANCED BACKFILL HEIGHT "Y" (FEET)	MINIMUM VERTICAL REINFORCEMENT SIZE & SPACING		
		SOIL CLASS & DESIGN LATERAL SOIL (PSF PER FOOT OF DEPTH) GM, GC, SM, SH+SC, 4 ML 4S		
4	5	MIN. WALL THICKNESS "Z" (INCHES)		
		3.5	4.5	5.5
		FC	FC	FC
		#4@35"	FC	FC
		#6@45"	FC	FC
5	6	MIN. WALL THICKNESS "Z" (INCHES)		
		4.5	5.5	6.5
		FC	FC	FC
6	7	MIN. WALL THICKNESS "Z" (INCHES)		
		5.5	6.5	7.5
		FC	FC	FC
7	8	MIN. WALL THICKNESS "Z" (INCHES)		
		6.5	7.5	8.5
		FC	FC	FC
8	9	MIN. WALL THICKNESS "Z" (INCHES)		
		7.5	8.5	9.5
		FC	FC	FC
9	10	MIN. WALL THICKNESS "Z" (INCHES)		
		8.5	9.5	10.5
		FC	FC	FC



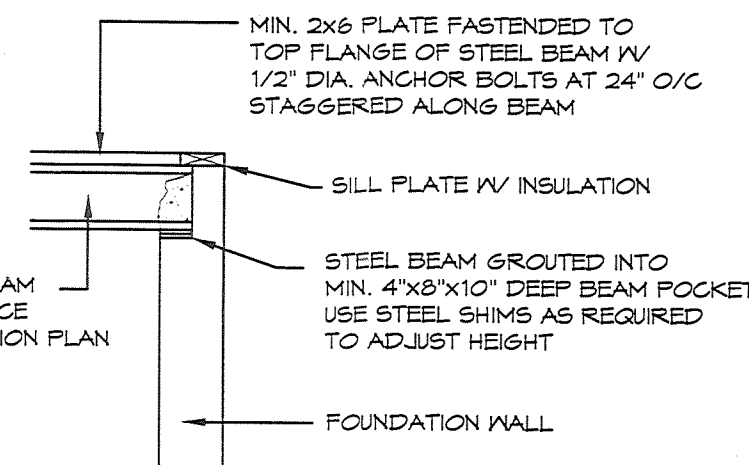
FOUNDATION WALL DESIGN DATA

NOT TO SCALE



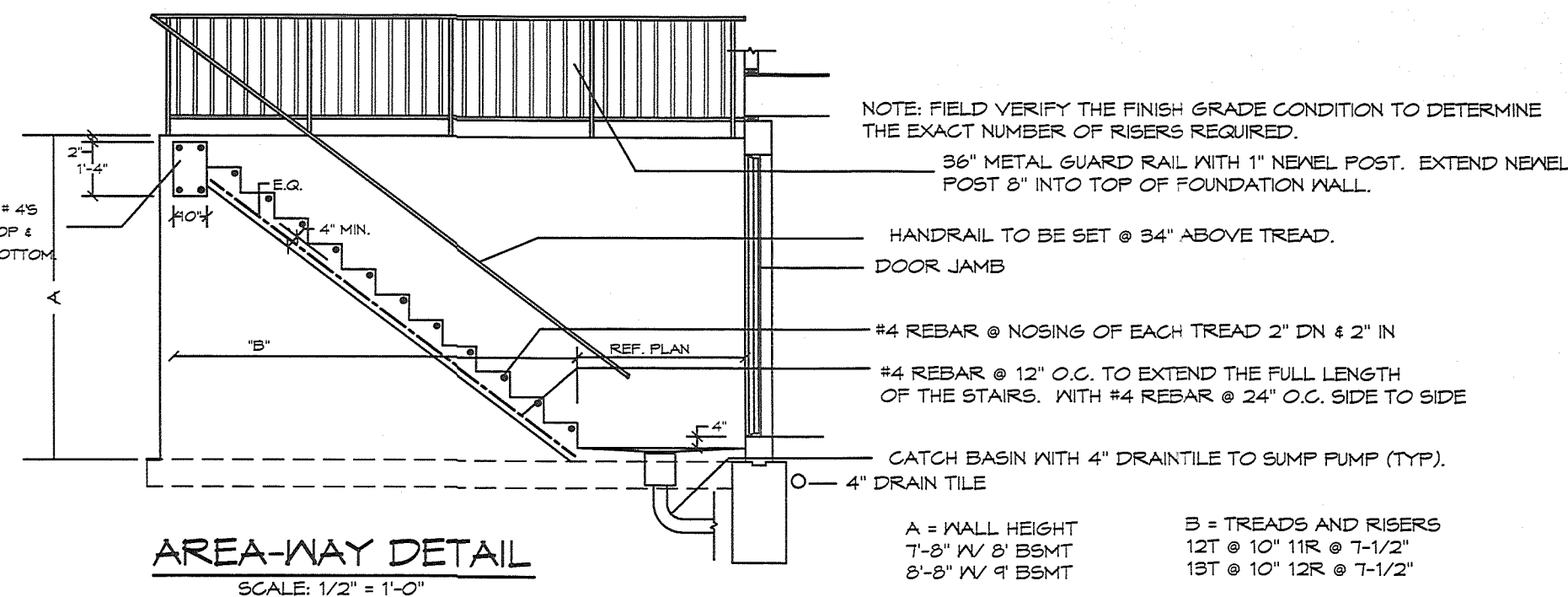
LALLY COLUMN DETAIL

SCALE: 1/2" = 1'-0"



BEAM POCKET DETAIL

SCALE: 1/2" = 1'-0"



AREA-WAY DETAIL

SCALE: 1/2" = 1'-0"

REMODELING & ADDITIONS TO
212 NEEL AVENUE

PROJECT ADDRESS:
212 NEEL AVENUE
REISTERSTOWN, MD 21136
BALTIMORE COUNTY, MD

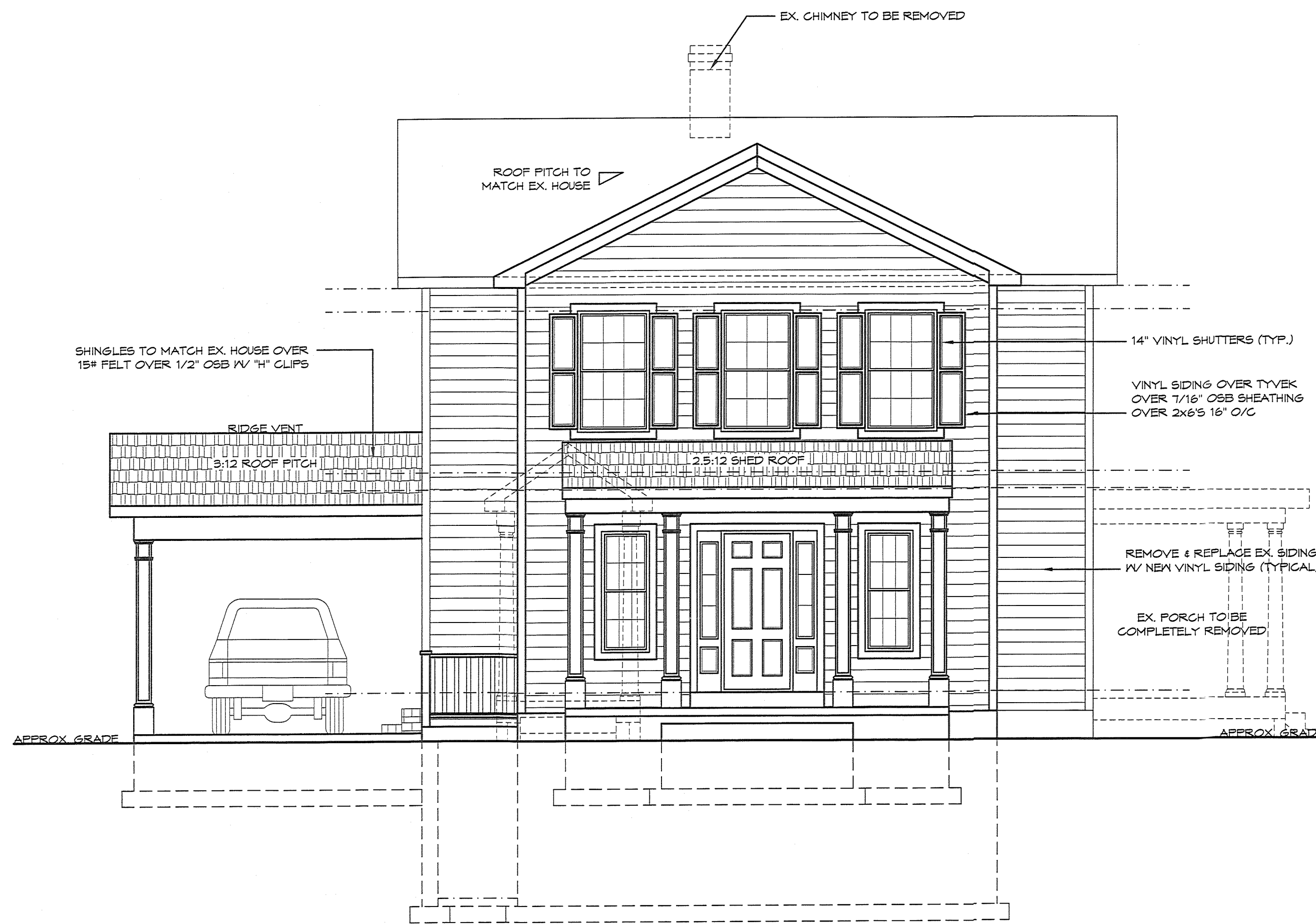
REVISED 8/29/2014
REVISED 8/20/2014

SCALE: 1/4" = 1'-0"

DATE: 8/20/14

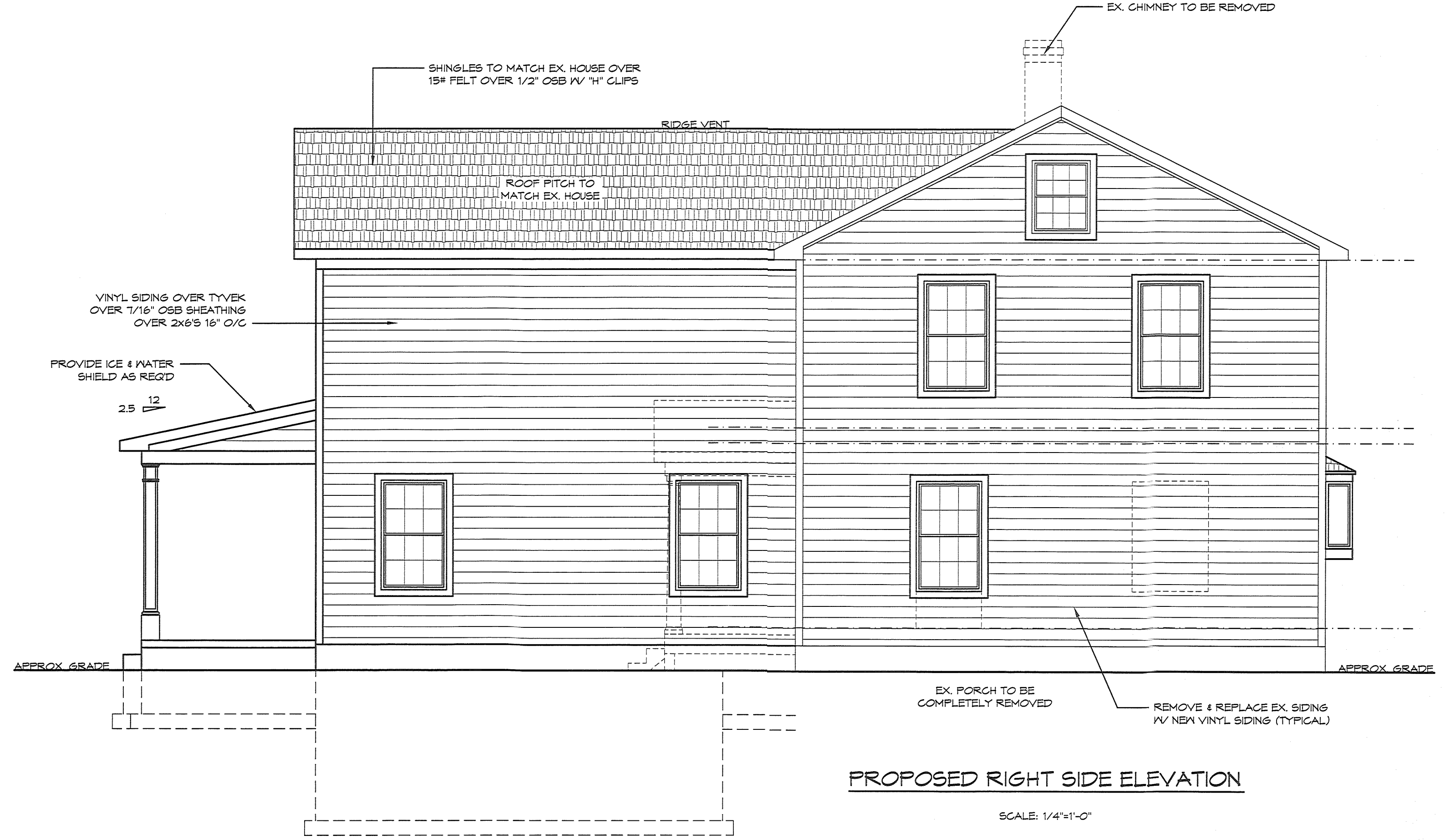
SHEET NO.: 9 OF 1

GEL CUSTOM HOME
DESIGN INC.
PO BOX 237 FINKSBURG, MD 21048
PHONE 410-833-8320



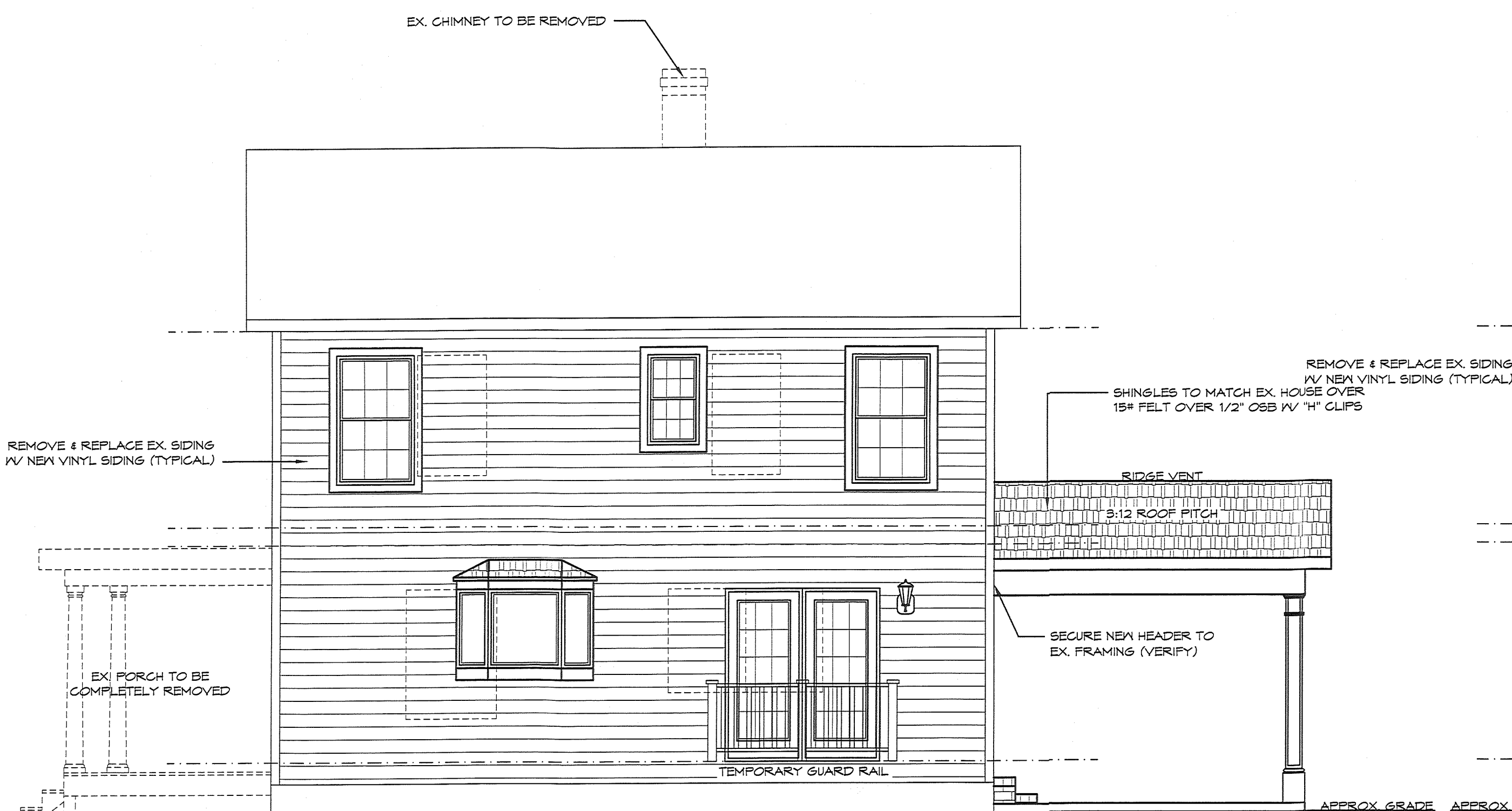
PROPOSED FRONT ELEVATION

SCALE: 1/4"=1'-0"



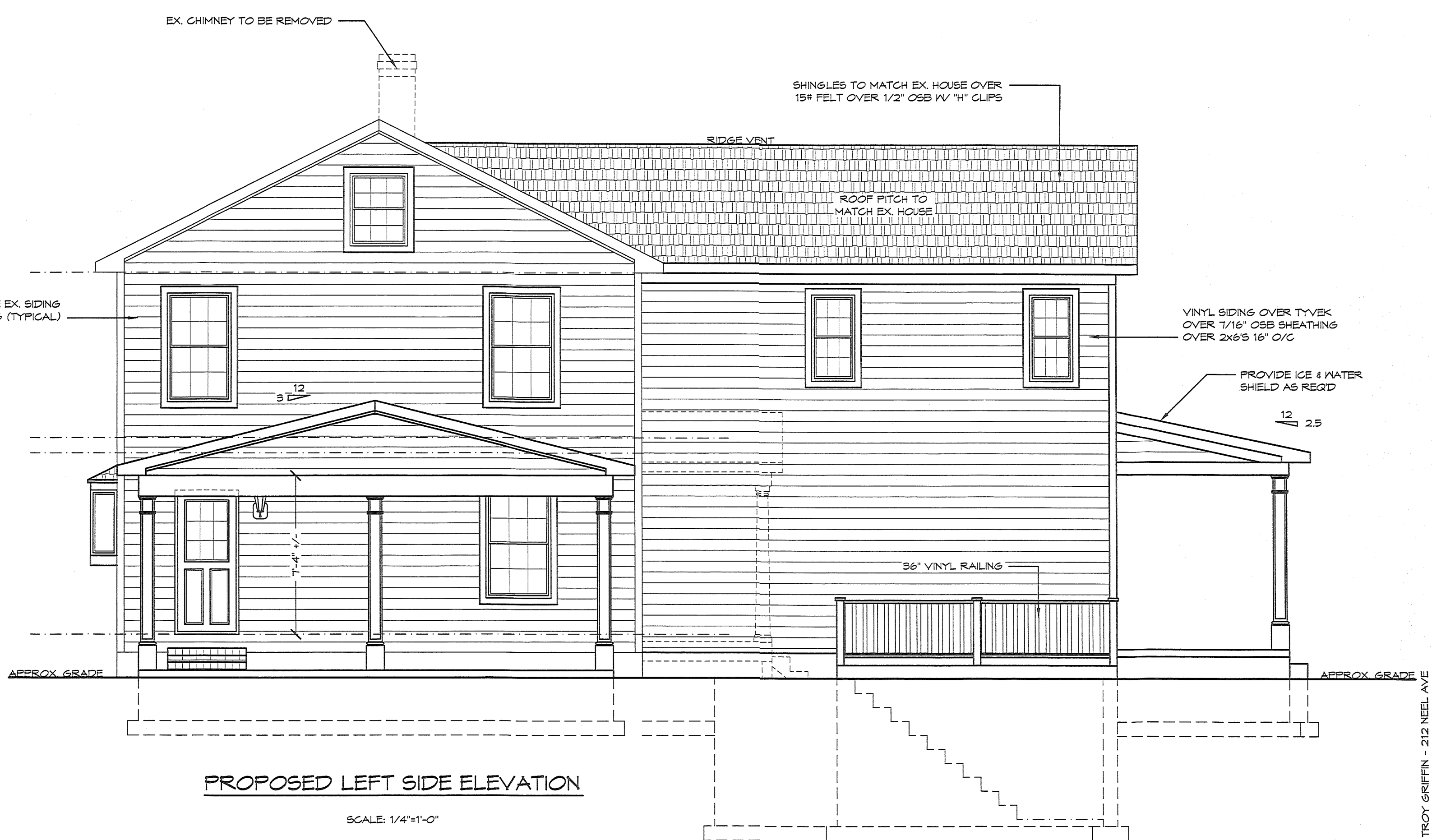
PROPOSED RIGHT SIDE ELEVATION

SCALE: 1/4"=1'-0"



PROPOSED REAR ELEVATION

SCALE: 1/4"=1'-0"



PROPOSED LEFT SIDE ELEVATION

SCALE: 1/4"=1'-0"

REMODELING & ADDITIONS TO 212 NEEL AVENUE

PROJECT ADDRESS:
212 NEEL AVENUE
REISTERSTOWN, MD 21136
BALTIMORE COUNTY, MD

REVISED 8/24/2014
REVISED 8/20/2014

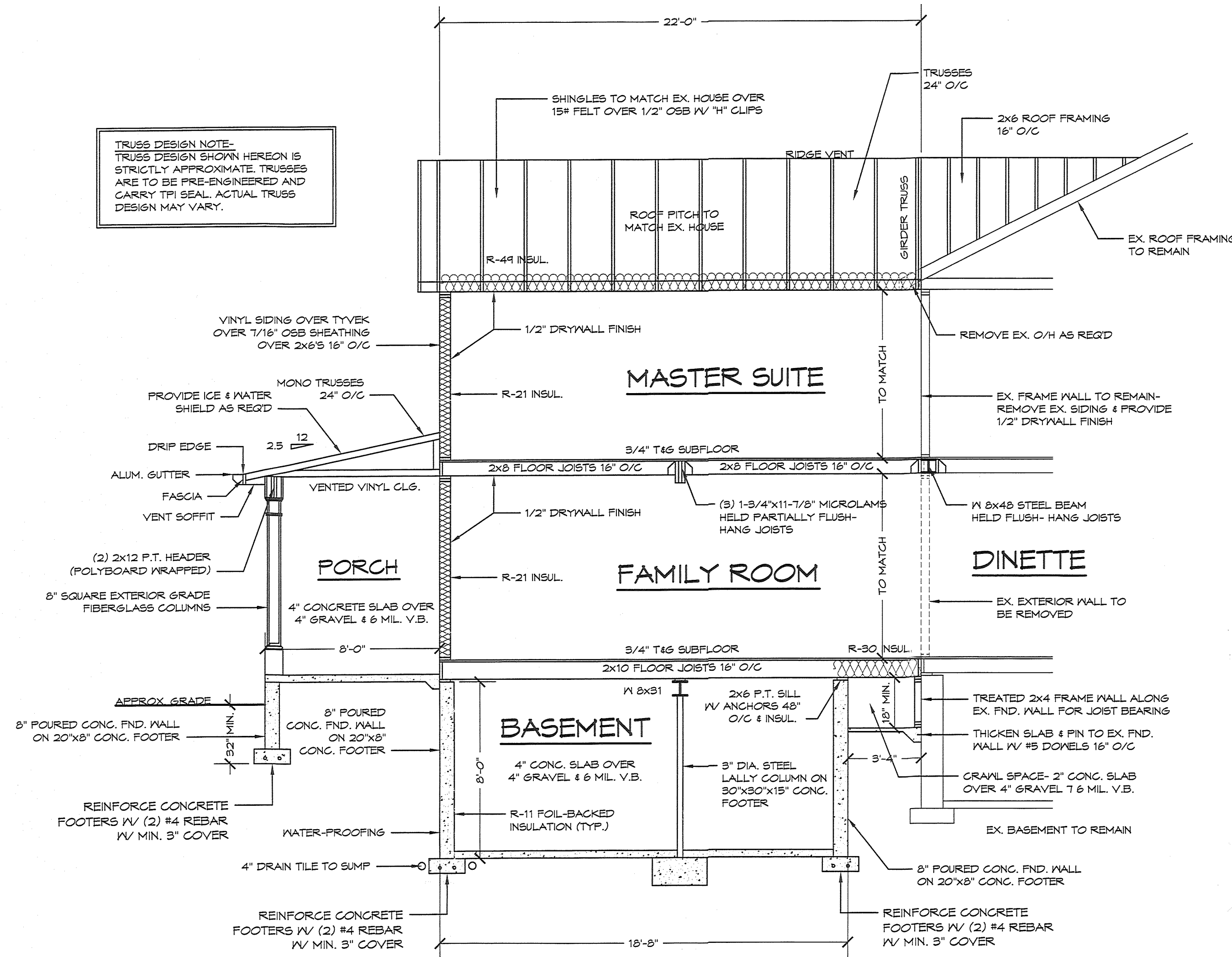
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DATE: 8/20/14

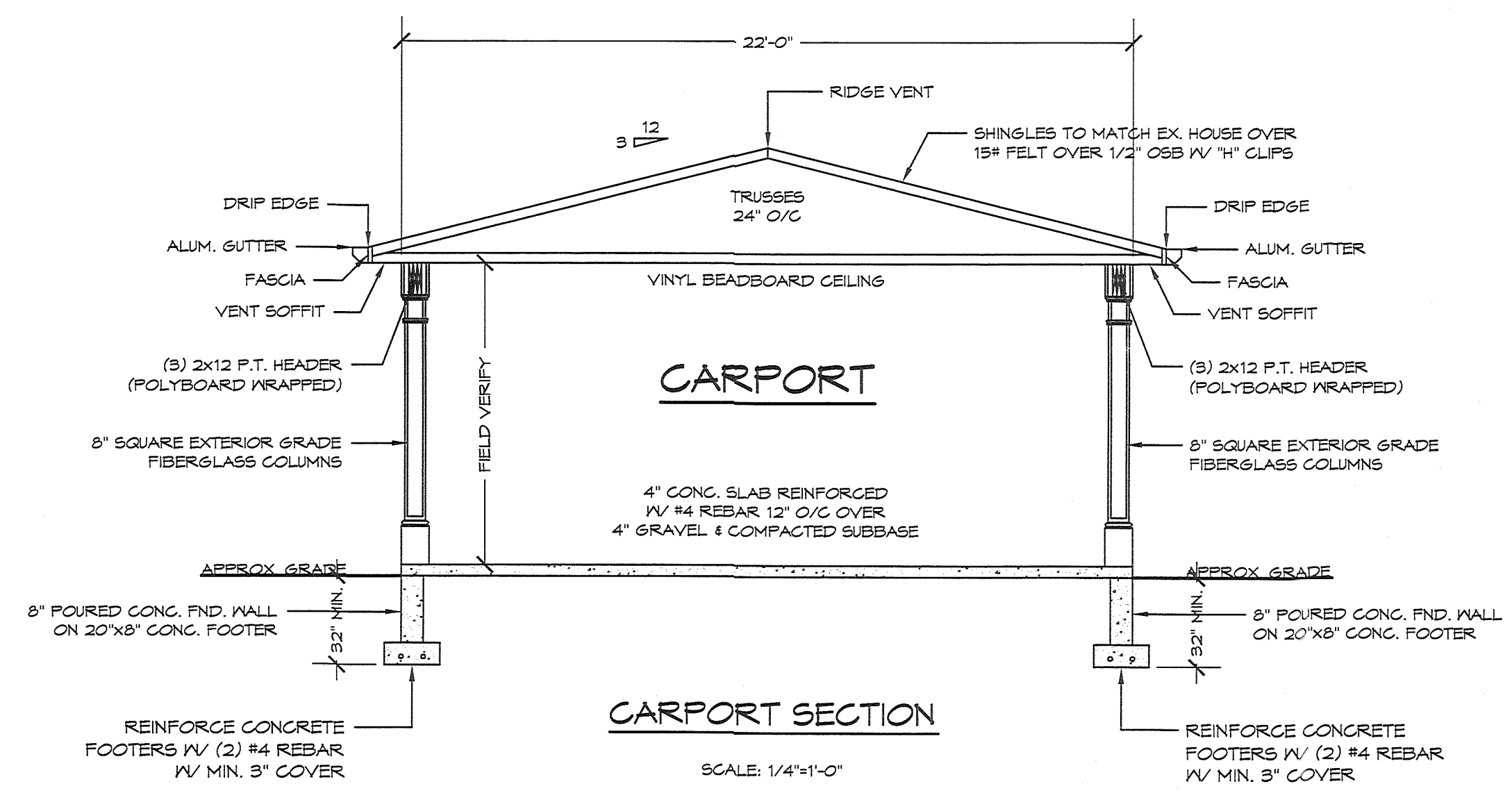
SHEET NO.: 4 OF 7

GBL CUSTOM HOME
DESIGN INC.
PO BOX 237 FINKSBURG, MD 21048
PHONE 410-833-8320

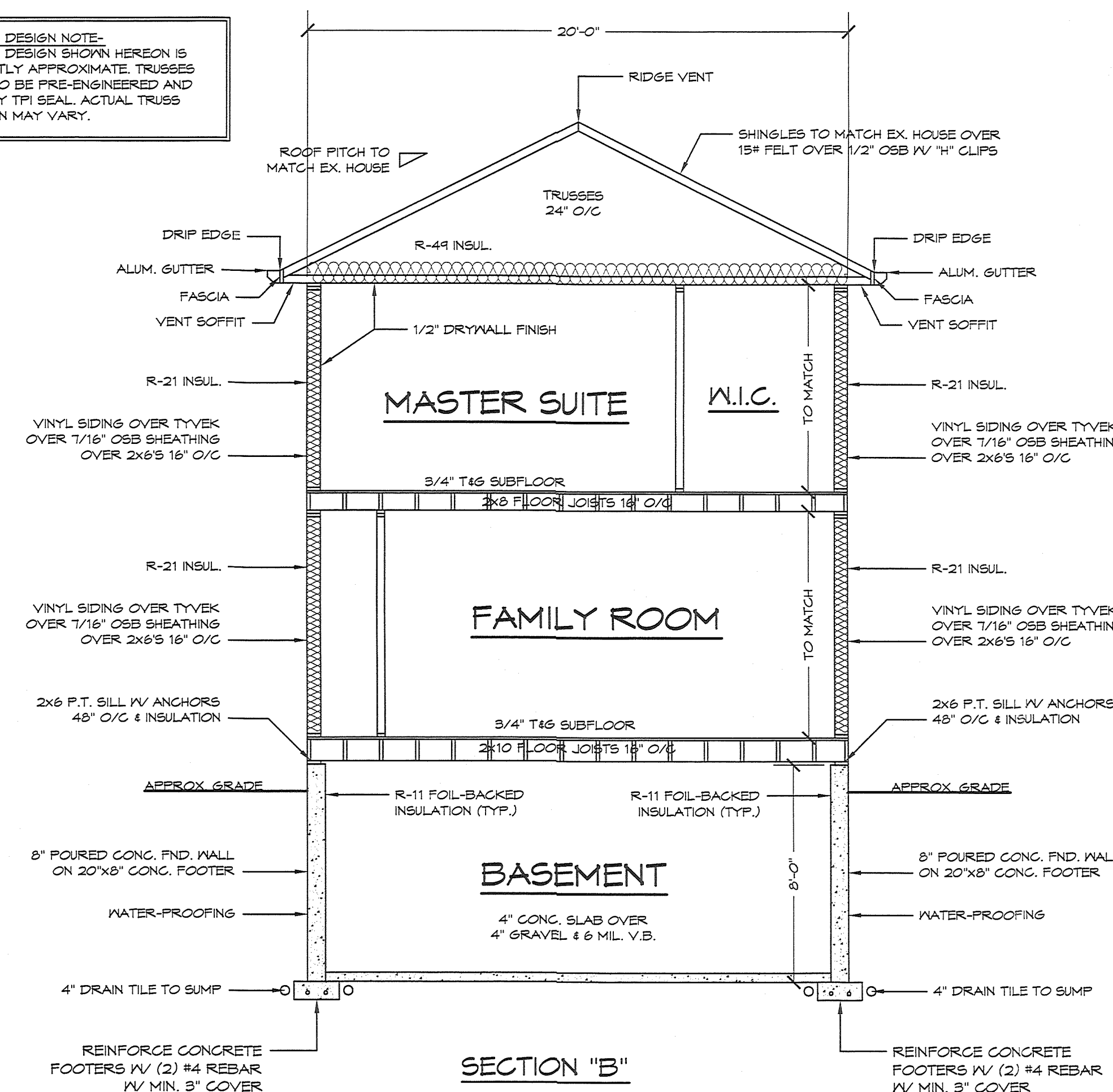
FILE: TROY GRIFFIN - 212 NEEL AVE



SECTION "A"
SCALE: 1/4"=1'-0"



CARPORT SECTION
SCALE: 1/4"=1'-0"



SECTION "B"
SCALE: 1/4"=1'-0"

2012 IECC CODE COMPLIANCE

- | | | | |
|----------|--|----------|--|
| R301.1 | CLIMATE ZONE 4 | R402.4.4 | RECESSED LIGHTING: RECESSED LUMINAIRES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO LIMIT AIR LEAKAGE. |
| R401.2 | COMPLIANCE METHOD: MANDATORY AND PRESCRIPTIVE PROVISIONS | R403.1.1 | THERMOSTAT: ALL DWELLING UNITS WILL HAVE AT LEAST (1) PROGRAMMABLE THERMOSTAT FOR EACH SEPARATE HEATING AND COOLING SYSTEM PER 2012 IECC SECTION 403.1. |
| R402.1.1 | ATTIC INSULATION: RAISED HEEL TRUSSES: R-49 | | WHERE A HEAT PUMP SYSTEM HAVING SUPPLEMENTARY ELECTRIC RESISTANCE HEAT IS USED THE THERMOSTAT SHALL PREVENT THE SUPPLEMENTARY HEAT FROM COMING ON WHEN HEAT PUMP CAN MEET HEATING LOAD. |
| R402.1.1 | WOOD FRAME WALL: R-20 OR R19RS CONTINUOUS INSULATION | R403.2.1 | MECHANICAL DUCT INSULATION: SUPPLY DUCTS IN ATTIC R-8 MINIMUM. SUPPLY DUCTS OUTSIDE OF CONDITIONED SPACES R-6 MINIMUM. ALL OTHER DUCTS EXCEPT THOSE LOCATED COMPLETELY INSIDE THE BUILDING THERMAL ENVELOPE R-6 MINIMUM. DUCTS LOCATED UNDER CONCRETE SLABS MUST BE R-6 MINIMUM. |
| R402.1.1 | BASEMENT WALL INSULATION: R-15/R-10 FOIL FACED CONTINUOUS, UNINTERRUPTED BATTS FULL HEIGHT. | R403.2.2 | DUCT SEALING: ALL DUCTS, AIR HANDLERS, FILTER BOXES WILL BE SEALED. JOINTS AND SEAMS WILL COMPLY WITH SECTION M1601.4.1 OF THE IRC. |
| R402.1.1 | CEILING SPACE WALL INSULATION: R-15/R-10 FOIL FACED CONTINUOUS BATTS FULL HEIGHT EXTENDING FROM FLOOR ABOVE TO FINISH GRADE LEVEL AND THEN VERTICALLY OR HORIZONTALLY AN ADDITIONAL 2'-0". | R403.3 | A DUCT TIGHTNESS TEST ("DUCT BLASTER" DUCT TOTAL LEAKAGE TEST) WILL BE PERFORMED ON ALL HOMES AND SHALL BE VERIFIED BY EITHER A POST CONSTRUCTION TEST OR A ROUGH-IN TEST. DUCT TIGHTNESS IS NOT REQUIRED IF THE AIR HANDLER AND ALL DUCTS ARE LOCATED WITHIN THE CONDITIONED SPACE. |
| R402.1.1 | FLOOR INSULATION OVER UNCONDITIONED SPACE: R-19 BATT INSULATION | R403.6 | MECHANICAL VENTILATION: OUTDOOR (MAKE-UP) AIR WILL BE BROUGHT INTO THE HOME THRU A DUCT WITH AN AUTOMATIC OR GRAVITY DAMPER. |
| R402.1.1 | WINDOW U-VALUE / SHGC: 55 (U-VALUE) 40 (SHGC) | R403.6 | EQUIPMENT SIZING SHALL COMPLY WITH R403.6. |
| R402.2.4 | SLAB ON GRADE FLOORS LESS THAN 12" BELOW GRADE: R-10 RIGID FOAM BOARD UNDER SLAB EXTENDING EITHER 2'-0" HORIZONTALLY OR 2'-0" VERTICALLY. | R404.1 | LIGHTING EQUIPMENT: A MINIMUM OF 75% OF ALL LAMPS (LIGHTS) MUST BE HIGH-EFFICACY LAMPS. |
| R402.2.4 | ATTIC ACCESS: ATTIC ACCESS SCUTTLE WILL BE WEATHERSTRIPPED AND INSULATED R-49. | | WATER HEATER: MINIMUM EFFICIENCY ESTABLISHED BY NAESCA |
| R402.4 | BUILDING THERMAL ENVELOPE (AIR LEAKAGE): EXTERIOR WALLS AND PENETRATIONS WILL BE SEALED PER THIS SECTION OF THE 2012 IECC WITH CAULK, GASKETS, WEATHERSTRIPPING OR AN AIR BARRIER OF SUITABLE MATERIAL. | | MECHANICAL TESTING: ALL MECHANICAL TESTING TO BE PERFORMED BY CONTRACTOR. THIS CONTRACTOR ALSO RESPONSIBLE FOR GENERATING CERTIFICATE OF COMPLIANCE AND AFFIXING TO ELECTRICAL PANEL. |
| R402.4.1 | BUILDING ENVELOPE TIGHTNESS TEST: BUILDING ENVELOPE TIGHTNESS AND INSULATION INSTALLATION MUST MEET THE INSPECTION CRITERIA LISTED IN TABLE 402.4.1.2. A "BLOWER DOOR AIR INFILTRATION TEST" SHALL BE PERFORMED IN ALL UNITS. SEE ALSO SECTION R303.4 OF THE 2012 IRC. | | |
| R402.4.2 | FIREPLACES: ALL WOOD BURNING MASONRY FIREPLACES WILL HAVE TIGHT-FITTING FLUE DAMPERS AND OUTDOOR COMBUSTION AIR. FIREPLACES SHALL HAVE GASKETED DOORS. | | |

REMODELING & ADDITIONS TO
212 NEEL AVENUE

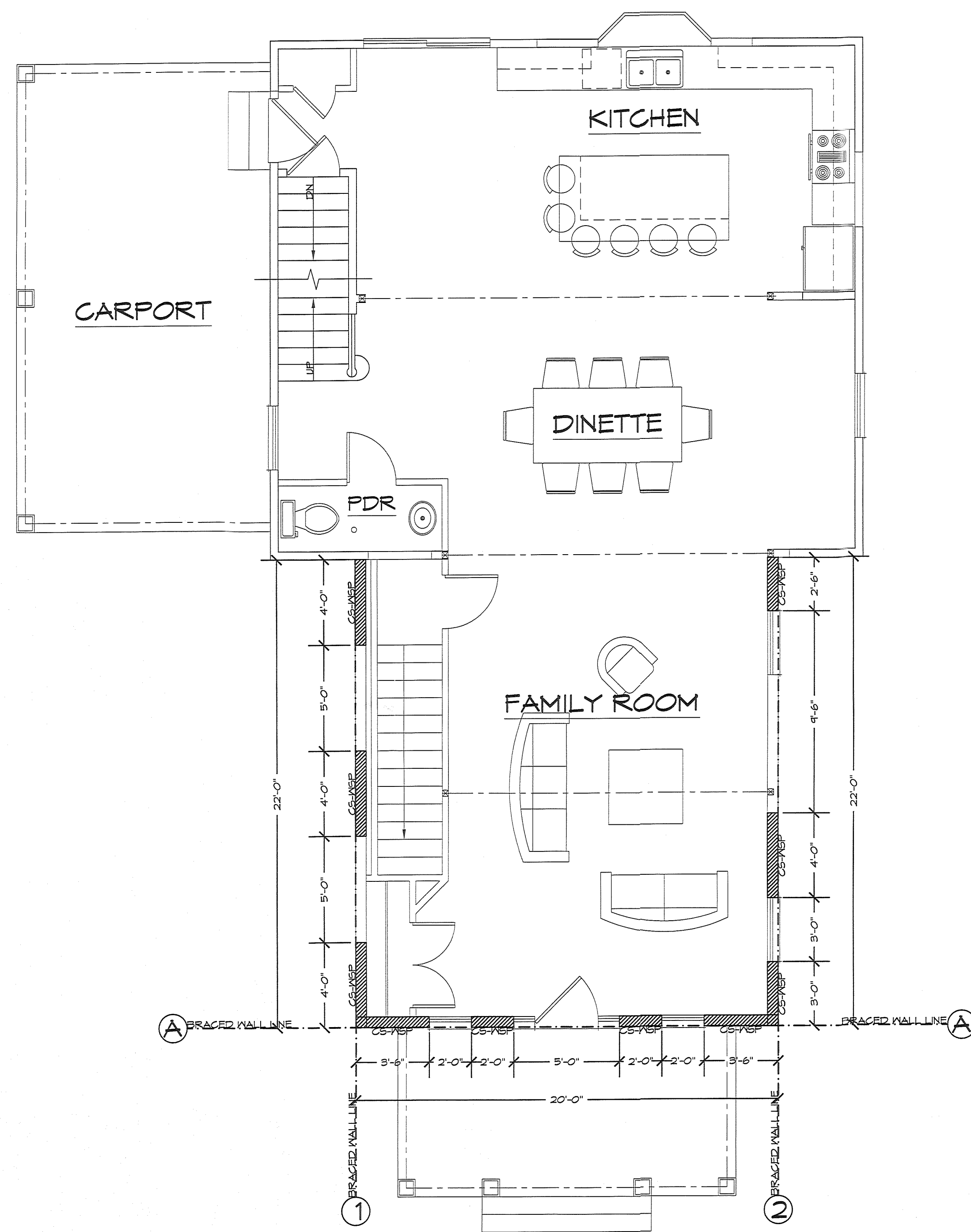
PROJECT ADDRESS:
212 NEEL AVENUE
REISTERSTOWN, MD 21136
BALTIMORE COUNTY, MD

REVISED 8/29/2014
REVISED 8/20/2014

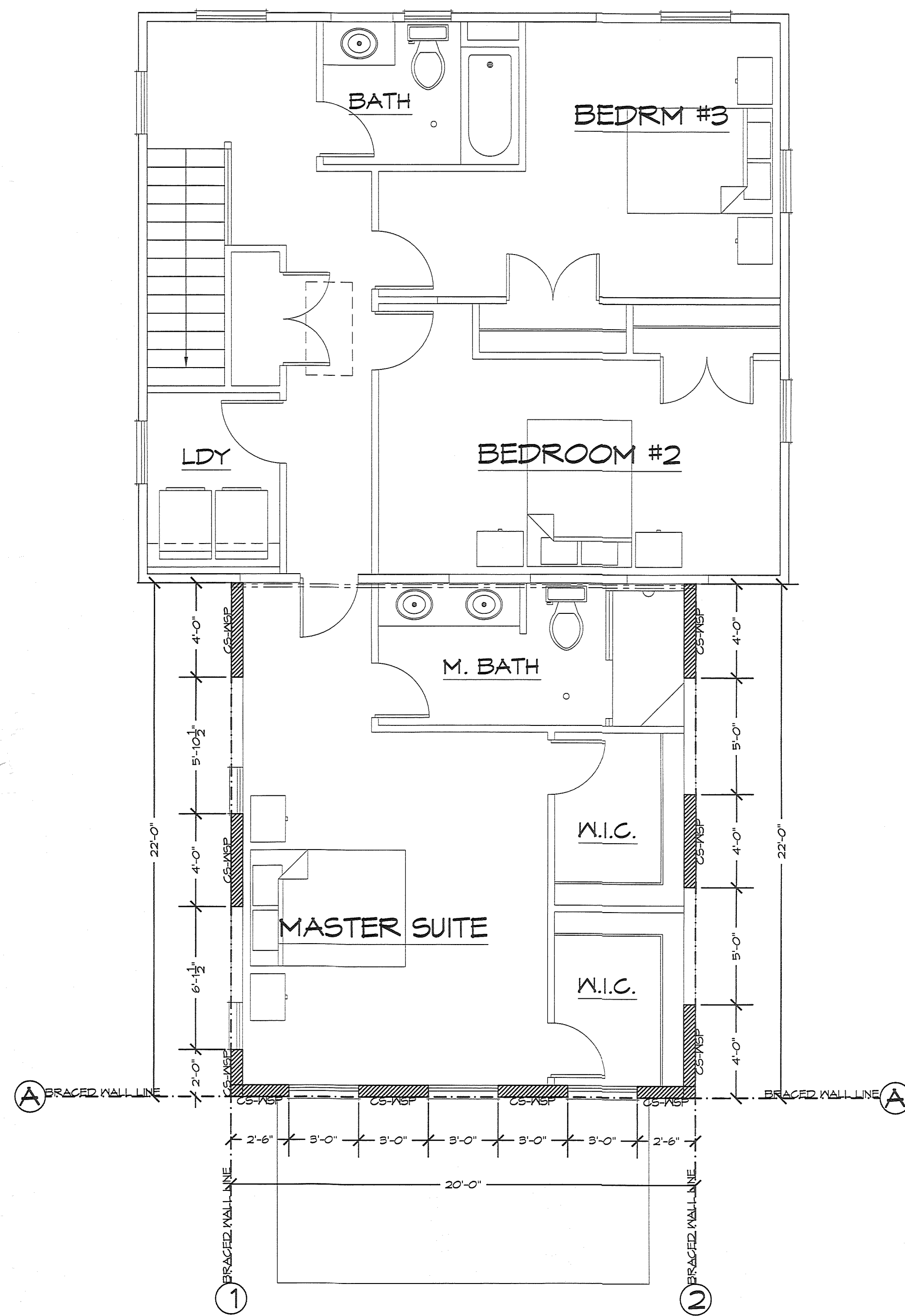
SCALE: 1/4" = 1'-0"
DATE: 8/20/14
SHEET NO.: 5 OF 7

GBL CUSTOM HOME
DESIGN INC.
PO BOX 237 FINKSBURG, MD 21048
PHONE 410-833-8320

FILE: TROY GRIFFIN - 212 NEEL AVE



PROPOSED FIRST FLOOR-
WALL BRACING LAYOUT
SCALE: 1/4"=1'-0"



PROPOSED SECOND FLOOR-
WALL BRACING LAYOUT
SCALE: 1/4"=1'-0"

FILE: TROY GRIFFIN - 212 NEEL AVE

SCALE: 1/4" = 1'-0"

DATE: 8/20/14

SHEET NO: 6 OF 7

GBI CUSTOM HOME
DESIGN INC.
PO BOX 237 FINKSBURG, MD 21048
PHONE 410-833-8320

REVISED 8/24/2014
REVISED 8/20/2014

PROJECT ADDRESS:
212 NEEL AVENUE
REISTERSTOWN, MD 21136
BALTIMORE COUNTY, MD

REMODELING & ADDITIONS TO 212 NEEL AVENUE

LEGEND:

- CS-WSP CONTINUOUS SHEATHING- WOOD STRUCTURAL PANEL (-LENGTH)
- CS-PF CONTINUOUS SHEATHED PORTAL FRAME
- CS-S CONTINUOUS SHEATHING- GARAGE DOOR OPENING
- GB GYPSUM 2 SIDED
- TIE DOWN DEVICE (-LBS)

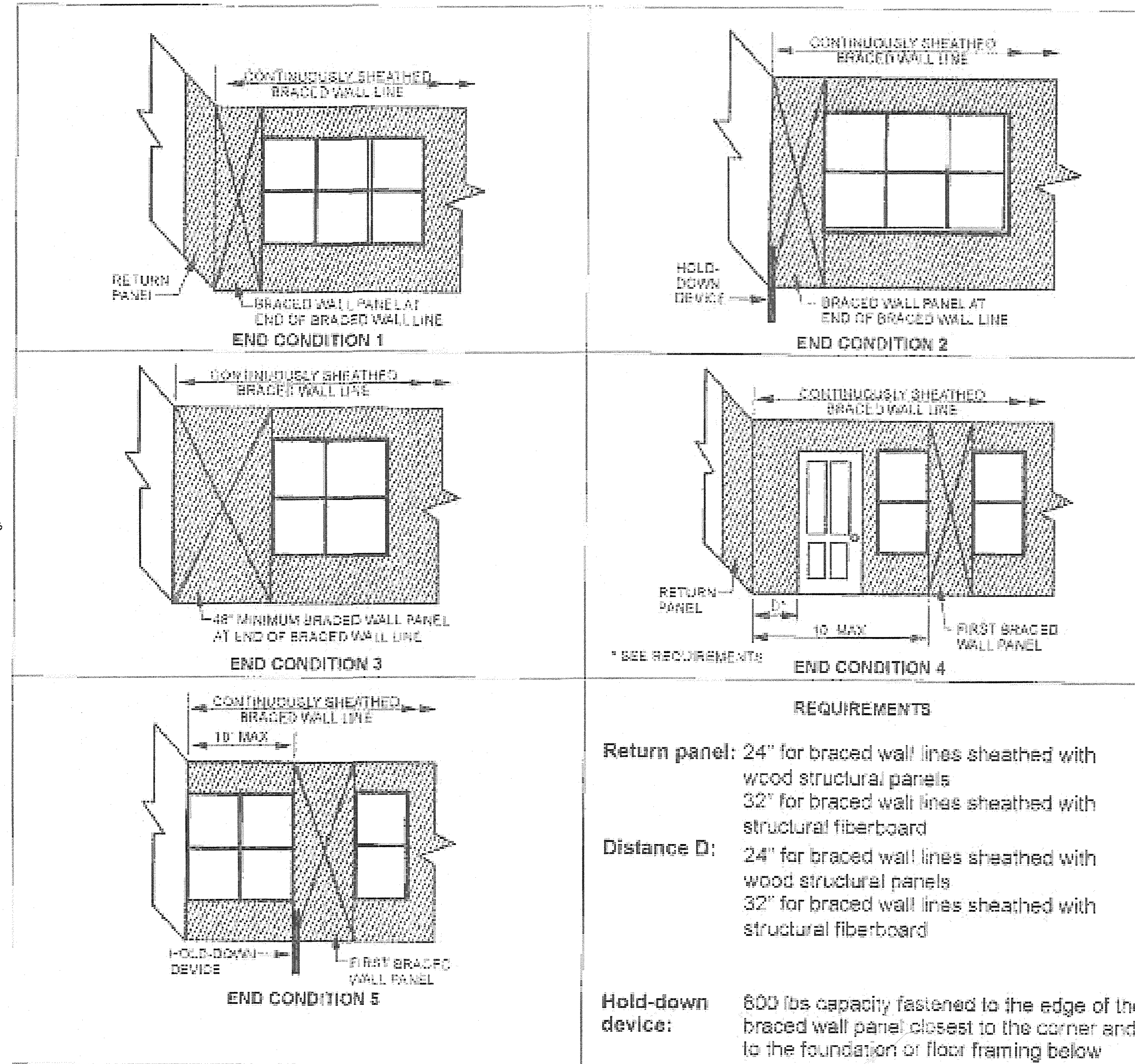
WALL BRACING DESIGN INFO:

LOCATION: BALTIMORE COUNTY, MARYLAND
SEISMIC CATEGORY: B
WIND SPEED: 90 MPH

METHOD 3 (WOOD SHEATHING)/ CONTINUOUS SHEATHING
METHOD 5 (GYPSUM BOARD)

*THESE DRAWINGS ARE LIMITED TO IRC WALL BRACING REQUIREMENTS ONLY.

R602.10.4 CONTINUOUS SHEATHING. BRACED WALL LINES WITH CONTINUOUS SHEATHING SHALL BE CONSTRUCTED IN ACCORDANCE WITH THIS SECTION. ALL BRACED WALL LINES ALONG EXTERIOR WALLS ON THE SAME STORY SHALL BE CONTINUOUSLY SHEATHED.



REQUIREMENTS

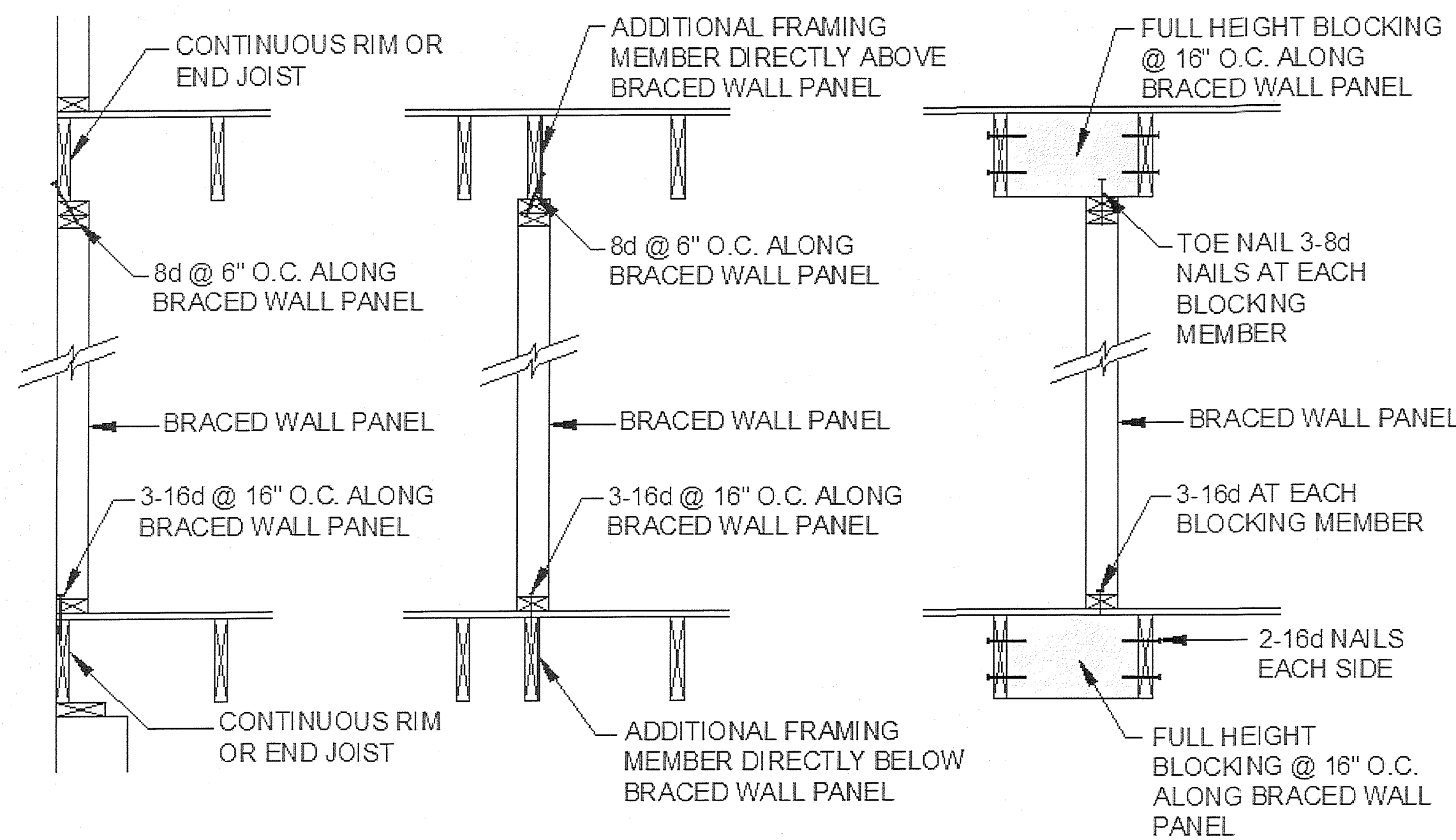
Return panel: 24\" for braced wall lines sheathed with wood structural panels
32\" for braced wall lines sheathed with structural fiberboard

Distance D: 24\" for braced wall lines sheathed with wood structural panels
32\" for braced wall lines sheathed with structural fiberboard

Hold-down device: 600 lbs capacity fastened to the edge of the braced wall panel closest to the corner and to the foundation or floor framing below

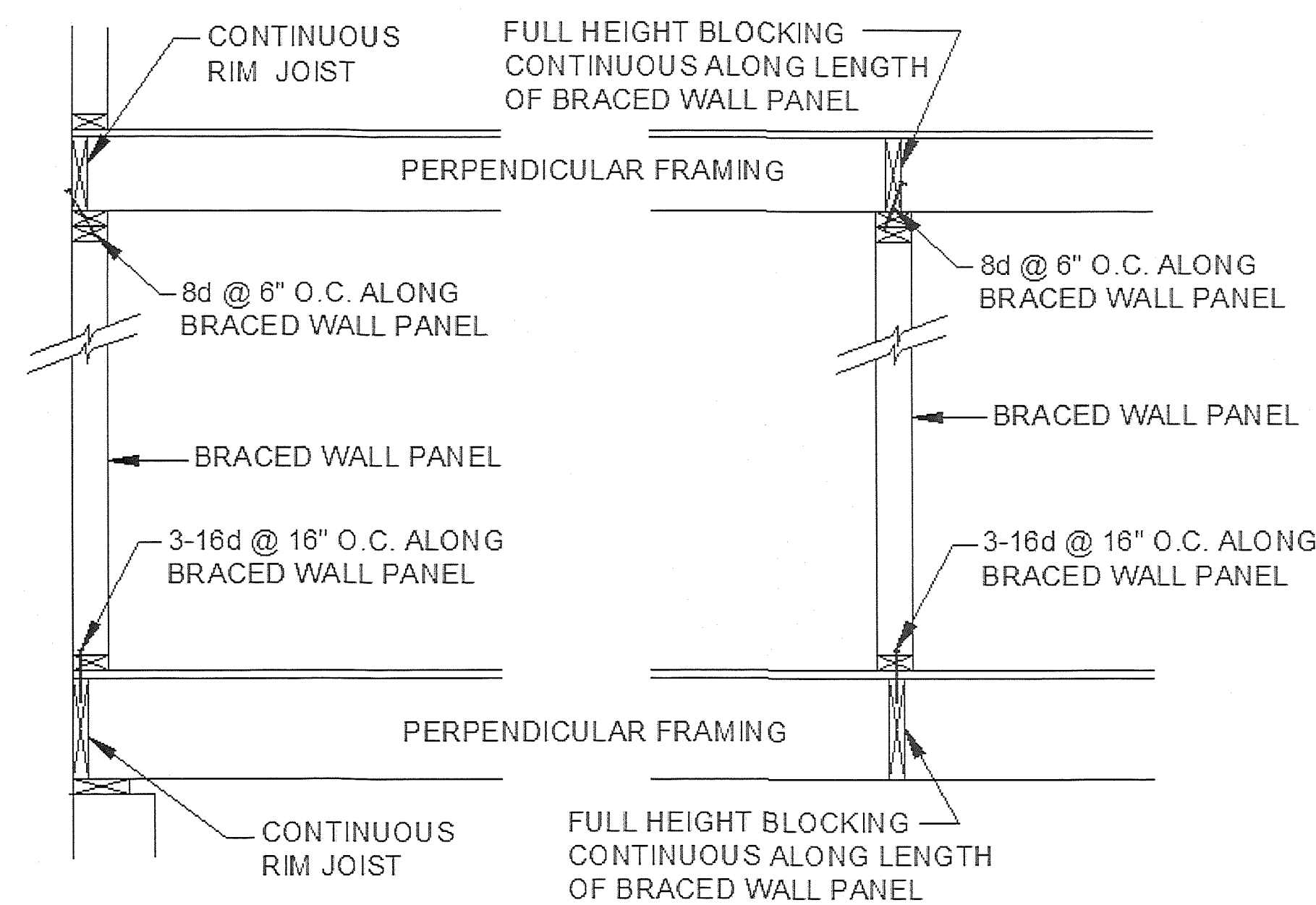
CORNER CONDITIONS

NOT TO SCALE



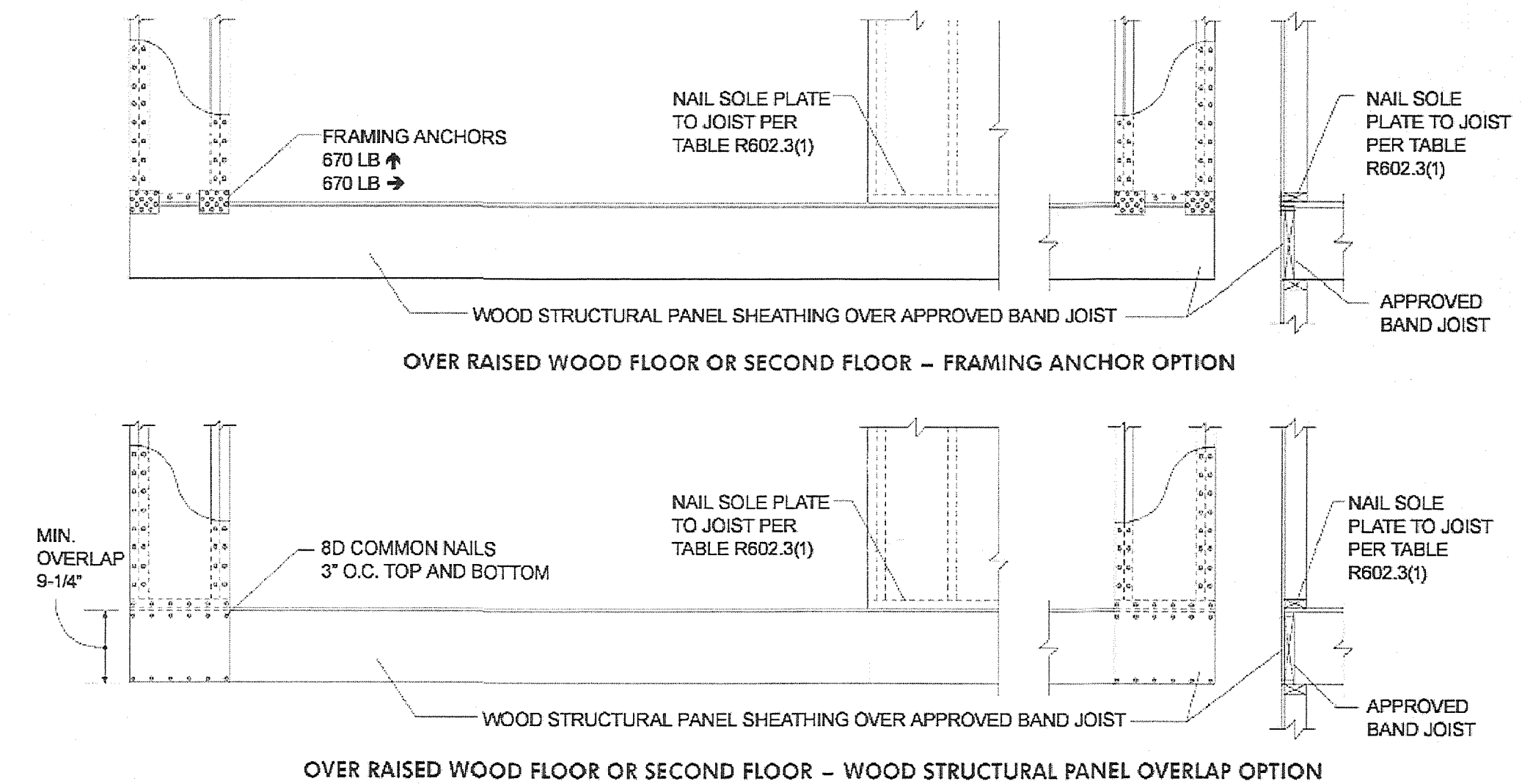
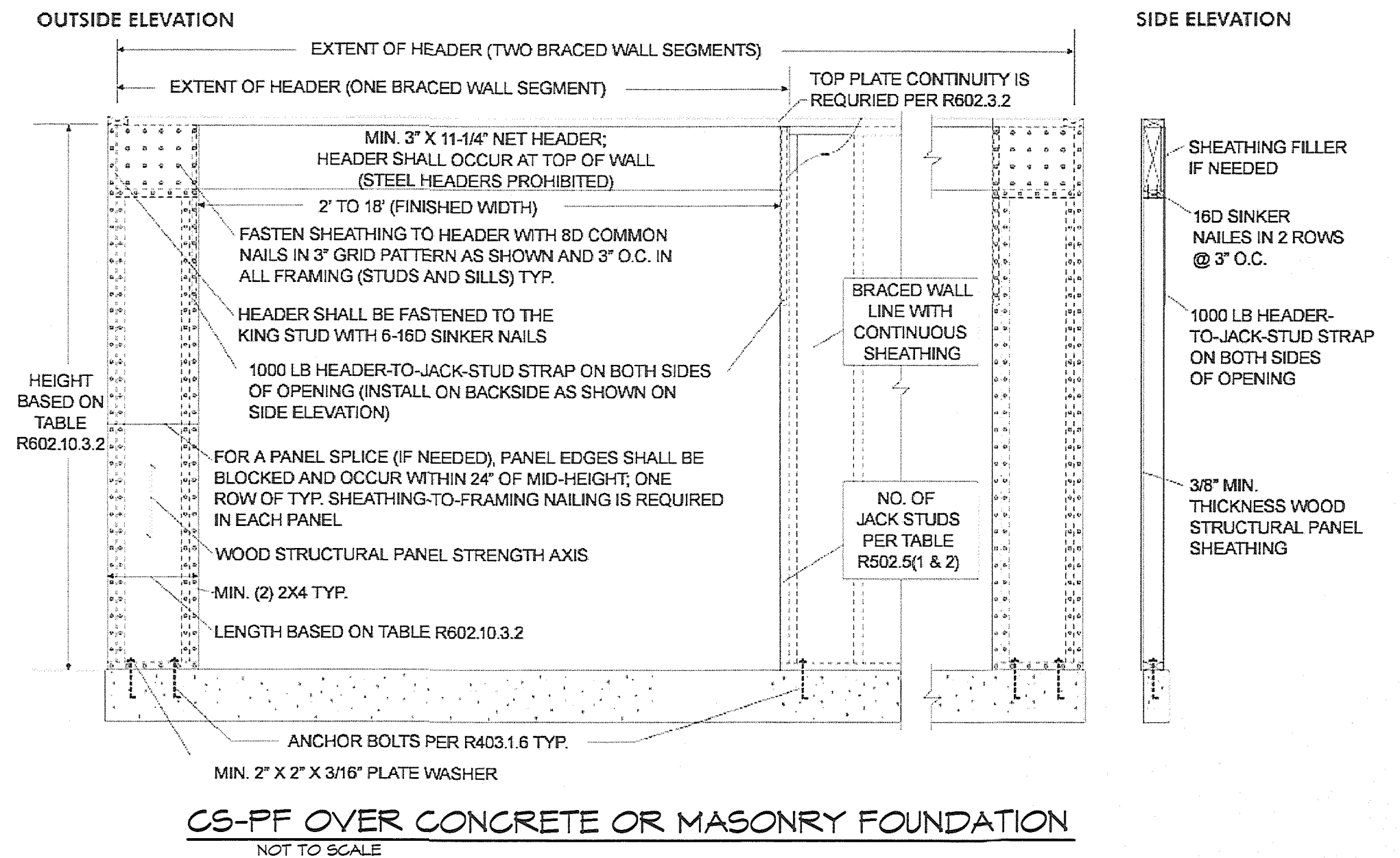
PARALLEL CONNECTIONS

NOT TO SCALE



PERPENDICULAR CONNECTIONS

NOT TO SCALE



CS-PF OVER WOOD FLOOR

NOT TO SCALE

REMODELING & ADDITIONS TO 212 NEEL AVENUE

PROJECT ADDRESS:
212 NEEL AVENUE
REISTERSTOWN, MD 21136
BALTIMORE COUNTY, MD

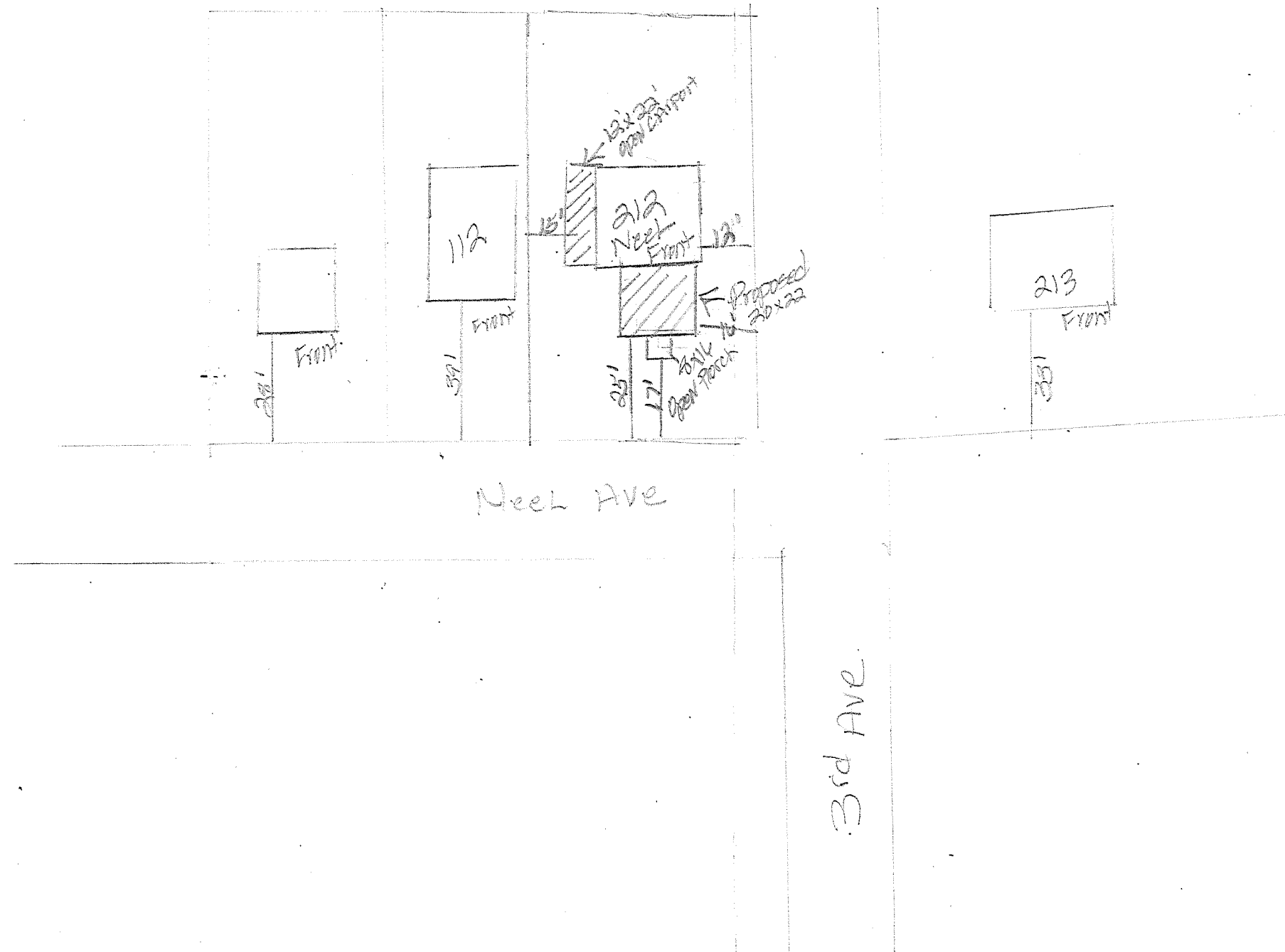
REVISED 8/24/2014
REVISED 8/20/2014

SCALE: 1/4\" = 1'-0"
DATE: 8/20/2014
SHEET NO.: 1 OF 1

GBL CUSTOM HOME
DESIGN INC.
PO BOX 237 FINKSBURG, MD 21048
PHONE 410-833-8320

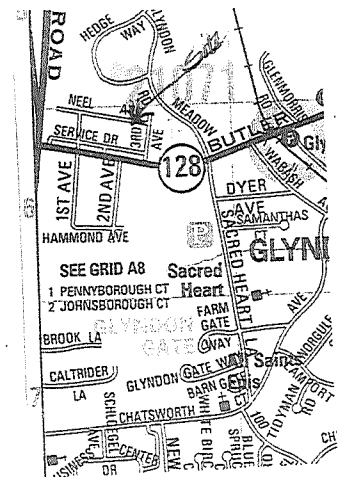
FILE: TROY GRIFFIN - 212 NEEL AVE

PLAT BOOK # 19 FOLIO # 58 10 DIGIT TAX # 0403049141 DEED REF. # 35143100450



1" = 40' DRAWN BY: REV TRU.

SITE VISITOR MAP



MAP IS NOT TO SCALE

ZONING MAP# 048C1

SITE ZONED DR 3.5/Rc5

ELECTION DISTRICT 4

COUNCIL DISTRICT 3

LOT AREA ACREAGE

OR SQUARE FEET 11,761 SF.

HISTORIC? No

IN CBCL? No

IN FLOOD PLAIN? No

QUESTIONS MARK WITH X

THE

PUBLIC & PRIVATE

SEWER 12.

PUBLIC ☐ PRIVATE ☒

PRIOR HEARING ? no.

IF SO GIVE CASE NUMBER

AND ORDER RESULT BELOW

2015-0046A